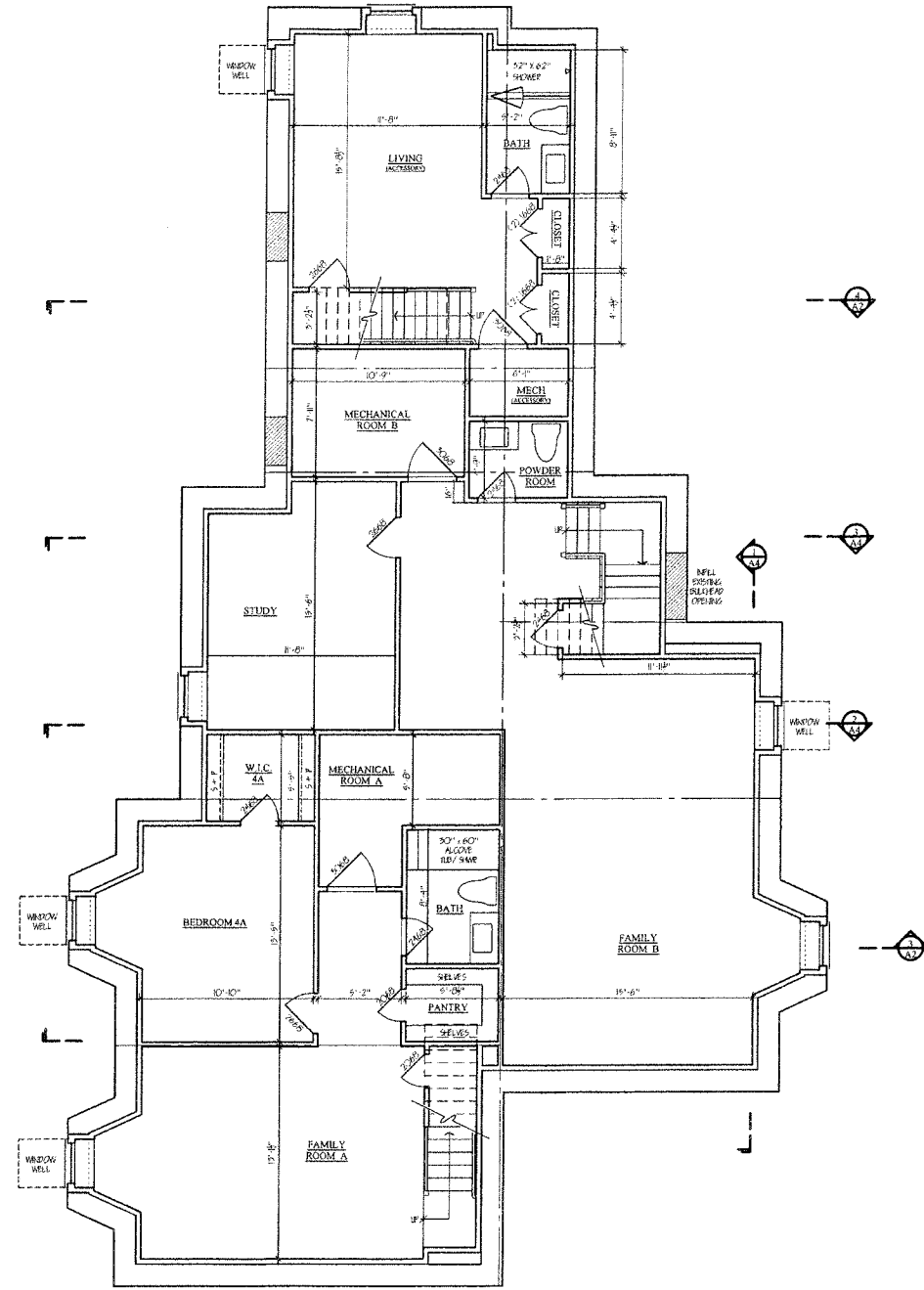
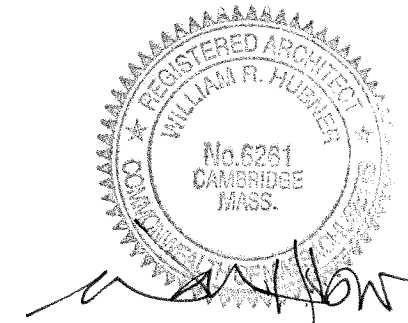


① FOUNDATION PLAN



② PROPOSED BASEMENT PLAN

NEW CONSTRUCTION

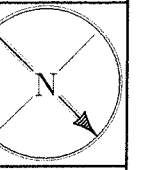


INCITE  
ARCHITECTURE

William R Hubner  
ARCHITECT

1620 Massachusetts Ave  
Lexington, MA 02420  
Tel. 781-862-3444  
Fax: 781-863-0722

Sheet Title  
FOUNDATION AND  
BASEMENT PLANS  
(ACCESSORY APARTMENT)



Job #

PROPOSED RENOVATION  
RESIDENCES AT  
74 WABAN PARK  
NEWTON, MA

Project

Scale  
3/16" = 1'-0" U.N.O.

Date  
06 JULY 2016

Revisions

Sheet

A0

2012 INTERNATIONAL RESIDENTIAL CODE  
W/ MASSACHUSETTS AMENDMENT

PROJECT SCOPE: RENOVATION OF EXISTING STRUCTURE,  
PRIMARILY INTERIOR ALTERATIONS WITH MINOR EXTERIOR  
ALTERATIONS

SEE BELOW FOR DWELLING UNIT SIZES

USE AND OCCUPANCY CLASSIFICATION  
TWO-FAMILY DWELLING

**INCITE**  
ARCHITECTURE

William R Hubner  
ARCHITECT

1620 Massachusetts Ave  
Lexington, MA 02420  
Tel: 781-862-3444  
Fax: 781-863-0722

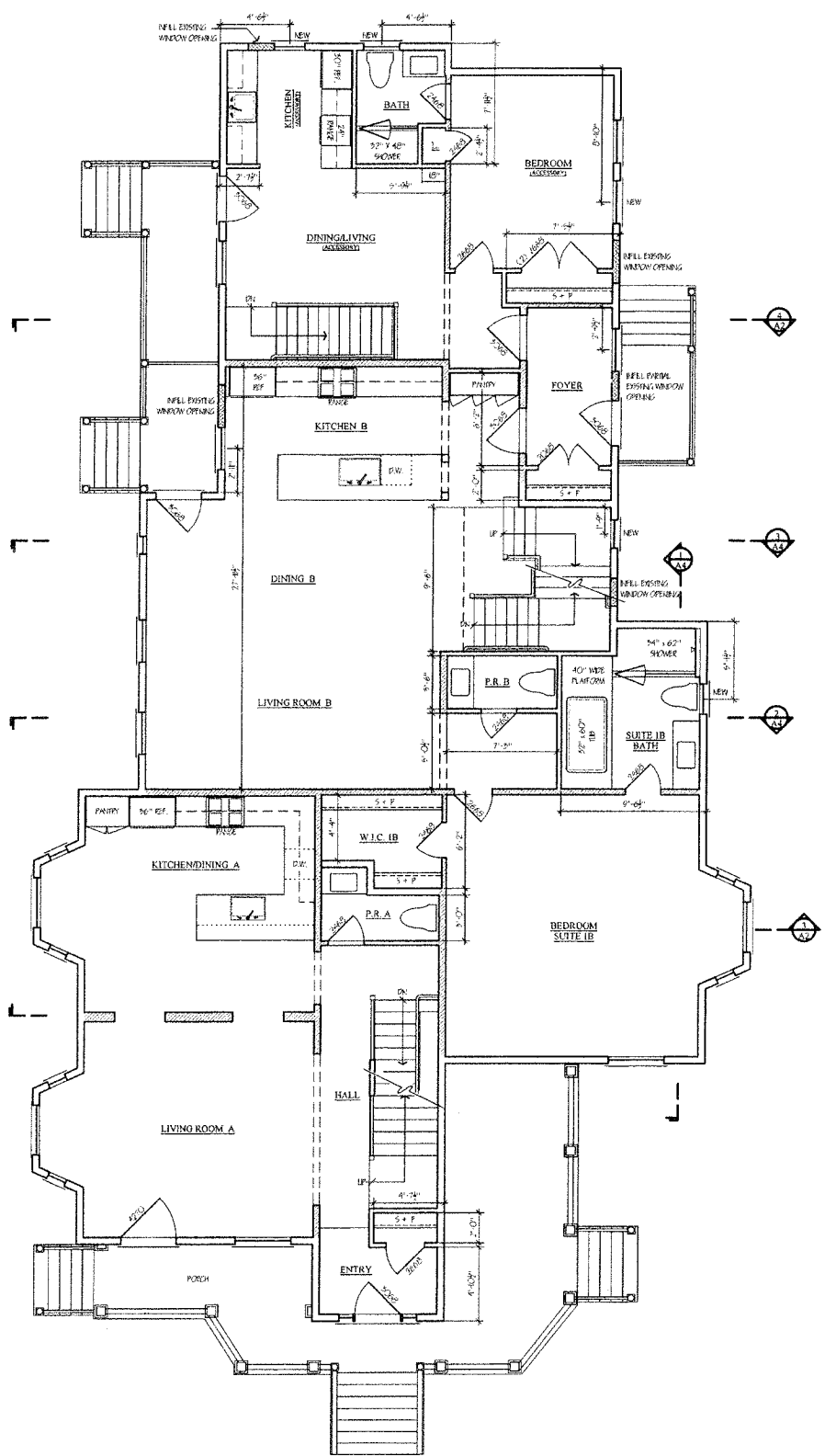
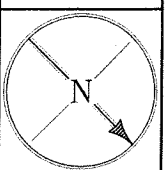
**GENERAL NOTES:**

- 1) ALL EXTERIOR WALLS ARE EXISTING TO REMAIN WITH THE EXCEPTION OF THE ATTIC DORMER AND THE UNIT B HALL DORMER (NEW CONSTRUCTION DESIGNATED ON DRAWINGS)
- 2) ALL DEMISING WALLS TO BE MODIFIED TO STAGGER STUD 2 X 4 @ 16" O.C. ONE SIDE 5/8" SHEETROCK APPLIED DIRECTLY TO STUDS, ONE SIDE 1/2" HOMOSOTE APPLIED DIRECTLY TO STUDS WITH 5/8" SHEETROCK, VENEER PLASTER SKIM COAT FINISH.
- 3) WINDOW SIZING AND ORDERING TO BE PERFORMED BY THE CONTRACTOR.
- 4) AT LEAST ONE WINDOW IN EACH BEDROOM TO MEET EGRESS REQUIREMENTS.
- 5) WINDOW WELLS TO BE A MINIMUM OF 9 SQ. FT. WITH 3/8" MIN. HORIZONTAL PROJECTION.
- 6) DIMENSIONS FROM EXTERIOR WALLS ARE TAKEN FROM EXTERIOR FACE OF STUD.
- 7) INTERIOR DIMENSIONS ARE TO FACE OF STUD.

**UNIT SQUARE FOOTAGE**

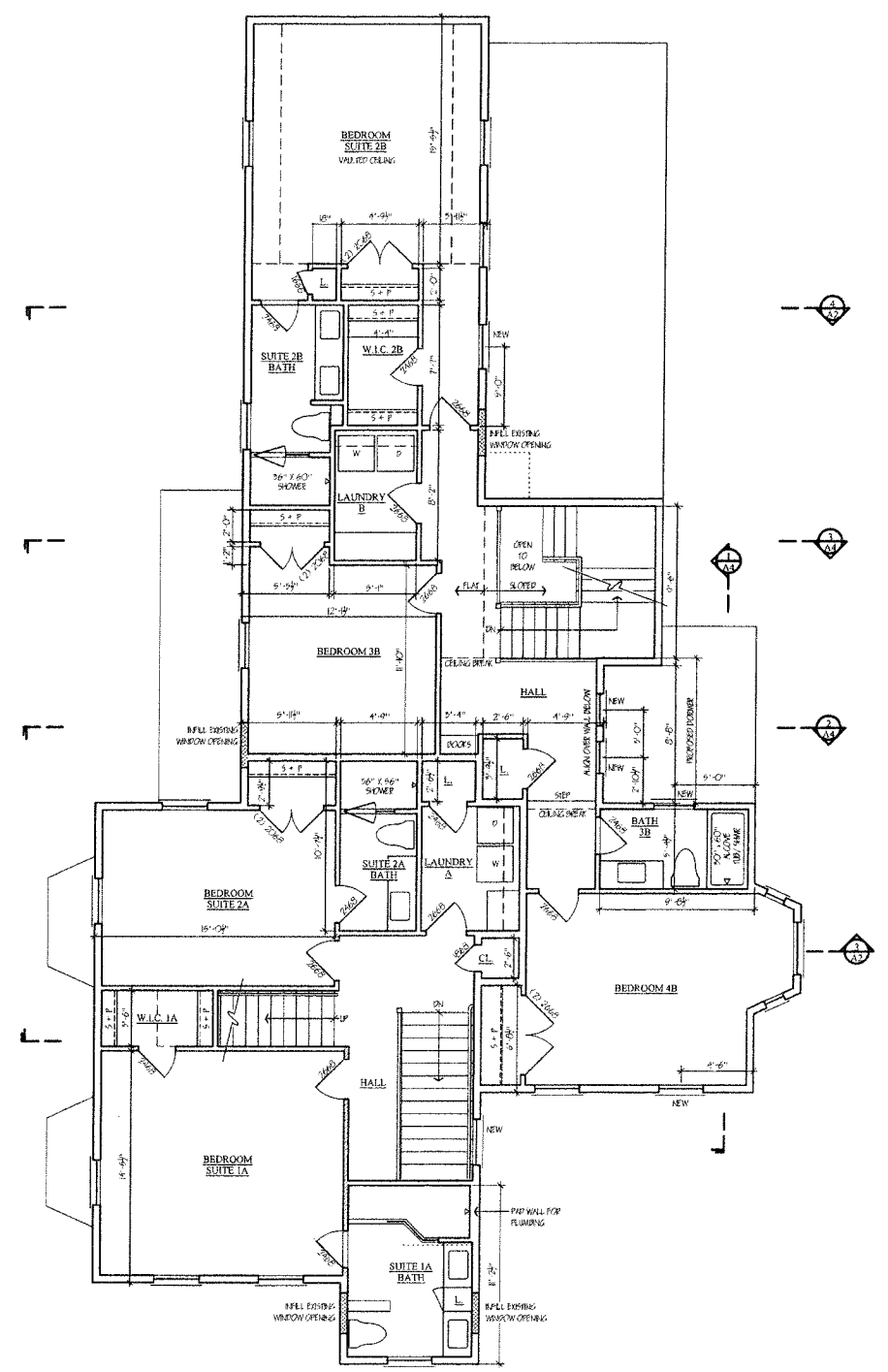
<b>UNIT A (FRONT)</b> (4 BEDROOMS, 4 BATHS, 1 - 1/2 BATH)
BASEMENT : 849 SF
FIRST FLOOR : 755 SF
SECOND FLOOR : 840 SF
ATTIC : 655 SF
TOTAL : 3099 SF
<b>UNIT B (MIDDLE)</b> (4 BEDROOMS, 3 BATHS, 2 - 1/2 BATHS)
BASEMENT : 1075 SF
FIRST FLOOR : 1312 SF
SECOND FLOOR : 1185 SF
TOTAL : 3572 SF
<b>ACCESSORY APARTMENT</b> (1 BEDROOM, 2 BATHS)
BASEMENT : 457 SF
FIRST FLOOR : 514 SF
TOTAL : 971 SF

