

INSULATION GUIDELINES

Code Checklist for Designers - Stretch Code

Alterations, Renovations or Repairs - HERS rating of ≤ 60 for house < 2009 R2, HERS rating of ≤ 80 for house ≥ 2000 R2. OR the following in all existing or new areas Get a HERS rating, OR the follow this prescriptive list

Category Verification Source

- Insulation**
 - Roof or joists of unfinished attic - R-38, unless the existing rafters aren't deep enough, then R 3.5/inch. This MAY be triggered even if you just expose the sheathing on plans, inspection IECC 2009 402.1.1 (where zone 5A), MA Bid Code 8a Ed. 115AA '01.4.3
 - EXCEPTION - up to 500 R2 or 20%, whichever is less, of roof can be R-30 IECC 2009 402.2.2
 - Existing walls - fill full with R 3.5/inch material. New walls R-20. Use either 2x6 frame or 2x4 frame with 2" of rigid on plans, inspection IECC 2009 402.1.1, MA Bid Code 8a Ed. 115AA 101.4.3
 - Floors R-30, existing floors R 3.5/inch on plans, inspection IECC 2009 402.1.1
 - Basement wall R-10 on the foundation wall, or R-13 in a framed wall on plans, inspection IECC 2009 402.1.1
 - Slab R-10 slab perimeter R-10 on plans, inspection IECC 2009 402.1.1
 - Crawl space wall R-10 on plans, inspection IECC 2009 402.1.1
 - Mats walls (concrete/masonry) R-13 if >50% of insulation is outside wall, R-17 if <50% of insulation is outside wall on plans, inspection IECC 2009 402.1.1
 - For additions all U-values must meet IECC 2009 standards. No R-3.5/inch exception for existing voids on plans, inspection See Renovation section, above
- Fenestration:**
 - windows U-30 or lower, doors: solid U 21 or lower, less than 1/8 glass U 27 or lower, more than 1/8 glass U 32 or lower; skylights U 55 or lower. Doors/hatches to unconditioned space must be gasketed + insulated, so avoid unconditioned space window/door paperwork or copies of labels MA Bid Code 8a Ed. 115AA 401.3, Energy Star window/door V.5, IECC 2009 402.2.3
 - Up to 15 R2 of "glazed fenestration" can be exempt from U-factor requirements IECC 2009 402.3.3 IECC 2009 402.4.1 MA Bid Code 8a Ed. Appendix 115AA 401.3
- Air seals -**
 - all joints, seams, and penetrations between conditioned + unconditioned space to create continuous barrier. If tested must meet < 7 ACH 50 Blower door, or Energy Star thermal bypass checklist by contractor IECC 2009 402.4.2, 402.4.1 MA Bid Code 8a Ed. Appendix 115AA 401.3
- Lighting**
 - Cans in roofs or unconditioned space - IC rated and caulked or gasketed to finish surface inspection IECC 2009 402.4.5
 - At least 80% of new lights must be high-efficiency on plans, inspection IECC 2009 404.1
- HVAC**
 - Equipment sized using Manuals J, S and D. Do not oversize IECC 2009 403.6, IRC 1401.3
- Labeling -**
 - 401.3 Compliance checklist on plans, inspection IECC 103.1



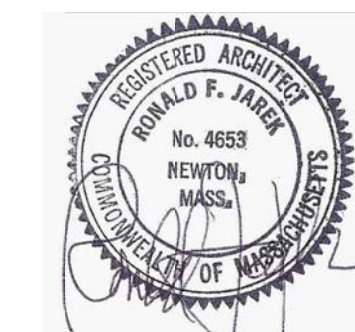
15 South Gate Park, West Newton, MA 02465 RESIDENTIAL RENOVATION AND ALTERATION

LIST OF DRAWINGS

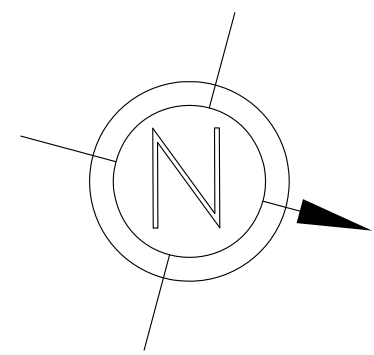
- A-0 TITLE SHEET
- A-1 NOTES & MATERIALS
- A-2 PROPOSED BASEMENT GARAGE FLOOR PLAN
- A-2a BASE GARAGE TURNING MOVE FLOOR PLAN
- A-3 PROPOSED FIRST FLOOR PLAN
- A-4 PROPOSED SECOND FLOOR PLAN
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- A-7 PROPOSED FRONT ELEVATION
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- A-11 PROPOSED CROSS SECTION
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- F-1 PROPOSED FOUNDATION PLAN
- F-2 PROPOSED FIRST FLOOR FRAMING PLAN
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- F-5 PROPOSED ROOF FRAMING PLAN
- F-6 TYPICAL SECTIONS & DETAILS
- EX-0 EXISTING BASEMENT FLOOR PLAN (similar above)
- EX-1 EXISTING ELEVATION
- EX-2 EXISTING ELEVATION
- EX-3 EXISTING ELEVATION
- EX-4 EXISTING ELEVATION

Architect:
Ronald F. Jarek

487 Watertown Street
Newtonville, MA 02460
(617) 818-4540



SPECIAL PERMIT SET UPDATE: 11/28/2016



SEE VTPPLS, NEWTON HIGHLANDS, MA
CURRENT SURVEY PLAN

SITE PLAN

15 SOUTH GATE PARK, WEST NEWTON, MA 02465

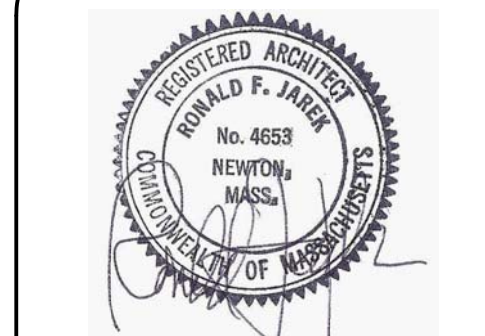
NTS

	EXISTING WALLS TO REMAIN
	EXISTING WALLS/CONSTRUCTION TO BE REMOVED
	NEW WALLS
(N)	NEW
(E)	EXISTING
	BUILDING SECTION
	DETAIL SECTION
#	PARTITION TYPE
	NEW DOOR & DOOR NUMBER
#	WINDOW NUMBER
	INTERIOR ELEVATION

AL	Aluminum	MIN	Minimum
APPROX	Approximately	MISC	Miscellaneous
BD	Board	NIC	Not In Contract
BLDG	Building	NTS	Not To Scale
CLG	Ceiling	OPP	Opposite
CLR	Clear	P.LAM	Plastic Laminate
COL	Column	PL	Plaster
CONC	Concrete	PTD	Painted
CONSTR	Construction	REQ	Required
CONT	Continuous	RO	Rough Opening
CPT	Carpet	SIM	Similar
CT	Ceramic Tile	SST	Stainless Steel
CTR	Center	STD	Standard
DET	Detail	STL	Steel
DIA	Diameter	STOR	Storage
DISP	Dispenser	SUSP	Suspended
DN	Down	T&G	Tongue & Groove
DWG	Drawing	THK	Thick
ELEC	Electric(Electrical)	TYP	Typical
EQ	Equal	VCB	Vinyl Cove Base
ETR	Existing to Remain	VPB	Veneer Plaster Base
EXIST	Existing	WC	Water closet
FFL	Finish Floor	WD	Wood
GA	Gauge	W/	With
GL	Glass	W/O	Without
GWB	Gypsum Wall Board	WT	Weight
HCP	Handicapped		
HDP	High Density Polymer		
HR	Hour		
HT	Height		
INSUL	Insulation(Insulated)		
LT	Light		
MAX	Maximum		
MECH	Mechanical		

LEGEND

ABBREVIATIONS



STAMP

SPECIAL PERMIT SET - TITLE SHEET

PROJECT: RENOVATION & ALTERATIONS,
15 SOUTH GATE PARK,
WEST NEWTON, MA 02465

Ronald F. Jarek, Architect

487 Watertown Street
Newtonville, MA 02460

CLIENT:
15 SOUTH GATE PARK
WEST NEWTON, MA 02465

DATE: 4/22/2015

SCALE: AS NOTED

DRAWN BY: N.G.J.H.

CHECKED BY: R.J.

A-0

**15 SOUTH GATE PARK RESIDENCES,
WEST NEWTON, MA 02465**

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HERES RATINGS.
2. PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. DRAWING INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5. ALL EXISTING CONDITIONS, PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS ETC.
6. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION, ETC. OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
9. IF HAZARDOUS WASTES ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHD STANDARDS.

GENERAL NOTES STRUCTURAL

1. ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS.
2. DO NOT SCALE THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LIMITS AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS REFER TO ARCH. DWGS. FOR ALL ELEVATIONS.
3. ALL REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT.
4. DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL STRUCTURAL MEMBERS.
5. EXISTING LAYOUT, ITEMS AND CONDITIONS MAY DIFFER FROM AS SHOWN, ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
7. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
8. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

FOUNDATION NOTES

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEFER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
2. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER, WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY DENSITY.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

PLYWOOD NOTES

1. ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL I, PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
2. ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4".
2. ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

CONCRETE NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE) CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
2. CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE – MIN. COMPRESSIVE STRENGTH = 4000 PSI
3. ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM A615 – GRADE 60.
4. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6-W4xW4 UNLESS NOTED.
5. MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:

SLABS: TOP – 2"
WALLS: ALL SIDES – 2" (MIN.)
6. ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL. WHERE NEEDED, EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH, JOINTS AND FINS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN, TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS & OWNER.
7. CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
8. BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE WELDORETE AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR APPROVED EQUAL.
9. DOWELLING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HYA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
10. CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

WOOD NOTES

1. ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
2. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fb = 1500 PSI, Fv = 190 PSI.

NOTE – DIMENSION

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

PRODUCTS

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES

EXTERIOR MATERIALS LIST:
15 SOUTH GATE PARK., West Newton MA 02465

ROOF:

- 30 year Fiberglass Asphalt Shingles
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

TRIM

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

SIDING

- Square Butt Cedar Wood Shingles 7" to weather, texture side out, matching existing
- Painted MDO Plywood at Dormer Pediments
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs

DOWN SPOUTS AND GUTTERS

- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs
- Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings

WINDOWS

- Marvin or equal Insulated Glass, Simulated 2 over 1 Divided Lites and Ovals

DOORS

- Synthetic Panel Entry Units with Vision Lites and/or Simulated Divided Side Lites
- Synthetic Panel Style Garage Door or Coiling Grill Style based on Ventilation Reqs.

COLUMNS

- Azek or equal Square synthetic and/or field built square Columns, Plinth and Capital.

PORCH, DECK and STEPS and Ramps

- Trex or equal Porch, Deck and Stair Treads
- Azek or equal Risers and Stringers
- Synthetic Balustrade and Square Newel Posts, Synthetic Rail System at HC Ramps

LIGHTING

- Wall Mounted Lantern Style

HARDWARE

- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

WALKS

- Modular Pavers at Entry Points

DRIVEWAY

- Bituminous

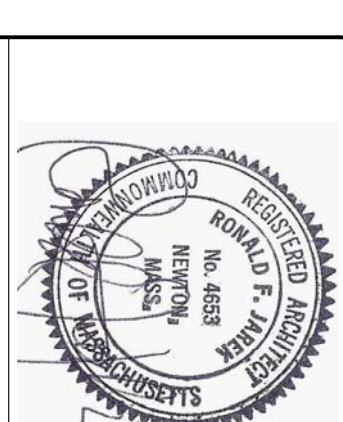
RETAINING WALLS

- Concrete at Vehicular Ramp and Stone Faced (match fin) at Handicapped Ramp.

