

TSE RESIDENCE
28 WADE STREET
NEWTON, MA.
PROPOSED FLOOR PLANS

REVISIONS:

07-24-19 9P APPLICATION DWG3
ISSUED FOR PERMITTING
ISSUED FOR PRICING
DATE: 06-04-19
SCALE: AS NOTED
DRAWN BY: AP
JOB NO.: 1903



DRAWING NO:

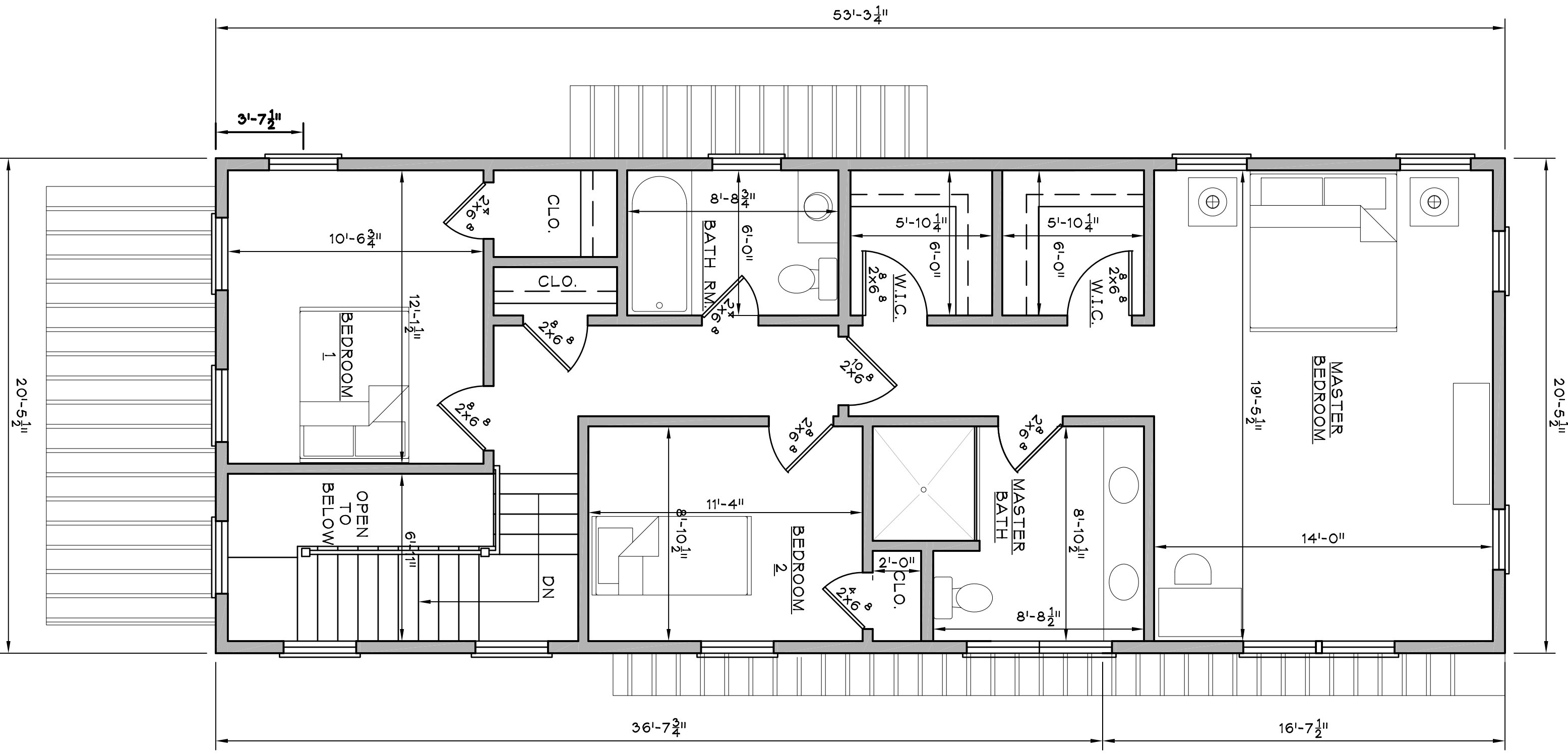
A-1

GENERAL NOTES

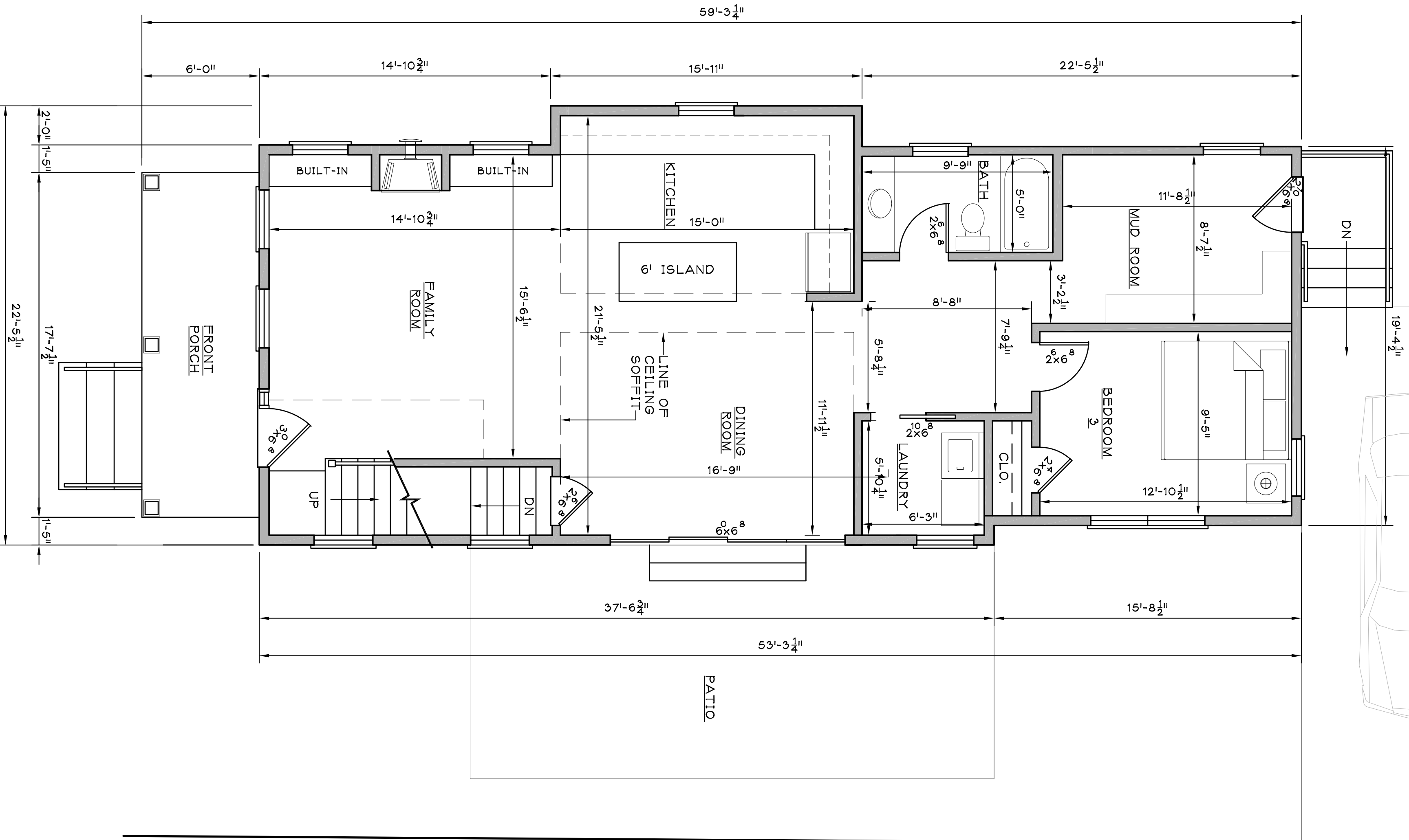
1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE MASS STATE BUILDING CODE AND LOCAL AUTHORITIES.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS IN THE FIELD, AND BUILD STRUCTURE ACCORDING TO THE CONSTRUCTION DRAWINGS AND ALL BEAM SPANS SHALL BE IN ACCORDANCE WITH THE MASS BUILDING CODE.
3. DESIGN WITH LOCAL CODES, CONDITIONS AND TYPE OF GRADE OF LUMBER.
4. DOUBLE FLOOR JOIST UNDER ALL PARTITIONS PARALLEL TO JOIST SPANS.
5. PROVIDE 1x4 BRIDGING AT 8'-0" O.C. MAX FOR FLOOR JOISTS AND SOLID BRIDGING ABOVE BEAMS AND WHERE NOTED.
6. ALL HEADERS TO BE DOUBLE 2X8S MINIMUM UNLESS OTHERWISE NOTED.
7. DESIGN LIVE LOADS: FLOOR = 40 P.S.F., FLOOR = 50 P.S.F., PER MASS BUILDING CODE.
8. STEEL JOIST HANGERS ARE REQUIRED AT ANY AND ALL FLUSH FRAMING. [INSTALL ACCORDING TO MANUFACTURERS SPECIFICATIONS].
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS. COLLAR TIES TO BE AT A SPACING OF 16" O.C. MAX.
10. ALL FRAMING LUMBER SHALL BE CONSTRUCTION GRADE:
FRAMING LUMBER = 1050 P.S.I.E. P. 1900 000 OR
RELOCATING ANY AND ALL UTILITIES ASSOCIATED WITH THE PROPOSED PROJECT IN ACCORDANCE WITH THE OWNER AND DESIGNATED UTILITIES REPRESENTATIVE DIRECTIVES.
11. CONTRACTOR SHALL USE EXTREME CARE IN LOCATING, PROTECTING AND RELOCATING ANY AND ALL UTILITIES ASSOCIATED WITH THE PROPOSED PROJECT IN ACCORDANCE WITH THE OWNER AND DESIGNATED UTILITIES REPRESENTATIVE DIRECTIVES.
12. OWNER IS RESPONSIBLE FOR FINAL SELECTION OF ALL WINDOW AND DOOR TYPES HARDWARE, MECHANICAL, ELECTRICAL SYSTEMS & INTERIOR/EXT. FINISHES

