

# INSULATION GUIDELINES

## Code Checklist for Designers - Stretch Code

Additional, more restrictive or specific requirements of 608 for the 2009 IECC are indicated by a shaded area. 2009 IECC, OR the following in all enclosed or new areas Get a HERS rating, OR the follow this prescriptive list

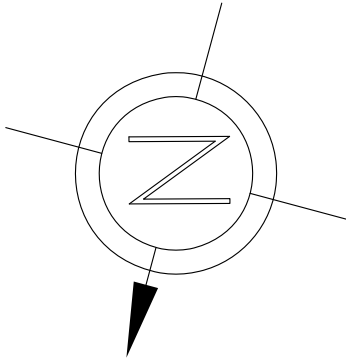
### Insulation

- Roof or joist of unfinished attic - R-30, unless the existing rafters aren't deep enough, then R-35. This includes the attic of a garage. See Section 608.1.1.1 for more information. Insulation shall be installed in accordance with the manufacturer's instructions. Insulation shall be installed in accordance with the manufacturer's instructions. Insulation shall be installed in accordance with the manufacturer's instructions.
- Existing walls - fill full with R-13 spray-injected. New rigid or batt insulation shall be installed in accordance with the manufacturer's instructions. Insulation shall be installed in accordance with the manufacturer's instructions. Insulation shall be installed in accordance with the manufacturer's instructions.
- For additions to Uninsulated existing walls, see Section 608.1.1.1.1. Insulation shall be installed in accordance with the manufacturer's instructions. Insulation shall be installed in accordance with the manufacturer's instructions. Insulation shall be installed in accordance with the manufacturer's instructions.

### Fasteners

Insulation shall be fastened in accordance with the manufacturer's instructions. Insulation shall be fastened in accordance with the manufacturer's instructions. Insulation shall be fastened in accordance with the manufacturer's instructions.

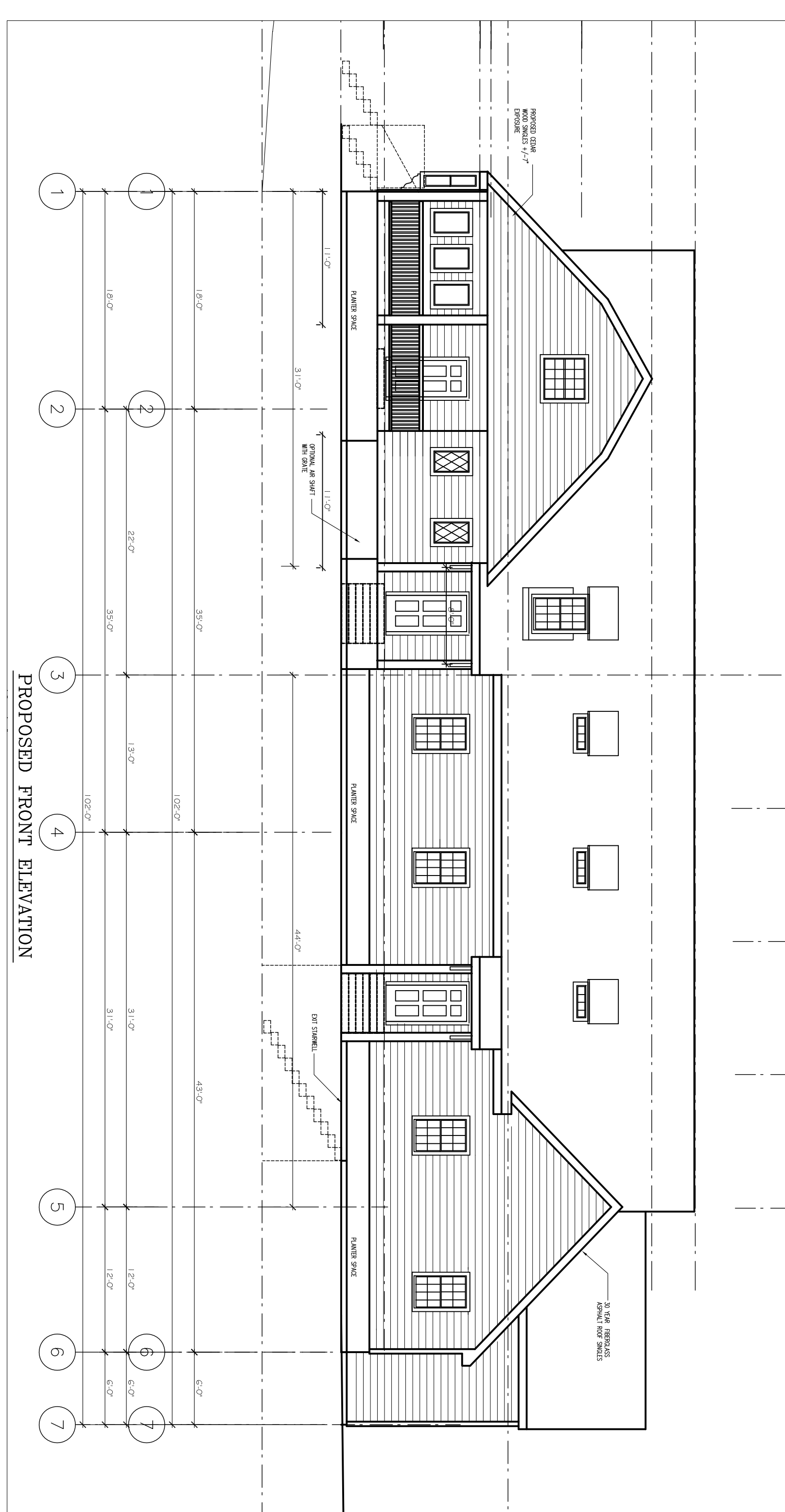
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SEE VTPPLS, NEWTON HIGHLANDS, MA  
CURRENT SURVEY PLAN

SITE PLAN 15 SOUTH GATE PARK, WEST NEWTON, MA 02465

LEGEND	ABBREVIATIONS
	AL Aluminum
	APPROX Approximately
	BLDG Building
	CLG Ceiling
	CLR Clear
	COL Column
	CONC Concrete
	CONSTR Construction
	CONT Continuous
	CPT Carpet
	CT Ceramic Tile
	CTR Center
	DET Detail
	DIA Diameter
	DISP Dispenser
	DN Down
	DWG Drawing
	ELEC Electric(Electrical)
	EQ Equal
	ETR Existing to Remain
	EXIST Existing
	FLL Finish Floor
	GA Gauge
	GWB Gypsum Wall Board
	HCP Handicapped
	HDP High Density Polymer
	HR Hour
	HT Height
	HT Insulation(Insulated)
	INSUL Light
	LT Maximum
	MECH Mechanical

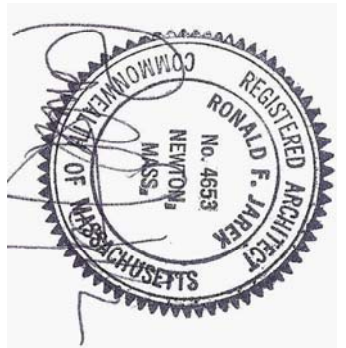


15 South Gate Park, West Newton, MA 02465  
RESIDENTIAL RENOVATION AND ALTERATION

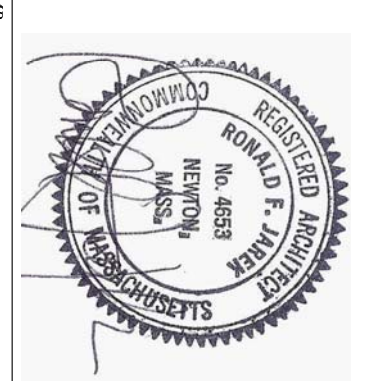
## LIST OF DRAWINGS

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- A-2a BASE GARAGE TURNING MOVE FLOOR PLAN
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- EX-1 EXISTING ELEVATION
- EX-2 EXISTING ELEVATION
- EX-3 EXISTING ELEVATION
- EX-4 EXISTING ELEVATION

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SPECIAL PERMIT SET UPDATE: 9/17/2015



SPECIAL PERMIT SET - TITLE SHEET  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,  
15 SOUTH GATE PARK,  
WEST NEWTON, MA 02465  
CLIENT:  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465  
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	4/23/2015
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
<b>A-0</b>	

**15 SOUTH GATE PARK RESIDENCES,  
WEST NEWTON, MA 02465**

**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HERE RATINGS.
2. PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. DRAWING INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION.
5. THE CONTRACTOR SHALL OBTAIN AND REVIEW ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW QUANTITIES, LENGTHS, SIZES, AREAS, ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
9. IF HAZARDOUS WASTES ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHD0 STANDARDS.

**GENERAL NOTES STRUCTURAL**

1. ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS.
2. DO NOT SCALE THIS DRAWING. REFER TO ARCH. DIMS. FOR ALL ELEVATIONS.
3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPOINTMENTS.
4. STRUCTURAL MEMBERS ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL EXISTING LAYOUT ITEMS. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
7. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
8. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

**FOUNDATION NOTES**

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
2. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY WEIGHT.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

**PLYWOOD NOTES**

1. ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL I. PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
2. ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4".
2. ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

**CONCRETE NOTES**

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE), CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
2. CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE MIN. COMPRESSIVE STRENGTH = 4000 PSI
3. ALL BARS REINFORCING SHALL CONFORM TO ASTM A615 - GRADE 60
4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6-W4x4W UNLESS NOTED.
5. MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:  
SLABS: TOP - 2" (MIN)  
WALLS: ALL SIDES - 2" (MIN)
6. ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL, WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOINTS AND FNS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN. TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNER'S & OWNER.
7. CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
8. BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDBONET" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR APPROVED EQUAL.
9. DOWELLING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
10. CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

**WOOD NOTES**

1. ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
2. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL, WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fb = 1500 PSI, Fv = 190 PSI.

**NOTE - DIMENSION**

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

**PRODUCTS**

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES

**EXTERIOR MATERIALS LIST:  
15 SOUTH GATE PARK., West Newton MA 02465**

**ROOF:**

- 30 year Fiberglass Asphalt Shingles
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

**TRIM**

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

**SIDING**

- Square Butt Cedar Wood Shingles 7" to weather, texture side out, matching existing
- Painted MDO Plywood at Dormer Pediments
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs
- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs

**DOWN SPOUTS AND GUTTERS**

- Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings

**WINDOWS**

- Marvin or equal Insulated Glass, Simulated 2 over 1 Divided Lites and Ovals

**DOORS**

- Synthetic Panel Entry Units with Vision Lites and/or Simulated Divided Side Lites
- Synthetic Panel Style Garage Door or Colling Grill Style based on VentilationReqs.

**COLUMNS**

- Azek or equal Square synthetic and/or field built square Columns, Plinth and Capital.

**PORCH, DECK and STEPS and Ramps**

- Trex or equal Porch, Deck and Stair Treads
- Azek or equal Risers and Stringers

**LIGHTING**

- Synthetic Balustrade and Square Newel Posts, Synthetic Rail System at HC Ramps

**HARDWARE**

- Wall Mounted Lantern Style
- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

**WALKS**

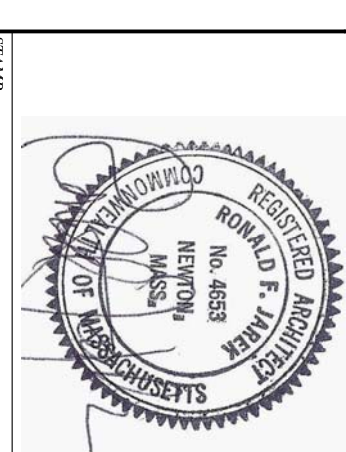
- Modular Pavers at Entry Points
- DRIVEWAY
- Bituminous

**RETAINING WALLS**

- Concrete at Vehicular Ramp and Stone Faced (match fdn) at Handicapped Ramp.

**Floor Area Ratio Chart: 15 SOUTH GATE PARK RESIDENCES, WEST NEWTON, MA 02465**

AREA	UNIT "1"				UNIT "2"				UNIT "3"				UNIT "4"				TOTAL S.F. ALLOWED @ 0.39 FAR	TOTAL S.F. PROVIDED @ 0.43 FAR
	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR				
BASEMENT / GARAGE	3776 SF																	
FIRST FLOOR	1117 SF		377 SF		763 SF		886 SF											
SECOND FLOOR	550 SF	PARTIAL CATHEDRAL	550 SF		673 SF		823 SF											
ATTIC FLOOR AREA		LESS THAN 7'		LESS THAN 7'		LESS THAN 7'		LESS THAN 7'					LESS THAN 7'					
TOTAL SQ. FT.	1667 SF.		1,227 SF.		1,436 SF.		1,709 SF.						5,507 SF.				6,039 SF.	



**SPECIAL PERMIT SET - NOTES & MATERIALS**

15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,  
15 SOUTH GATE PARK,  
WEST NEWTON, MA 02465

CLIENT:  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

**Ronald F. Jarek, Architect**  
487 Watertown Street  
Newtonville, MA 02460

DATE: 4/22/2015  
SCALE: AS NOTED

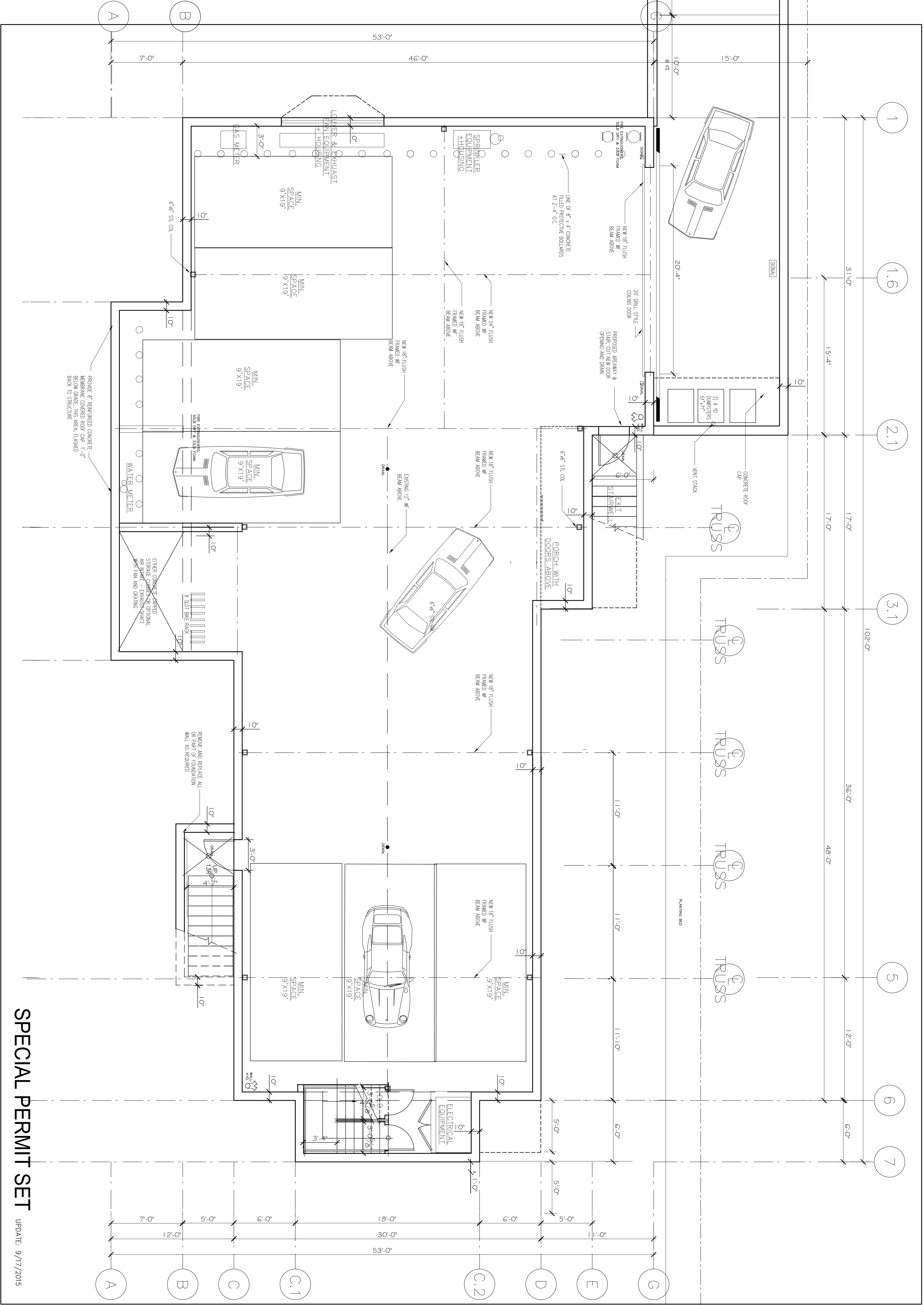
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CHECKED BY: R.J.