Floor Area Ratio Chart: 15 SOUTH GATE PARK RESIDENCES, WEST NEWTON, MA 02465

AREA	UNIT "1"		UNIT "2"		UNIT "3"		TOTAL S.F. ALLOWED @ 0.39 FAR	TOTAL S.F. PROVIDED @ 0.43 FAR
	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR		
BASEMENT / GARAGE	3776 SF.							→
FIRST FLOOR	1117 SF.		377 SF.		1649 SF.			
SECOND FLOOR	550 SF.		550 SF.	PARTIAL CATHEDRAL	1496 SF.			
ATTIC FLOOR AREA			LESS THAN 7'		LESS THAN 7'			
TOTAL SQ. FT.	1667 SF.		1,227 SF.		3,145 SF.		5,507 SF.	6,039 SF.

SCALE: AS SHOWN



Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

PROJECT: RENOVATION & ALTERATIONS,
15 SOUTH GATE PARK,
WEST NEWTON, MA 02465

CLIENT:
15 SOUTH GATE PARK
WEST NEWTON, MA 02465

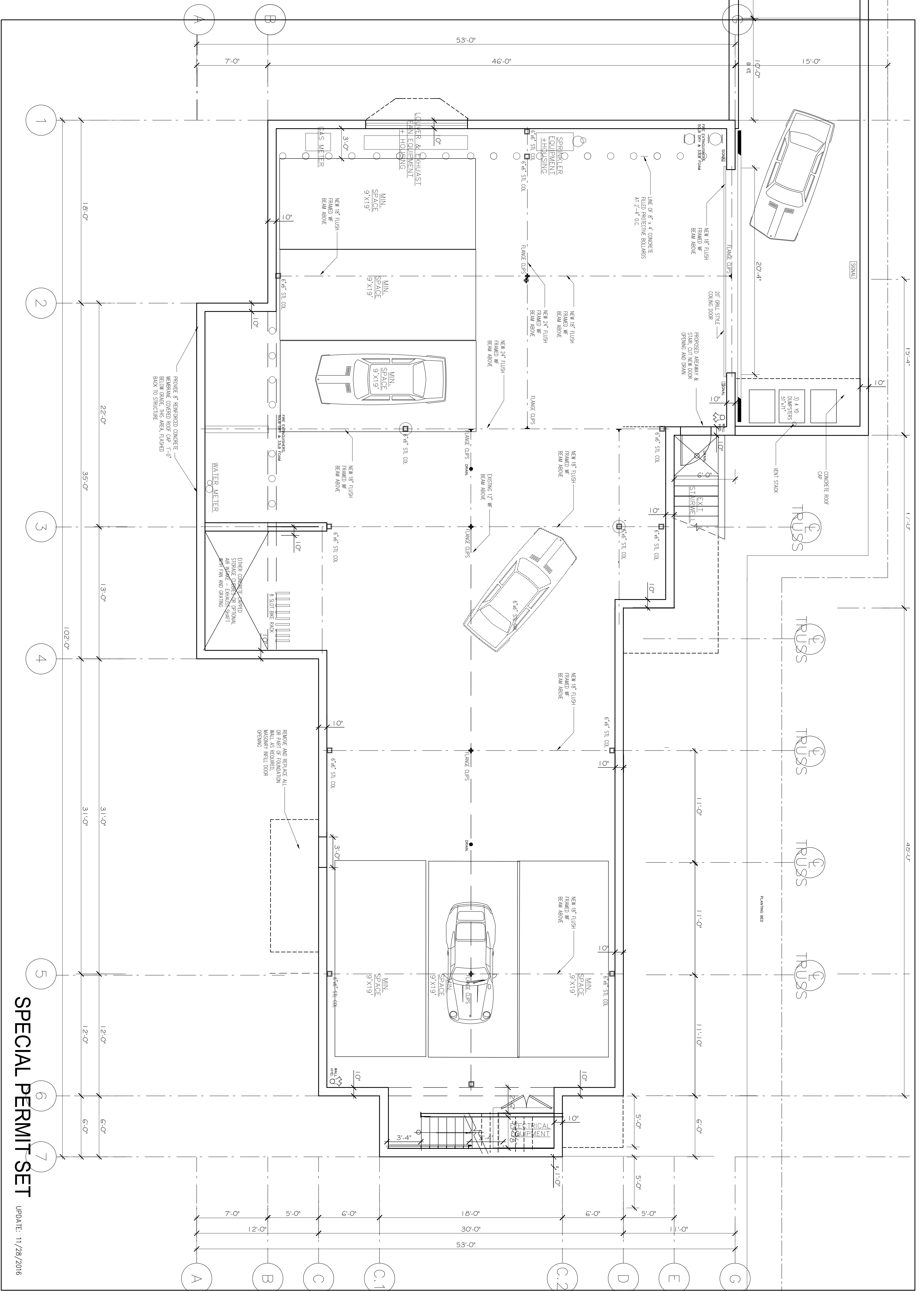
SPECIAL PERMIT SET - NOTES & MATERIALS

15 SOUTH GATE PARK
WEST NEWTON, MA 02465

SPECIAL PERMIT SET

UPDATE: 11/29/2016

A-1



SPECIAL PERMIT SET

UPDATE: 11/28/2016

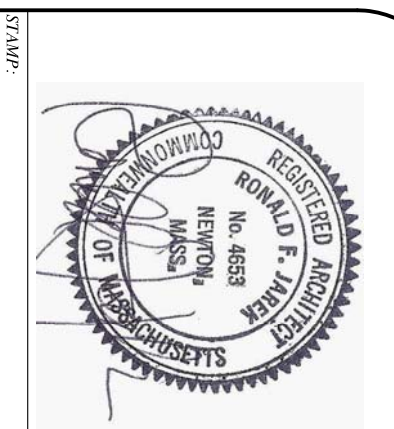
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

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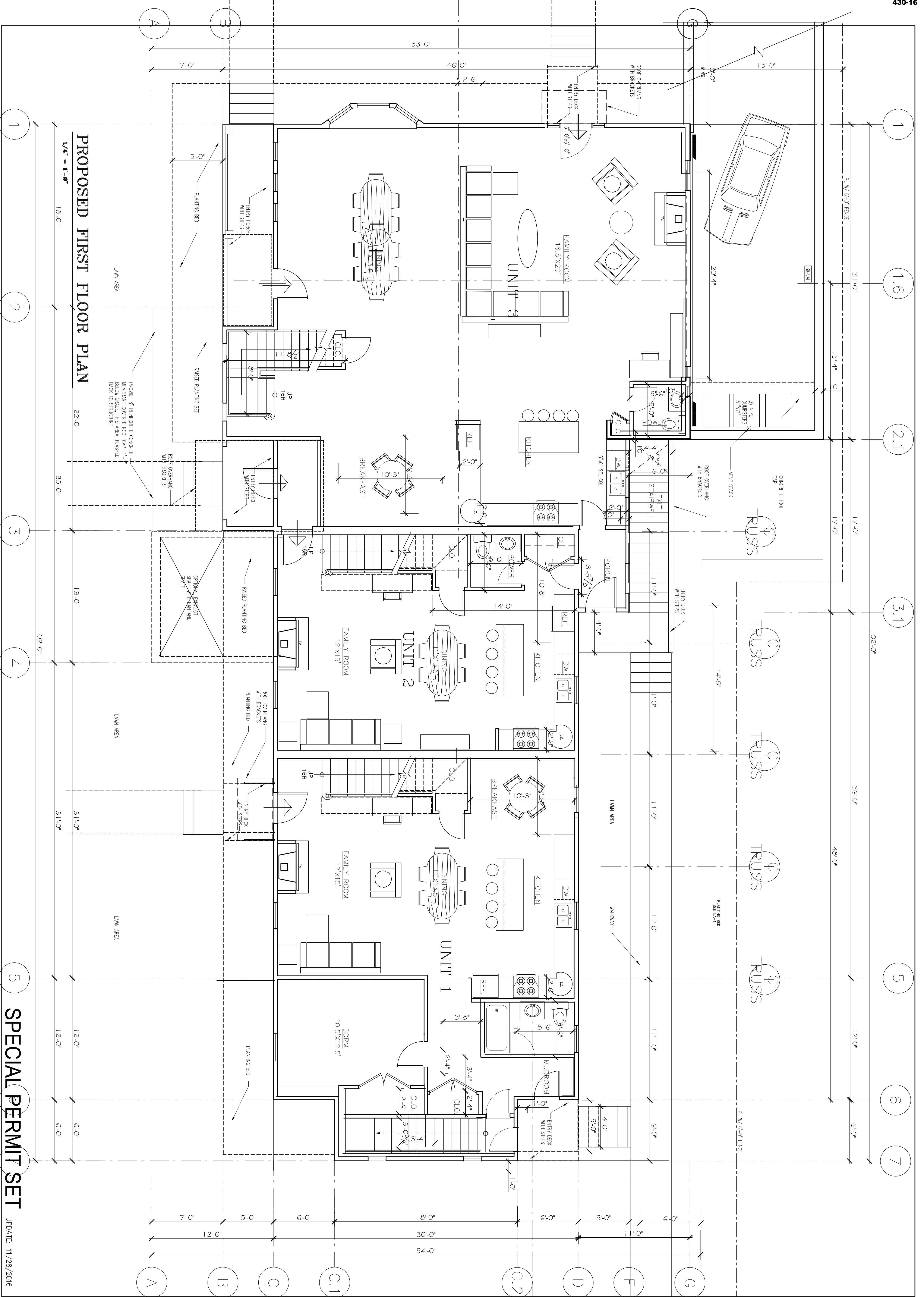
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 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