FLOOR PLANS (ACCESSORY APARTMENT) & NOTES



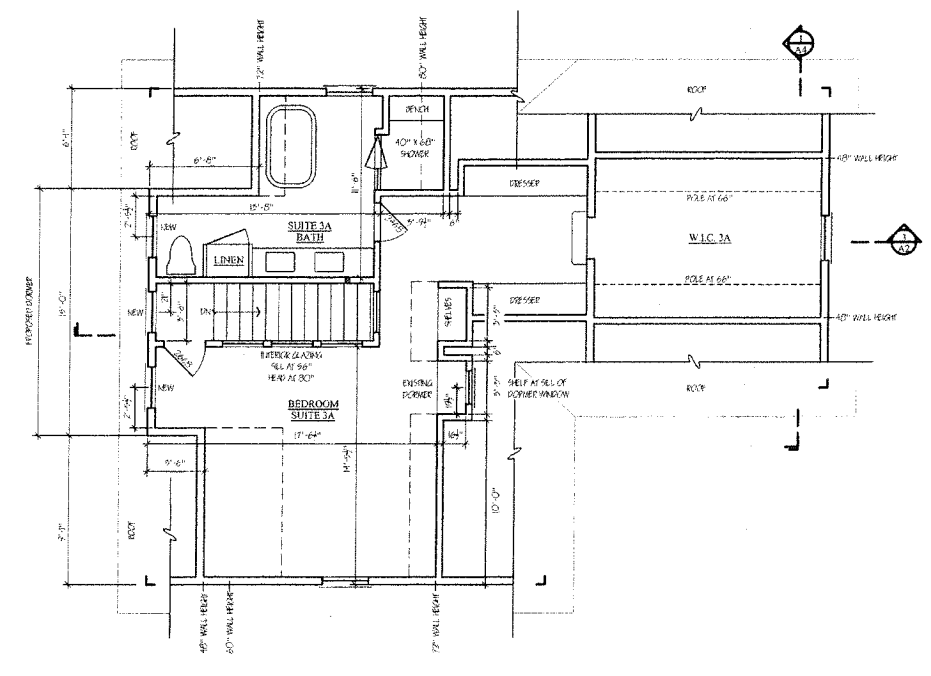
1 PROPOSED FIRST FLOOR PLAN

— EXISTING WALL TO REMAIN WITH MODIFICATION  
= NEW CONSTRUCTION



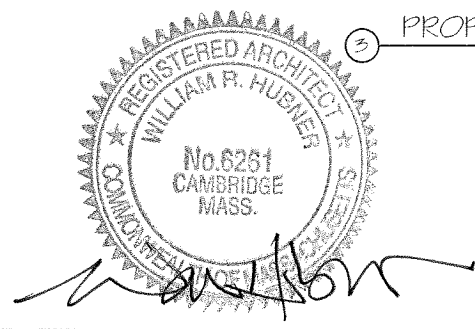
2 PROPOSED SECOND FLOOR PLAN

— EXISTING WALL TO REMAIN WITH MODIFICATION  
= NEW CONSTRUCTION



3 PROPOSED ATTIC LEVEL PLAN

— NEW CONSTRUCTION  
= EXISTING PARTITION (WALLS WITH FINISH)  
(4" S&P W/ 1/2" FINISH ON EACH SIDE)



Job #

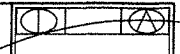
Project PROPOSED RENOVATION RESIDENCES AT 74 WADAN PARK NEWTON, MA

Scale 3/16" = 1'-0" UNO.

Date 06 JULY 2016

Revisions

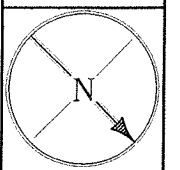
Sheet  
**A1**



**INCITE**  
ARCHITECTURE

**William R Hubner**  
ARCHITECT  
1620 Massachusetts Ave  
Lexington, MA 02420  
Tel: 781-862-3444  
Fax: 781-863-0722

ELEVATIONS & SECTIONS



Job #  
Project  
PROPOSED RENOVATION  
RESIDENCES AT  
74 WABAN PARK  
NEWTON, MA

Scale  
1/4" = 1'-0" UNO  
Date  
08 JUNE 2016  
Revisions

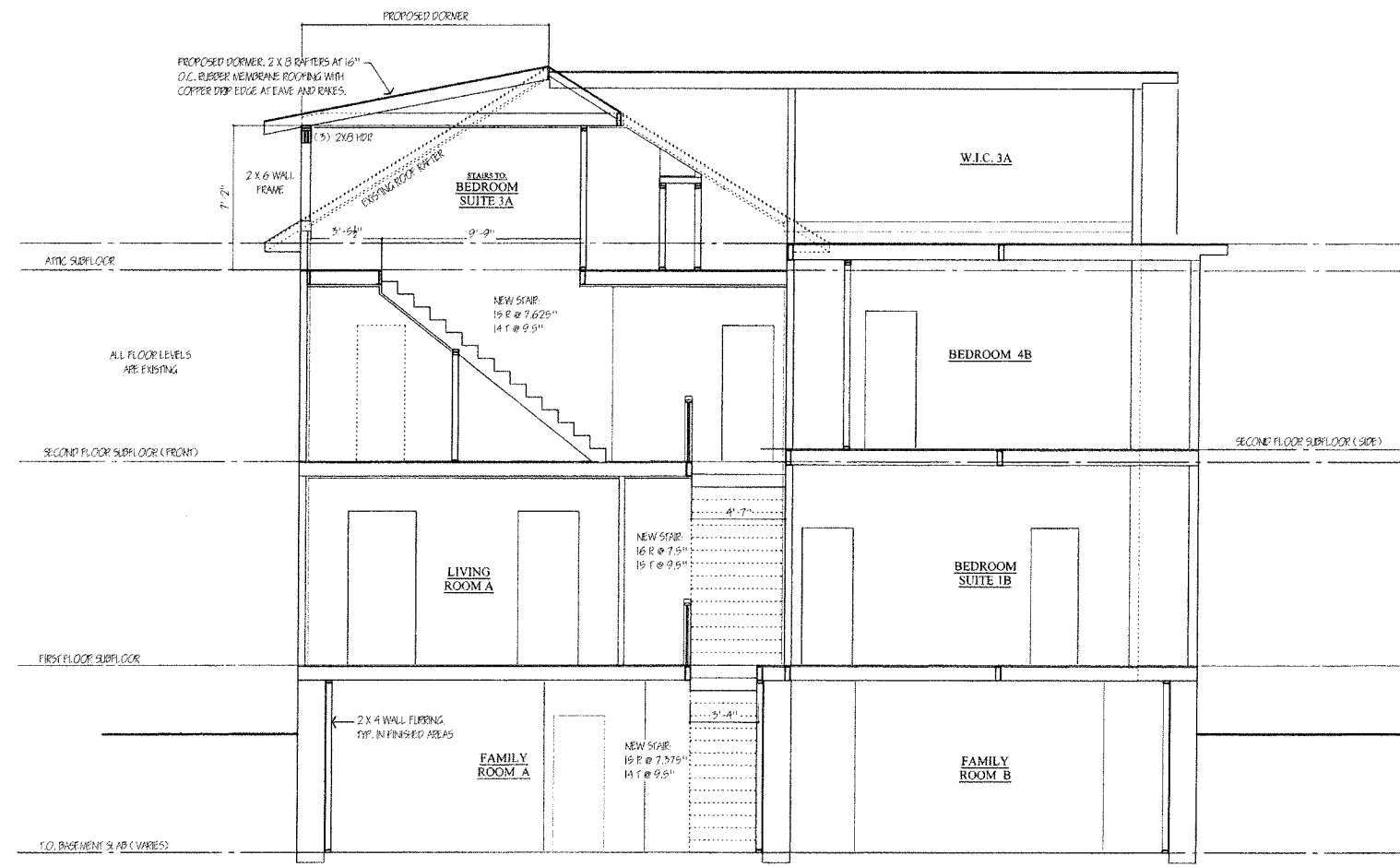
Sheet  
**A2**



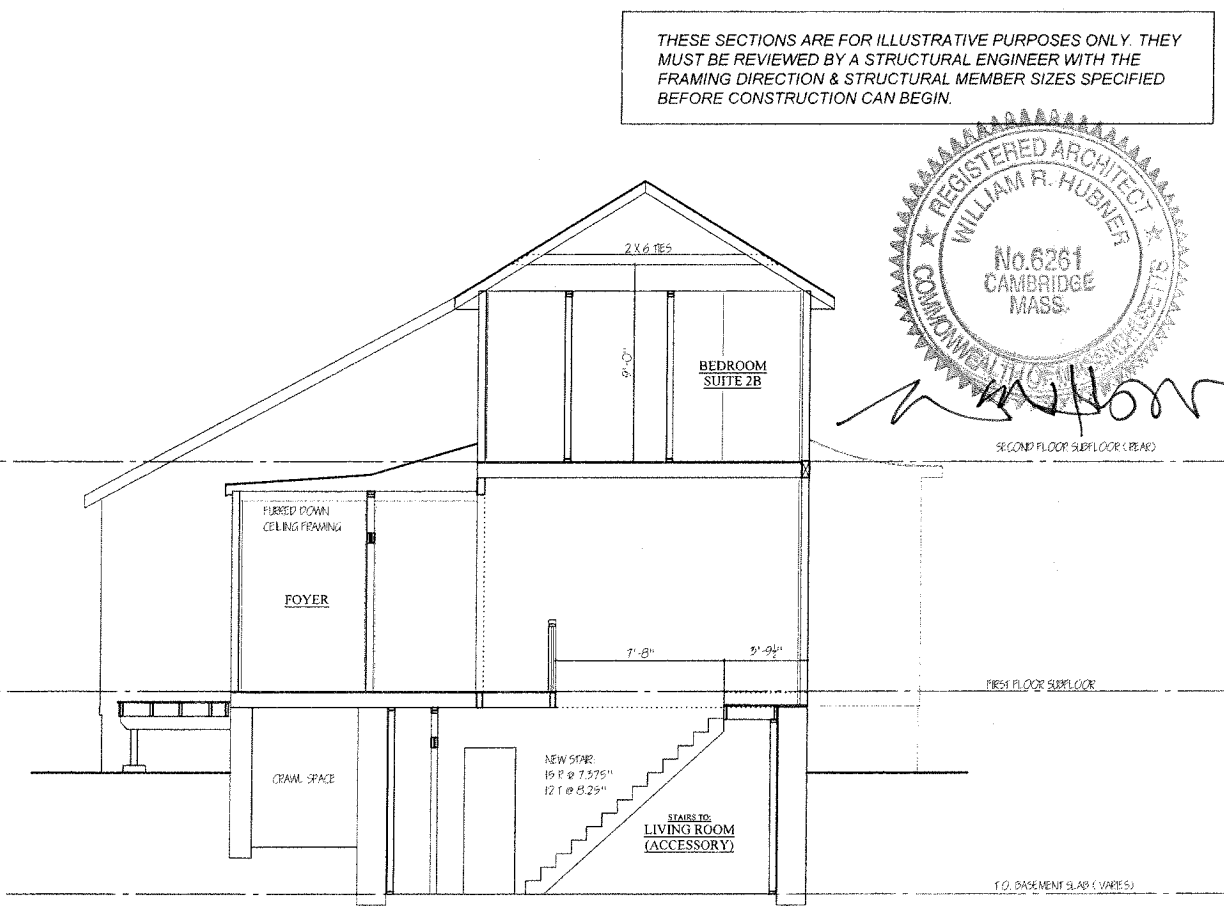
① FRONT (NORTHEAST) ELEVATION



② REAR (SOUTHWEST) ELEVATION

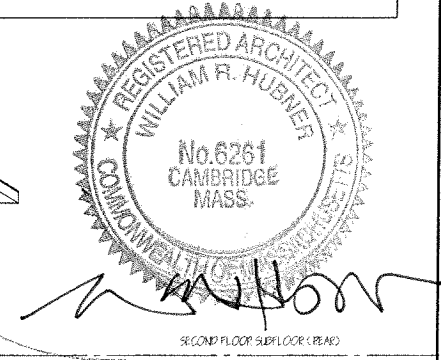


③ SECTION AT FRONT & SIDE WING



④ SECTION AT REAR

THESE SECTIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY MUST BE REVIEWED BY A STRUCTURAL ENGINEER WITH THE FRAMING DIRECTION & STRUCTURAL MEMBER SIZES SPECIFIED BEFORE CONSTRUCTION CAN BEGIN.