REV: 6/24/15

**SPECIAL PERMIT SET**

UPDATE: 9/17/2015

**A-1**



**SPECIAL PERMIT SET**

UPDATE: 9/17/2015

DATE:	SCALE:	DRAWN BY:	CHECKED BY:	REV:
	AS NOTED	NEH	RJ	6/25/14

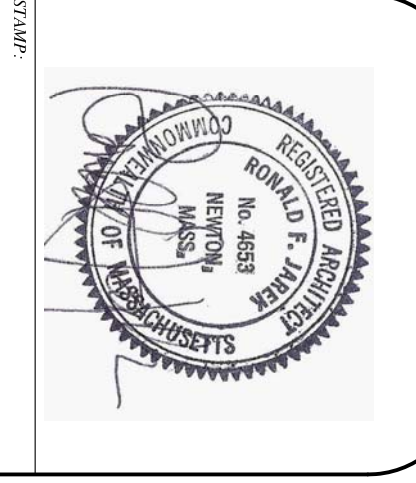
**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

**PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465**

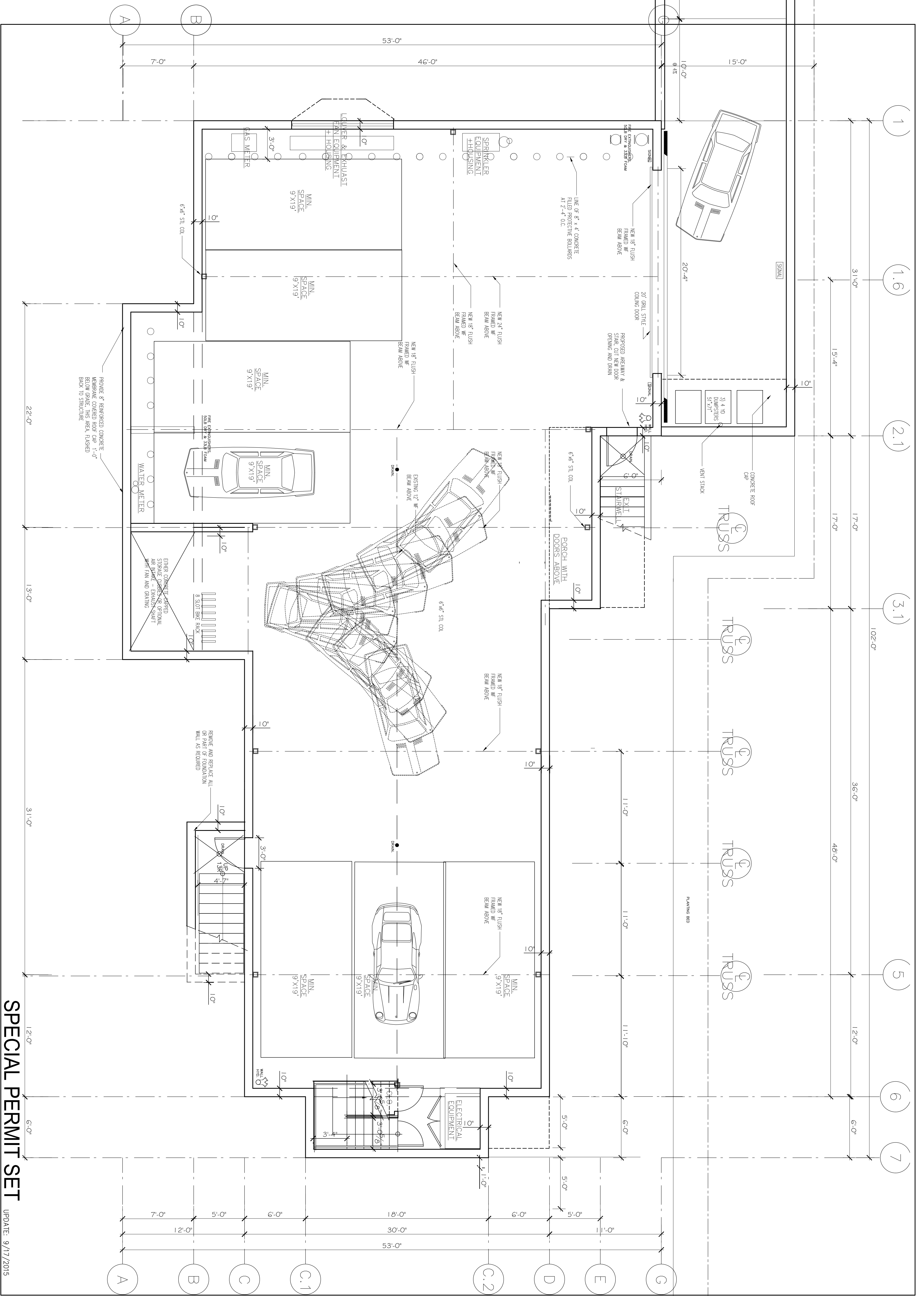
**CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465**

**BASEMENT GARAGE**

15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465



**A-2**



**SPECIAL PERMIT SET**

UPDATE: 9/17/2015

DATE:	4/22/2015
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
REV:	6/4/2014

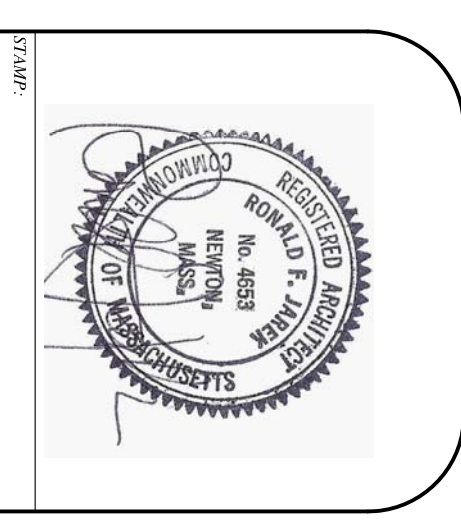
**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

**PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465**

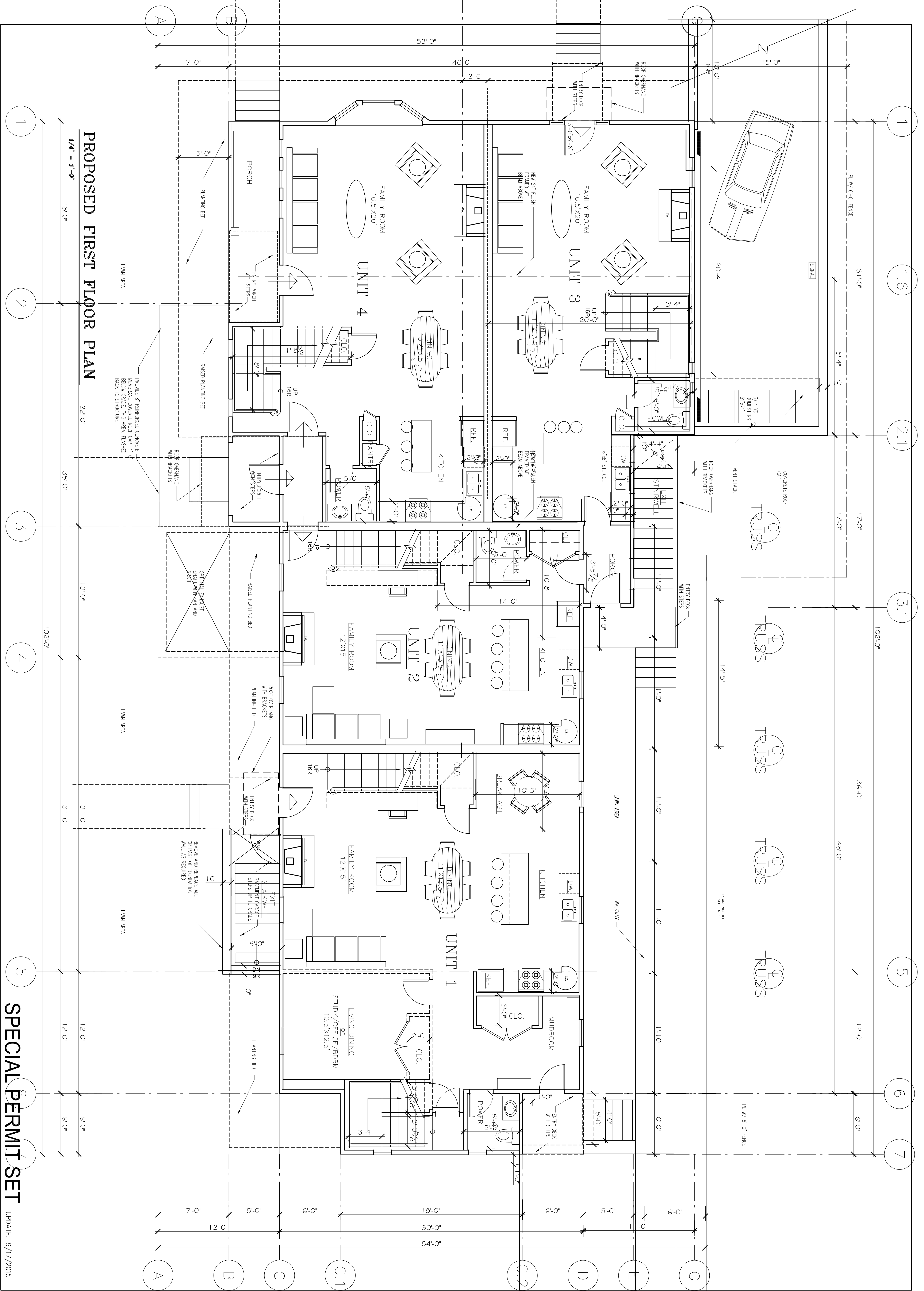
**CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465**

**BASEMENT GARAGE - TURNING MOVEMENT**

**15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465**



**A-2a**



**PROPOSED FIRST FLOOR PLAN**  
 1/4" = 1'-0"

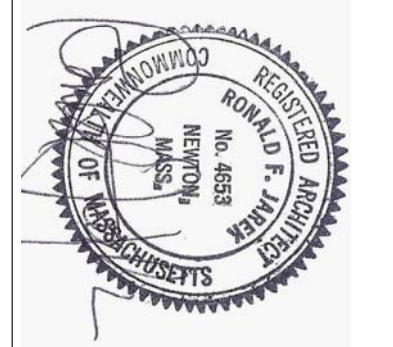
**SPECIAL PERMIT SET**

UPDATE: 9/17/2015

**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

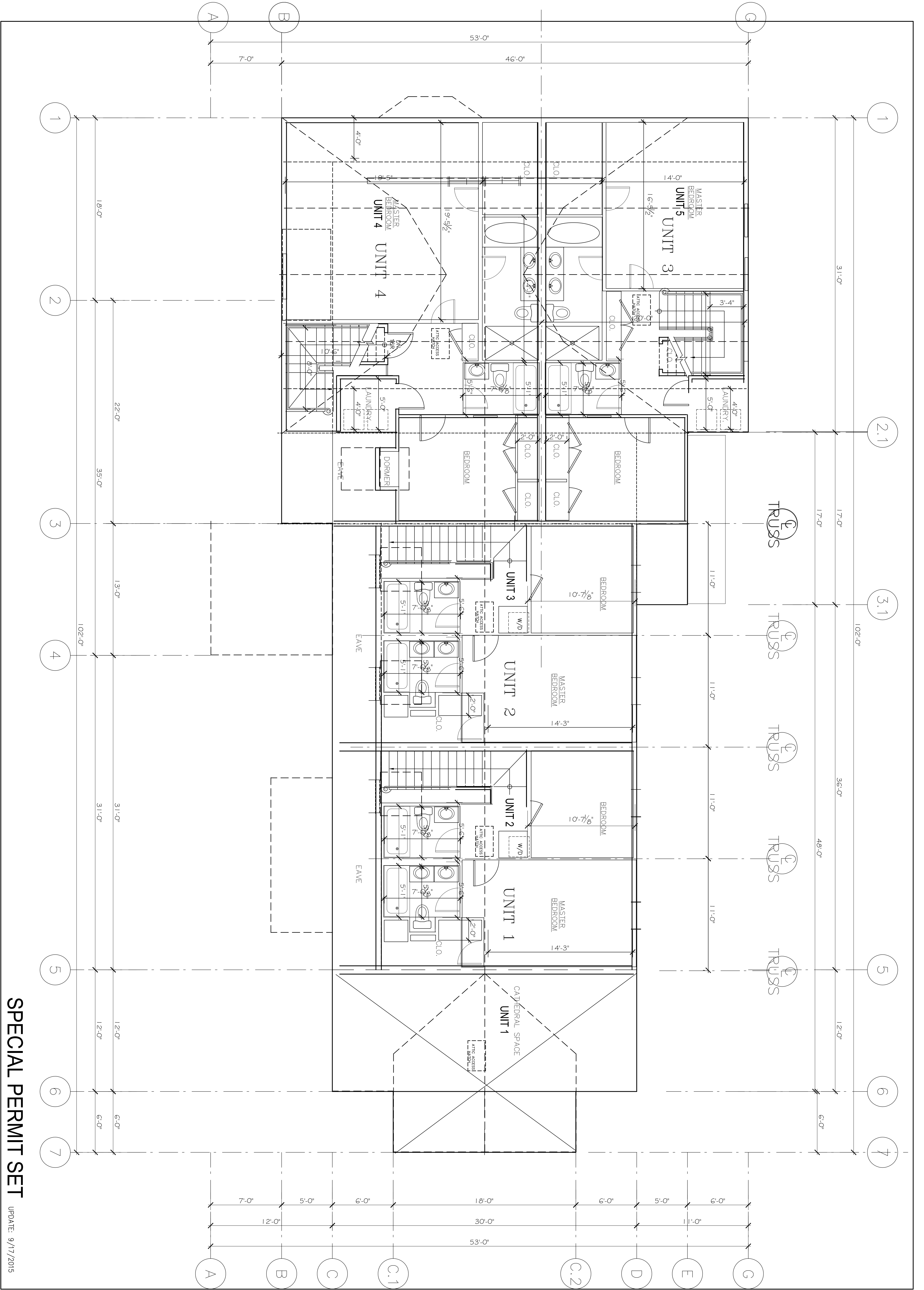
**PROJECT: RENOVATION & ALTERATIONS,**  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
**CLIENT:**  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

**FIRST FLOOR PLAN - SPECIAL PERMIT SET**  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465



**A-3**

DATE:	4/23/2015
SCALE:	AS NOTED
DRAWN BY:	NEH
CHECKED BY:	RJ
REV:	6/4/2014



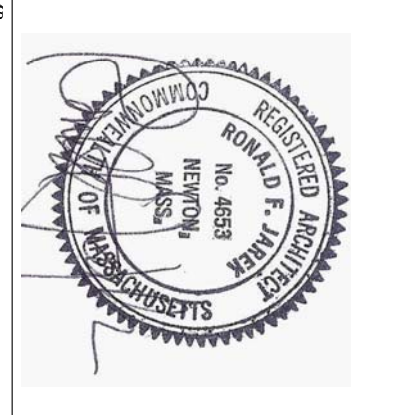
**SPECIAL PERMIT SET**

UPDATE: 9/17/2015

**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

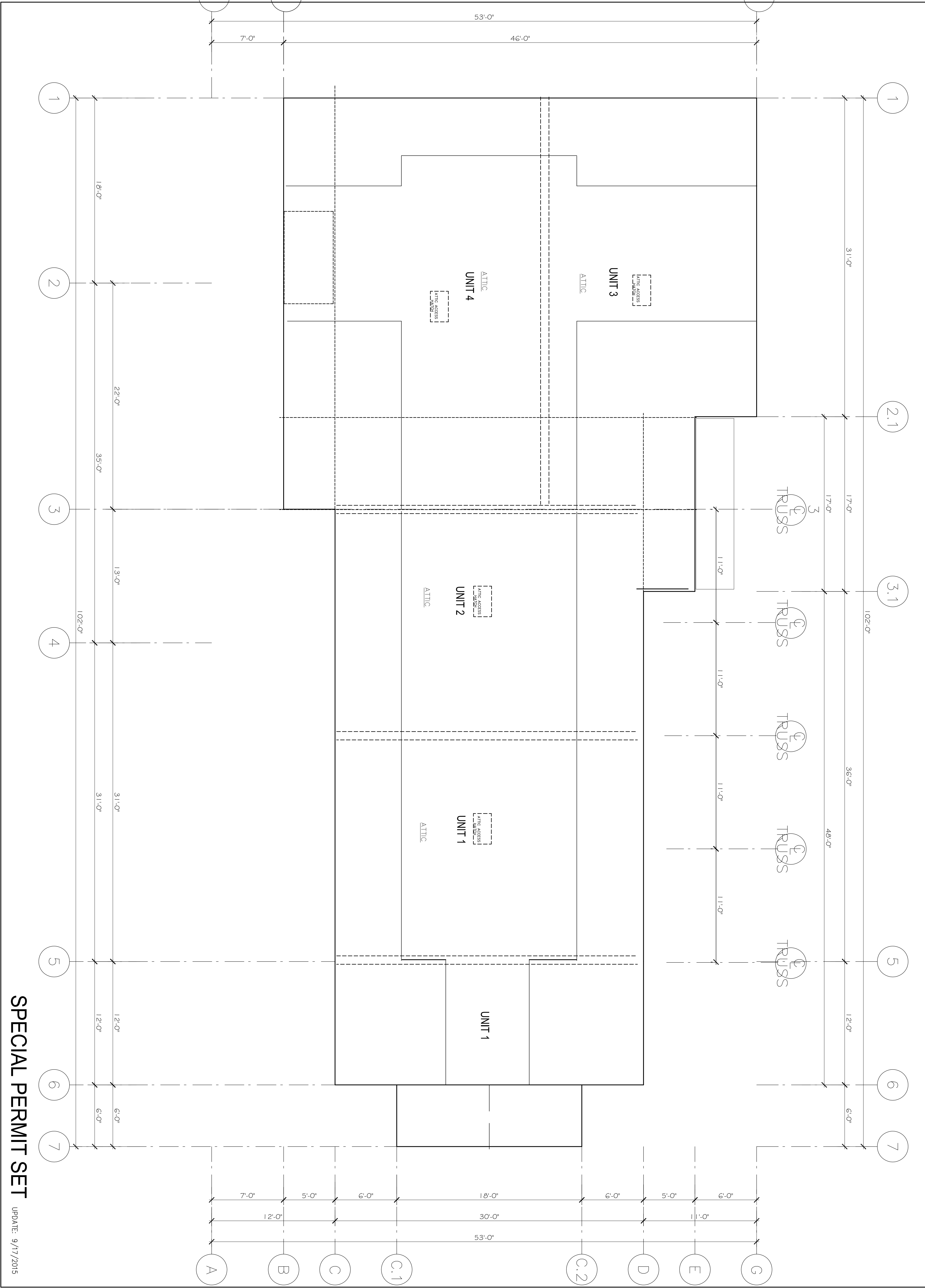
**PROJECT: RENOVATION & ALTERATIONS,**  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
**CLIENT:**  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

**SECOND FLOOR PLAN - SPECIAL PERMIT SET**  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465



**A-4**

DATE:	4/20/15
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
REV:	6/4/2014