BASEMENT GARAGE

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465



A-2



PROPOSED FIRST FLOOR PLAN

SPECIAL PERMIT SET

UPDATE: 11/28/2016

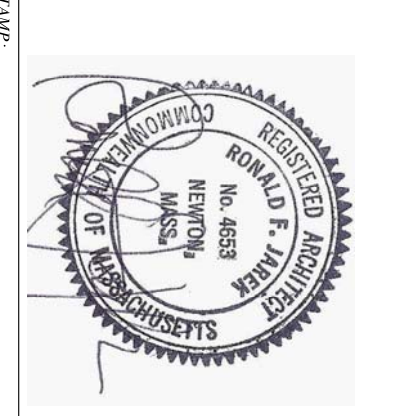
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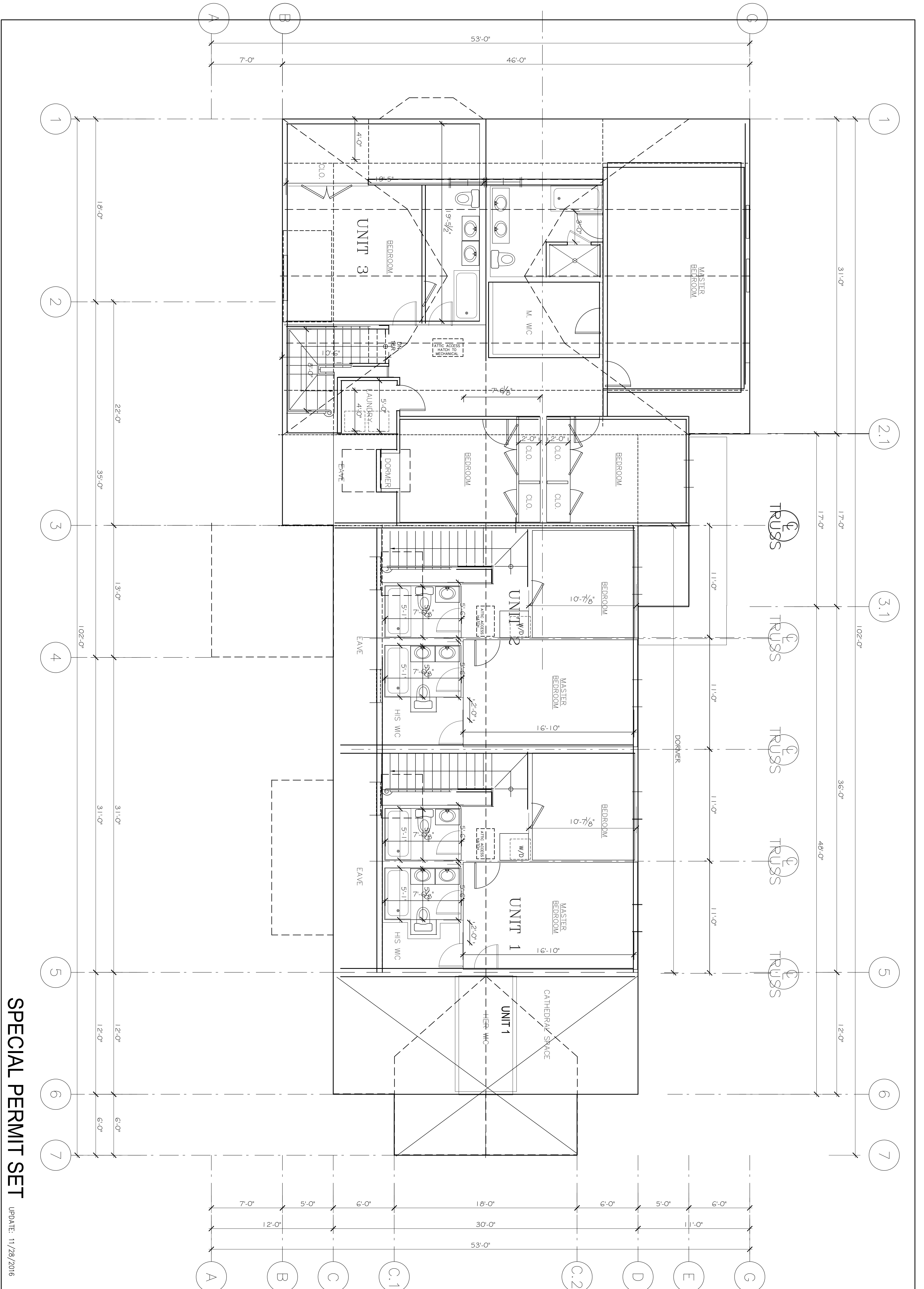
PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465

CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

FIRST FLOOR PLAN - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

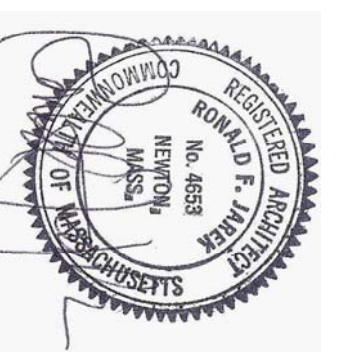




SPECIAL PERMIT SET

UPDATE: 11/28/2016

SCALE:



DATE: 4/23/2015

SCALE: AS SHOWN

DRAWN BY: KGH

CHECKED BY: R.F.J.

PROJECT: 44-2014

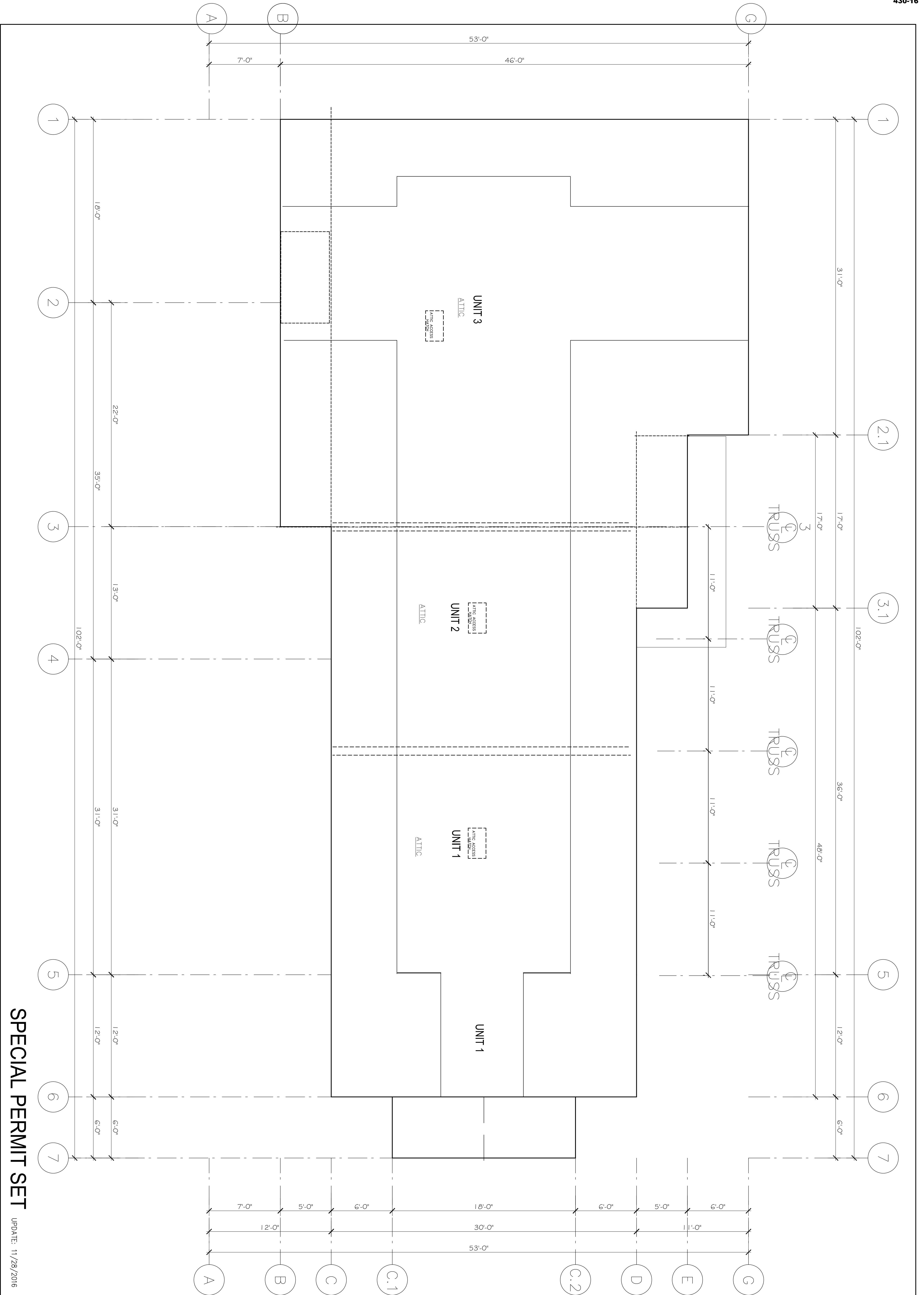
Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

PROJECT: RENOVATION & ALTERATIONS,
15 SOUTH GATE PARK,
WEST NEWTON, MA 02465

CLIENT:
15 SOUTH GATE PARK
WEST NEWTON, MA 02465

SECOND FLOOR PLAN - SPECIAL PERMIT SET

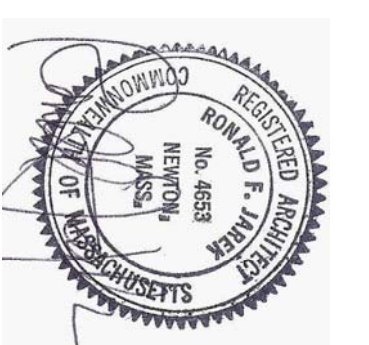
15 SOUTH GATE PARK
WEST NEWTON, MA 02465