FLOOR PLAN LEGEND

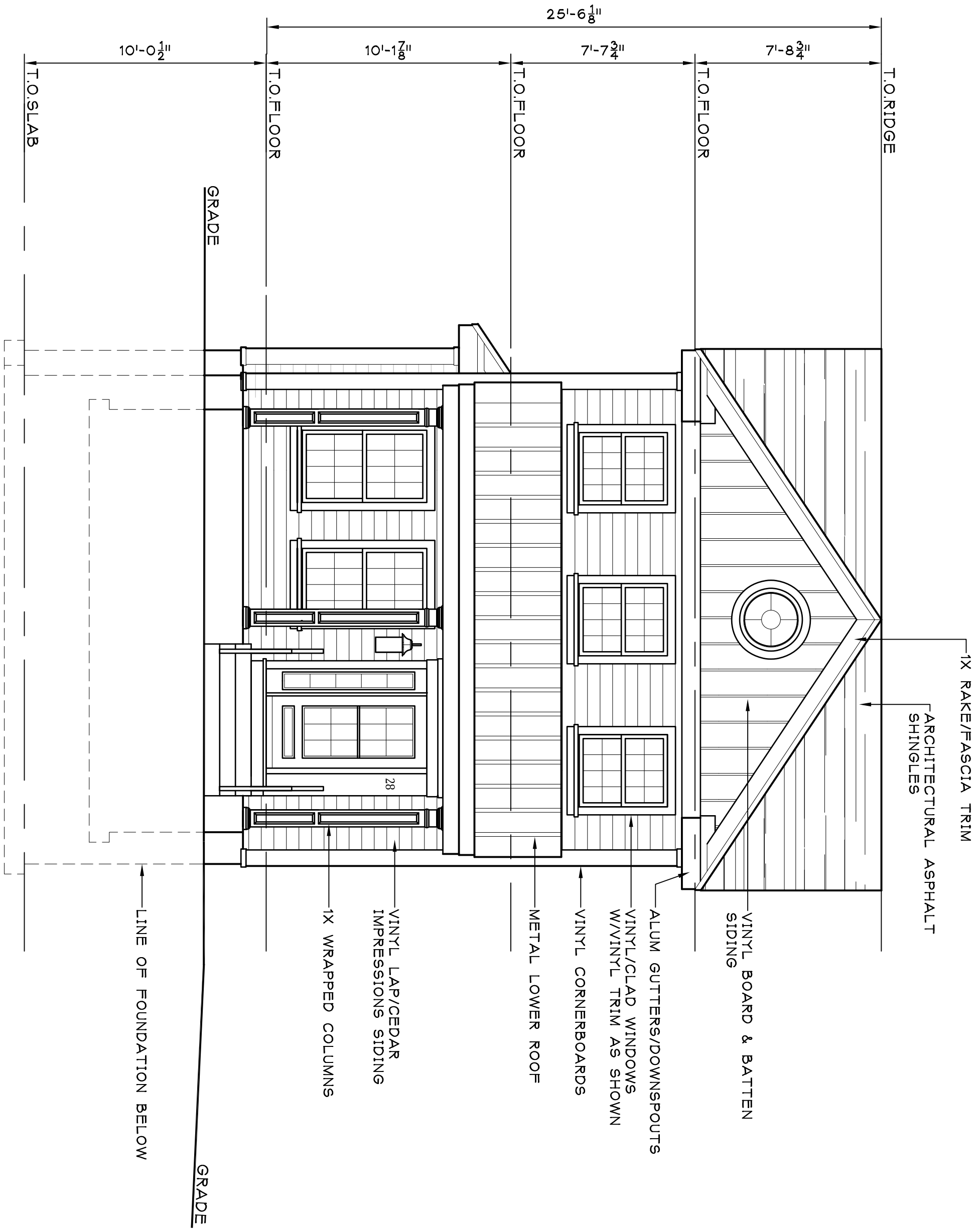
- NOTE:**
ALL STUDS AROUND PERIMETER TO BE 2x6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
ALL WET WALLS TO BE 2x6 WOOD STUDS @ 16" O.C. WITH 1/2" MOISTURE RESISTANT GYP BOARD BATHROOM SIDE
- 6" TYP WALL LOCATION OF DOORS UNLESS OTHERWISE NOTED
- NEW WALL 2x4 STUD WALL @ 16" O.C. WITH 1/2" GYP EACH SIDE (PERIMETER WALLS SEE NOTE)
NEW WALL 2x4 STUD WALL @ 16" O.C. WITH 1/2" GYP EACH SIDE ONLY (6" WALL VAPOR BARRIER [BUILT TO COVER FOUND] WINDOW TYPE TAG, SEE WINDOW SCHEDULE



A FIRST FLOOR LEVEL
SCALE: 1/4"=1'-0"



B SECOND FLOOR LEVEL
SCALE: 1/4"=1'-0"

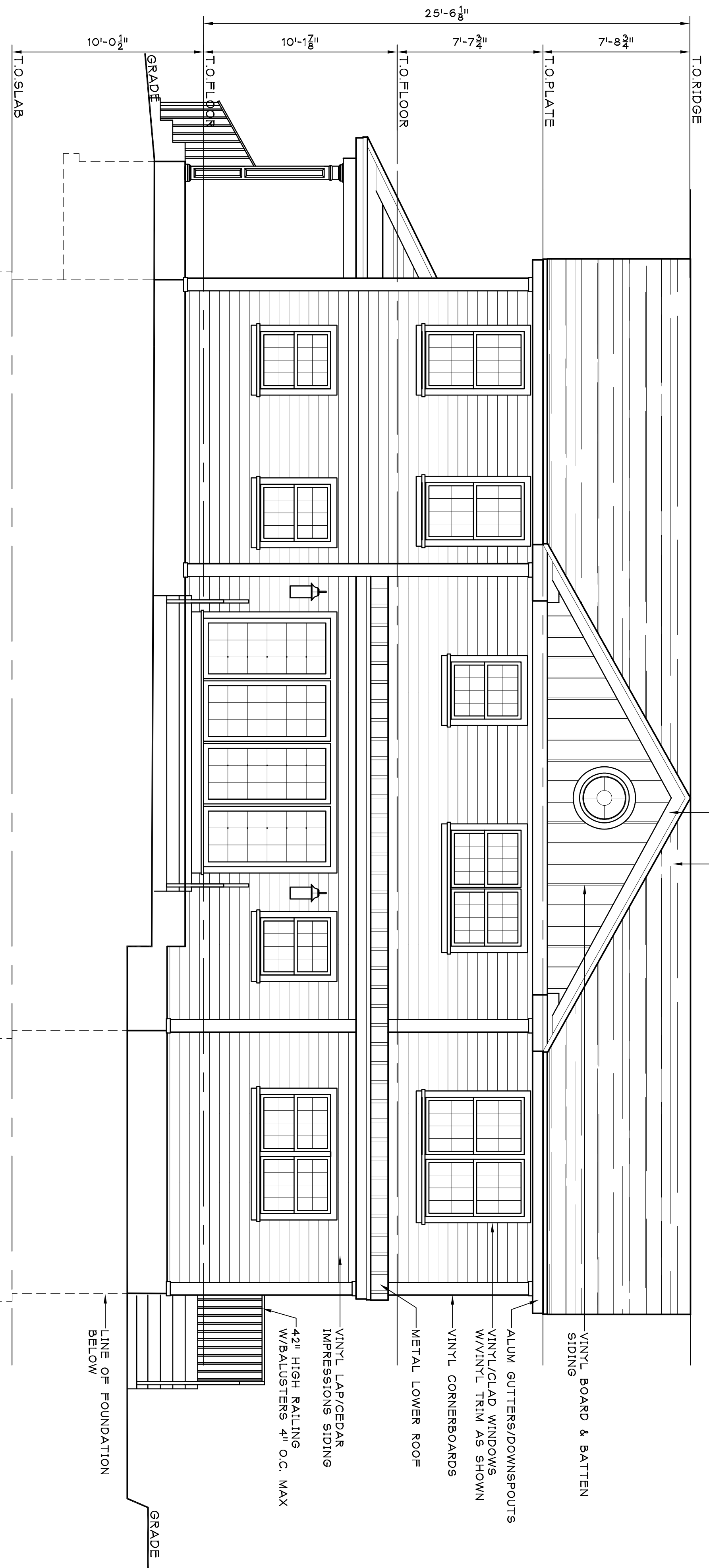


A FRONT ELEVATION
A-2A
SCALE: 1/4"=1'-0"

ENERGY DESIGN BASED ON CHAPTER 4
PREScriptive ENVELOPE COMPONENTS
ADDITIONS TO ENR-18 TABLE 402.11

MAXIMUM			MINIMUM		
PERMEATION U-VALUE	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASMENT R-VALUE	ROOF R-VALUE
.32	R-4.9	R-2.0	R-3.0	R-15/19	R-10, 2 FT.