**SPECIAL PERMIT SET**

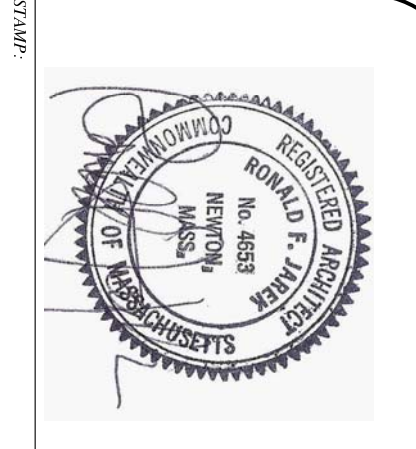
UPDATE: 9/17/2015

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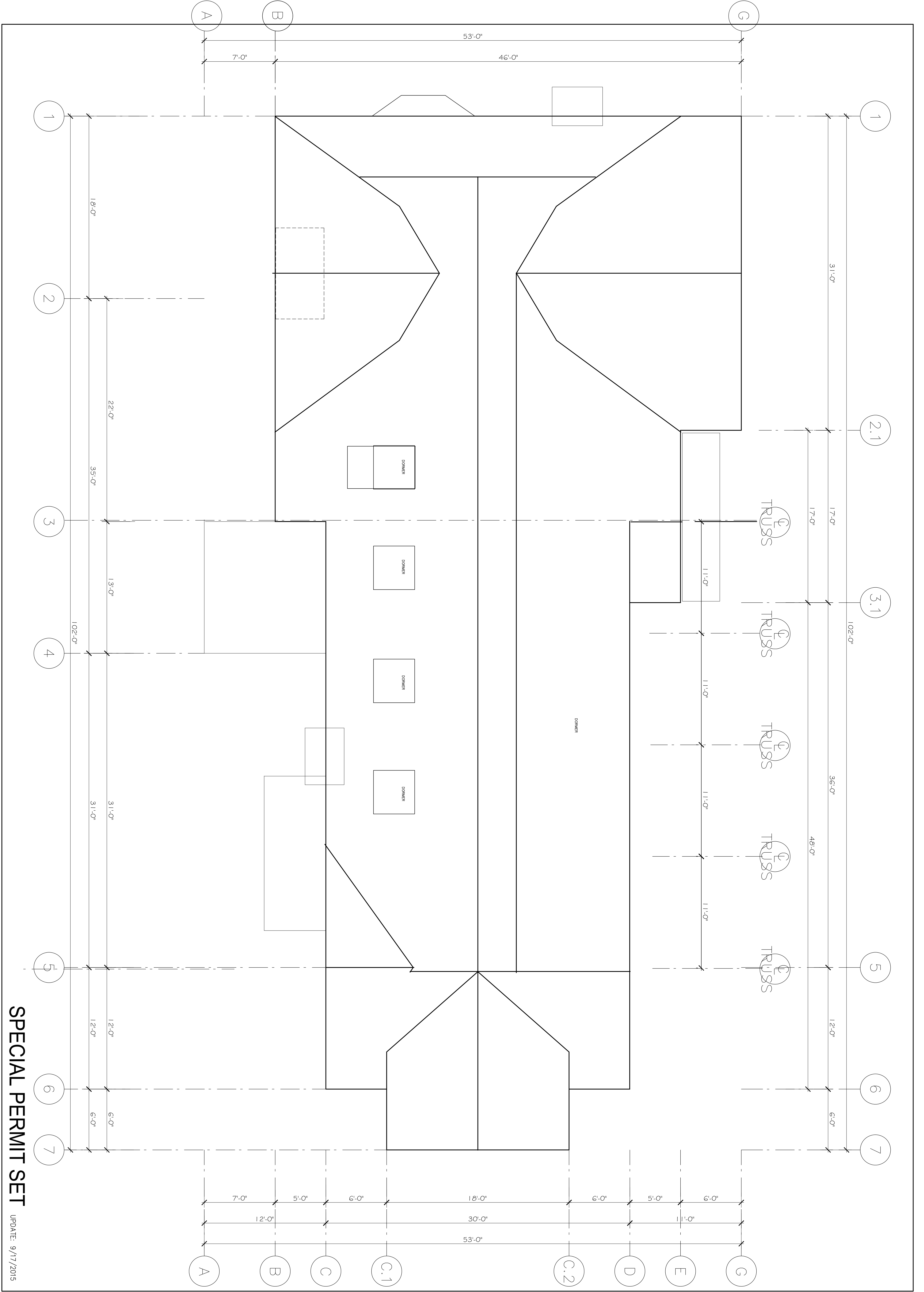
**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
 CLIENT:  
 15 SOUTH GATE PARK  
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ATTIC PLAN - SPECIAL PERMIT SET  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465



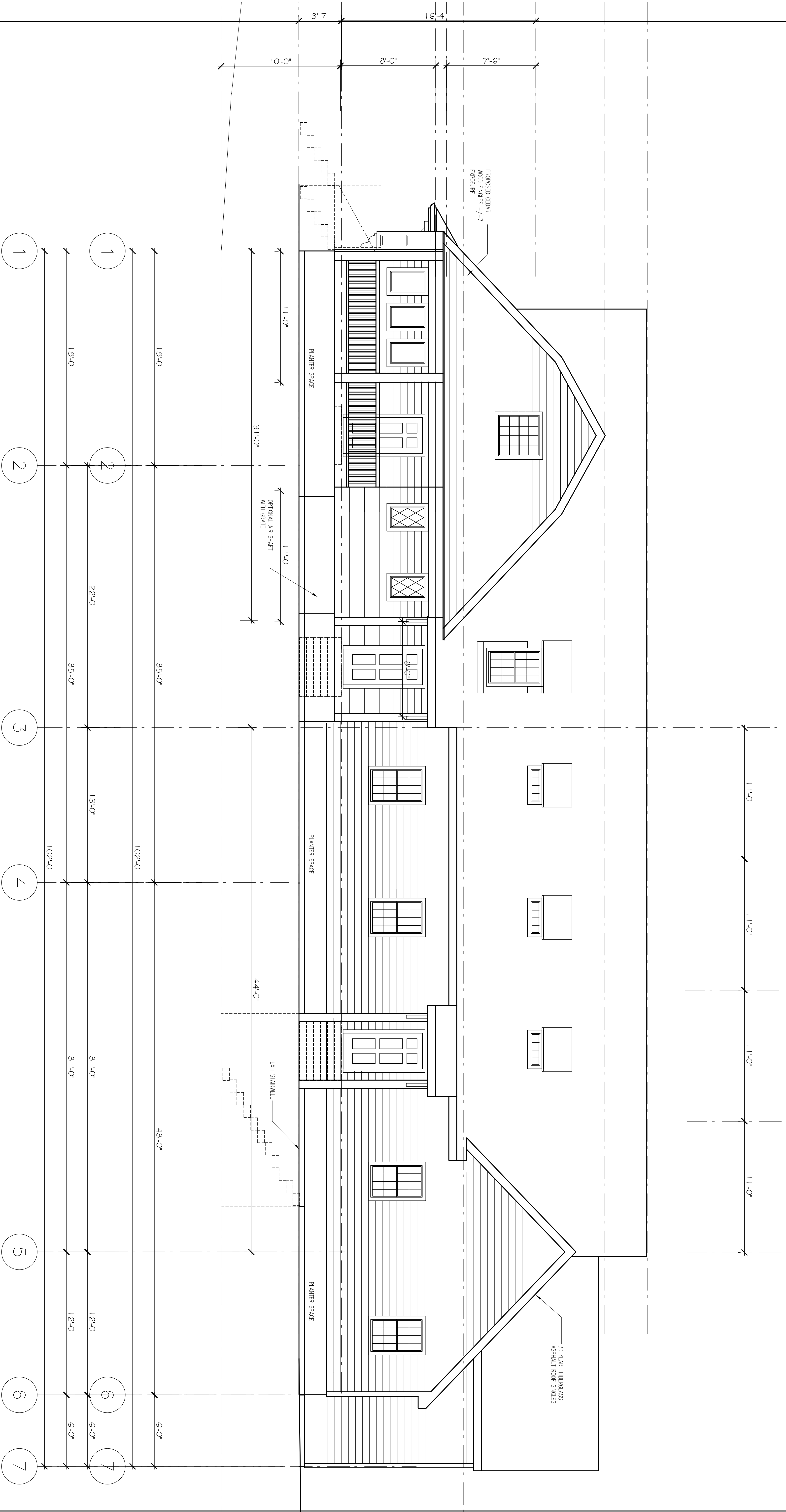
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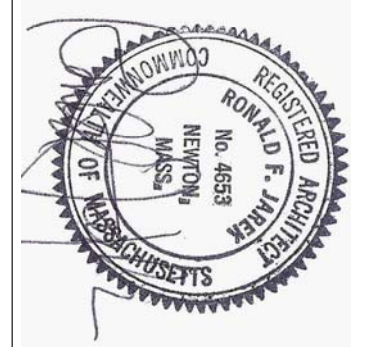
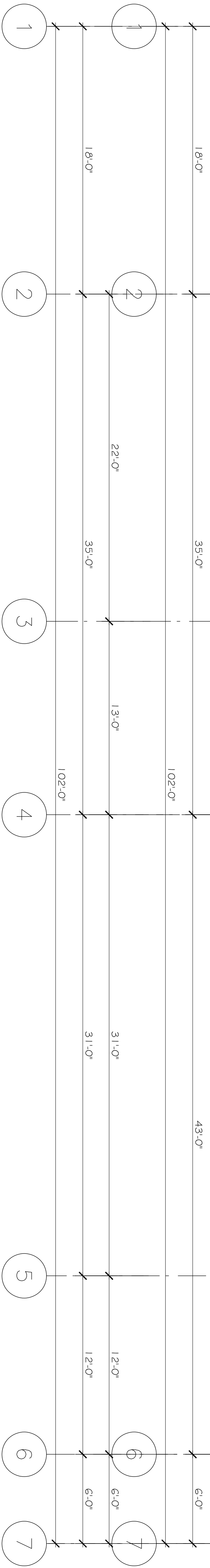
SPECIAL PERMIT SET UPDATE: 9/17/2015

<b>A-6</b>	<p><b>Ronald F. Jarek, Architect</b> 487 Watertown Street Newtonville, MA 02460</p>	<p>PROJECT: RENOVATION &amp; ALTERATIONS, 15 SOUTH GATE PARK, WEST NEWTON, MA 02465</p> <p>CLIENT: 15 SOUTH GATE PARK WEST NEWTON, MA 02465</p>	<p>ROOF PLAN - SPECIAL PERMIT SET</p> <p>15 SOUTH GATE PARK WEST NEWTON, MA 02465</p>	
DATE: 4/22/03	SCALE: AS NOTED	DRAWN BY: NSH	CHECKED BY: RJ	APP: 4/22/03





**PROPOSED FRONT ELEVATION**  
 1/4" = 1'-0"



FRONT ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

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 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465

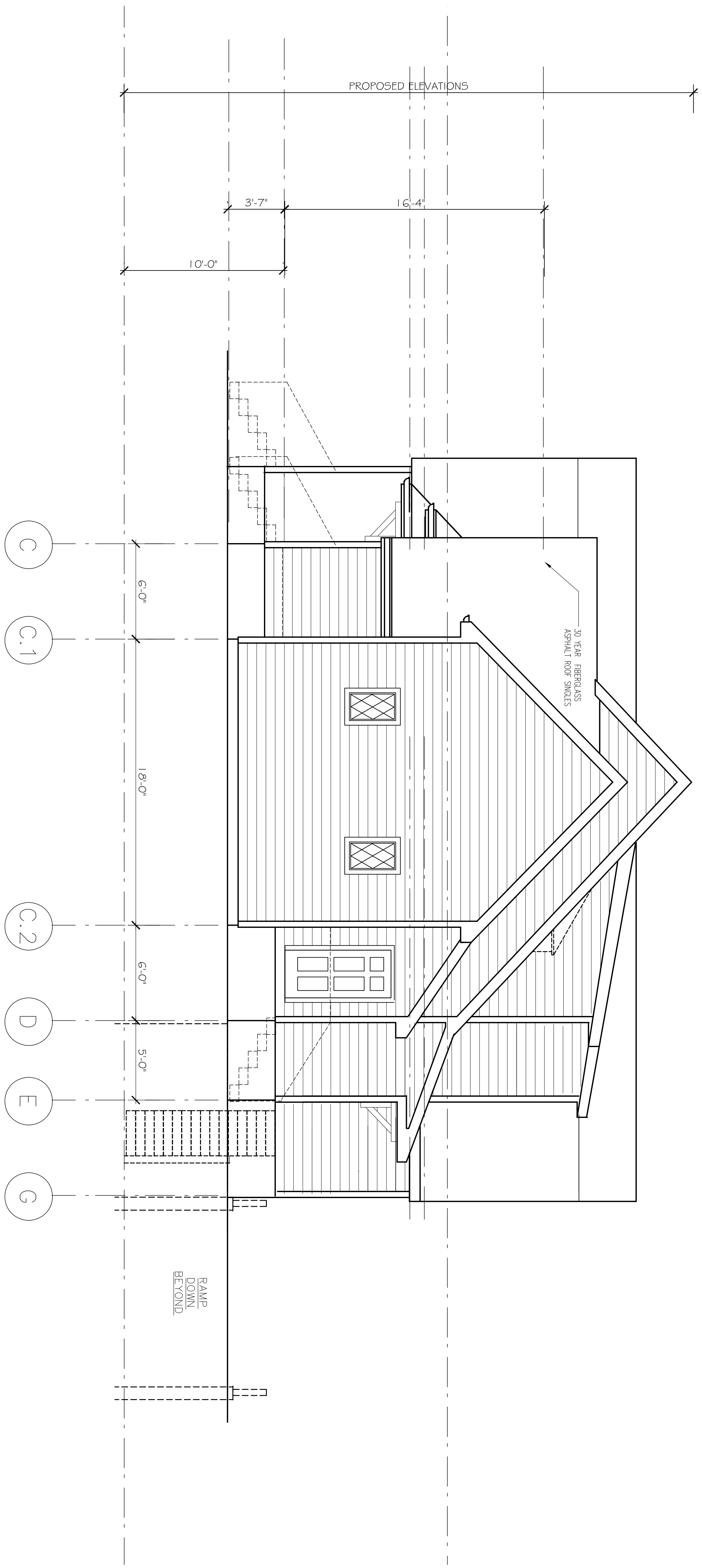
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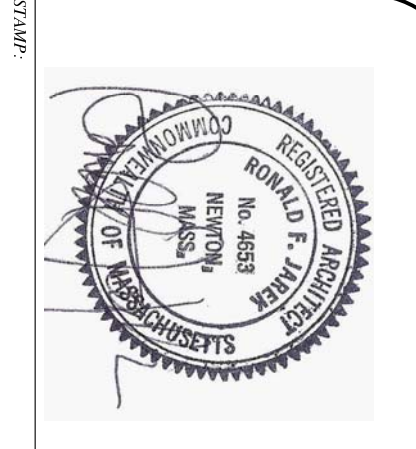
DATE:	NOV. 24, 2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
APP.:	

**SPECIAL PERMIT SET** UPDATE: 9/17/2015

**A-7**



PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"

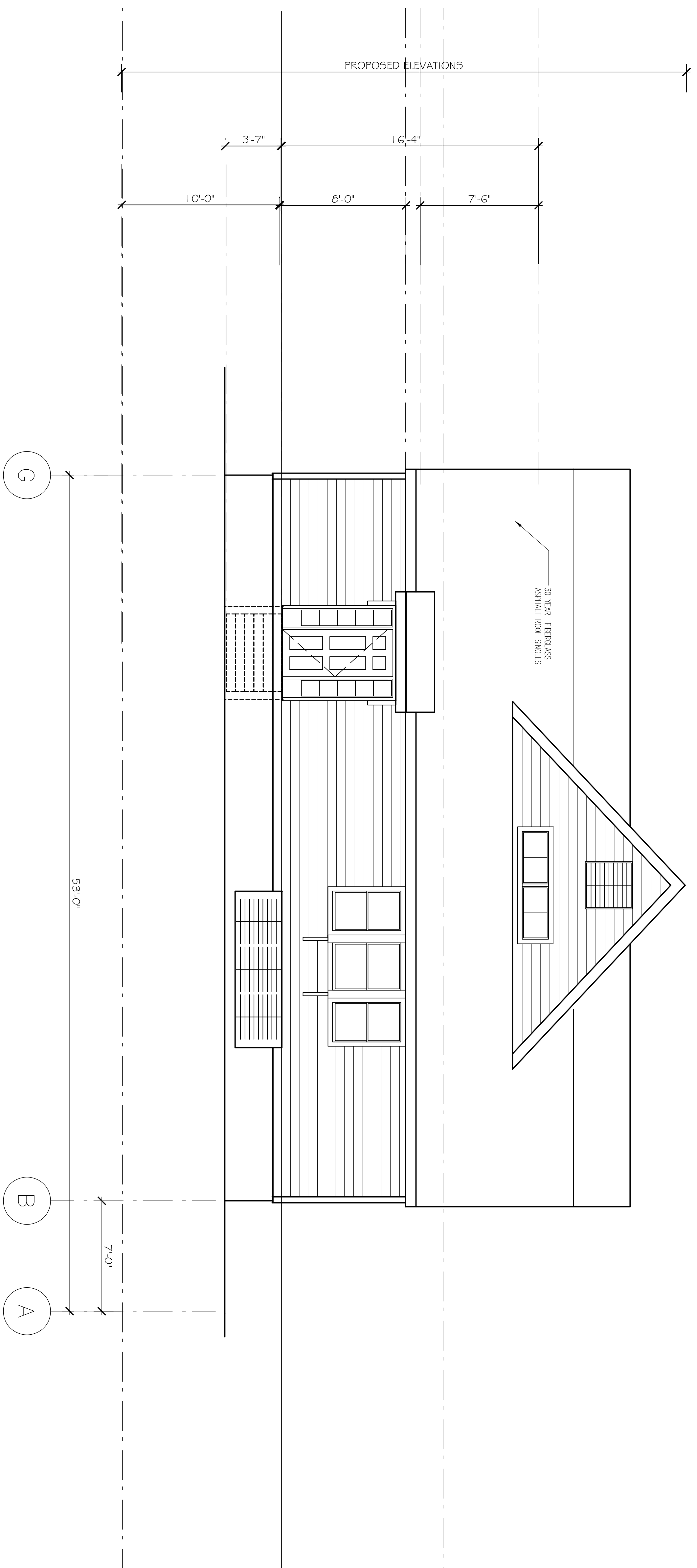


RIGHT ELEVATION - SPECIAL PERMIT SET  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

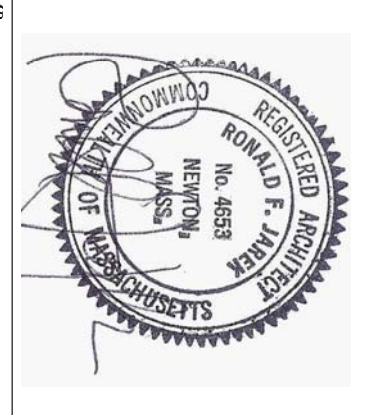
PROJECT: RENOVATION & ALTERATIONS,  
15 SOUTH GATE PARK,  
WEST NEWTON, MA 02465  
CLIENT:  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	4/22/2015
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
DATE:	