① SIDE (SOUTHEAST) ELEVATION

- GENERAL ELEVATION NOTES:
- ① EXISTING WINDOW OPENING WITH NEW WINDOW
  - ② MODIFIED EXISTING WINDOW OPENING WITH NEW WINDOW
  - ③ NEW WINDOW OPENING

**INCITE**  
ARCHITECTURE

William R. Hubner  
ARCHITECT

1620 Massachusetts Ave  
Lexington, MA 02420  
Tel: 781-862-3444  
Fax: 781-863-0722

Sheet Title  
ELEVATIONS



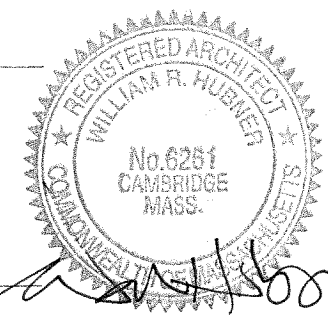
Job #

Project  
PROPOSED RENOVATION  
RESIDENCES AT  
74 WAPAN PARK  
NEWTON, MA

Scale  
1/4" = 1'-0" U.N.O.

Date  
08 JUNE 2016

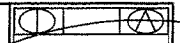
Revisions



② SIDE (NORTHWEST) ELEVATION

Sheet

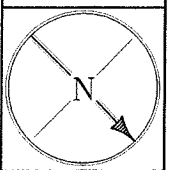
A3



**INCITE**  
ARCHITECTURE

**William R Hubner**  
ARCHITECT  
1620 Massachusetts Ave  
Lexington, MA 02420  
Tel: 781-862-3444  
Fax: 781-863-0722

Sheet Title  
**SECTIONS & NOTES**



Job #

Project  
PROPOSED RENOVATION  
RESIDENCES AT  
74 WABAN PARK  
NEWTON, MA

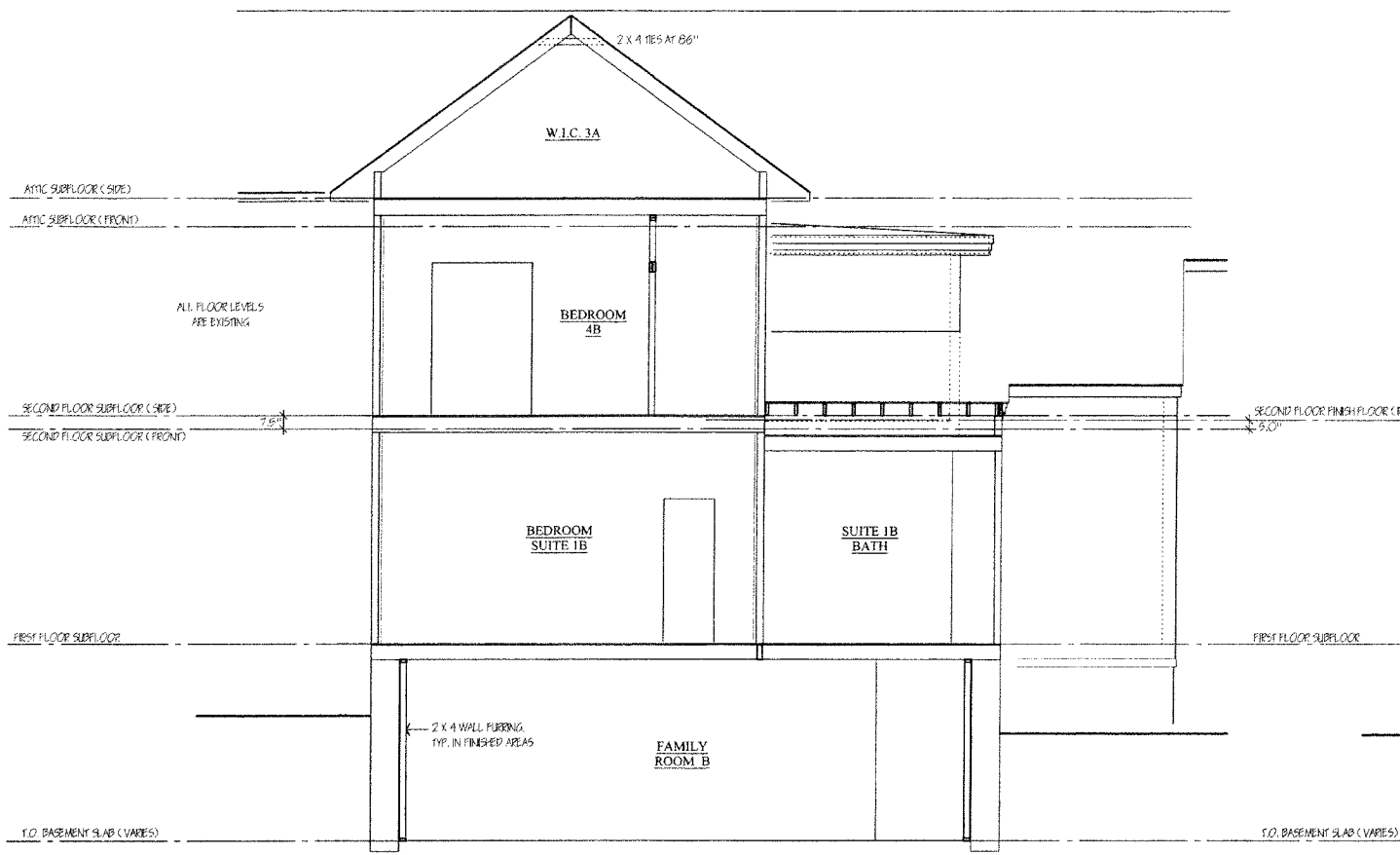
Scale  
1/4" = 1'-0" U.N.O.

Date  
08 JUNE 2016

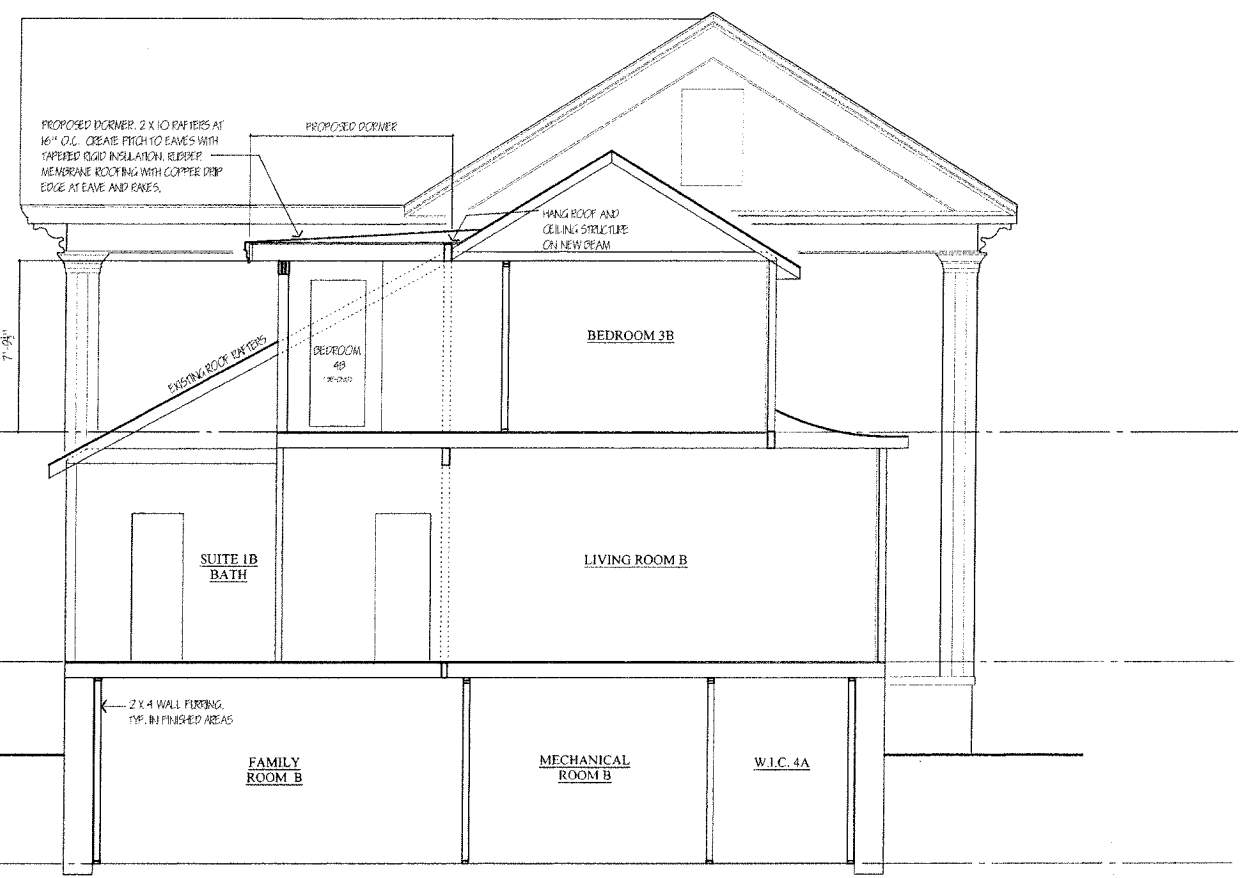
Revisions

Sheet

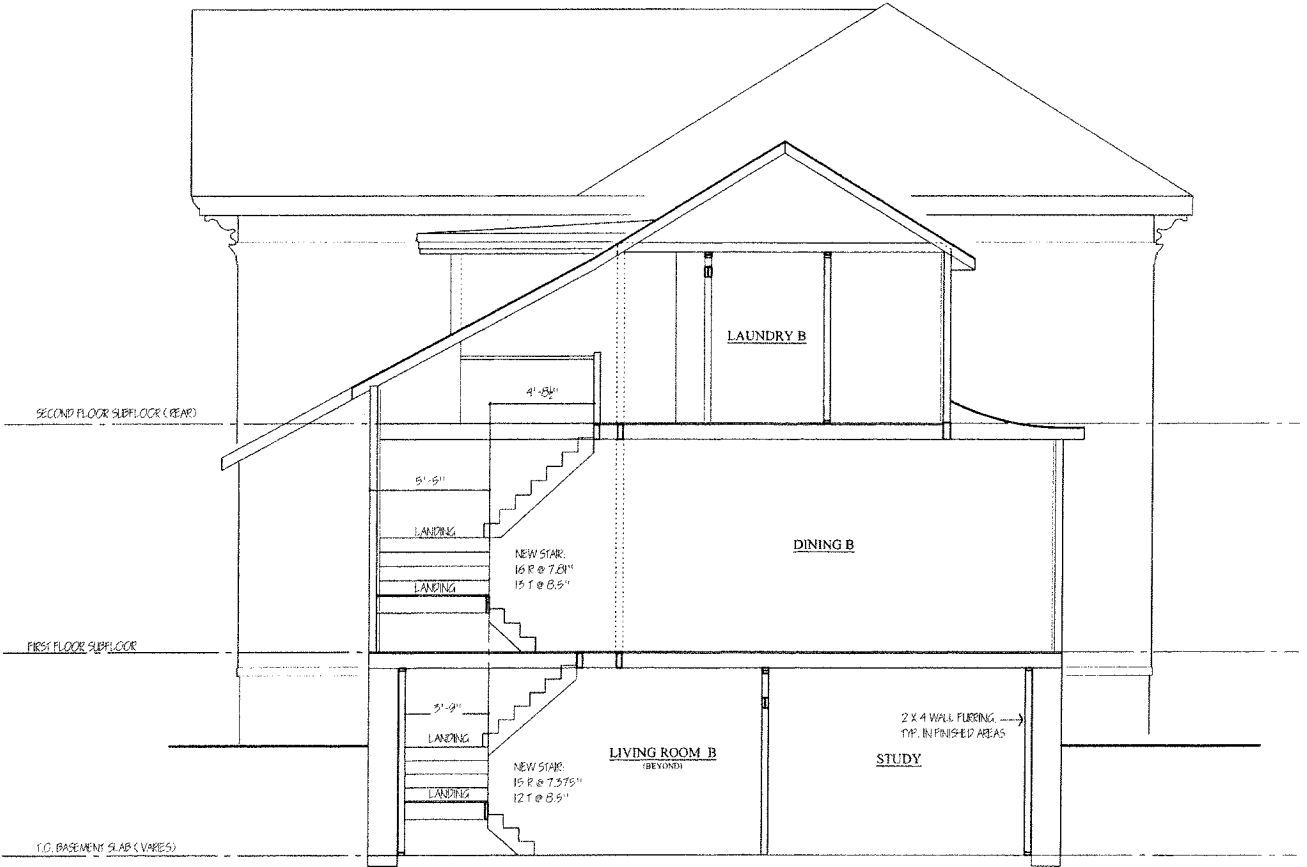
**A4**



① SECTION THROUGH SIDE WING



② SECTION AT MIDDLE (HALL)