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 3. CONTRACTOR TO VERIFY ALL JOIST SIZES AND SPACING AND ALL BEAM DESIGN WITH LOCAL CODES, CONDITIONS AND TYPE OF LUMBER.
 4. DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS PARALLEL TO JOIST SPANS.
 5. BRIDGING ABOVE BEAMS AND WHERE NOTED.
 6. ALL HEADERS TO BE DOUBLE 2X8S MINIMUM UNLESS OTHERWISE NOTED.
 7. DESIGN LIVE LOADS - ROOF = 40 P.S.F. FLOOR = 30 P.S.F. PER MASS STATE BUILDING CODE.
 8. STEEL JOIST HANGERS ARE REQUIRED AT ANY AND ALL FLUSH FRAMING.
 9. INSTALL ACCORDING TO MANUFACTURERS SPECIFICATIONS.
 10. ROOF BOARD AND CEILING JOISTS COLLAR TIED TO BE AT A SPACING OF 16" O.C. MAXI.
 11. ALL FRAMING LUMBER SHALL BE CONSTRUCTION GRADE:
HEM/FIR #2 F.W. = 1,050 P.S.I., E = 1,500,000 OR
SPRUCE/PINE/FIR #1 F.W. = 1,200 P.S.I., E = 1,400,000
 12. CONTRACTOR SHALL USE EXTREME CARE IN LOCATING, PROTECTING AND RELOCATING ALL UTILITIES ASSOCIATED WITH THE PROPOSED CONSTRUCTION ACCORDING TO THE OWNER AND DESIGNATED UTILITIES REPRESENTATIVE DIRECTIVES.
 13. OWNER IS RESPONSIBLE FOR FINAL SELECTION OF ALL WINDOW AND DOOR TYPES HARDWARE, MECHANICAL, ELECTRICAL SYSTEMS & INTERIOR/EXT. FINISHES



B RIGHT-SIDE ELEVATION
A-2A
SCALE: 1/4"=1'-0"