PROPOSED LEFT SIDE ELEVATION  
 1/4" = 1'-0"

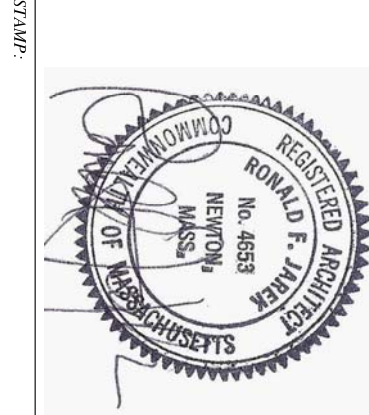
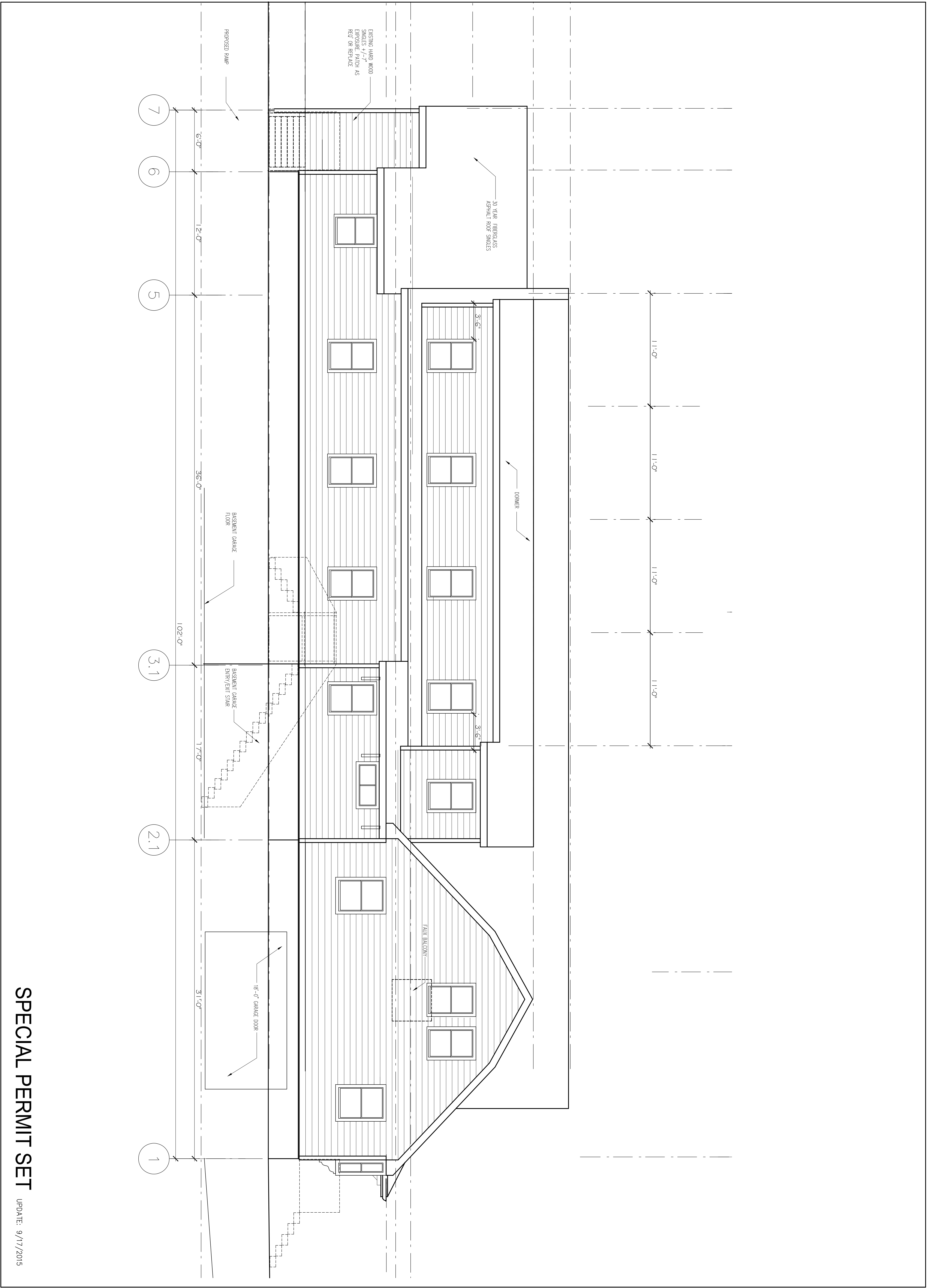


Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
 CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

LEFT ELEVATIONS - SPECIAL PERMIT SET  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

DATE:	4/23/2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
APP'D:	



REAR ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

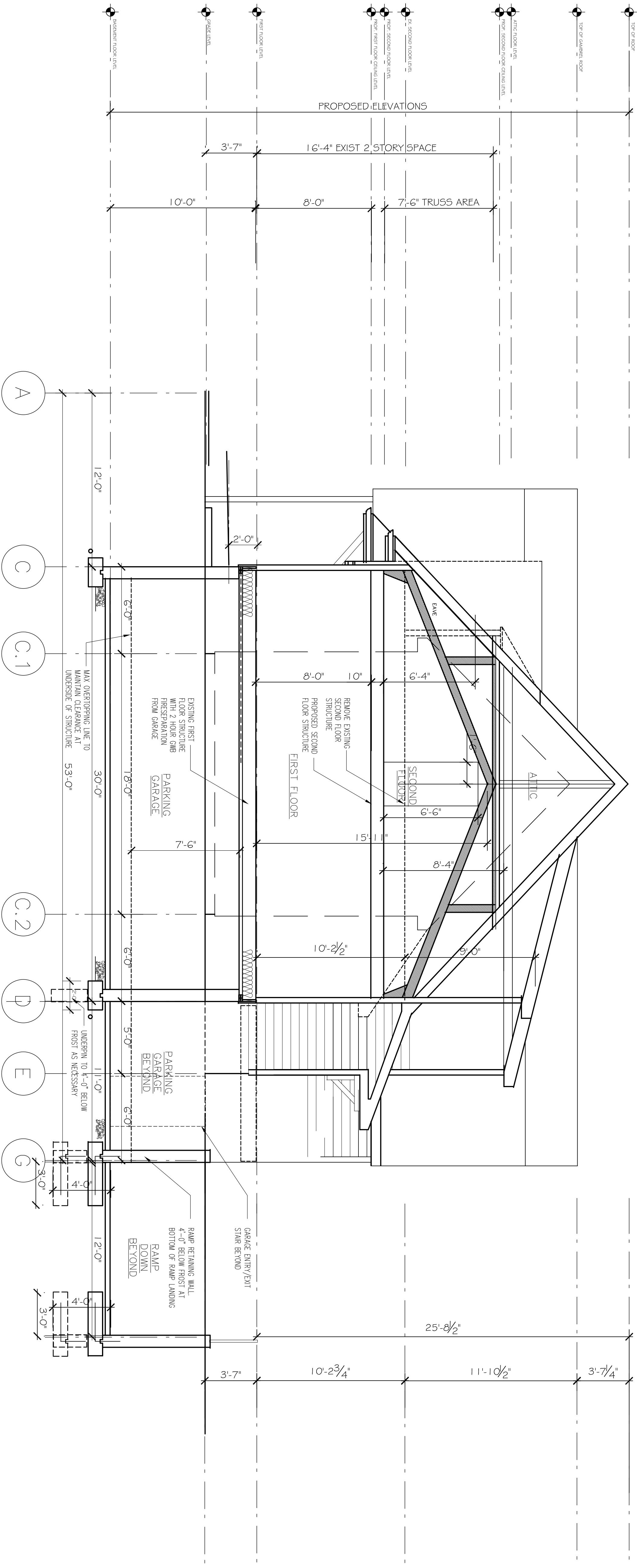
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15 SOUTH GATE PARK,  
WEST NEWTON, MA 02465

CLIENT:  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

Ronald F. Jarek, Architect

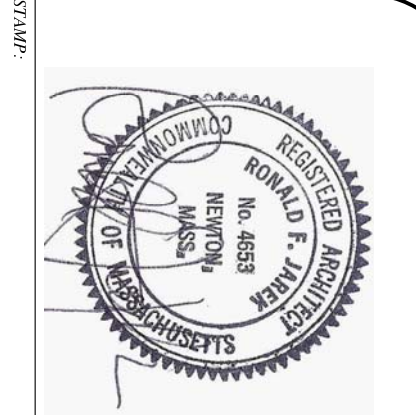
487 Watertown Street  
Newtonville, MA 02460

DATE:	4/20/15
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
DATE:	



PROPOSED RIGHT SIDE SECTION ELEVATION  
 1/4" = 1'-0"

SPECIAL PERMIT SET  
 UPDATE: 9/17/2015



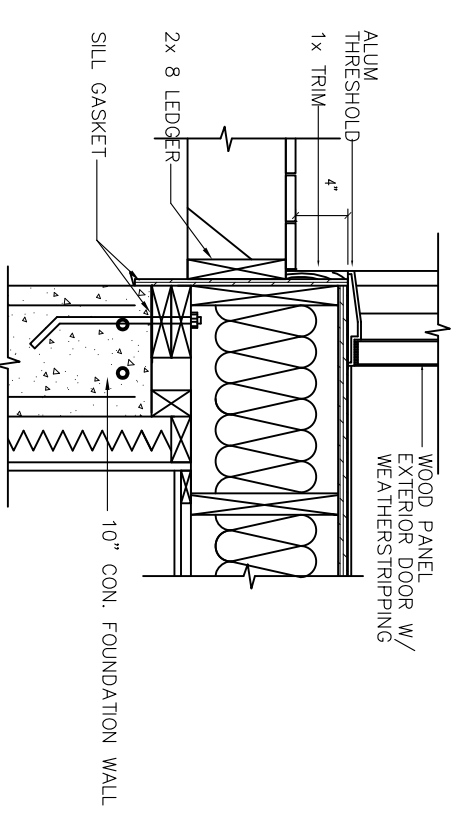
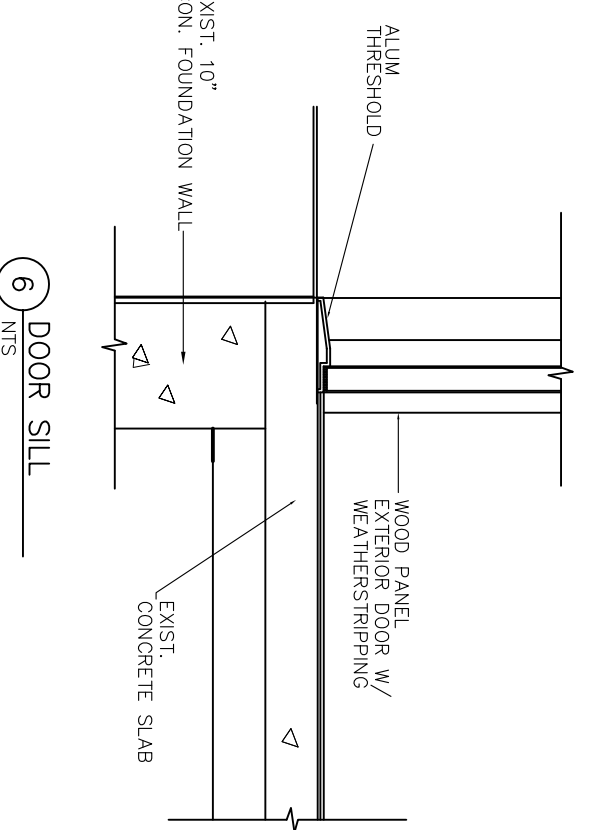
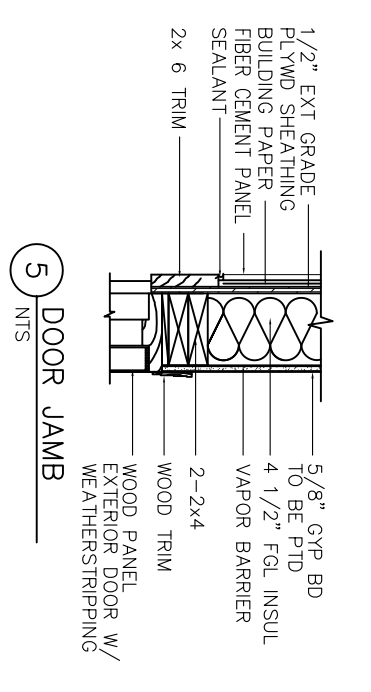
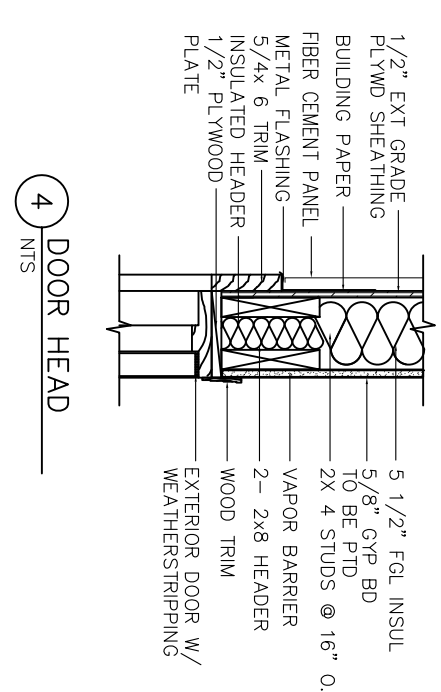
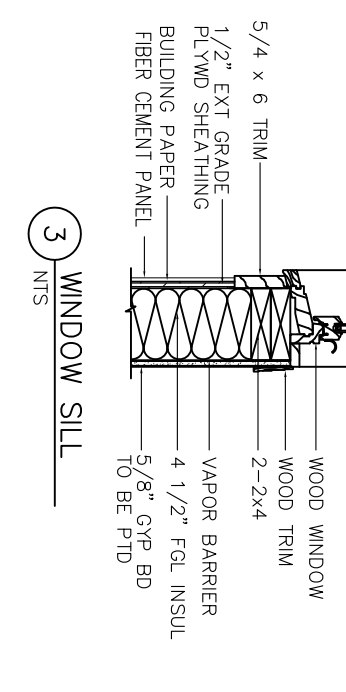
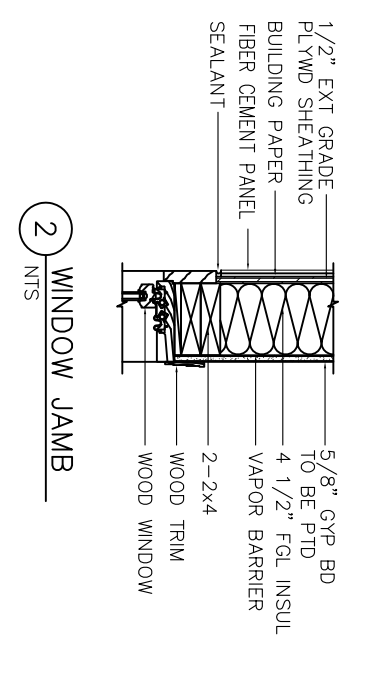
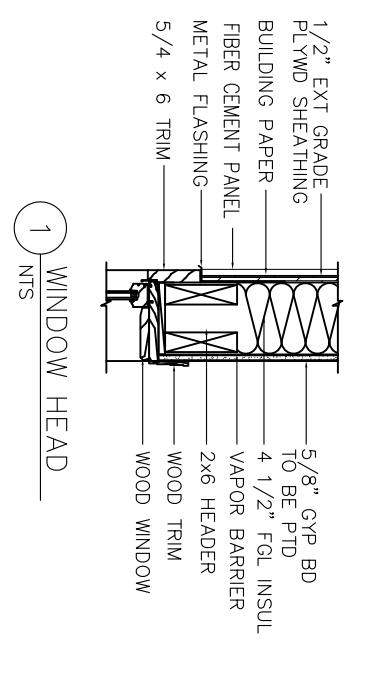
CROSS SECTION - SPECIAL PERMIT SET  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
 CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