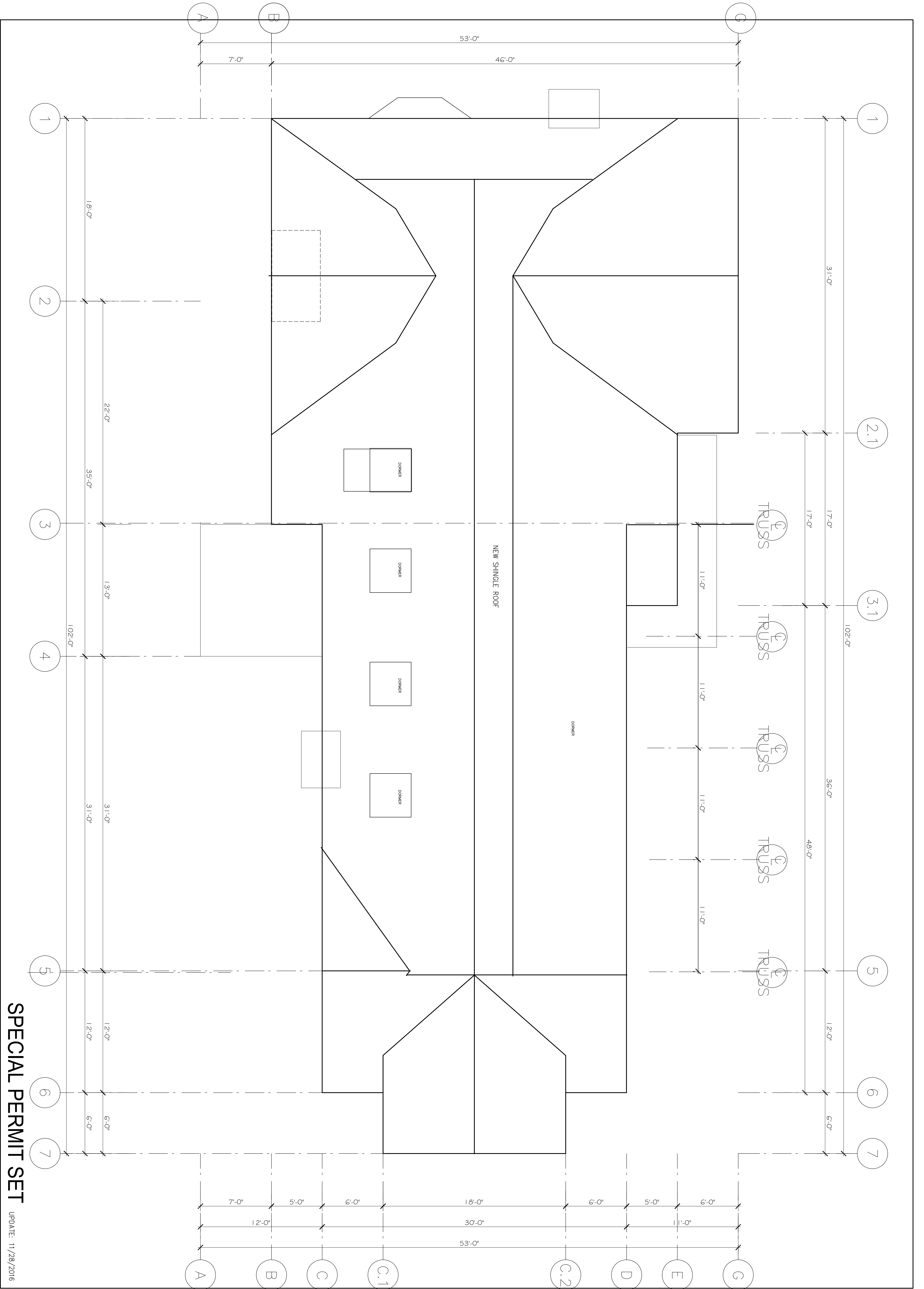
SPECIAL PERMIT SET

UPDATE: 11/28/2016

<p>DATE: 4/22/2015</p> <p>SCALE: AS SHOWN</p> <p>DRAWN BY: KGH</p> <p>CHECKED BY: #1</p> <p>REV: 4-4-2014</p>	<p>Ronald F. Jarek, Architect</p> <p>487 Watertown Street Newtonville, MA 02460</p>	<p>PROJECT: RENOVATION & ALTERATIONS, 15 SOUTH GATE PARK, WEST NEWTON, MA 02465</p> <p>CLIENT: 15 SOUTH GATE PARK WEST NEWTON, MA 02465</p>	<p>ATTIC PLAN - SPECIAL PERMIT SET</p> <p>15 SOUTH GATE PARK WEST NEWTON, MA 02465</p>
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A-5



SPECIAL PERMIT SET

UPDATE: 11/28/2016

A-6

DATE	4/23/2016
SCALE	AS SHOWN
DRAWN BY	NJH
CHECKED BY	RJ
PROJECT	4-4-2014

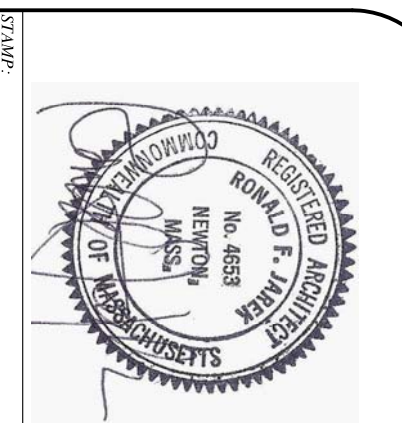
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

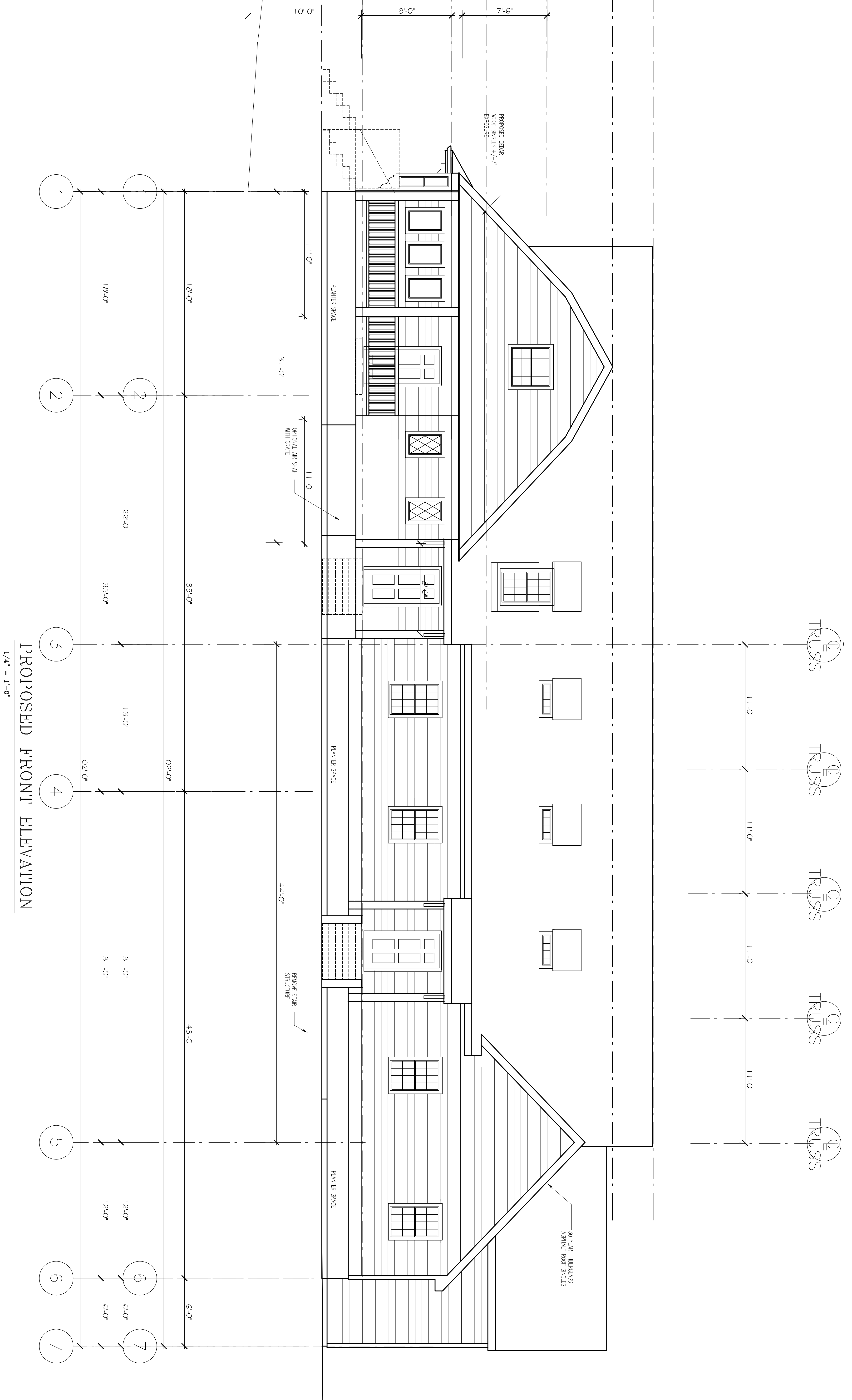
PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465

CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

ROOF PLAN - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465





SPECIAL PERMIT SET UPDATE: 11/28/2016



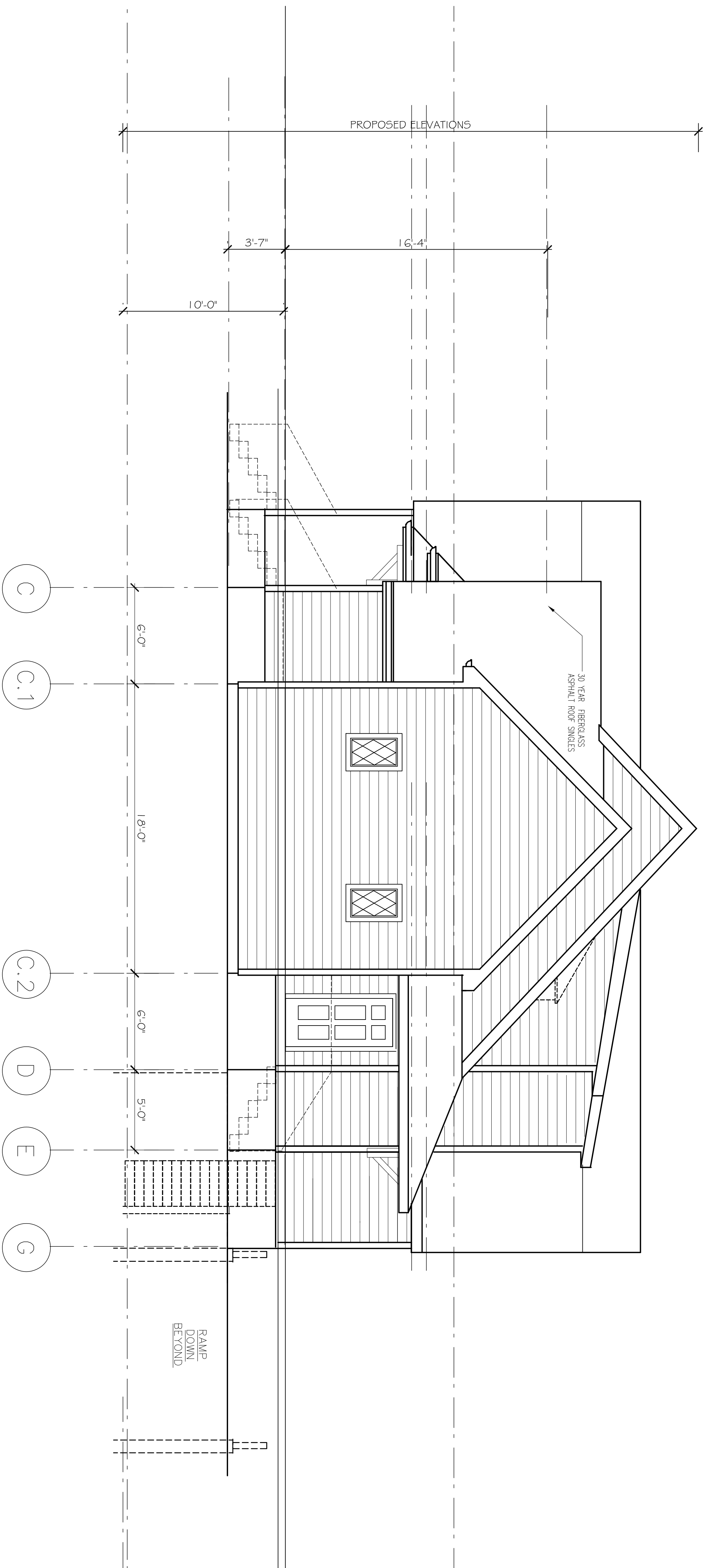
FRONT ELEVATION - SPECIAL PERMIT SET
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,
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 WEST NEWTON, MA 02465
 CLIENT:
 15 SOUTH GATE PARK
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Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE	NOV. 24, 2014
SCALE	AS SHOWN
DRAWN BY	MLH
CHECKED BY	R.F.J.
NO.	

A-7



PROPOSED RIGHT SIDE ELEVATION

SPECIAL PERMIT SET

UPDATE: 11/28/2016

DATE	4/23/2015
SCALE	AS SHOWN
DRAWN BY	MLH
CHECKED BY	RJ
REV.	