TSE RESIDENCE
28 WADE STREET
NEWTON, MA.
EXTERIOR ELEVATIONS

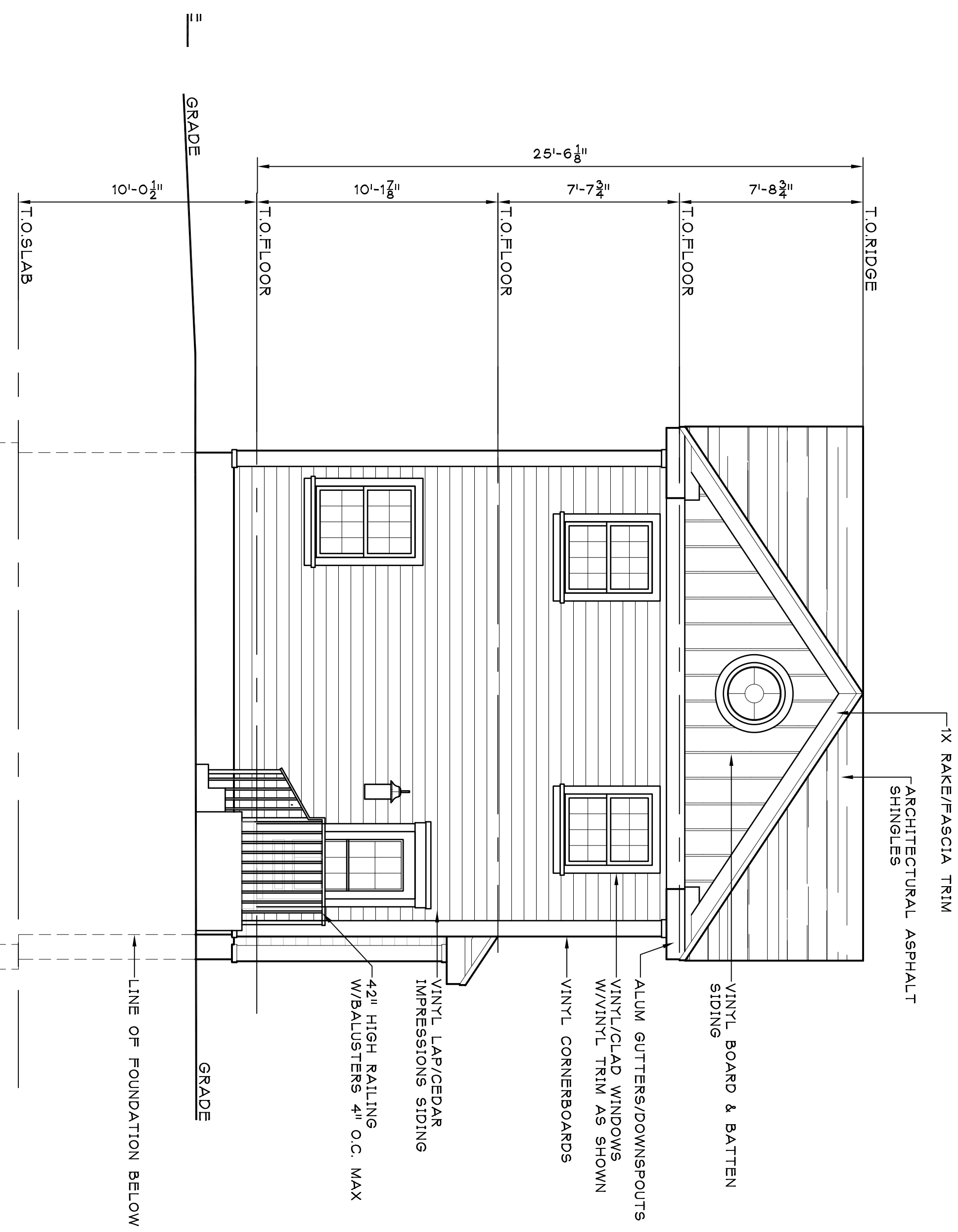
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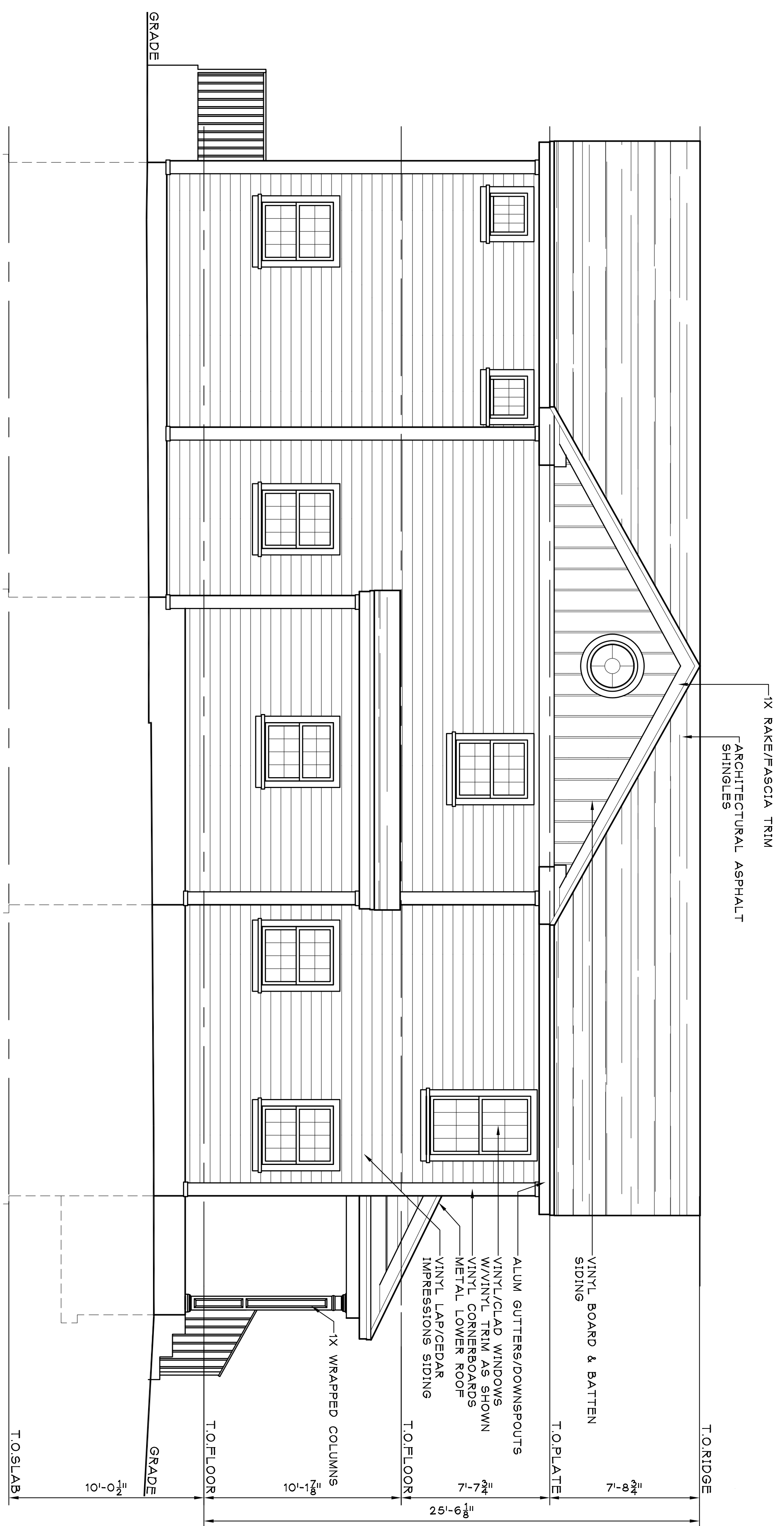


A REAR ELEVATION
SCALE: 1/4"=1'-0"

ENERGY DESIGN BASED ON CHAPTER 4
PERMISSIVE ENERGY CODES FOR RESIDENTIAL
ADDITIONS TO EXISTING LOWRISE RESIDENTIAL
BUILDINGS

	MAXIMUM			MINIMUM	
INSULATION U-VALUE	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	GLAZED DOOR/ WINDOW AREA PER FT.²
32	R-49	R-20	R-30	R-15/19	R-10, 2 FT.²

- GENERAL NOTES**
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 2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS IN THE FIELD, AND BUILD STRUCTURE ACCORDING TO THE CONSTRUCTION DRAWINGS.
 3. CONTRACTOR TO VERIFY ALL JOIST SIZES AND SPACING AND ALL BEAM DESIGNS WITH LOCAL CODES, CONDITIONS AND TYPE OF LUMBER.
 4. DOUBLE END BRIDGES UNDER ALL PARTITIONS PARALLEL TO JOIST SPANS.