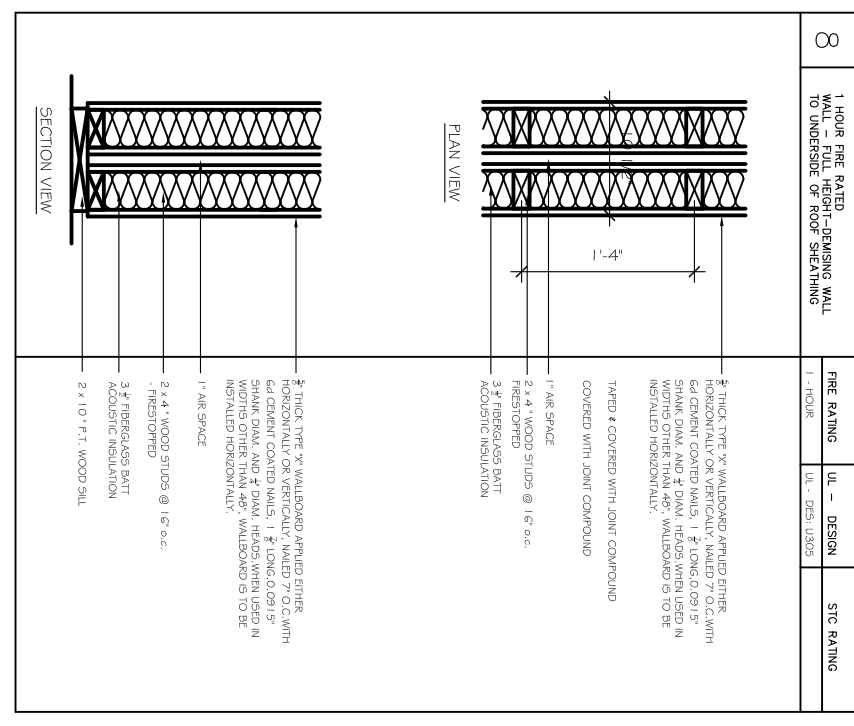
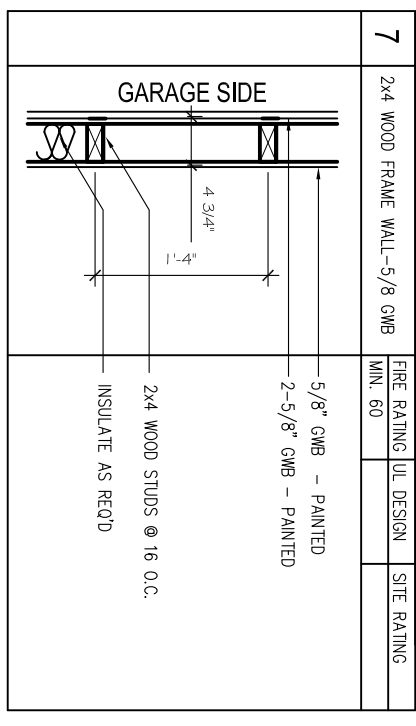
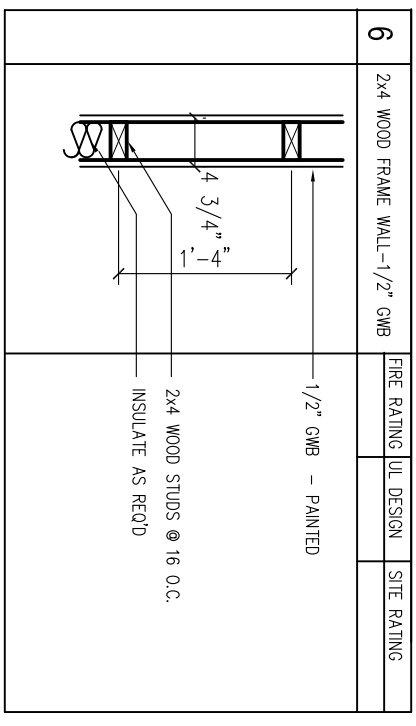
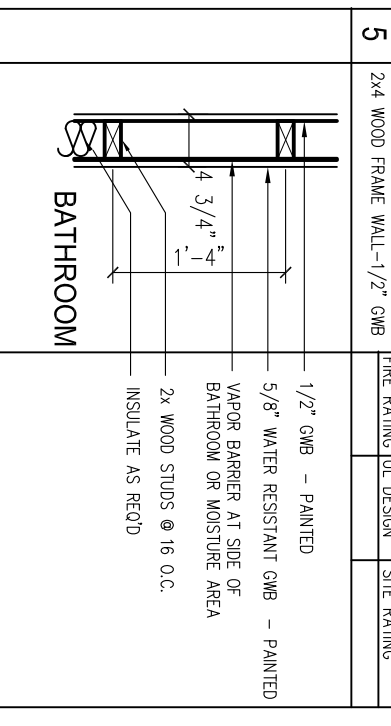
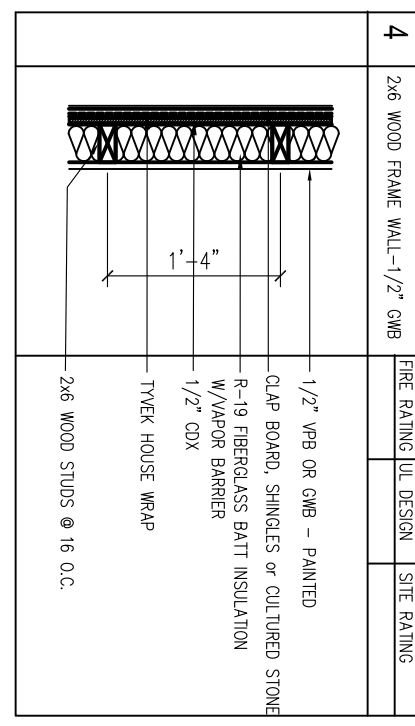
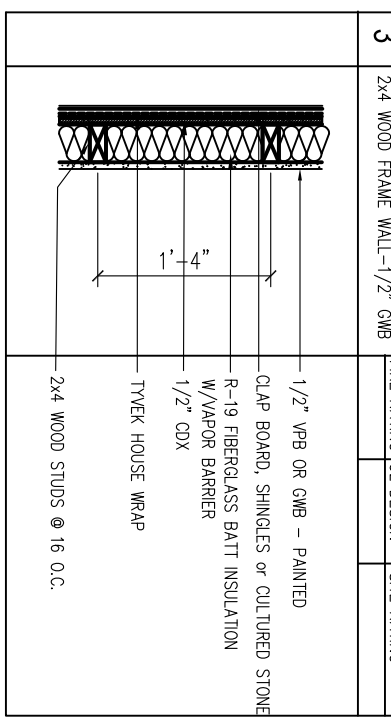
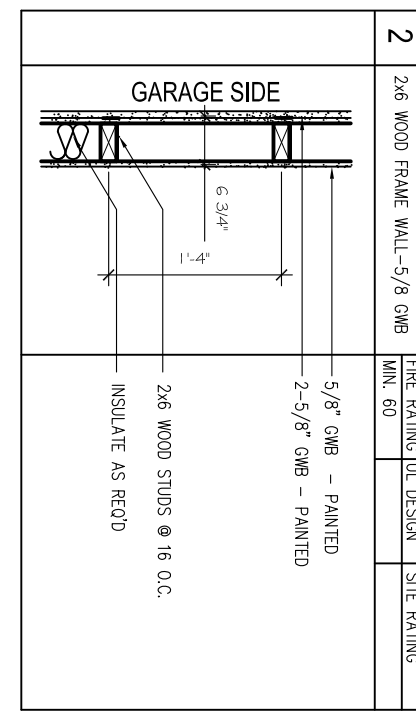
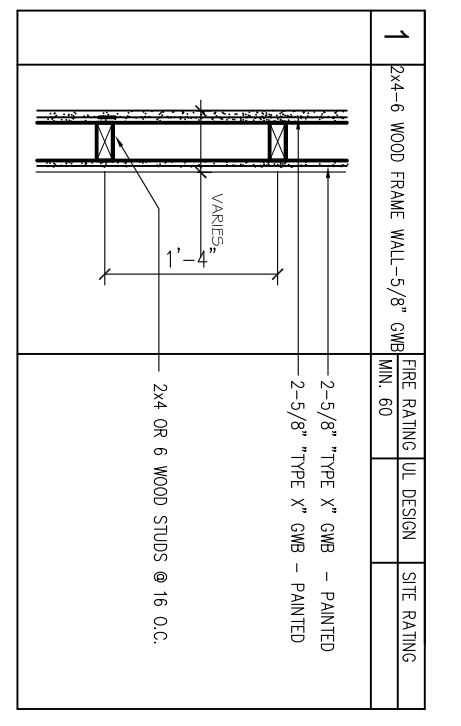
Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE	4/22/2015
SCALE	AS NOTED
DRAWN BY	NSH
CHECKED BY	RJ
APP.	