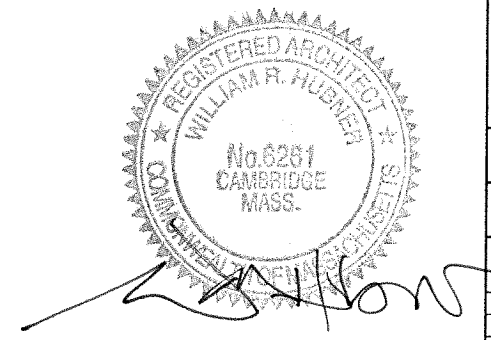


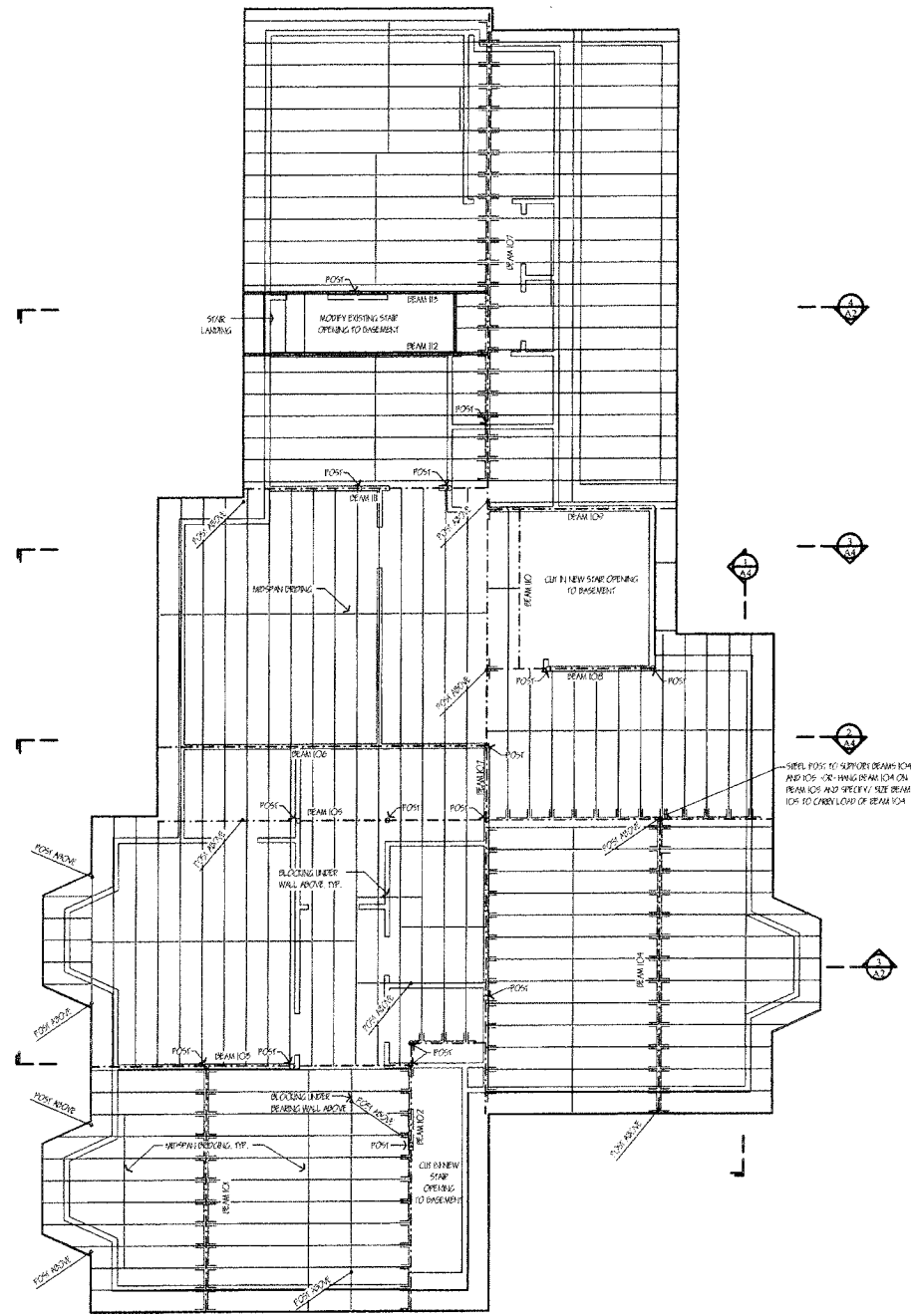
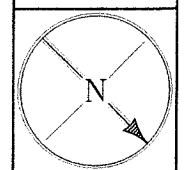
③ SECTION AT MIDDLE (STAIR)

**INSULATION NOTES:**  
THE FOLLOWING COMPLY WITH THE 2012 IBC BUILDING ENERGY CODE  
  
ZONE 5A (MOIST) CLIMATE ZONE, AIR LEAKAGE RATE SHOULD NOT EXCEED 5 AIR CHANGES/HOUR.  
  
PENETRATION U-FACTOR 0.32 MAX  
PROVIDE A CONTINUOUS AIR BARRIER FOR EXTERIOR THERMAL ENVELOPE.  
  
EXTERIOR FRAME WALLS  
MINIMUM R-VALUE OF R-20  
  
BASEMENT EXTERIOR WALLS  
MIN. R-VALUE OF R-19 IN FINISHED WALL CAVITIES.  
  
ROOF OR CEILING  
MINIMUM R-49 IN RAFTER BAYS OR ATTIC FLOORS  
EXCEPTION: R-30 ACCEPTABLE WHERE FULL HEIGHT, UNCOMPRESSED INSULATION EXTENDS OVER WALL TOP PLATE AT EAVES.

**TYPICAL WALL FRAMING CONSTRUCTION:**  
  
NEW INTERIOR WALLS  
2 X 4 WOOD STUDS @ 16" O.C., TYP.  
  
DORMER WALLS  
DORMER WALLS TO BE SPAGGER, SOLID 2 X 4 @ 16" O.C.  
ONE SIDE 3/4" SHEETROCK APPLIED DIRECTLY TO STUDS.  
ONE SIDE 1/2" HOMOSOTE APPLIED DIRECTLY TO STUDS WITH 3/8" SHEETROCK.  
  
NEW EXTERIOR DORMER WALLS  
2 X 6 WOOD STUDS @ 16" O.C.  
1/2" OSB SHEATHING W/ AIR & WATER BARRIER  
INFILTRATION BARRIER (TYVEK OR EQUAL) HOUSE WRAP WITH TAPERED SEAMS) CREATE SILL DAMS @ ALL WINDOW AND DOOR OPENINGS.  
  
NEW ROOFING  
5/8" CDX PLYWOOD W/ AIR & WATER BARRIER OVER RAFTERS  
  
NEW SUB-FLOORING  
3/4" CDX PLYWOOD  
  
CEILING / FLOOR BETWEEN DWELLING UNITS  
SHEAP UNDERSIDE OF JOISTS WITH RESILIENT FLOORING CHANNELS APPLY (2) LAYERS OF 1/2" G.W.B. TO CHANNELS  
FINISH WITH VENEER PLASTER SKIN COAT, PRIME, PAINT.  
INSULATE TO EXTERIOR ENVELOPE SPECIFICATION R-30 MIN. IN ALL CEILING/FLOORS.

THESE SECTIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY MUST BE REVIEWED BY A STRUCTURAL ENGINEER WITH THE FRAMING DIRECTION & STRUCTURAL MEMBER SIZES SPECIFIED BEFORE CONSTRUCTION CAN BEGIN.





**FIRST FLOOR FRAMING NOTES:**

- GENERALLY, FIRST FLOOR JOISTS ARE CLIP SHAVE, APPROXIMATELY 0" - 2" DEEP.
- NEW BEAMS ARE TO BE LVL OR STEEL TO BE SIZED BY A STRUCTURAL ENGINEER.
- ALL POSTS 2" x 4" STEEL COLUMN BAND.
- PROVIDE MESSYAN BRIDGING FOR ALL SPANS GREATER THAN 8'-0".
- SOLID BLOCK FLOOR STRUCTURE UNDER ALL POSTS AND JOISTS.
- PROVIDE JOIST UNDER ALL PARTITION WALLS.
- PAD A FLOOR JOIST WITH A SIM JOIST AT THE EXTERIOR WALL WHEN BRIDGING PARALLEL TO THE JOIST.
- USE REINFORCED CONCRETE FOR ALL FRAMING IN CONTACT WITH CONCRETE OR MASONRY.
- HEADERS 1-2" x 4" x 8" x 1/2" PLYWOOD FULLER BAND.

**FIRST FLOOR BEAM SCHEDULE:**

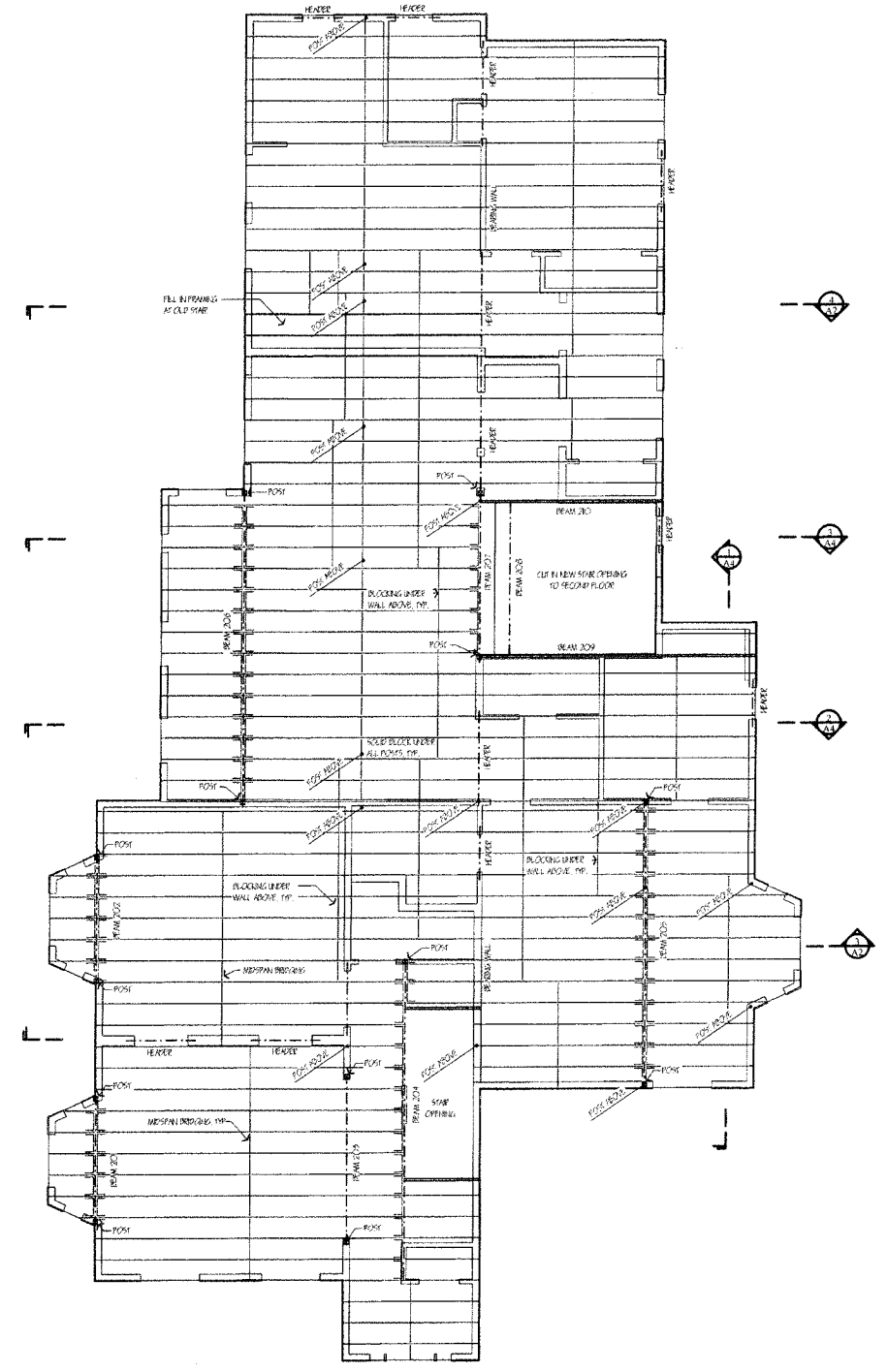
BEAM 101: FLUSH NEW  
BEAM 102: FLUSH STAIR BRICK NEW  
BEAM 103: UNDERLUNG, EXISTING BEAM'S LOCATION, NEW BEAM  
BEAM 104: FLUSH NEW  
BEAM 105: UNDERLUNG, EXISTING BEAM'S LOCATION, NEW BEAM  
BEAM 106: UNDERLUNG NEW  
BEAM 107: FLUSH EXISTING BEAM'S LOCATION, NEW BEAM  
BEAM 108: FLUSH STAIR BRICK NEW  
BEAM 109: FLUSH STAIR BRICK NEW  
BEAM 110: FLUSH STAIR BRICK NEW  
BEAM 111: UNDERLUNG NEW  
BEAM 112: FLUSH STAIR BRICK NEW  
BEAM 113: FLUSH STAIR BRICK NEW

NOTE: LVL BEAMS TO HAVE MINIMUM MODULUS OF ELASTICITY OF 1,900,000 in<sup>4</sup> (L19).

STEEL BEAMS TO HAVE MINIMUM YIELD STRENGTH OF 50,000 PSI.