 5. BRIDGING ABOVE BEAMS AND WHERE NOTED.
 6. ALL HEADERS TO BE DOUBLE 2x8S MINIMUM UNLESS OTHERWISE NOTED.
 7. DESIGN LIVE LOADS - ROOF = 40 P.S.F. FLOOR = 30 P.S.F. PER MASS STATE BUILDING CODE.
 8. STEEL JOIST BRACING ARE REQUIRED AT ANY AND ALL FLUSH FRAMING.
 9. UNSUPPORTED JOISTS TO BE BRACED VERTICALLY AT 10' ON CENTER BETWEEN RIDGE BOARD AND CEILING JOISTS. COLLAR TIES TO BE AT A SPACING OF 16' O.C. MAXI.
 10. ALL FRAMING LUMBER SHALL BE CONSTRUCTION GRADE:
HEM/FIR #2 FW = 1050 P.S.I., E = 1,900,000 OR
SPRUCE/PINE/FIR #1 FW = 1200 P.S.I., E = 1,400,000
 11. CONTRACTOR SHALL USE EXTREME CARE IN LOCATING, PROTECTING AND BRACING ALL EXISTING UTILITIES. ALL UTILITIES SHALL BE IDENTIFIED FROM THE PROJECT ACCORDANCE WITH THE OWNER AND DESIGNATED UTILITIES REPRESENTATIVE DIRECTIVES.
 12. OWNER IS RESPONSIBLE FOR FINAL SELECTION OF ALL WINDOW AND DOOR TYPES, HARDWARE, MECHANICAL, ELECTRICAL SYSTEMS & INTERIOR/EXT. FINISHES