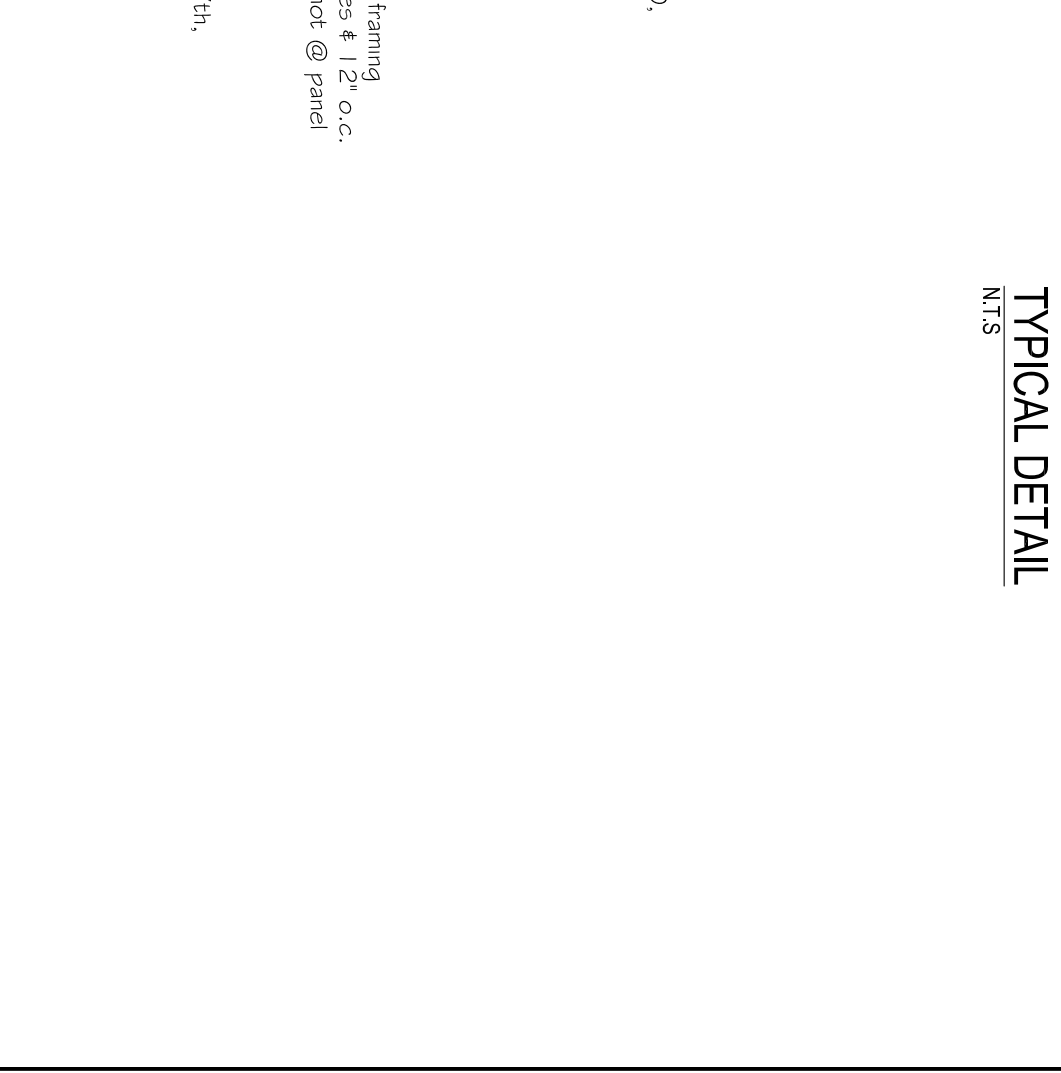
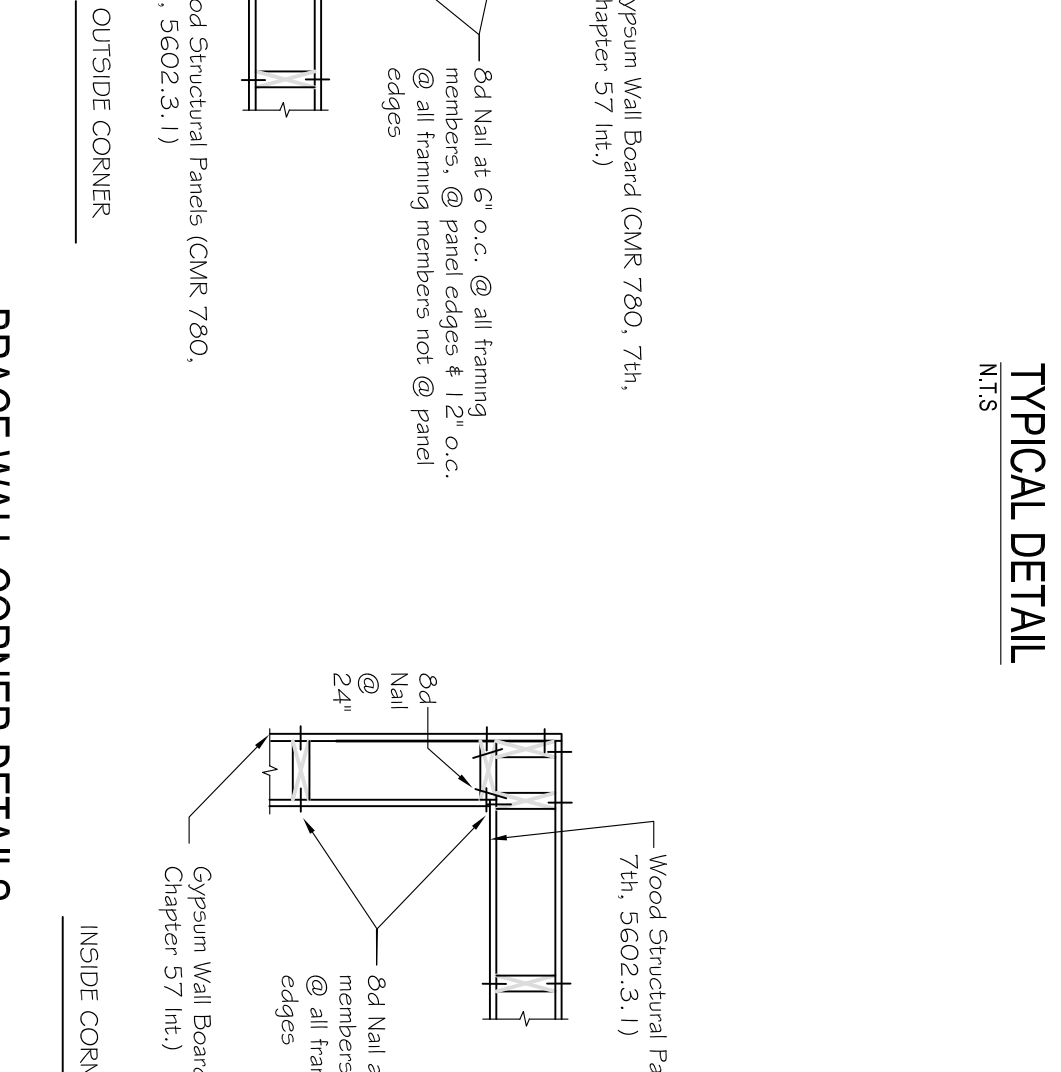
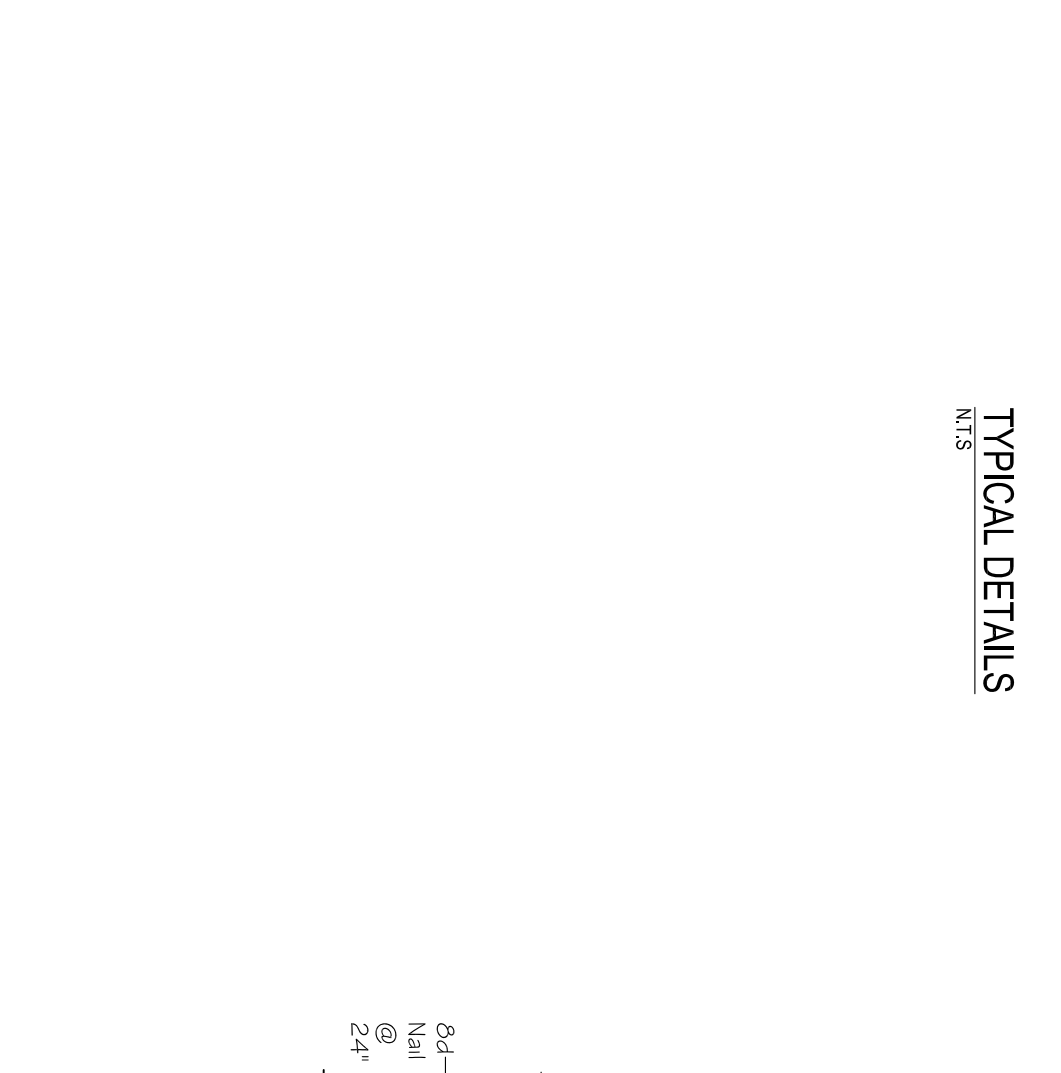
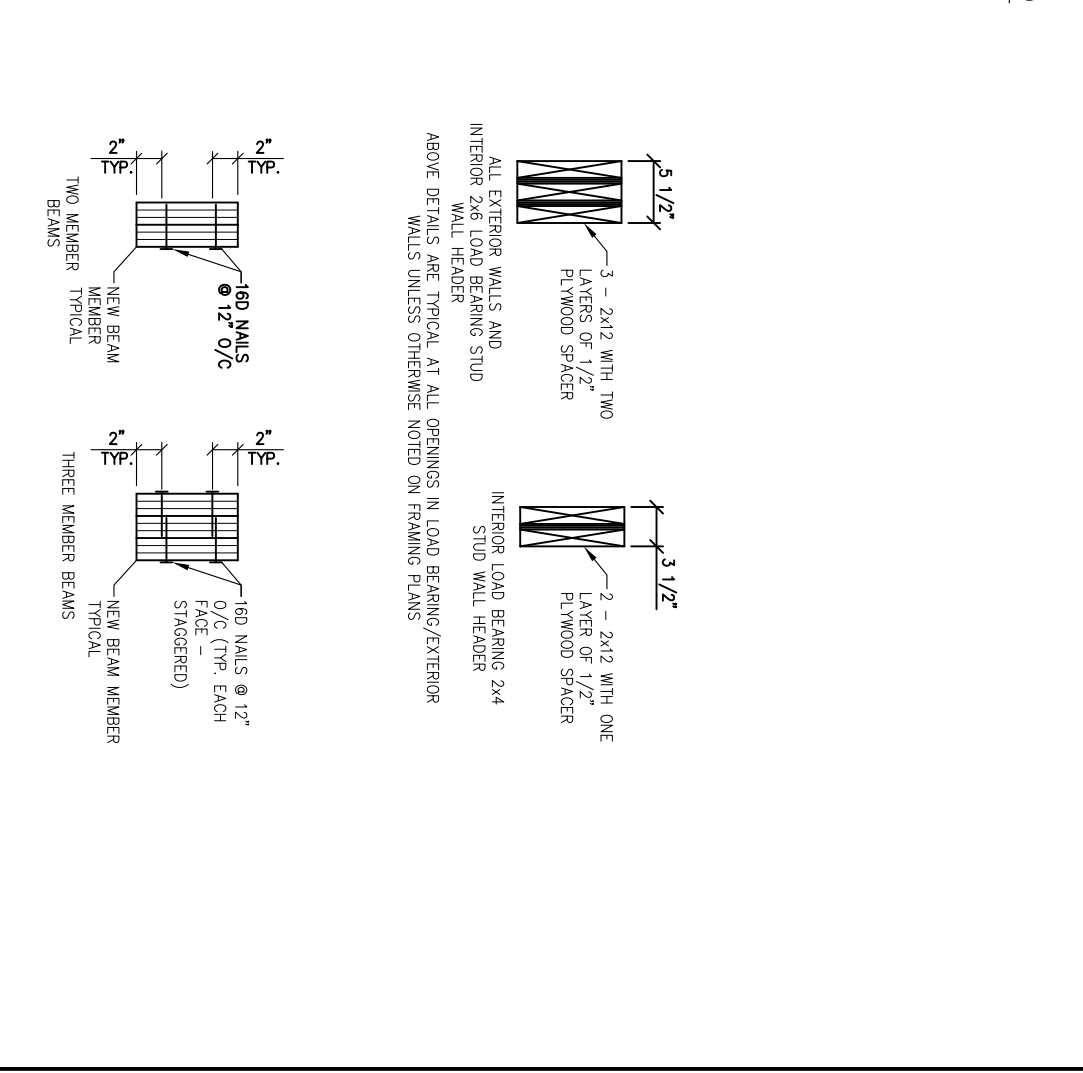
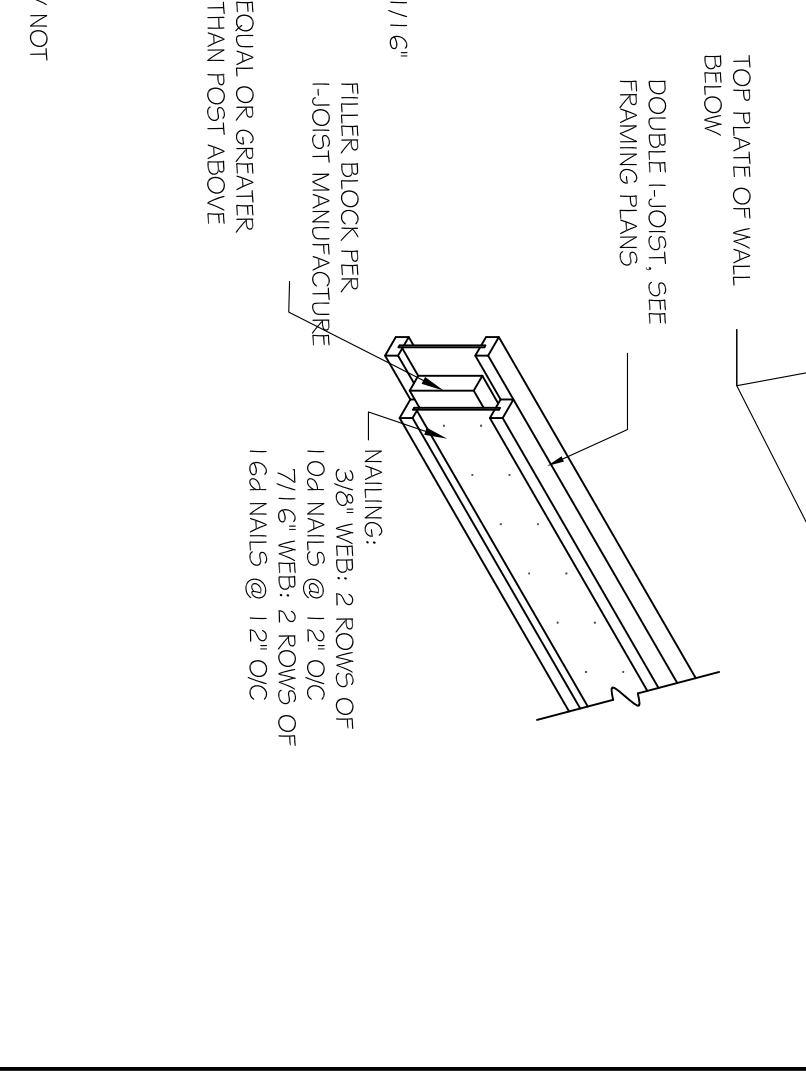
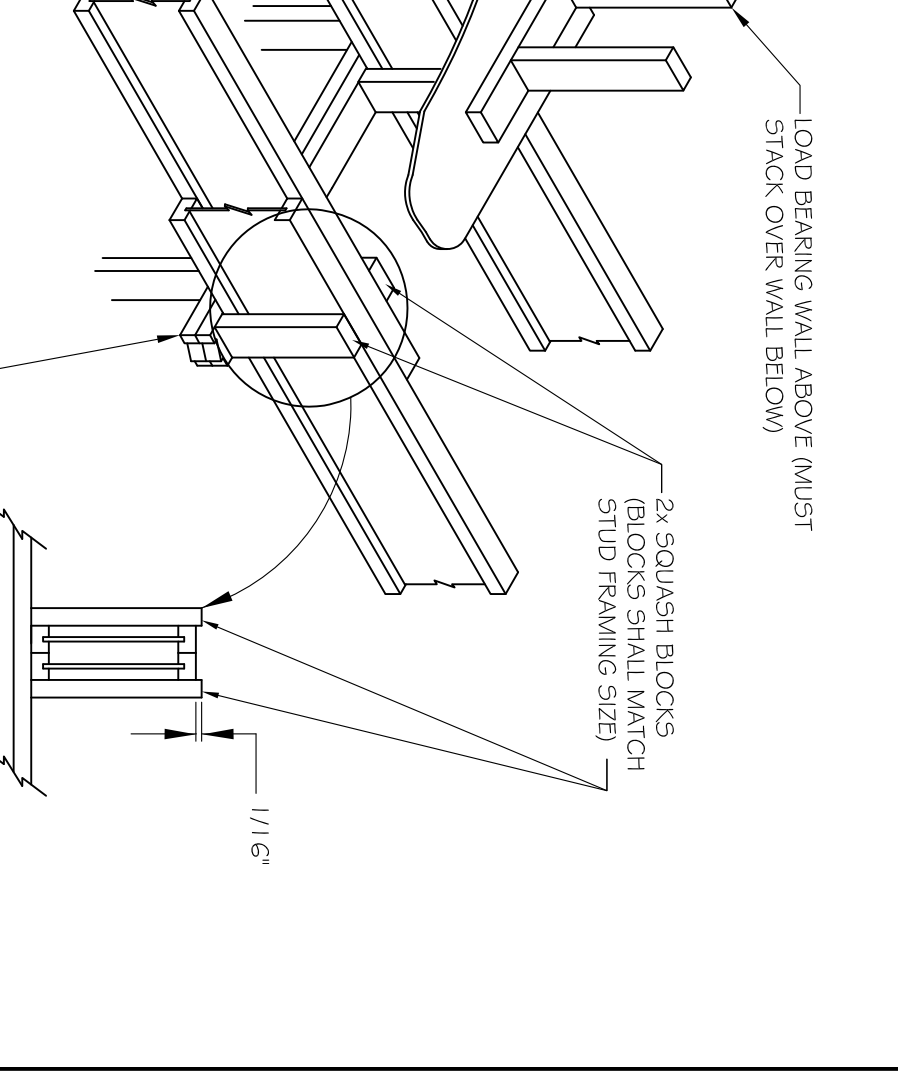
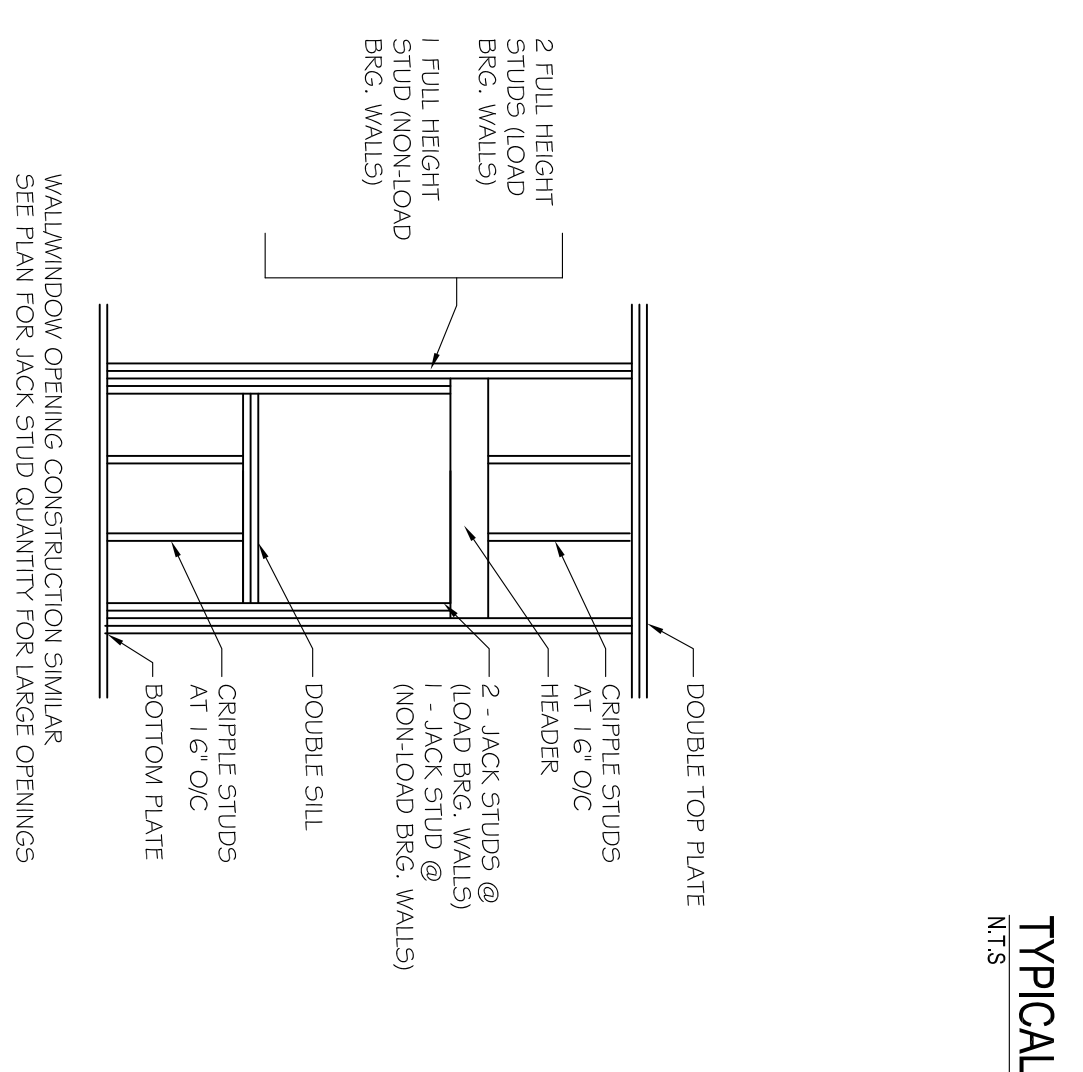
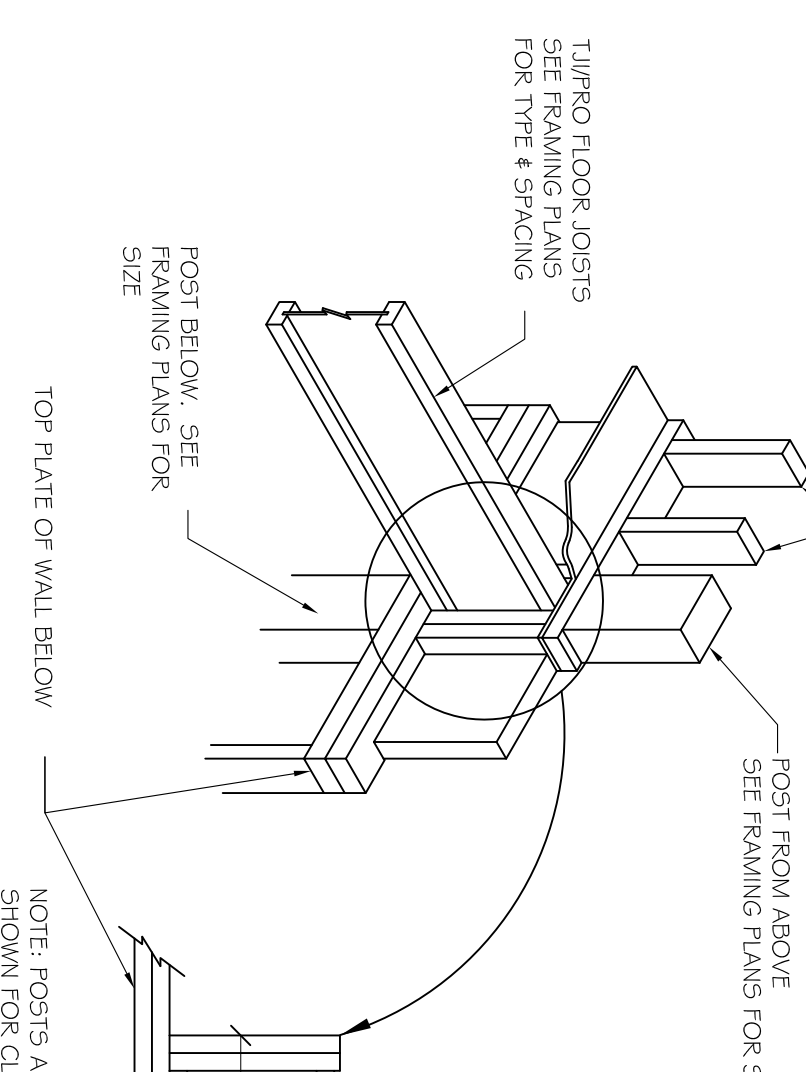
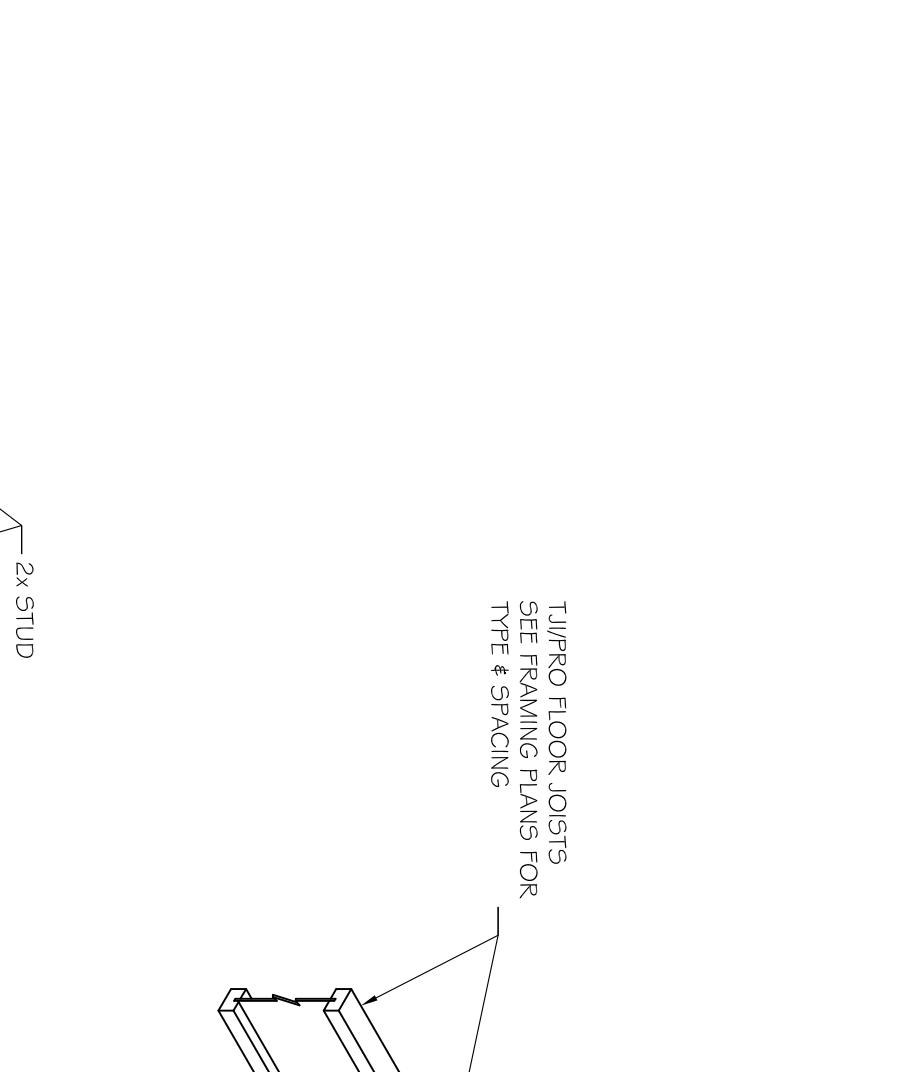
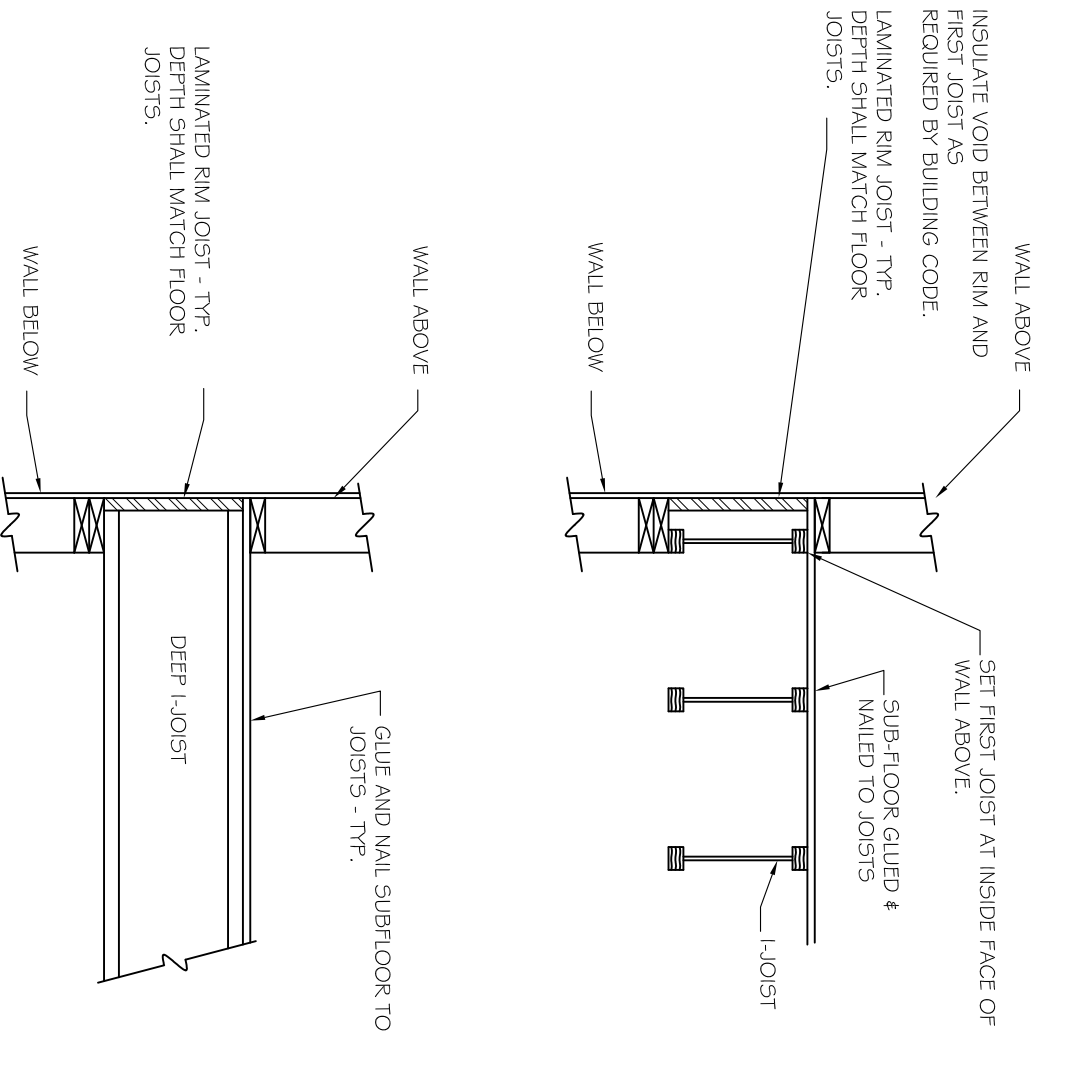
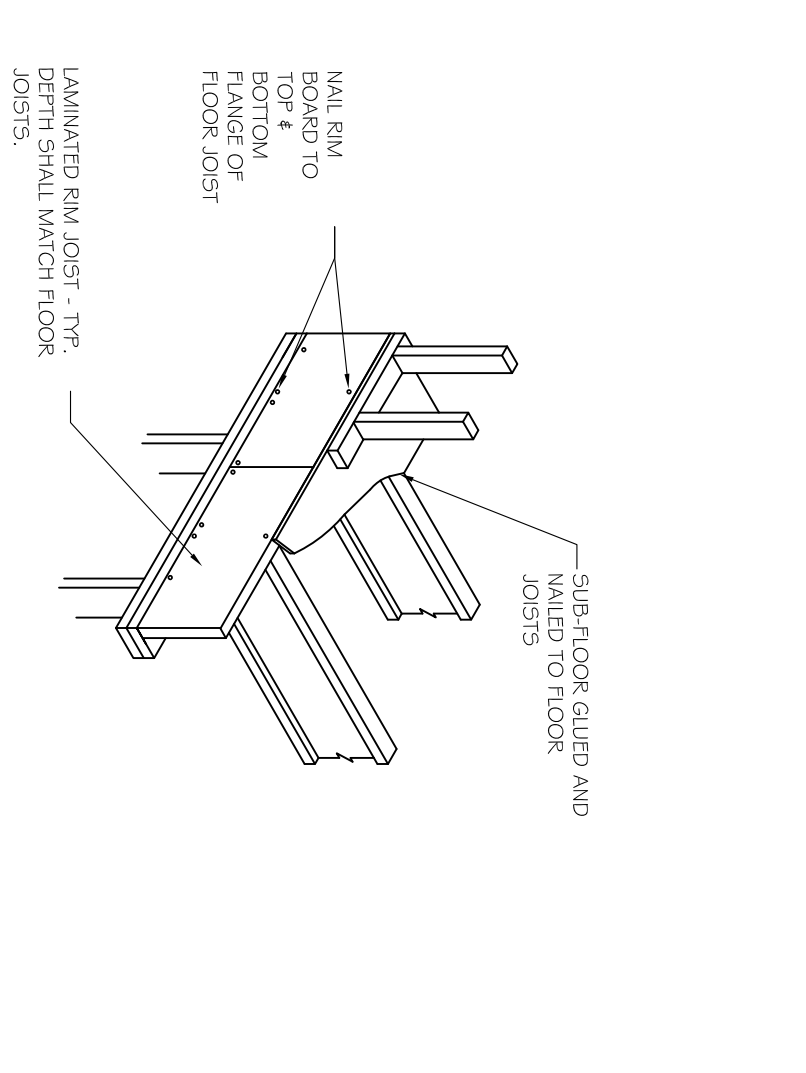
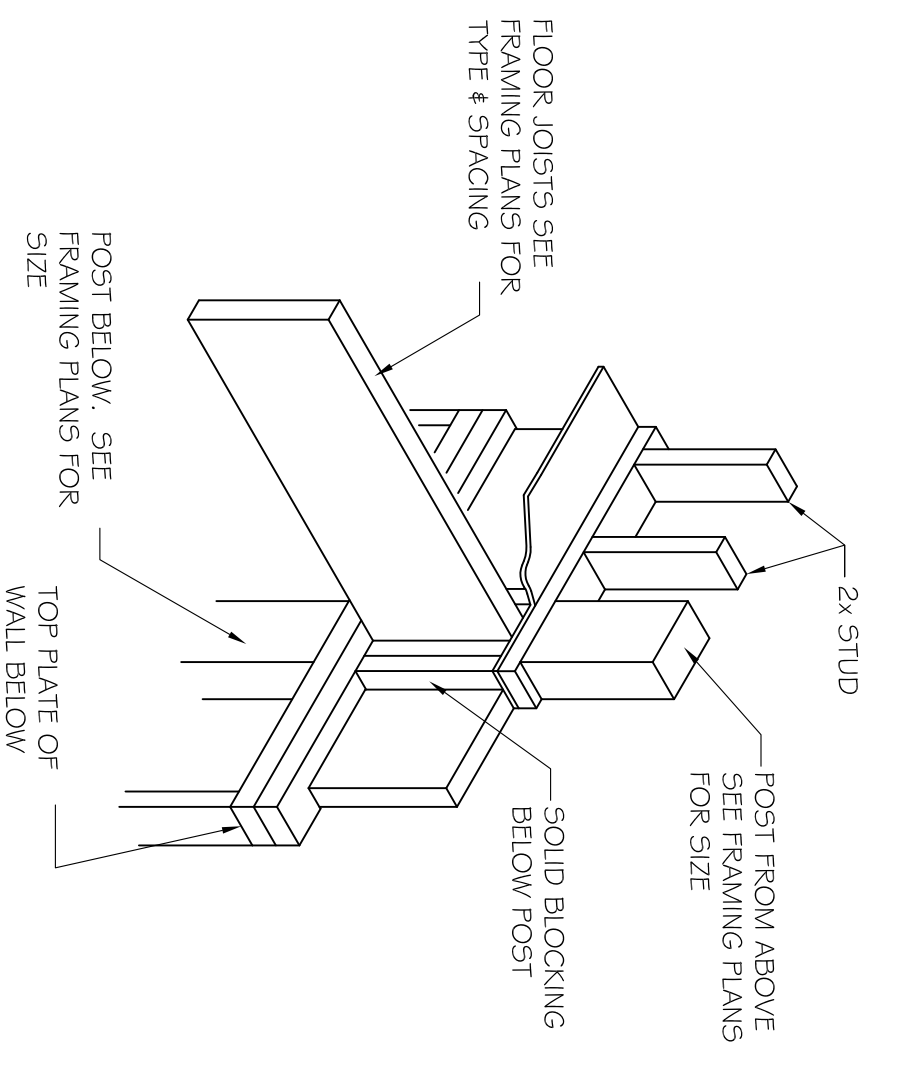
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TYPICAL DETAILS  
NTS