1 FIRST FLOOR FRAMING PLAN

THESE FRAMING DIAGRAMS ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY MUST BE REVIEWED BY A STRUCTURAL ENGINEER WITH THE FRAMING DIRECTION & STRUCTURAL MEMBER SIZES SPECIFIED BEFORE CONSTRUCTION CAN BEGIN.



**SECOND FLOOR FRAMING NOTES:**

- GENERALLY, SECOND FLOOR JOISTS ARE CLIP SHAVE, 2" DEEP.
- NEW BEAMS ARE TO BE LVL OR STEEL TO BE SIZED BY A STRUCTURAL ENGINEER.
- ALL POSTS 2" x 4" BAND.
- PROVIDE MESSYAN BRIDGING FOR ALL SPANS GREATER THAN 8'-0".
- SOLID BLOCK FLOOR STRUCTURE UNDER ALL POSTS AND JOISTS.
- PROVIDE JOIST UNDER ALL PARTITION WALLS.
- PAD A FLOOR JOIST WITH A SIM JOIST AT THE EXTERIOR WALL WHEN BRIDGING PARALLEL TO THE JOIST.
- BRIDGING UNDER HEADERS TO REBAR FULLER.
- ALL NEW HEADERS 1-2" x 4" x 8" x 1/2" PLYWOOD FULLER BAND.

**SECOND FLOOR BEAM SCHEDULE:**

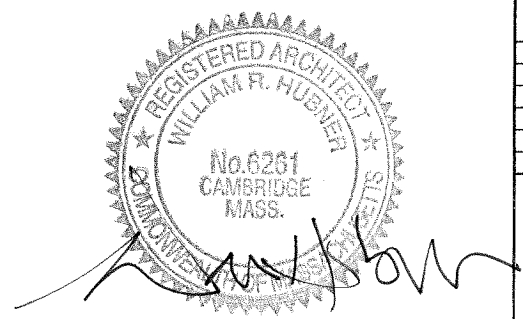
BEAM 201: FLUSH EXISTING LOCATION, NEW BEAM  
BEAM 202: FLUSH EXISTING LOCATION, NEW BEAM  
BEAM 203: UNDERLUNG, EXISTING LOCATION, NEW BEAM (HEADER)  
BEAM 204: FLUSH STAIR BRICK, NEW BEAM  
BEAM 205: FLUSH NEW BEAM  
BEAM 206: FLUSH EXISTING LOCATION, NEW BEAM  
BEAM 207: FLUSH EXISTING BEAM'S LOCATION, NEW BEAM  
BEAM 208: FLUSH STAIR BRICK, NEW  
BEAM 209: FLUSH STAIR BRICK, NEW  
BEAM 210: FLUSH STAIR BRICK, NEW

NOTE: LVL BEAMS TO HAVE MINIMUM MODULUS OF ELASTICITY OF 1,900,000 in<sup>4</sup> (L19).

STEEL BEAMS TO HAVE MINIMUM YIELD STRENGTH OF 50,000 PSI.

2 SECOND FLOOR FRAMING PLAN

THESE FRAMING DIAGRAMS ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY MUST BE REVIEWED BY A STRUCTURAL ENGINEER WITH THE FRAMING DIRECTION & STRUCTURAL MEMBER SIZES SPECIFIED BEFORE CONSTRUCTION CAN BEGIN.





### EXISTING LEGEND

—	SEWER LINE
⊙	SEWER MANHOLE
—	WATER LINE
—	GAS LINE
—	UTILITY POLE
—	GAS VALVE
—	OVERHEAD ELECTRIC SERVICE
—	WATER VALVE
□	CATCH BASIN
—	FENCE
-205	CONTOUR LINE (MJR)
-195	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊕	HYDRANT
⊗	TREE

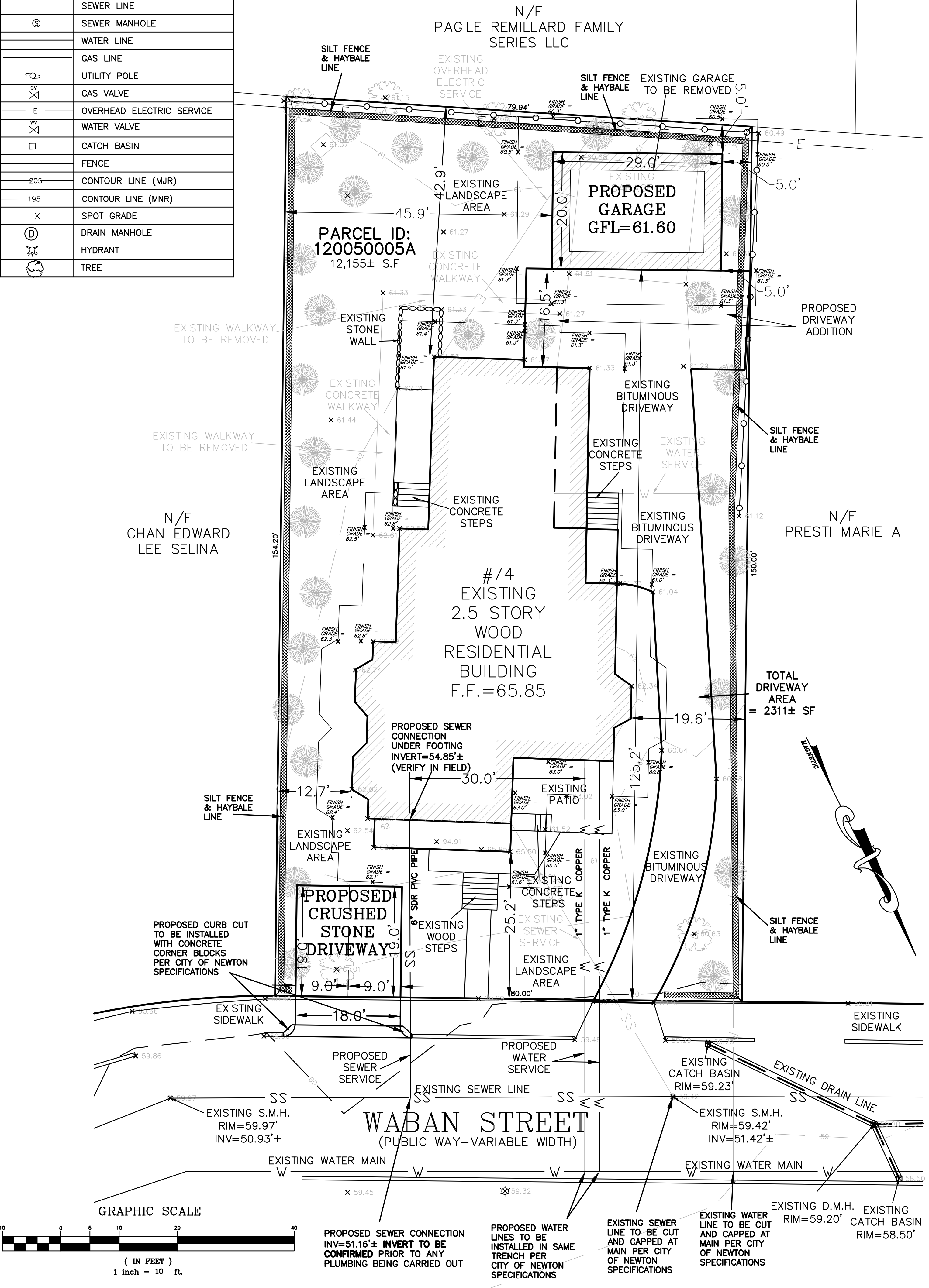
### ZONING LEGEND

ZONING DISTRICT: MULTI RESIDENCE 1 (LOT CREATED BEFORE 12/07/1953)

	REQUIRED	PROPOSED	COMPLIANCE
MIN. AREA	7,000 S.F.	12,155± S.F.	YES
MAX. LOT COVERAGE	30%	29.07± %	YES
MIN. OPEN SPACE	50%	50.46± %	YES
MIN. FRONTAGE	70'	80'	YES
<b>PROPOSED MAIN BUILDING ADDITION</b>			
MIN. YARD FRONT	25'	25.2'	YES
SIDE	7.6'	12.7'	YES
REAR	15'	42.9'	YES
MAX. BLDG. HEIGHT	36'	32.91'	YES
<b>PROPOSED GARAGE</b>			
MIN. YARD FRONT	25'	125.2'	YES
SIDE	5.0' (ACCESSORY)	5.0'	YES
REAR	5.0' (ACCESSORY)	5.0'	YES
MAX. BLDG. HEIGHT	22' (ACCESSORY)	15.89'	YES

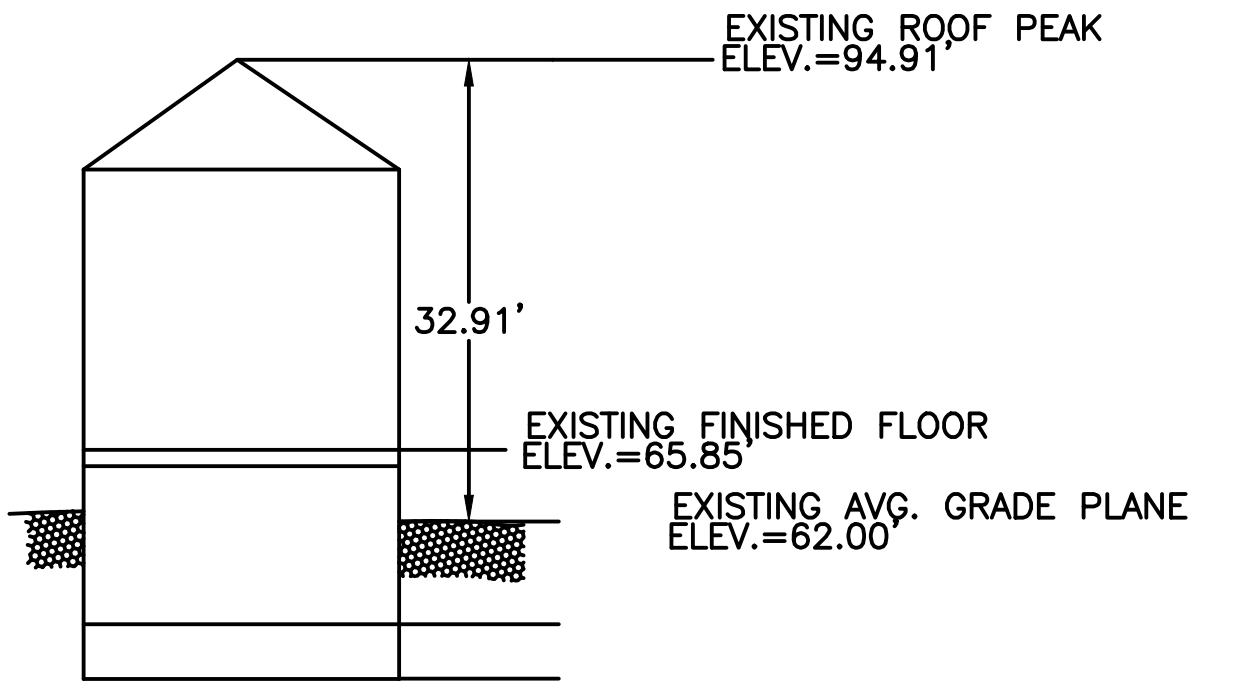
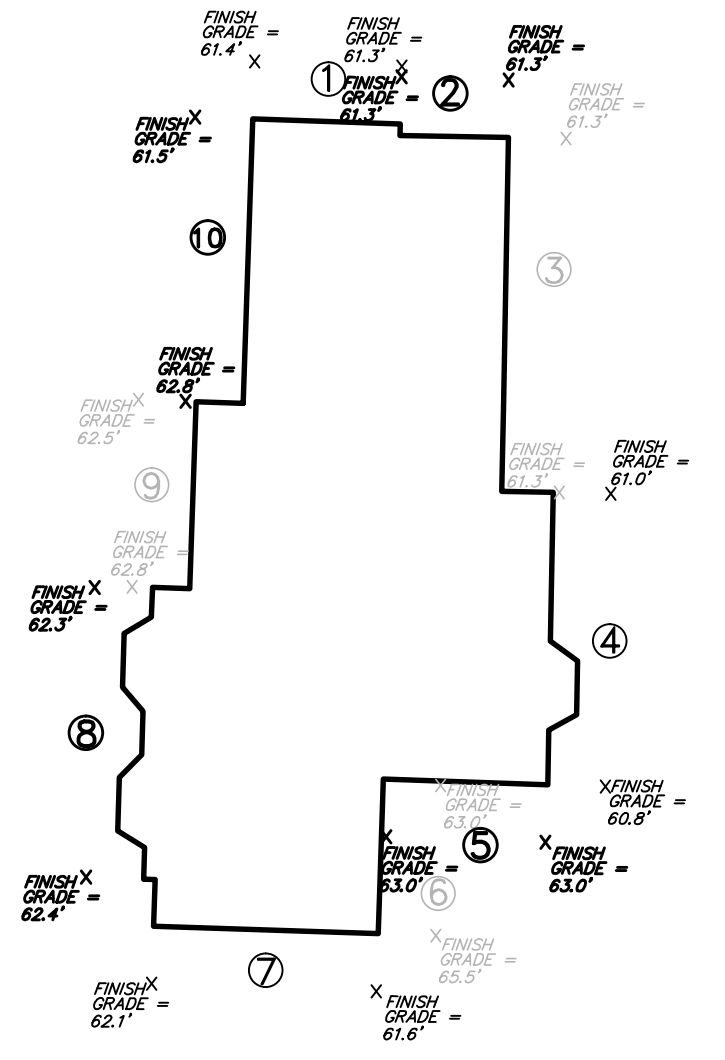
EXISTING BUILDING  
AVERAGE GRADE PLANE (ALL UNITS IN FEET)

SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	15.40	61.40	61.30	61.35	944.79
2	11.31	61.30	61.30	61.30	693.30
3	36.87	61.30	61.30	61.30	2,260.13
4	30.44	61.00	60.80	60.90	1,853.80
5	17.13	63.00	63.00	63.00	1,079.19
6	16.12	63.00	65.50	64.25	1,035.71
7	23.41	61.60	62.10	61.85	1,447.91
8	30.40	62.40	62.30	62.35	1,895.44
9	19.49	62.80	62.50	62.65	1,221.05
10	29.63	62.80	61.50	62.15	1,841.50
SUM =	230.20				14,272.82
SUM OF MEAN x LENGTH / SUM OF LENGTHS = AVERAGE GRADE PLANE =					62.00

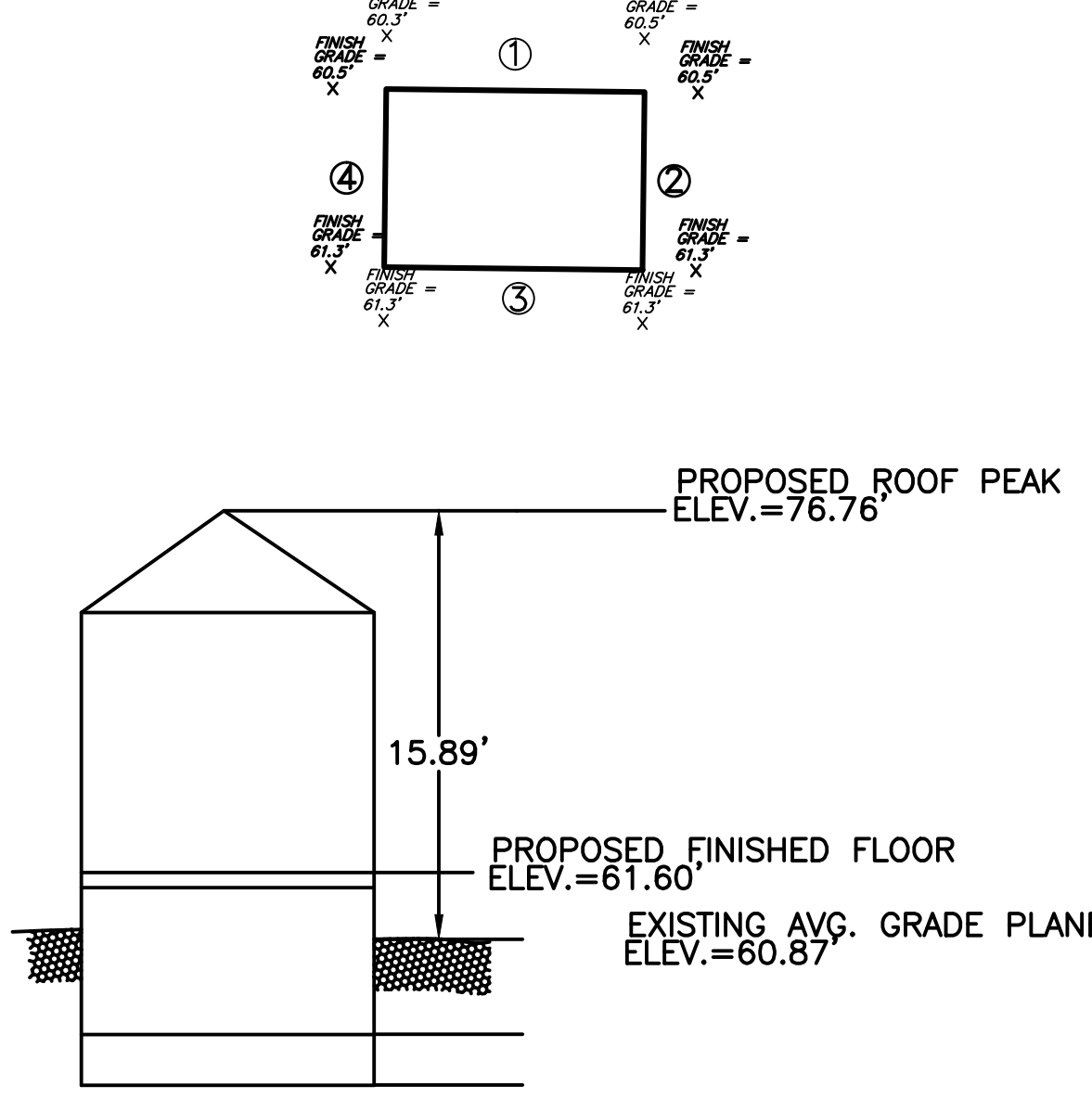


PROPOSED GARAGE  
AVERAGE GRADE PLANE (ALL UNITS IN FEET)

SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	29.00	60.30	60.50	60.40	1,751.60
2	20.00	60.50	61.30	60.90	1,218.00
3	29.01	61.30	61.30	61.30	1,778.31
4	20.00	61.30	60.50	60.90	1,218.00
SUM =	98.01				5,965.91
SUM OF MEAN x LENGTH / SUM OF LENGTHS = AVERAGE GRADE PLANE =					60.87



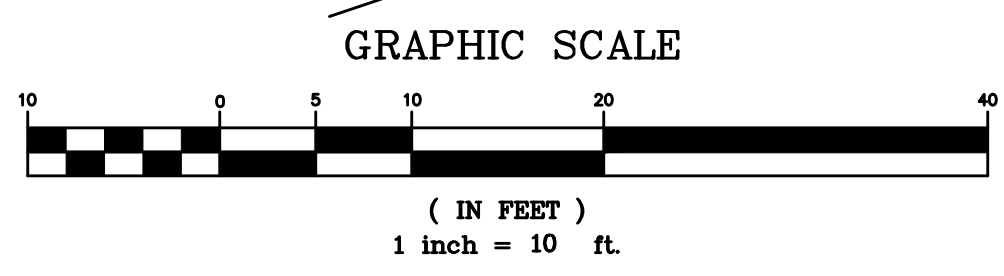
EXISTING BUILDING PROFILE  
NOT TO SCALE