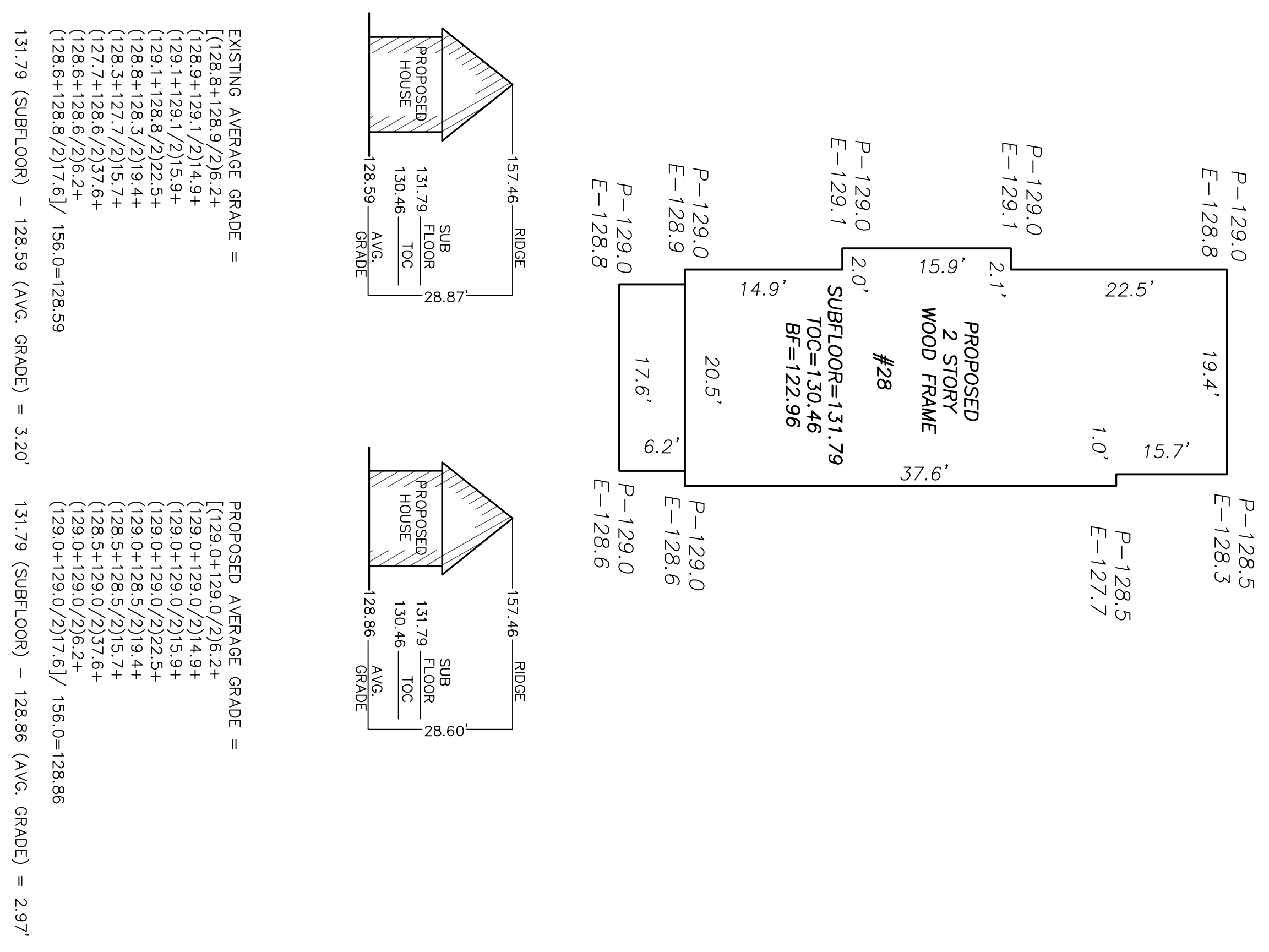
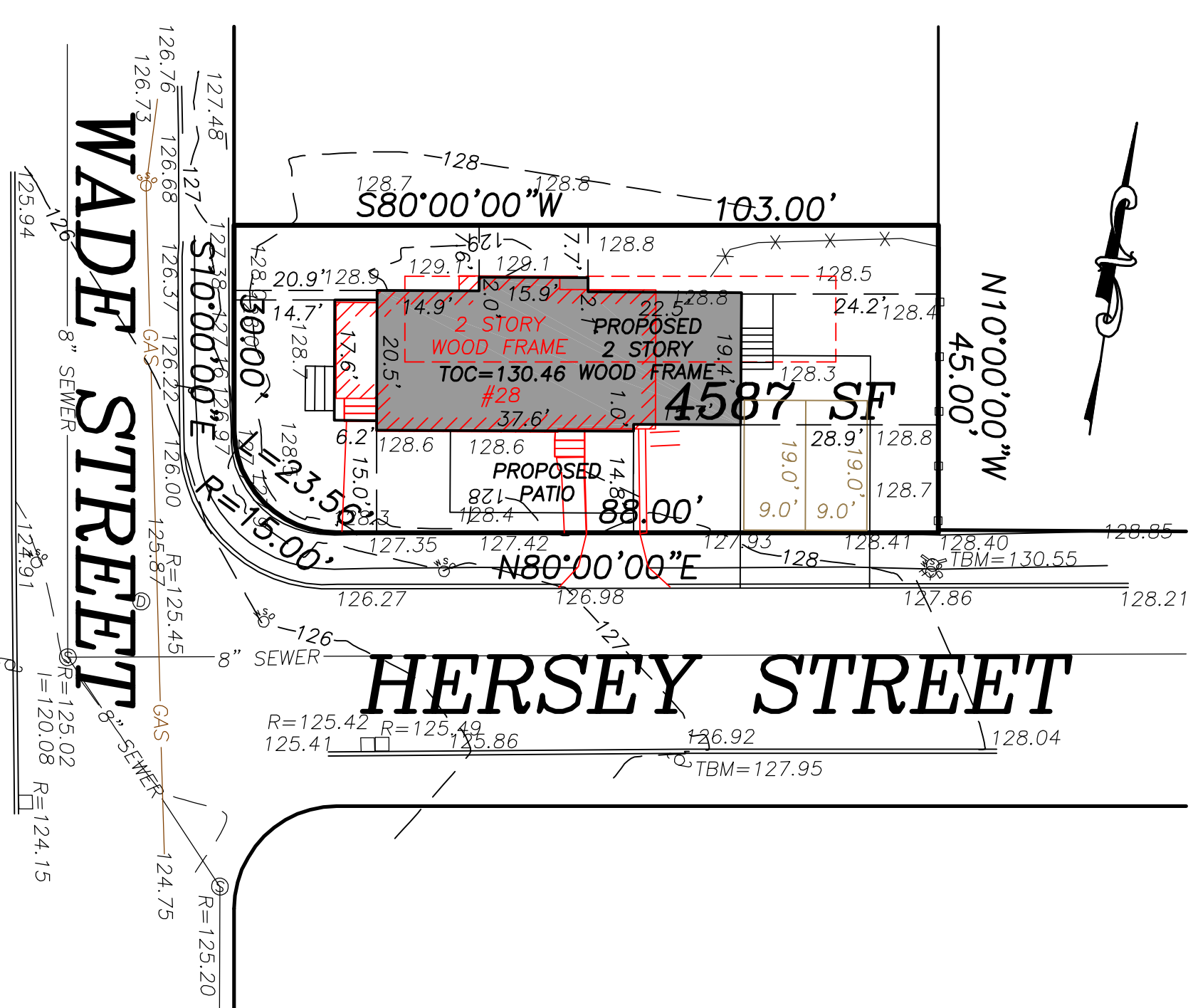