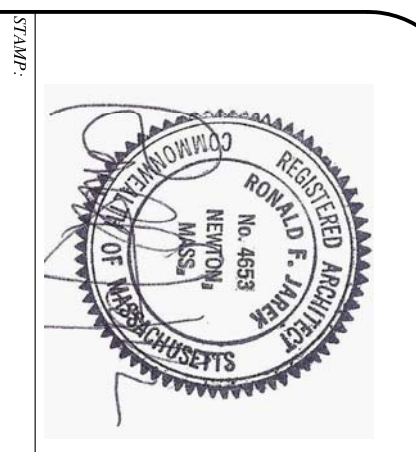


TYPICAL WALL TYPE SECTIONS  
NTS



BRACE WALL CORNER DETAILS  
NTS

SPECIAL PERMIT SET  
UPDATE: 9/17/2015



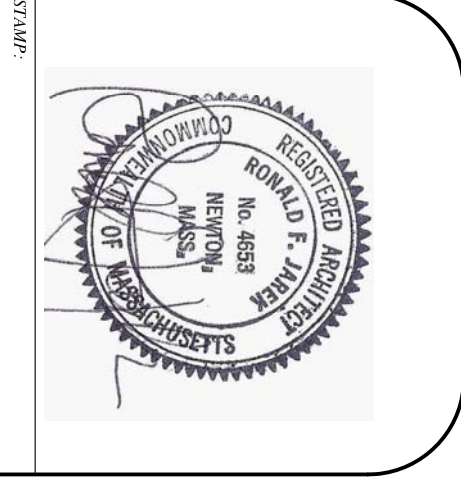
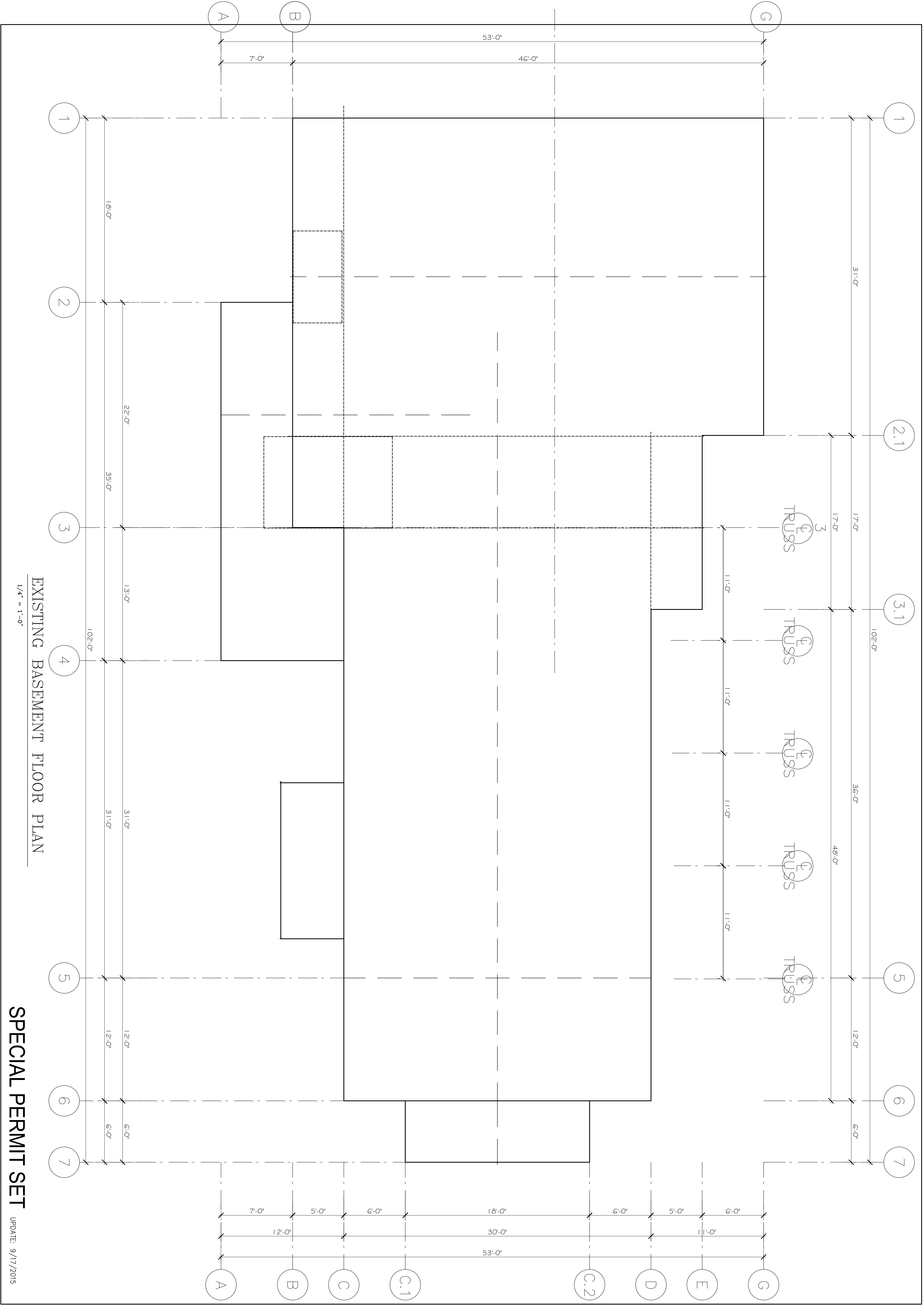
PROJECT: RENOVATION & ALTERATIONS,  
15 SOUTH GATE PARK,  
WEST NEWTON, MA 02465

CLIENT:  
15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

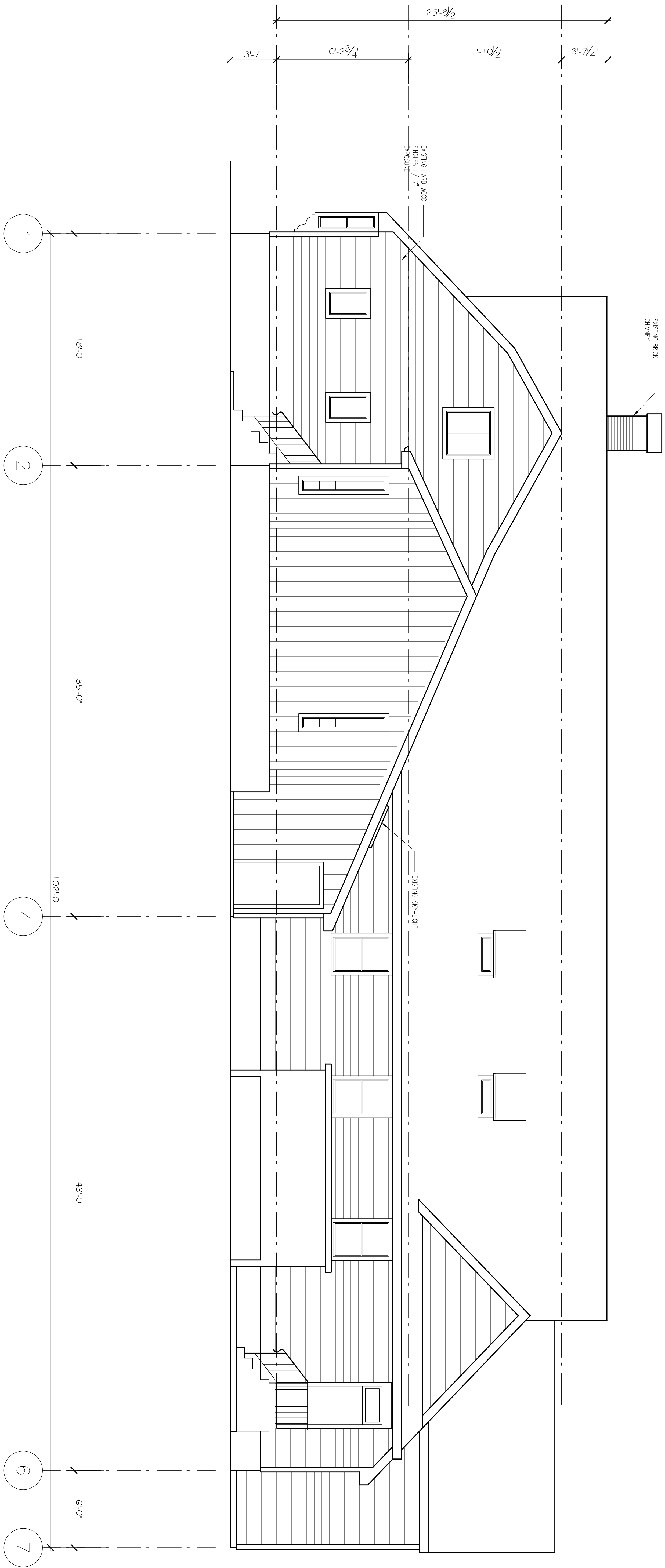
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15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	4/22/2015
SCALE:	AS SHOWN
DRAWN BY:	NJH
CHECKED BY:	RJ
REV:	6-5-2014