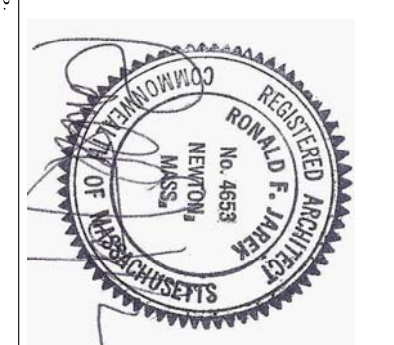
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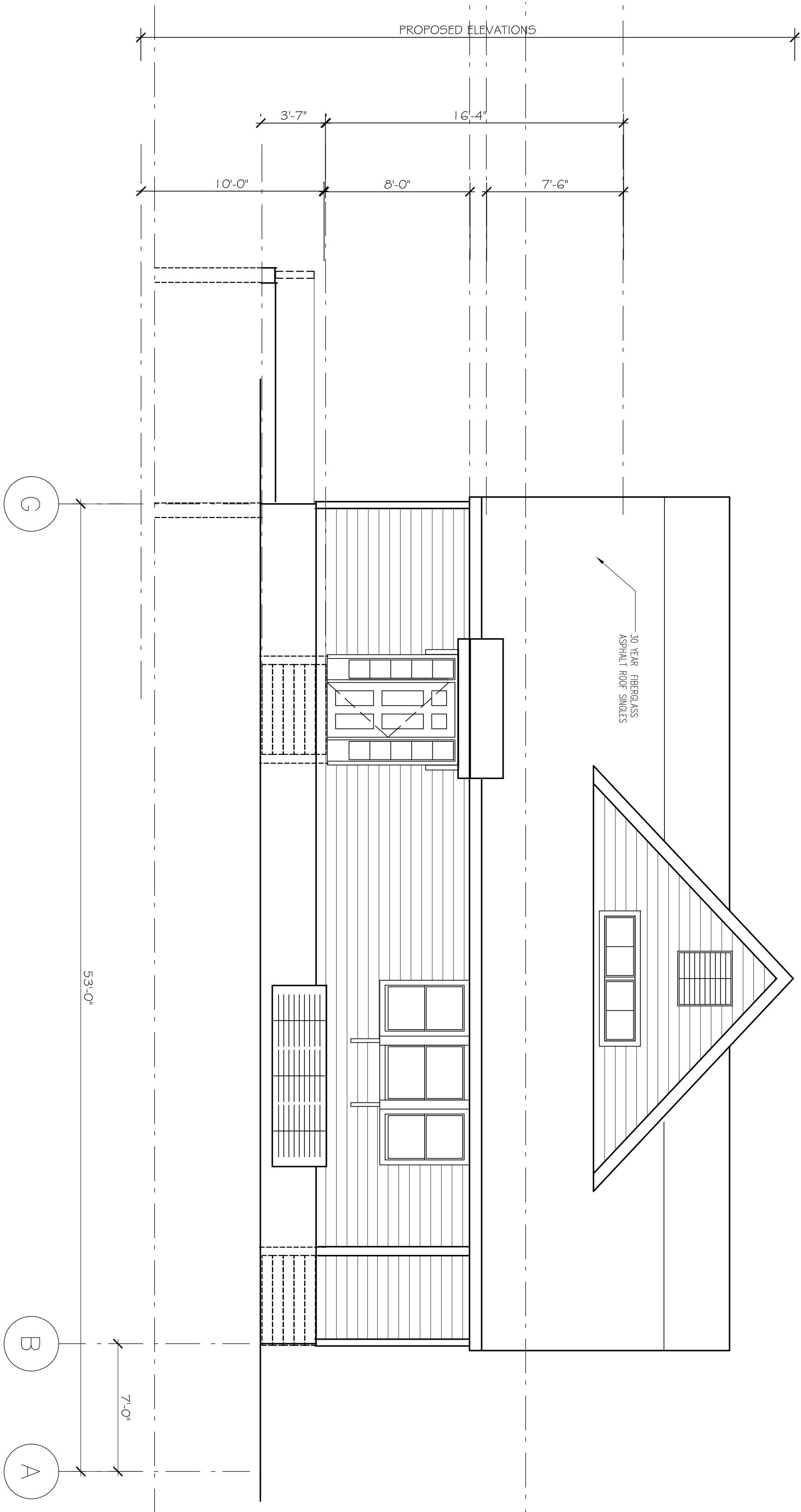
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 WEST NEWTON, MA 02465

CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

RIGHT ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465





SPECIAL PERMIT SET

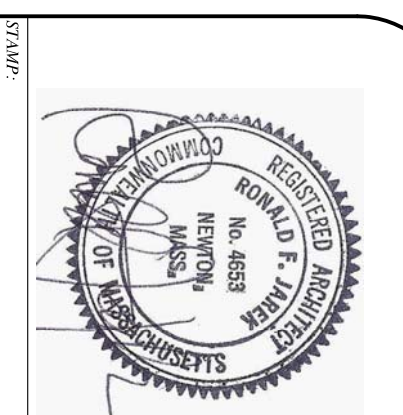
UPDATE: 11/28/2016

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465
 CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

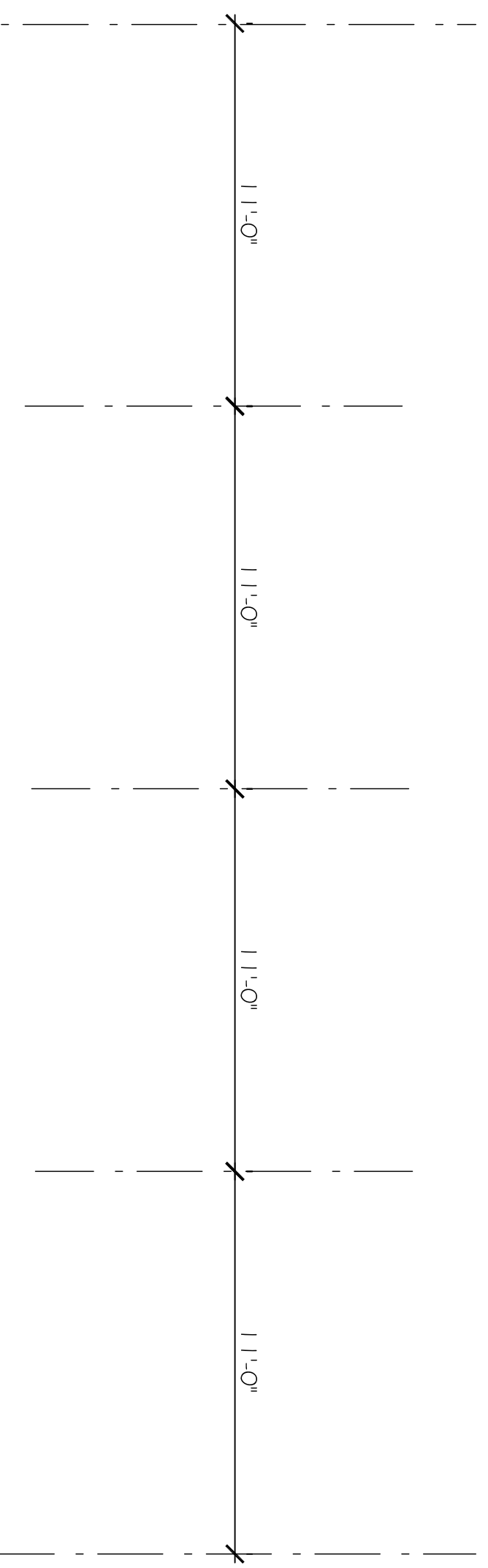
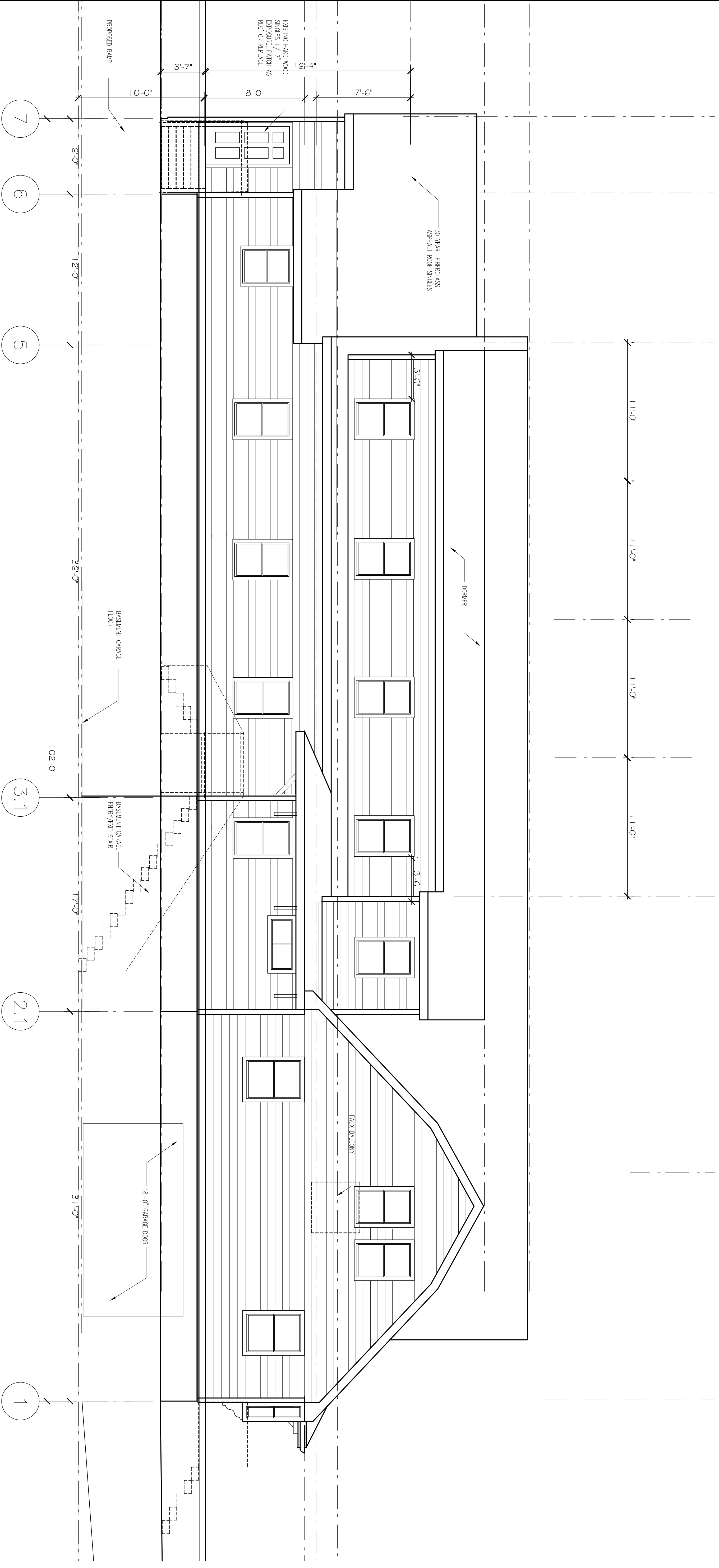
LEFT ELEVATIONS - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465



A-9

DATE	4/22/2016
SCALE	AS SHOWN
DRAWN BY	MLH
CHECKED BY	RJ
REV.	