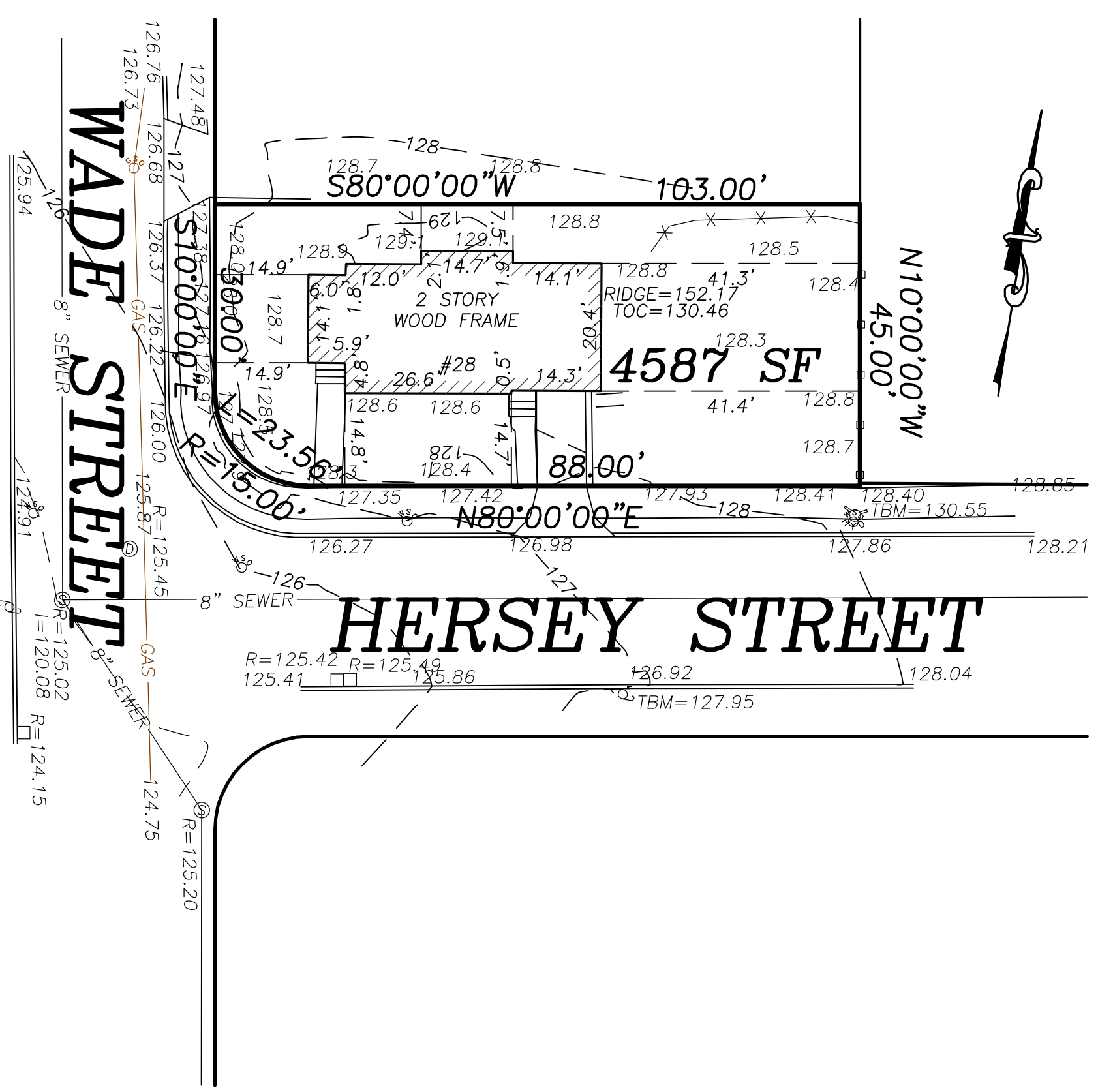
B LEFT-SIDE ELEVATION
SCALE: 1/4"=1'-0"