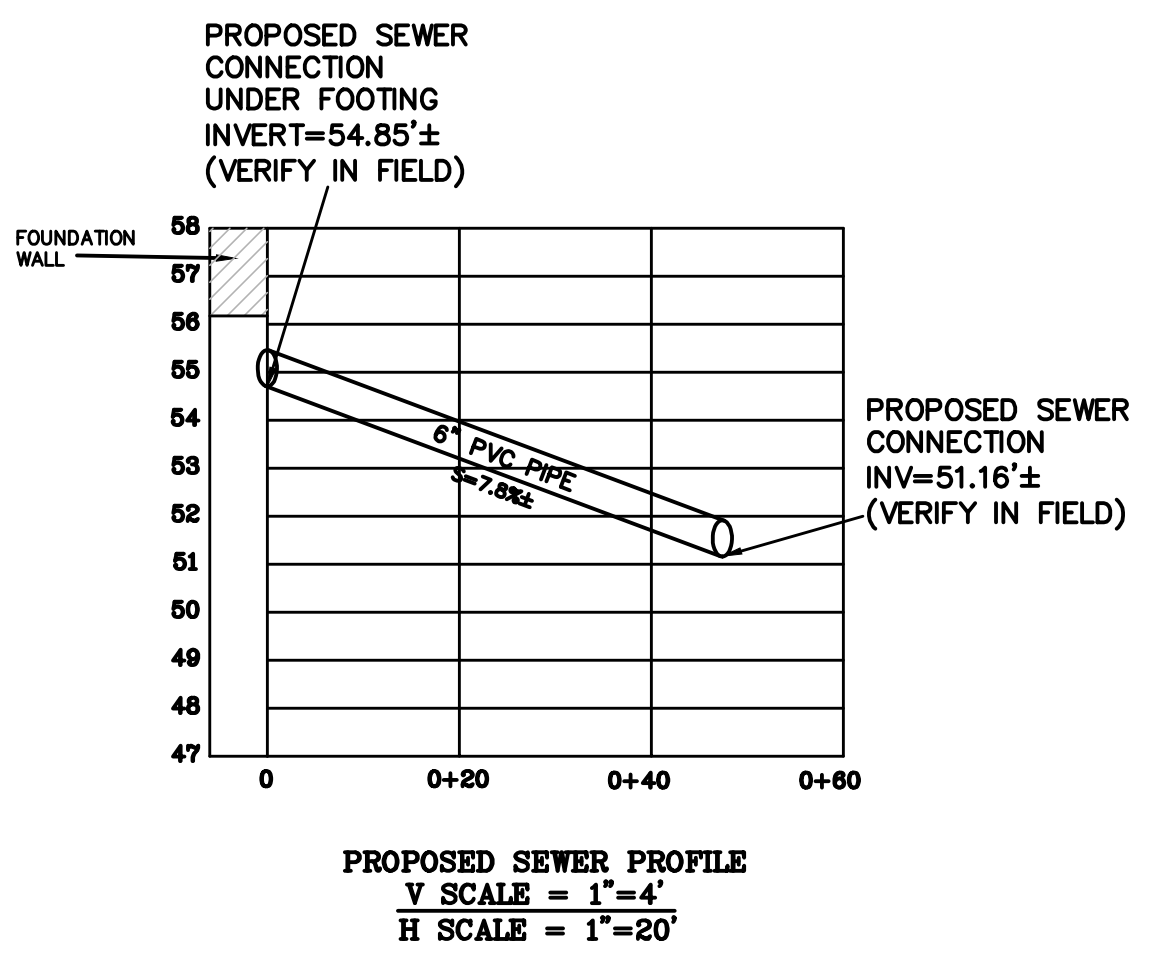
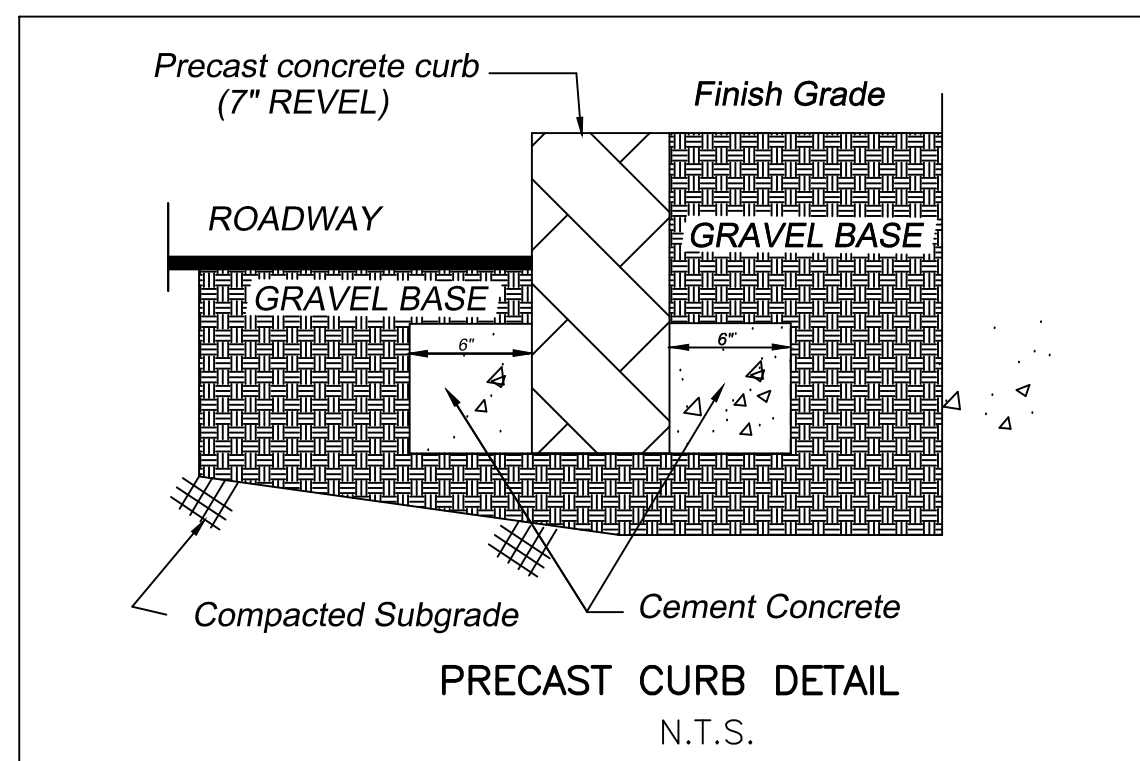
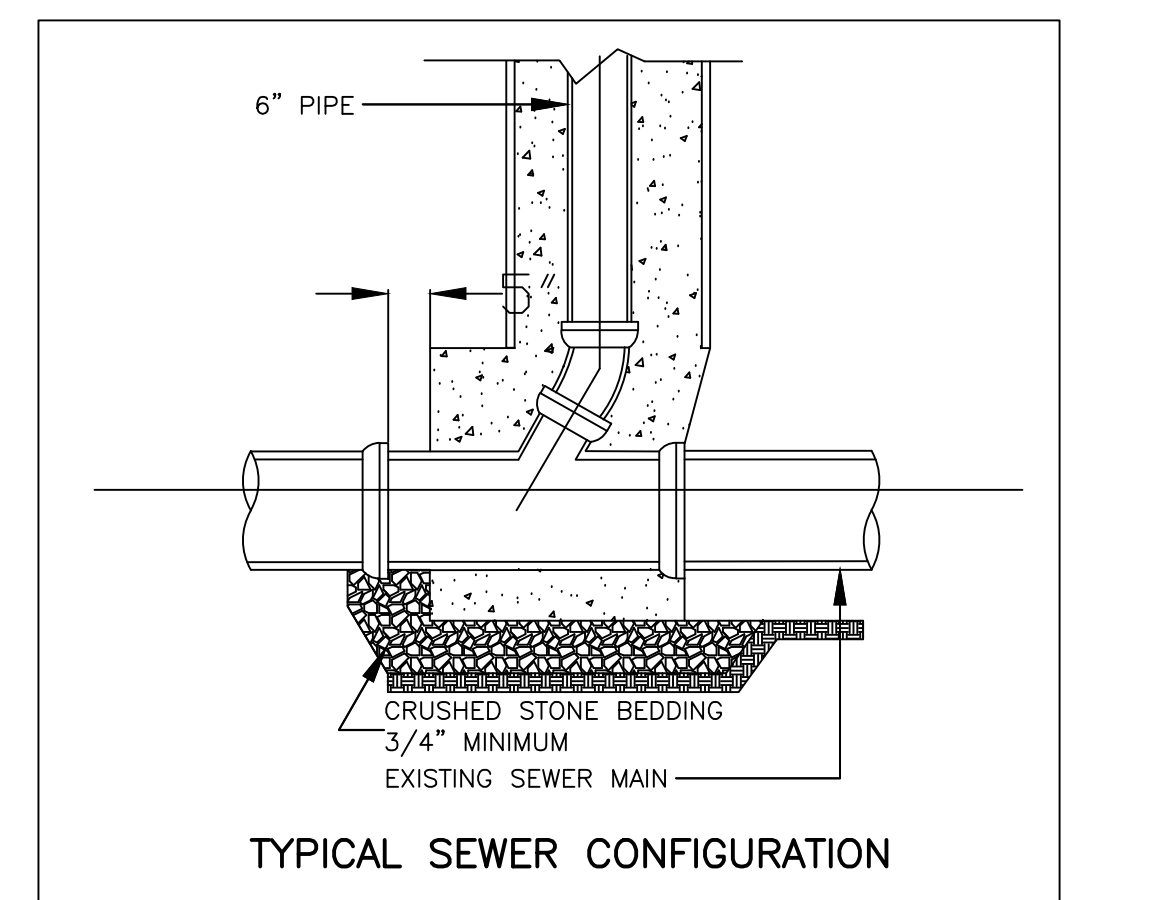
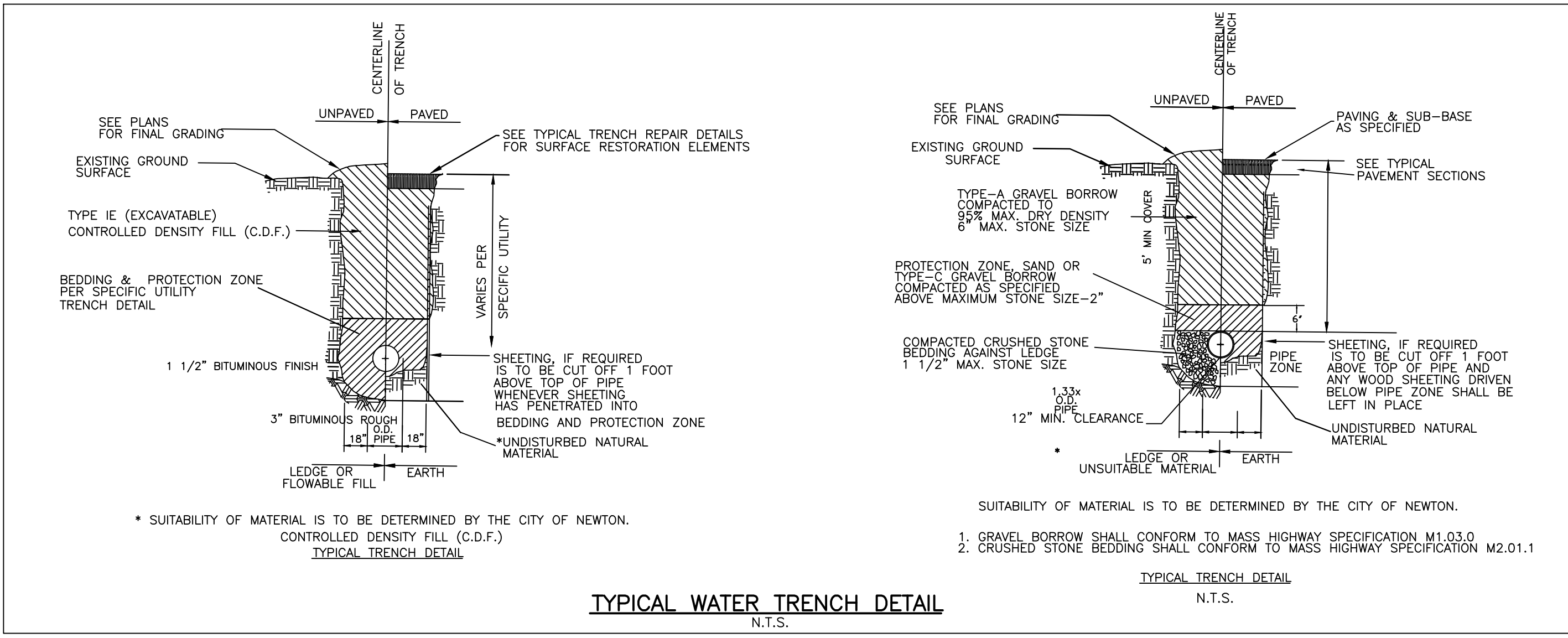
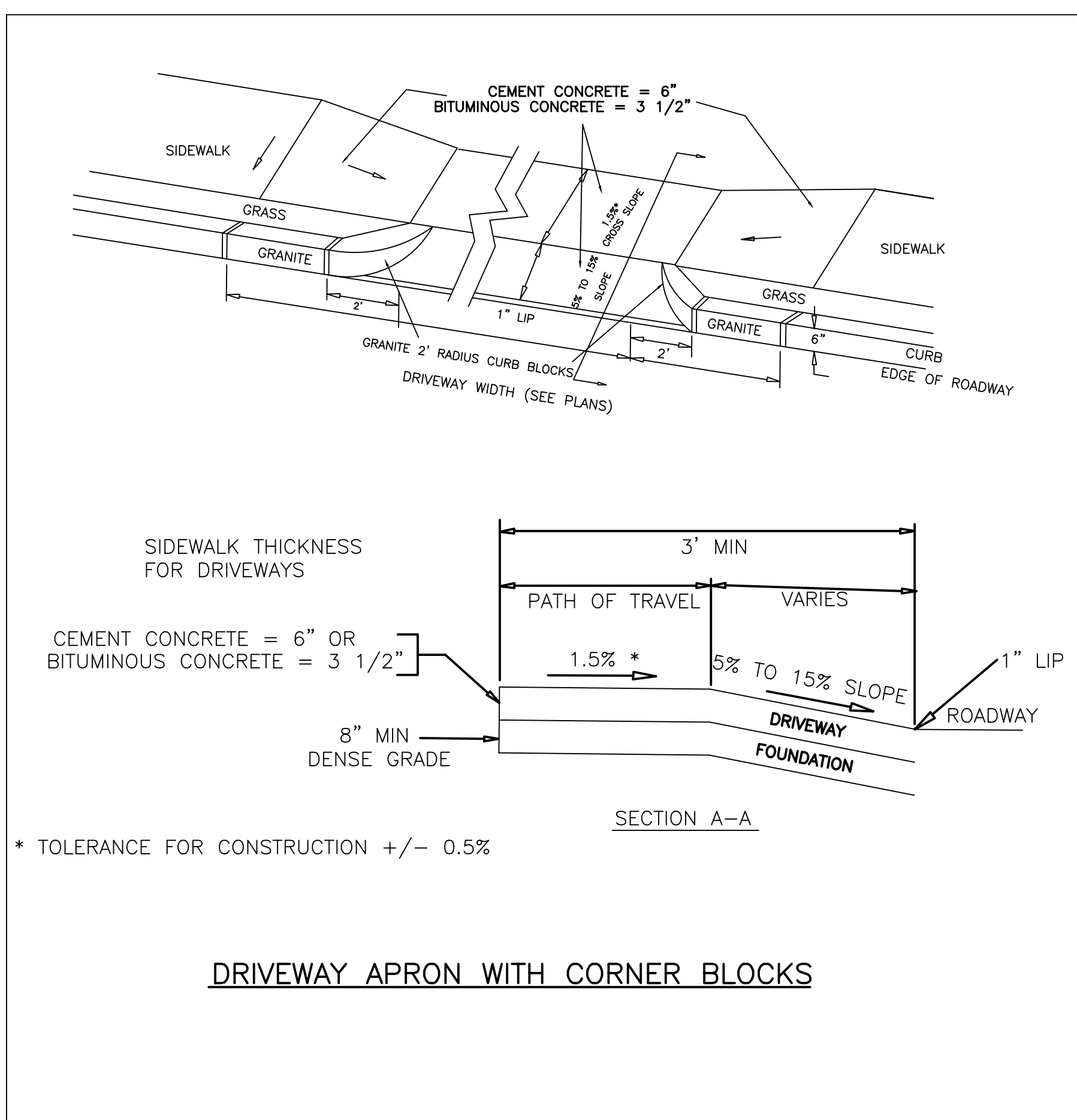
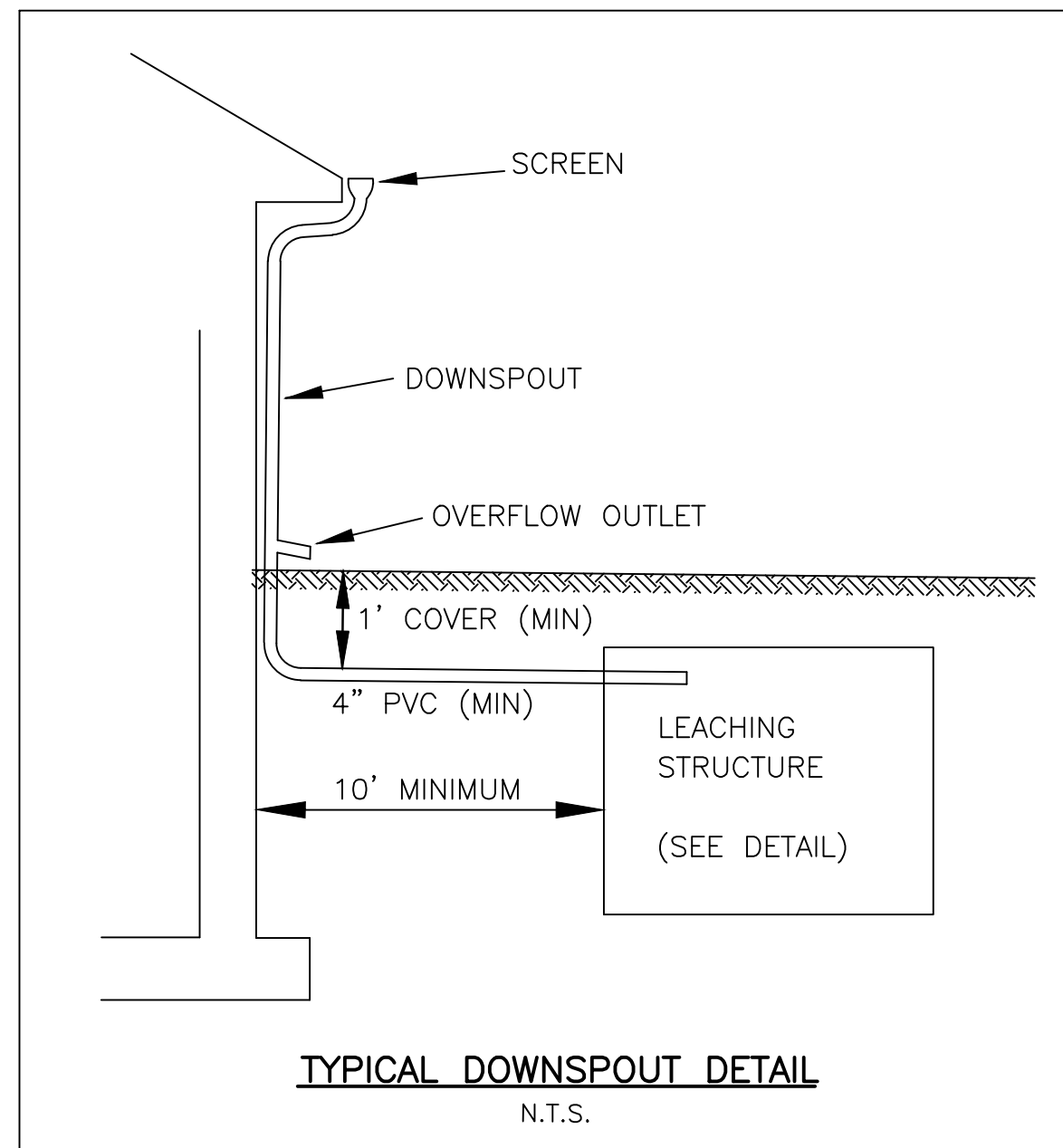
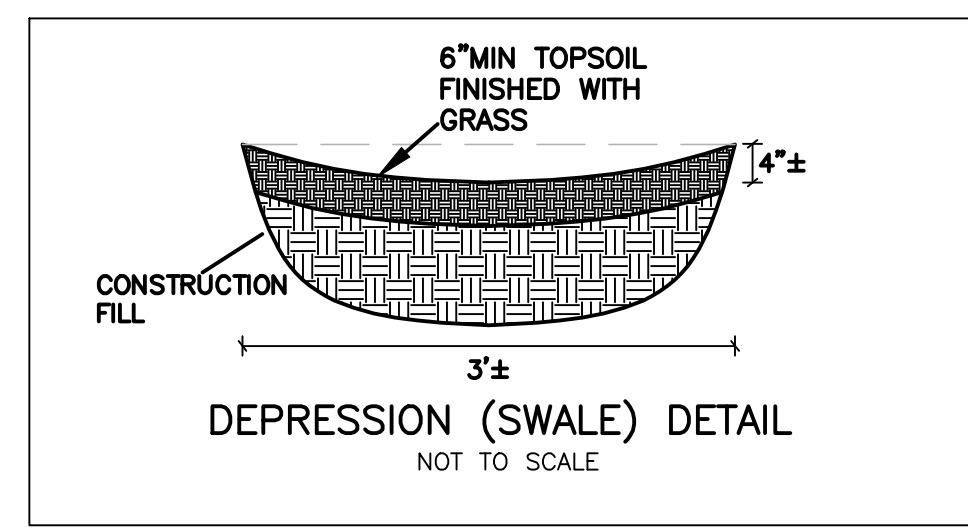
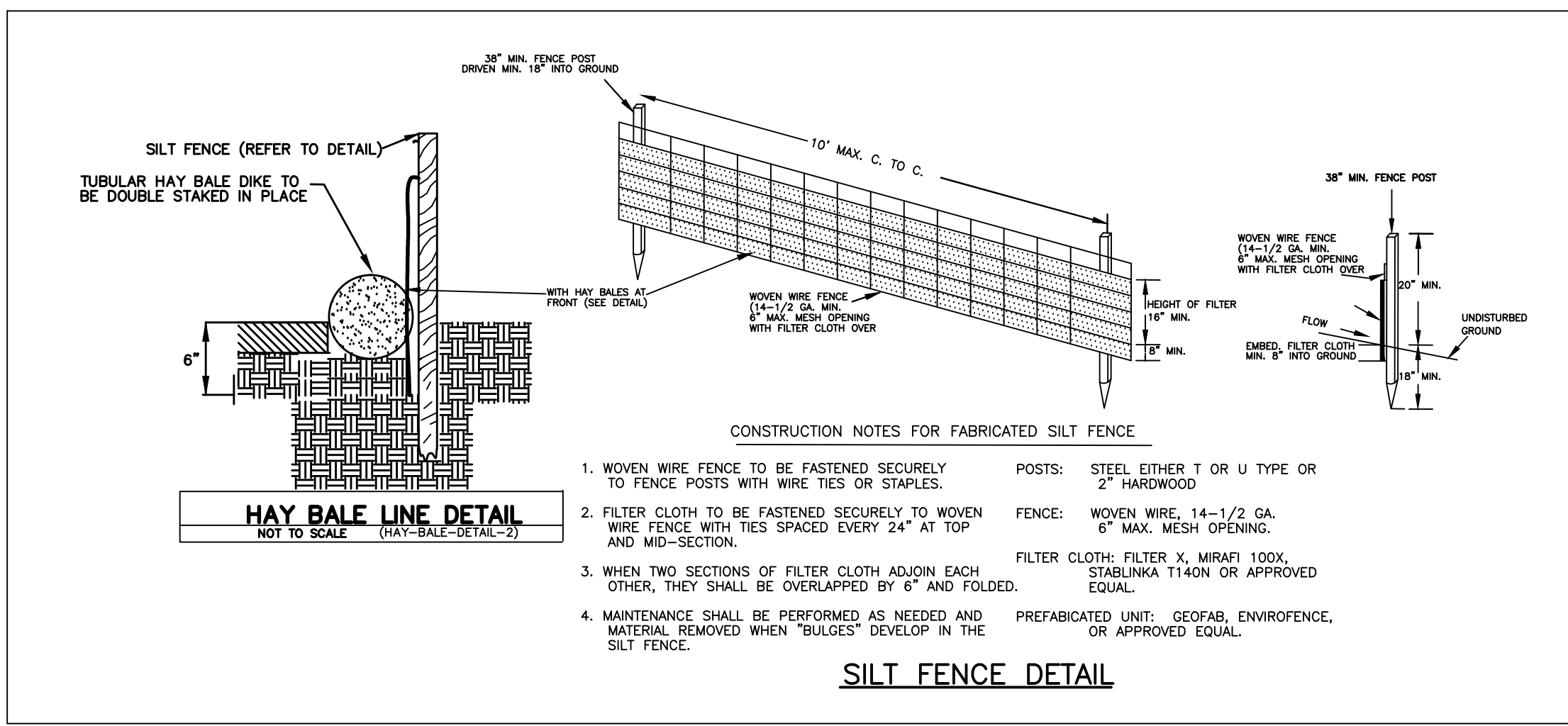
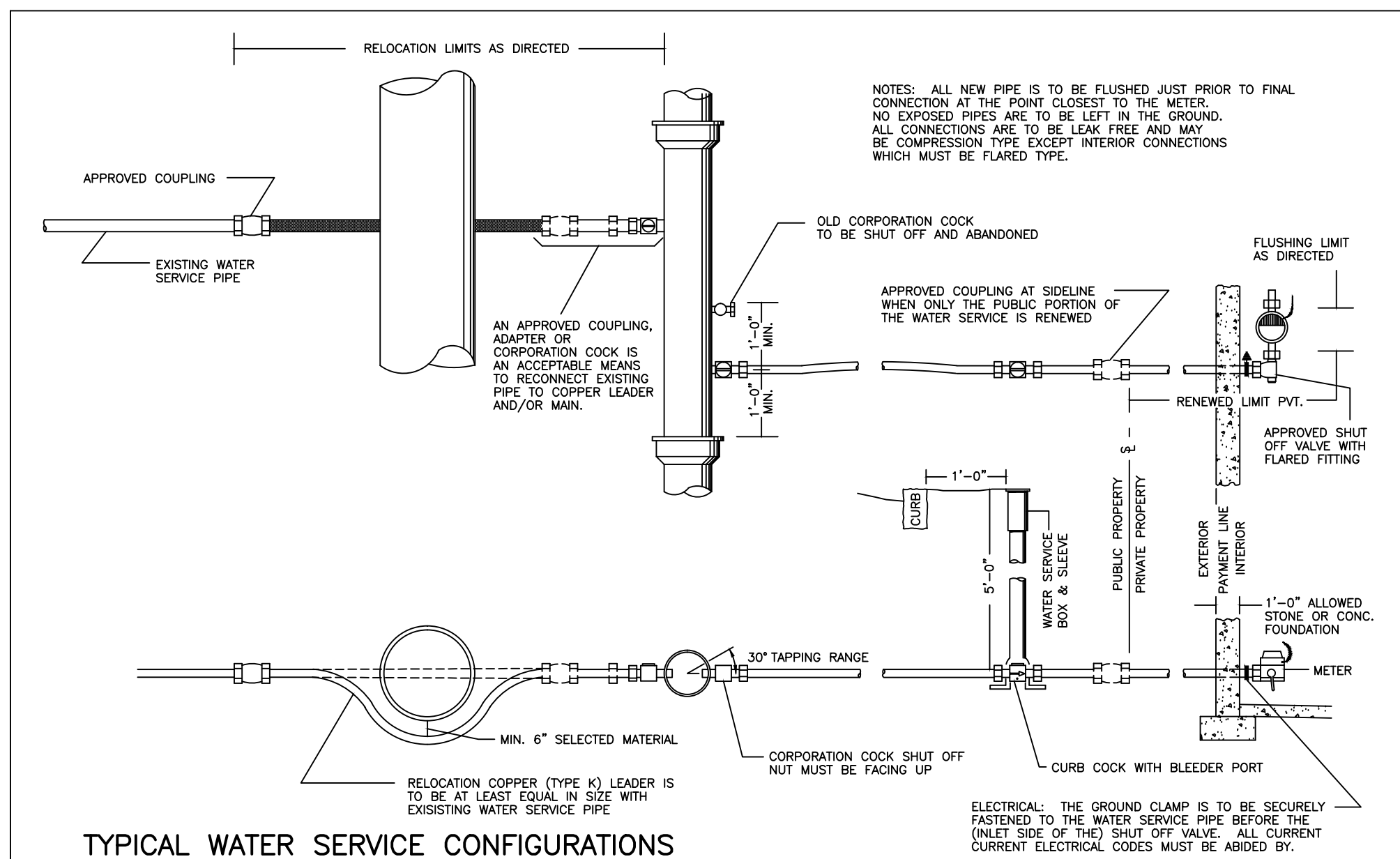
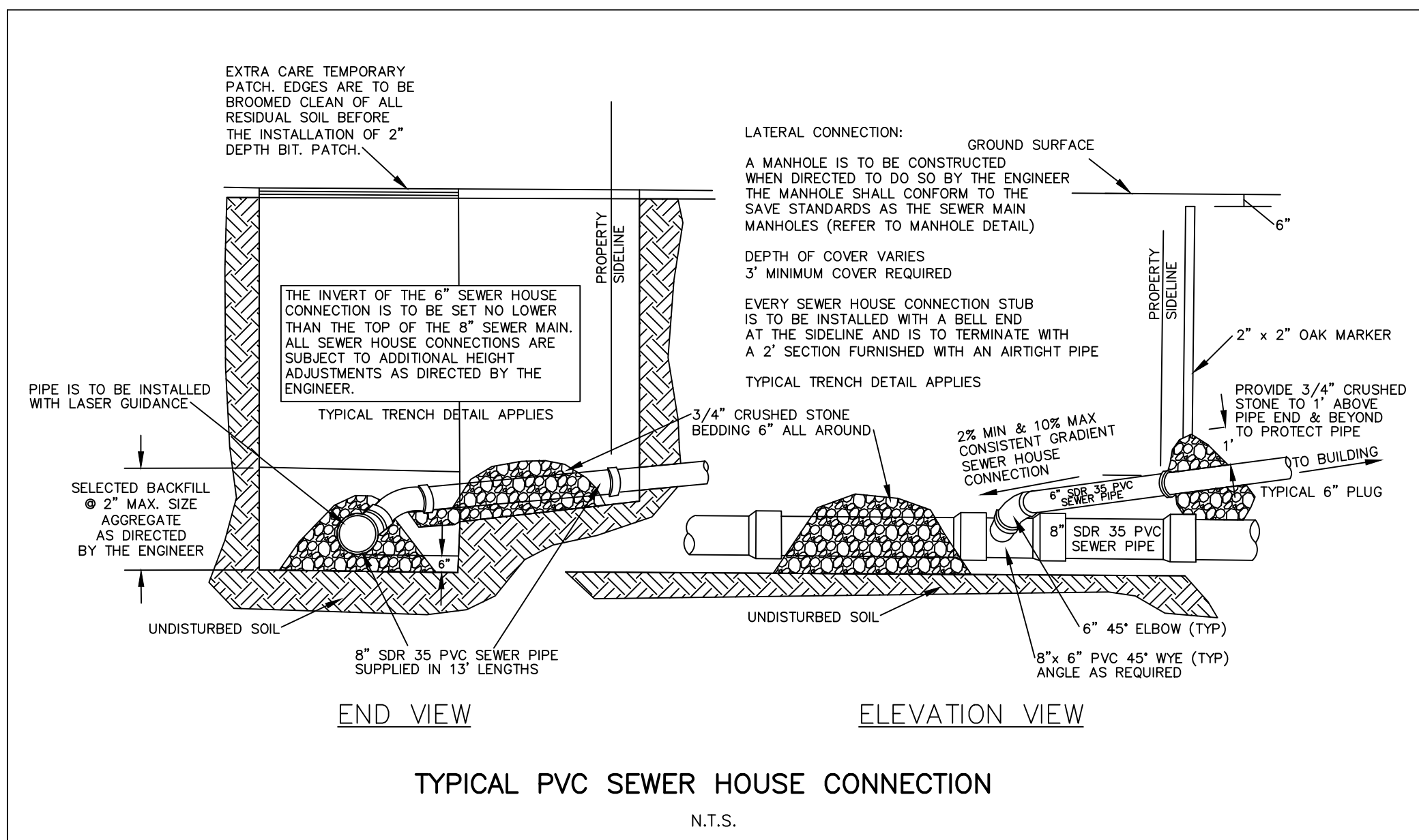
PROPOSED GARAGE PROFILE  
NOT TO SCALE