SPECIAL PERMIT SET

UPDATE: 11/28/2016

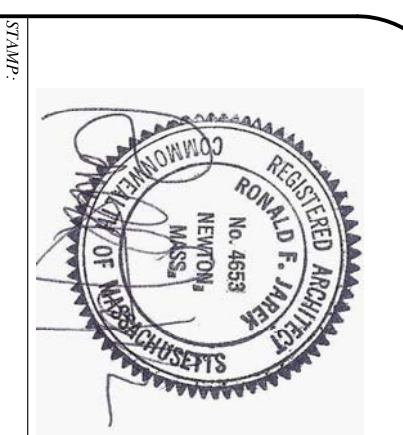
A-10

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

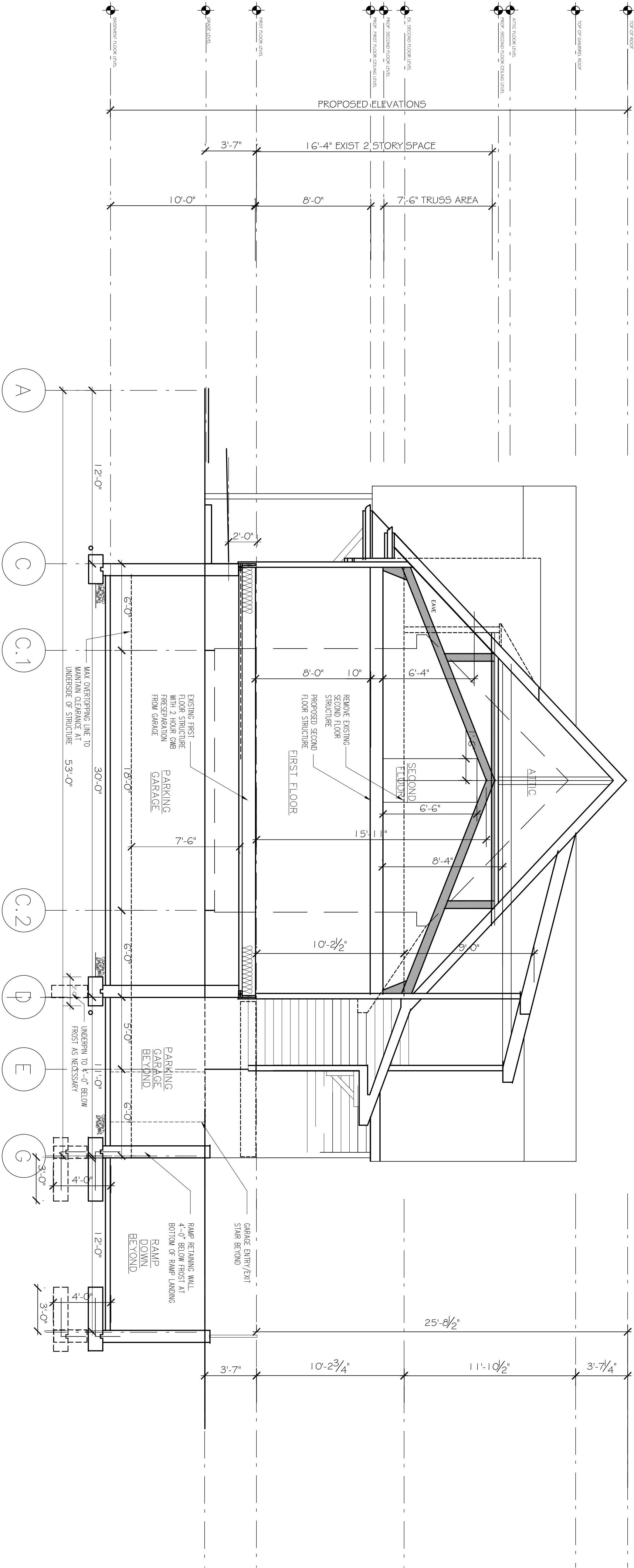
PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465
 CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

REAR ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465



DATE	4/23/10
SCALE	AS SHOWN
DRAWN BY	MLH
CHECKED BY	RJ
REV.	



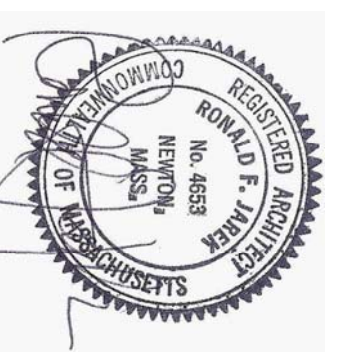
PROPOSED RIGHT SIDE SECTION ELEVATION

1/4" = 1'-0"

SPECIAL PERMIT SET

UPDATE: 11/28/2016

SCALE



CROSS SECTION - SPECIAL PERMIT SET

PROJECT: RENOVATION & ALTERATIONS,
15 SOUTH GATE PARK,
WEST NEWTON, MA 02465

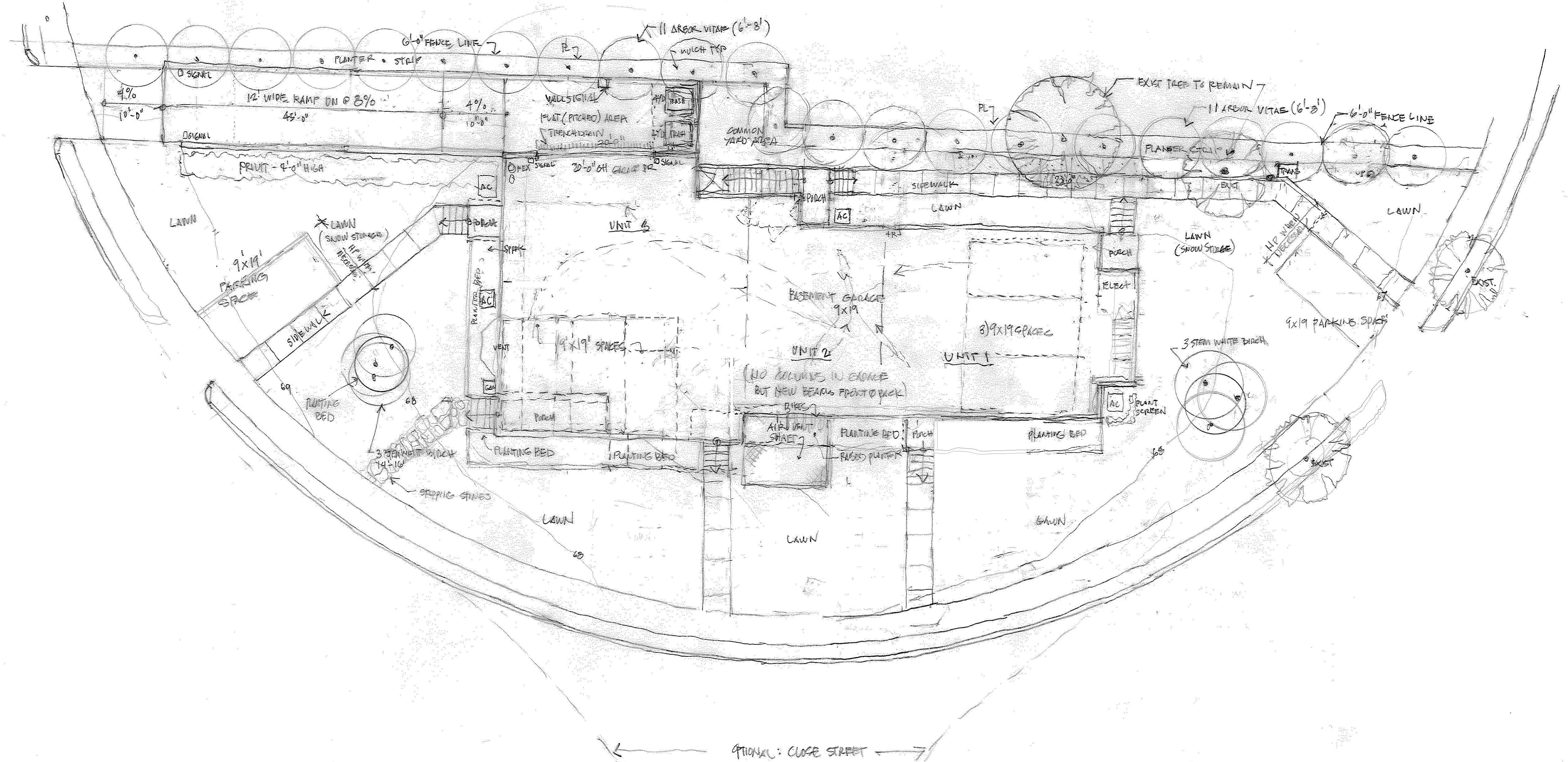
CLIENT:
15 SOUTH GATE PARK
WEST NEWTON, MA 02465

15 SOUTH GATE PARK
WEST NEWTON, MA 02465

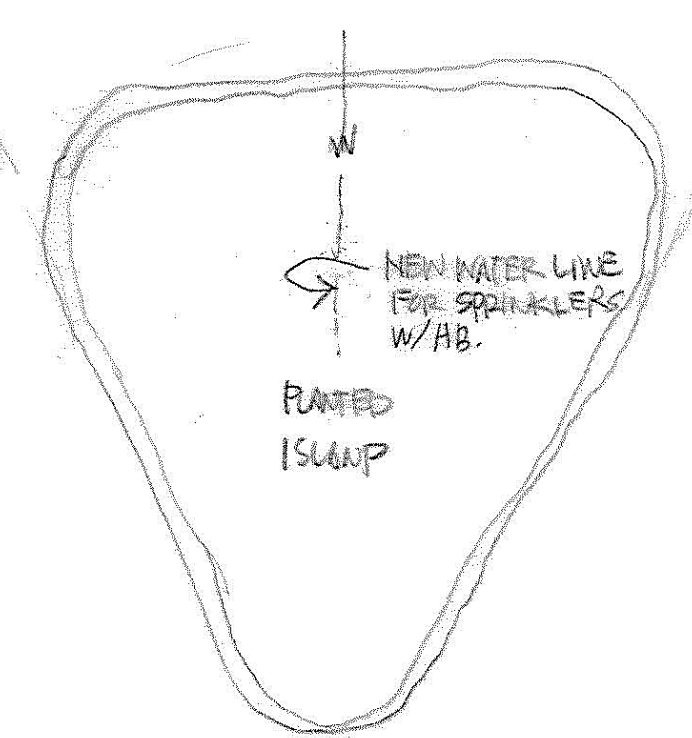
Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE	4/23/2014
SCALE	AS SHOWN
DRAWN BY	MLH
CHECKED BY	RJ
REV	

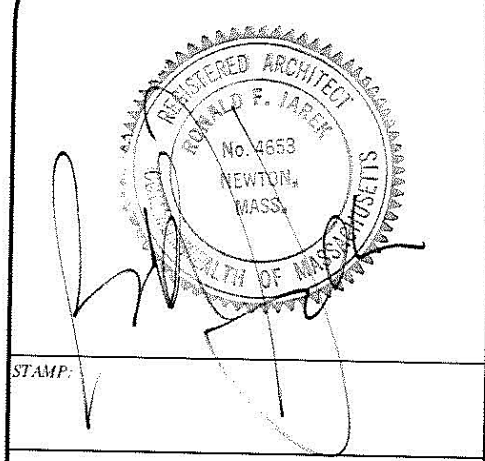
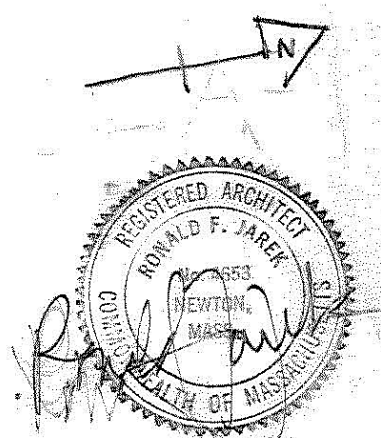
A-11



NOTE: PLANT MATERIALS NOTED ON PLAN
 BUILDING HEIGHT: EXISTING
 OPEN SPACE: SEE ENG SITE PLAN
 LOT COVERAGE: SEE ENG SITE PLAN