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NEWTON, MA.
EXTERIOR ELEVATIONS



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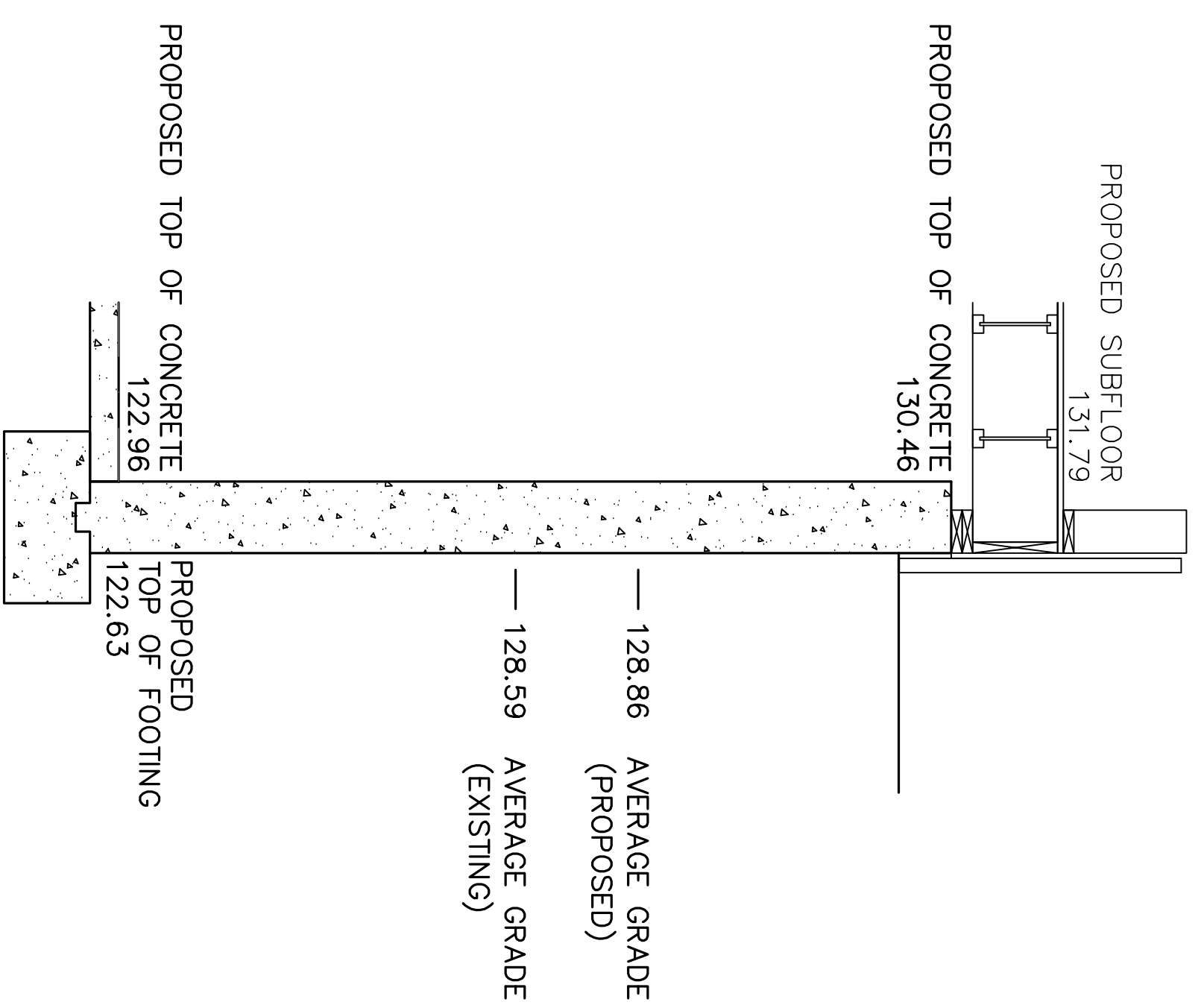
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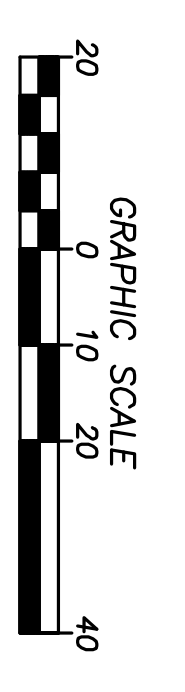
- NOTES:
- 1) BENCHMARK INFORMATION:
TEMPORARY BENCHMARKS SET:
"X" CUT SET IN A FLANGE BOLT ON A HORIZONTAL SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF THE UNDERGROUND STRUCTURES SHOULD BE DETERMINED BY THE FIELD SURVEYOR. THE SURVEYOR SHALL BE AVAILABLE AT 1-888-344-7233 (1-888-DIG-SAFE) SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
 - 2) ELEVATIONS REFER TO CITY OF NEWTON BASE
 - 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
 - 4) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF THE UNDERGROUND STRUCTURES SHOULD BE DETERMINED BY THE FIELD SURVEYOR. THE SURVEYOR SHALL BE AVAILABLE AT 1-888-344-7233 (1-888-DIG-SAFE) SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

ZONING INFORMATION: SINGLE RESIDENCE 3 (SR3)

	REQUIRED	ACTUAL	PROPOSED
MINIMUM LOT AREA	7,000 SF	4,587 SF	4,587 SF
MINIMUM LOT FRONTAGE	70 FEET	45.00 FEET	45.00 FEET
MINIMUM FRONT SETBACK	25 FEET	14.9 FEET (WADE)	14.7 FEET (WADE)
MINIMUM SIDE YARD	7.5 FEET	7.4 FEET	7.5 FEET
MINIMUM REAR YARD	10 FEET	41.3 FEET	24.2 FEET
MINIMUM OVERHANG	1.5 FEET	1.5 FEET	1.5 FEET
MINIMUM BUILDING HEIGHT	36 FEET	23.86 FEET	28.87 FEET
MINIMUM OPEN SPACE	2 1/2 STY	2 STY	2 STY
MINIMUM F.A.R.	48%	7.28%	54.4% (2987 SF)



FOUNDATION WALL SECTION
NOT TO SCALE



CERTIFIED PLOT PLAN
SHOWING PROPOSED RECONSTRUCTION
NEWTON, MASS.

Field Resources, Inc.
LAND SURVEYORS

JUNE 3, 2019 SCALE 1"=20'
P.O. BOX 324 281 CHESTNUT ST.
AUBURN, MA NEEDHAM, MA.
508 832 4332 781 444 5936
fieldresources@hotmail.com