- NOTES:
- INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 04-12-16.
  - DEED REFERENCE BOOK 59071 PAGE 325, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
  - THIS PLAN IS NOT INTENDED TO BE RECORDED.
  - I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0552E, PANEL NUMBER 0552E, COMMUNITY NUMBER: 250208, DATED JUNE 4, 2010.
  - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
  - PROPOSED ADDITIONAL IMPERVIOUS AREA = 289 S.F., 289/12155 = 0.023776 = 2.38% 289 S.F. IS LESS THAN 400 S.F. AND ALSO LESS THAN 4% OF THE TOTAL LOT SIZE, THEREFORE, DRAINAGE SYSTEM IS NOT REQUIRED.

SCALE 1"=10'			
DATE 07/18/16	REV	DATE	REVISION
SHEET 1 OF 2			
PLAN NO. 1 OF 1			
CHECKED BY DMM	74 WABAN STREET NEWTON MASSACHUSETTS PROPOSED GARAGE AND DRIVEWAY ADDITION		
APP'D BY PUN			
<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com			
SHEET NO.			1







SCALE	NTS			
DATE	07/18/16	REV	DATE	REVISION
SHEET				BY
PLAN NO.	2 OF 2	74 WABAN STREET NEWTON MASSACHUSETTS		
CLIENT:		DETAILS		
DRAWN BY	DMM	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691		
CHKD BY	ETS	SHEET NO. <b>2</b>		
APPD BY	PJN			