15 SOUTH GATE PARK
 SITE & LANDSCAPE PLAN
 1"=10'-0" 7-28-2015
 REV. 1 - 2015
 RONALD F. JAREK, ARCHITECT
 487 WATERTOWN STREET
 NEWTONVILLE, MA 02460
 SPECIAL PERMIT UPDATE 11-29-16



PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465
 CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

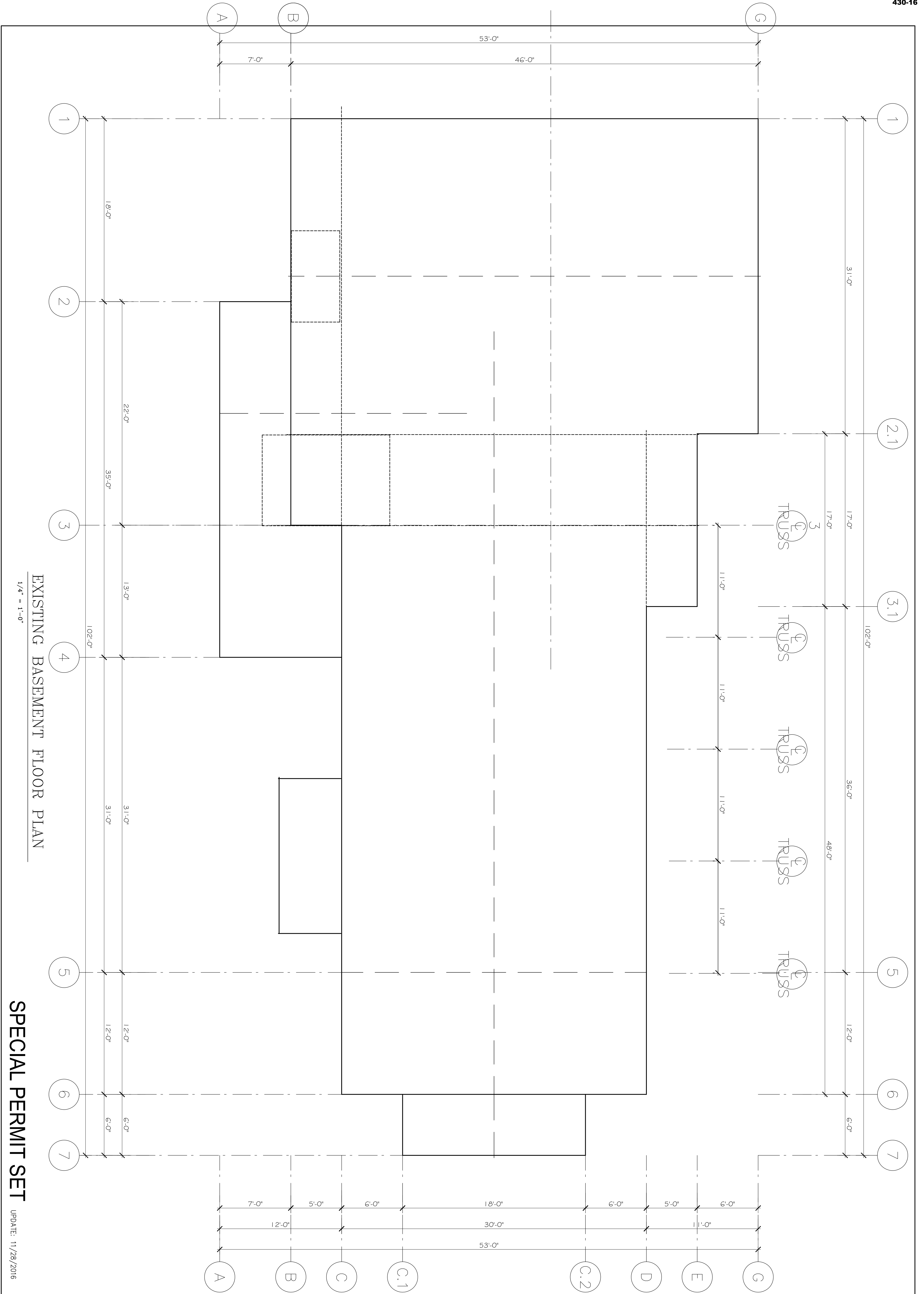
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE:	4-22-2015
SCALE:	AS NOTED
DRAWN BY:	N.G.H.
CHECKED BY:	R.J.
REV:	6-30-2015

LA-1

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

LANDSCAPE SITE PLAN - SPECIAL PERMIT SET



EXISTING BASEMENT FLOOR PLAN

1/4" = 1'-0"

SPECIAL PERMIT SET

UPDATE: 11/28/2016

X-0

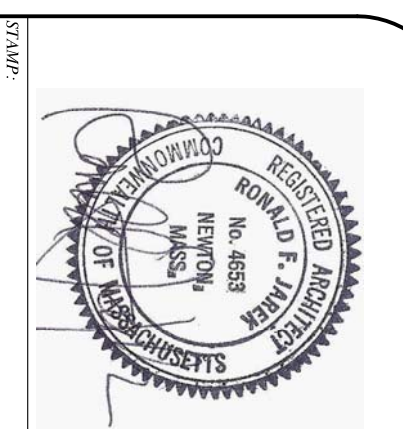
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

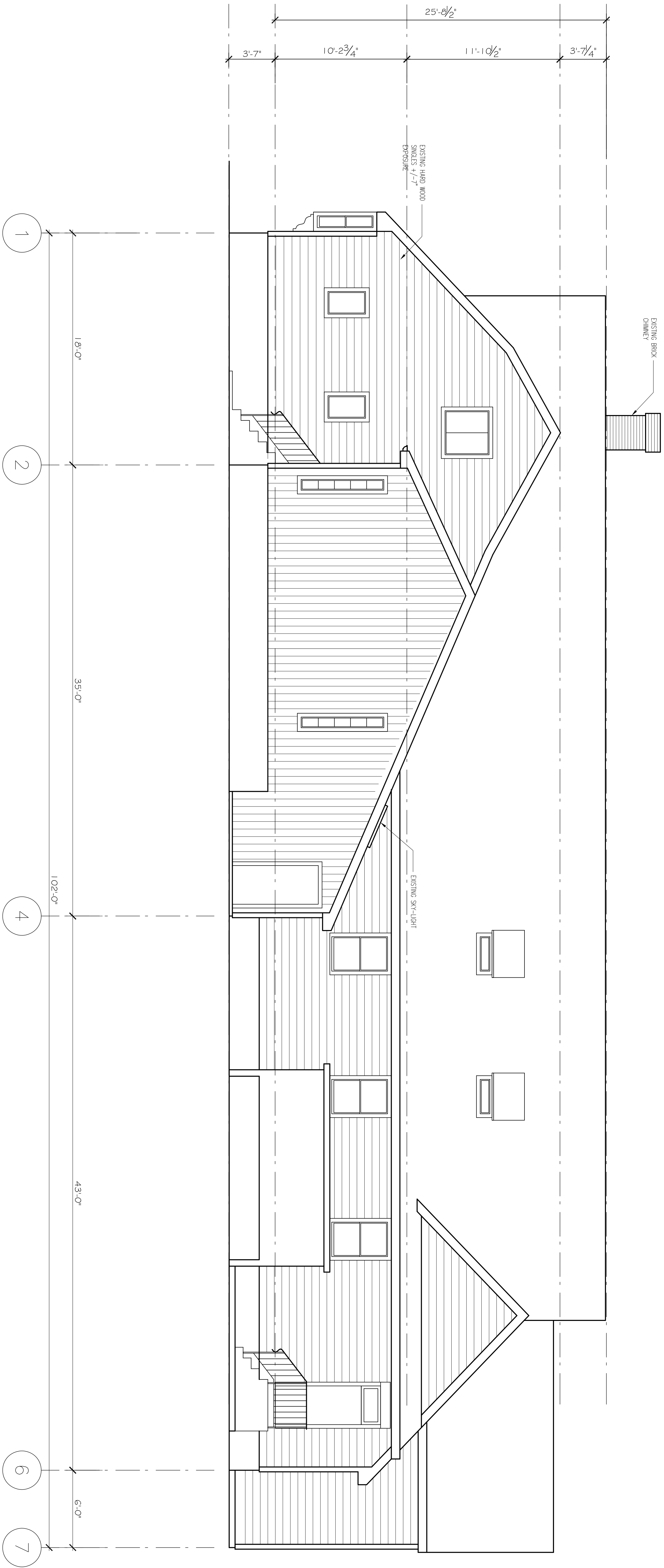
PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465

CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

EXISTING BASEMENT PLAN - SPECIAL PERMIT SET
 FIRST FLOOR ABOVE SIMILAR

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465



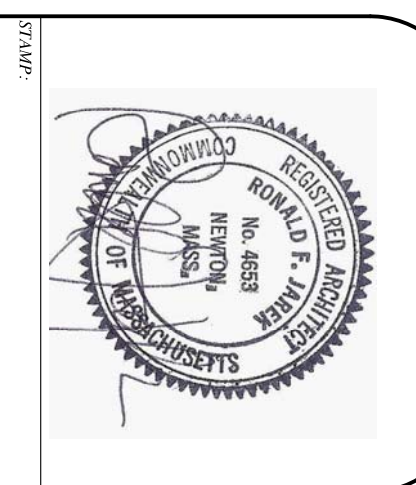


EXISTING FRONT ELEVATION

1/4" = 1'-0"

SPECIAL PERMIT SET

UPDATE: 11/28/2016



EXISTING FRONT ELEVATION -SPECIAL PERMIT SET

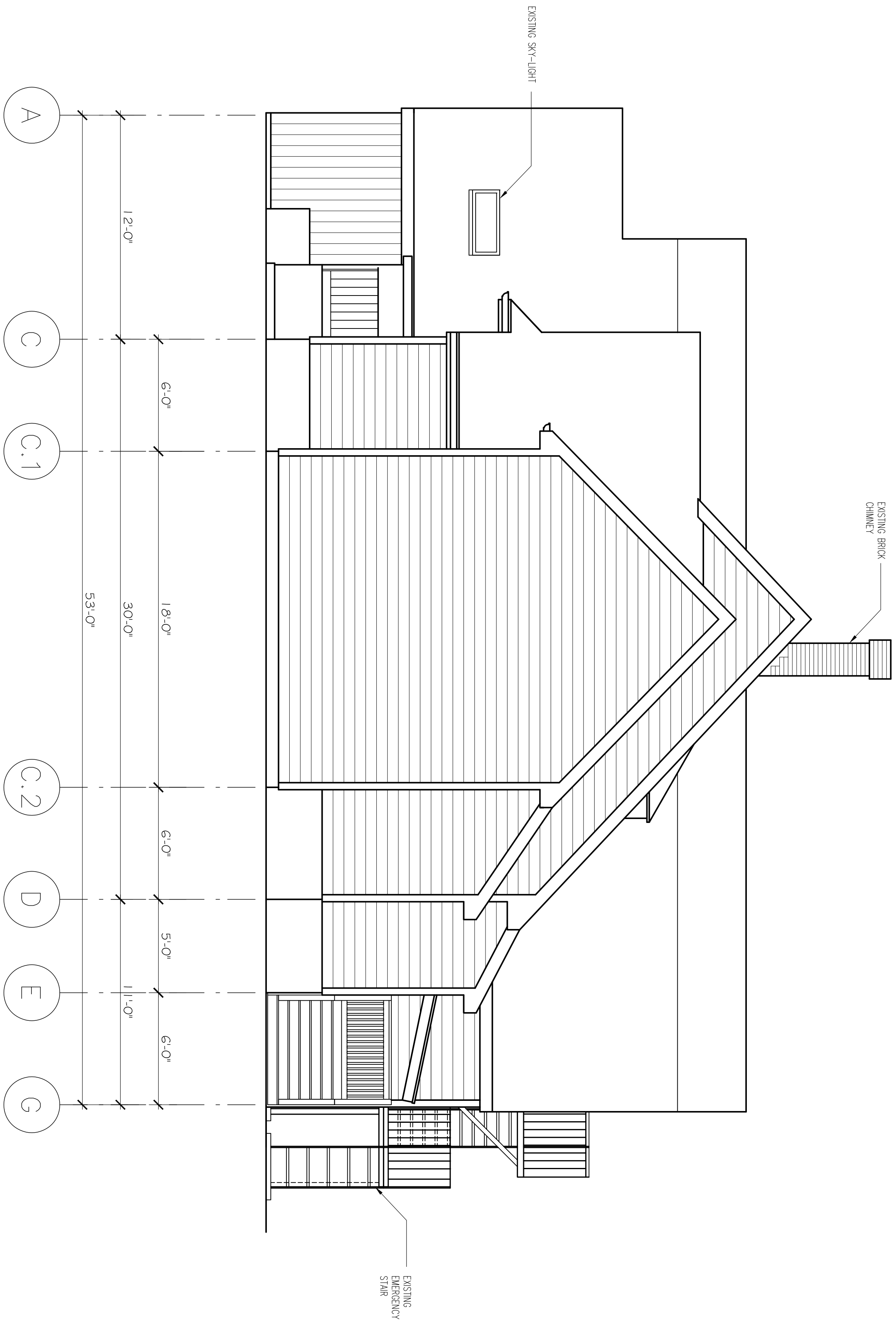
PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465
 CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

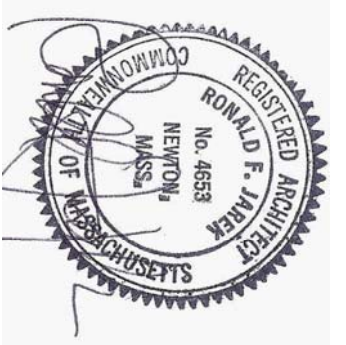
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE	NOV. 24, 2014
SCALE	AS SHOWN
DRAWN BY	KJH
CHECKED BY	RJ
TITLE	

X-1



EXISTING RIGHT SIDE ELEVATION
 1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465

CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

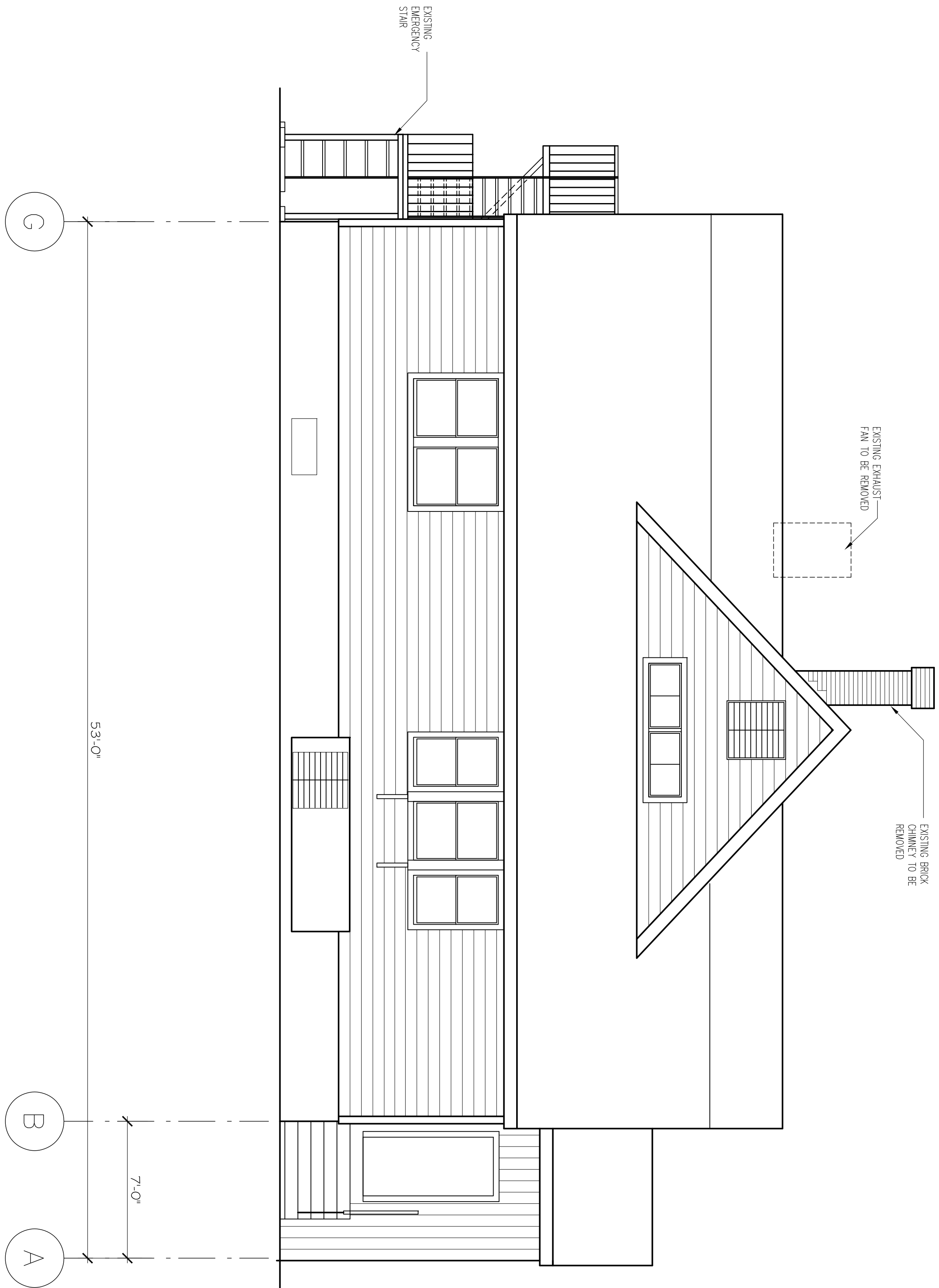
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE	NOV. 24, 2014
SCALE	AS SHOWN
DRAWN BY	RJL/J
CHECKED BY	RJ
REV.	

SPECIAL PERMIT SET

UPDATE: 11/28/2016

X-2



EXISTING LEFT SIDE ELEVATION
 1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465

CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

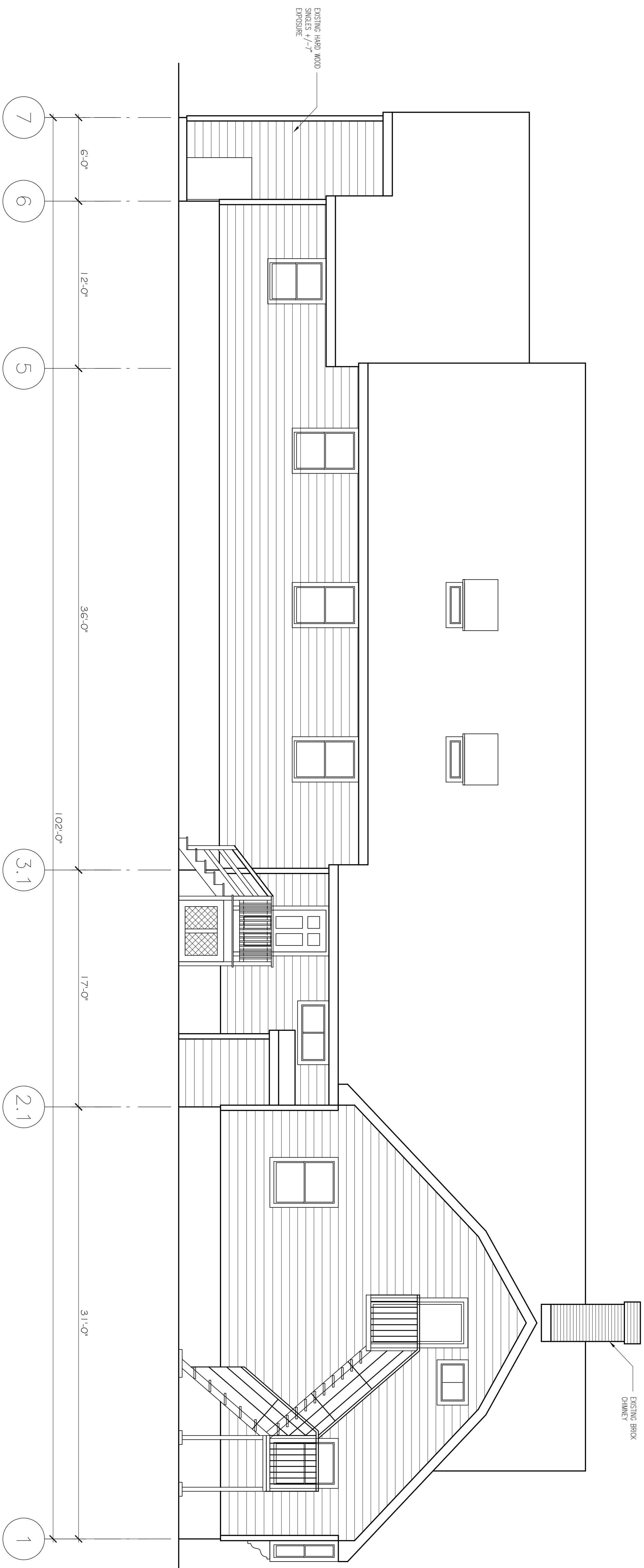
Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE	NOV. 24, 2014
SCALE	AS SHOWN
DRAWN BY	MLH
CHECKED BY	RJ
REV.	

SPECIAL PERMIT SET

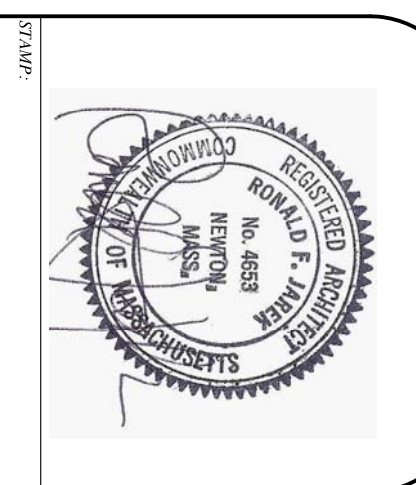
UPDATE: 11/28/2016

X-3



EXISTING REAR ELEVATION
 1/4" = 1'-0"

SPECIAL PERMIT SET
 UPDATE: 11/28/2016



EXISTING REAR ELEVATION - SPECIAL PERMIT SET
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,
 15 SOUTH GATE PARK,
 WEST NEWTON, MA 02465
 CLIENT:
 15 SOUTH GATE PARK
 WEST NEWTON, MA 02465

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE	NOV. 24, 2014
SCALE	AS SHOWN
DRAWN BY	KJL/JH
CHECKED BY	RJ
REV.	

X-4