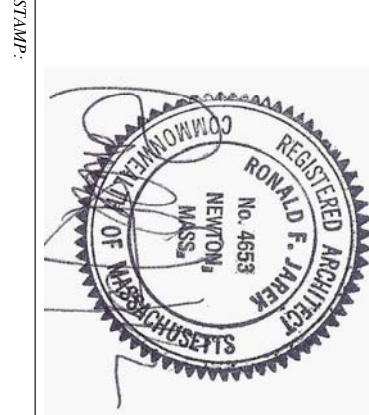


**X-0**



EXISTING FRONT ELEVATION  
 1/4" = 1'-0"

SPECIAL PERMIT SET UPDATE: 9/17/2015



EXISTING FRONT ELEVATION -SPECIAL PERMIT SET  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

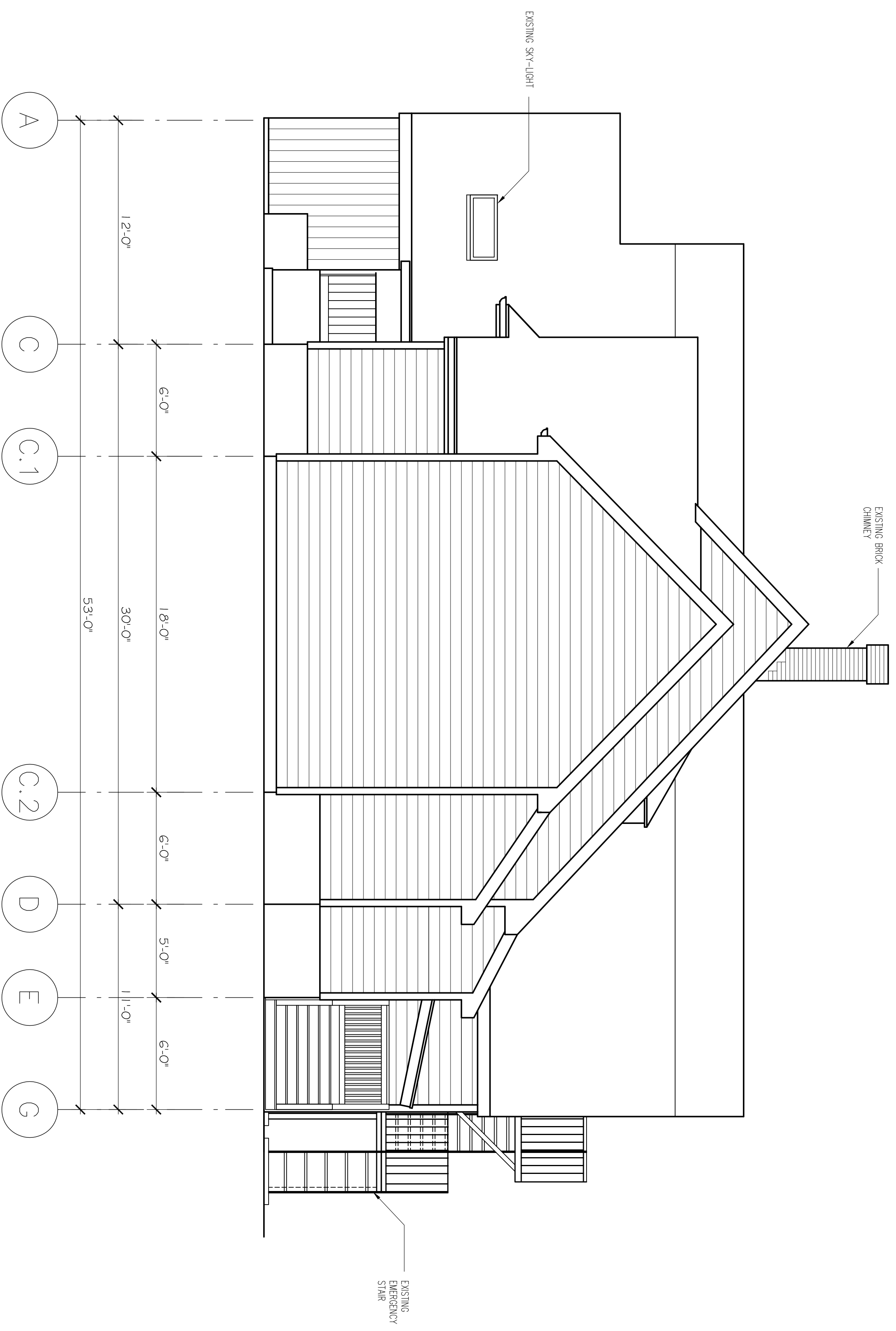
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 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
 CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

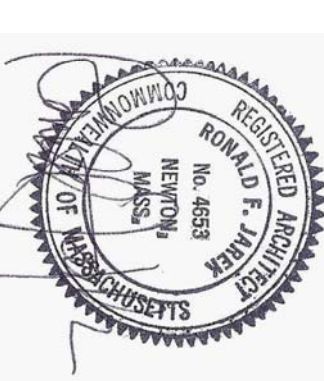
DATE:	NOV. 24, 2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
APP'.	

X-1





EXISTING RIGHT SIDE ELEVATION  
 1/4" = 1'-0"

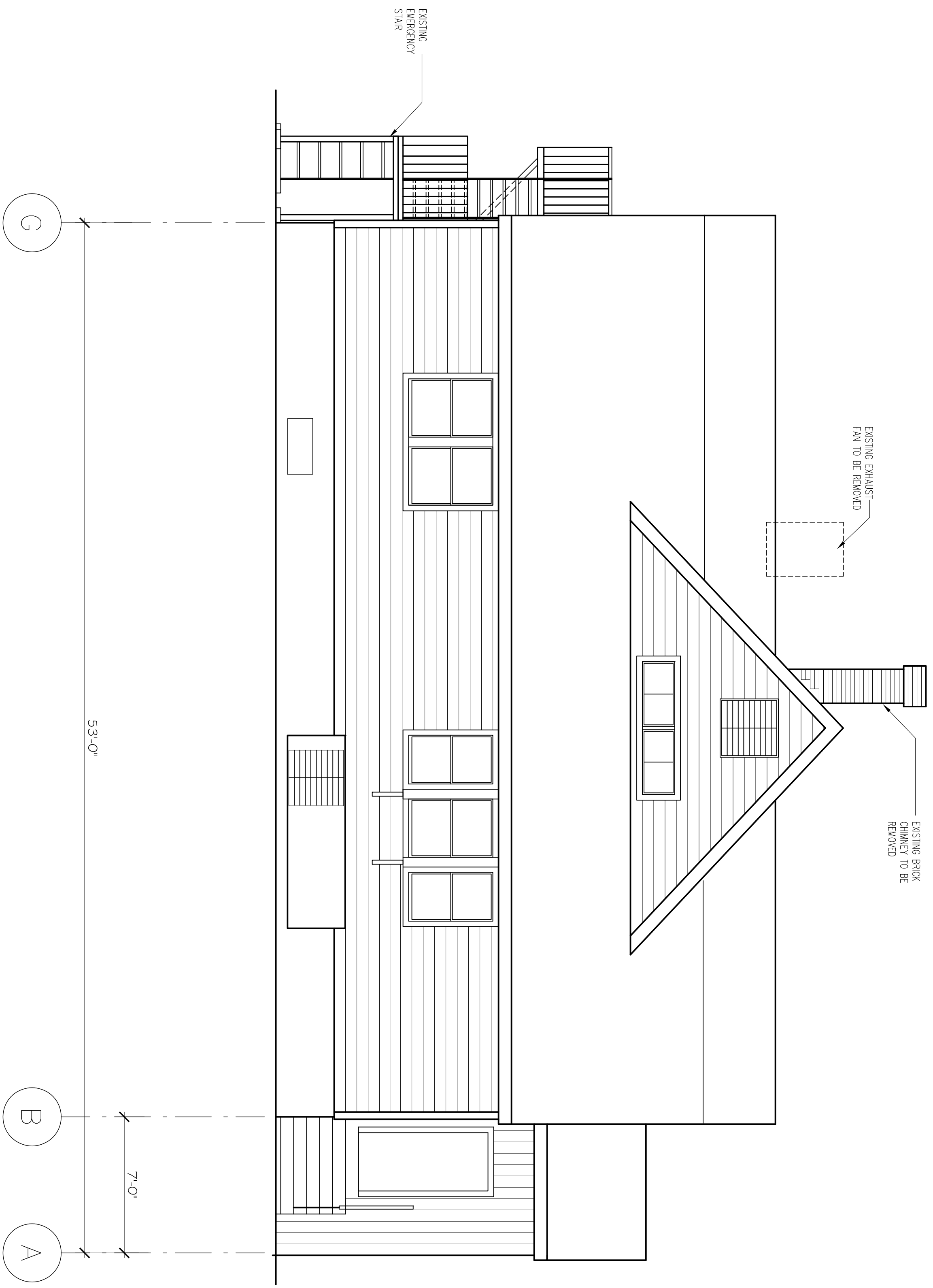


EXISTING RIGHT SIDE ELEVATION - SPECIAL PERMIT SET  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
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 CLIENT:  
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 WEST NEWTON, MA 02465

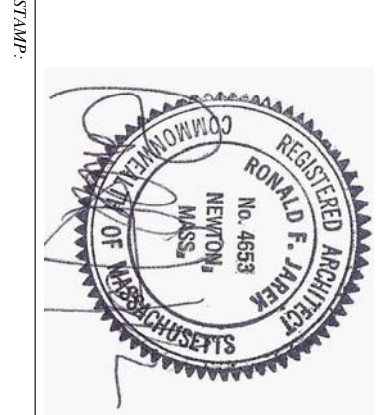
Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	NOV. 24, 2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
APP'.	



EXISTING LEFT SIDE ELEVATION  
 1/4" = 1'-0"

SPECIAL PERMIT SET  
 UPDATE: 9/17/2015



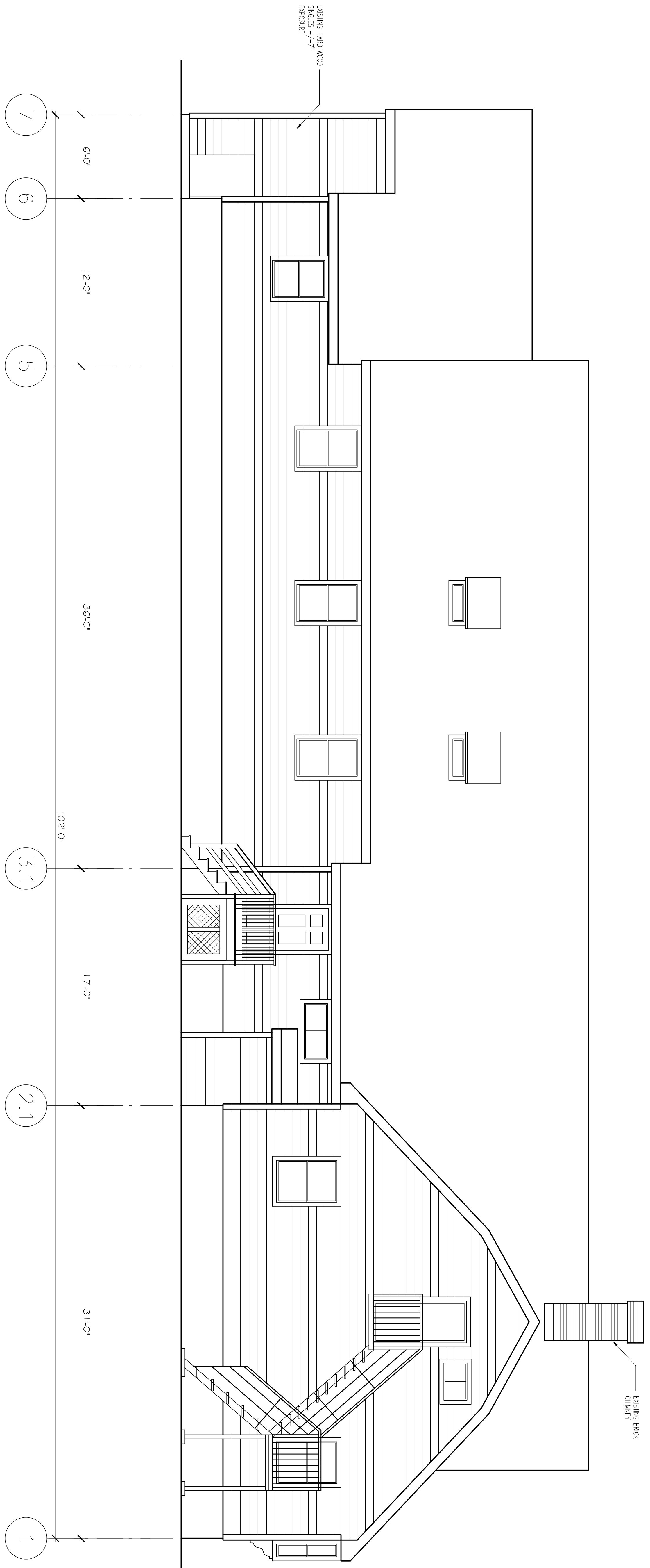
EXISTING LEFT SIDE ELEVATION - SPECIAL PERMIT SET  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
 CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	NOV. 24, 2014
SCALE:	AS NOTED
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CHECKED BY:	RJ
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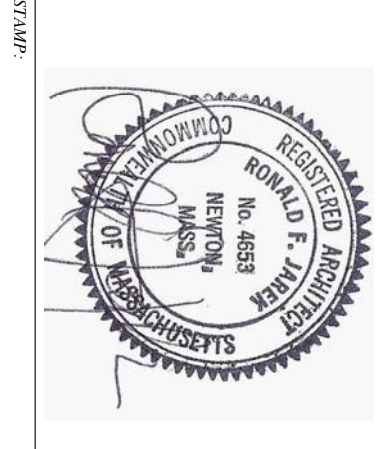


EXISTING REAR ELEVATION

1/4" = 1'-0"

SPECIAL PERMIT SET

UPDATE: 9/17/2015



EXISTING REAR ELEVATION - SPECIAL PERMIT SET

15 SOUTH GATE PARK  
WEST NEWTON, MA 02465

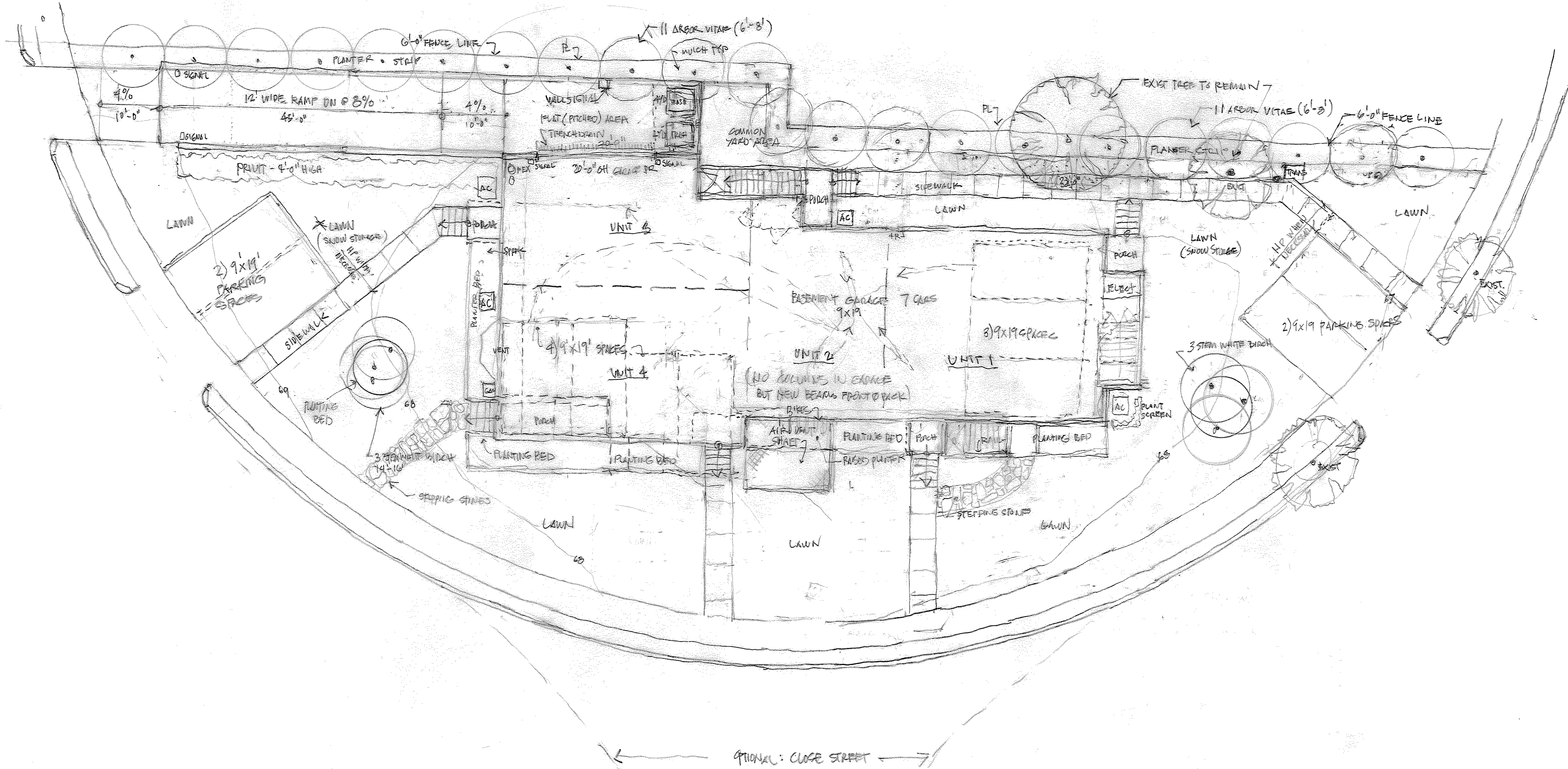
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15 SOUTH GATE PARK,  
WEST NEWTON, MA 02465

CLIENT:  
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WEST NEWTON, MA 02465

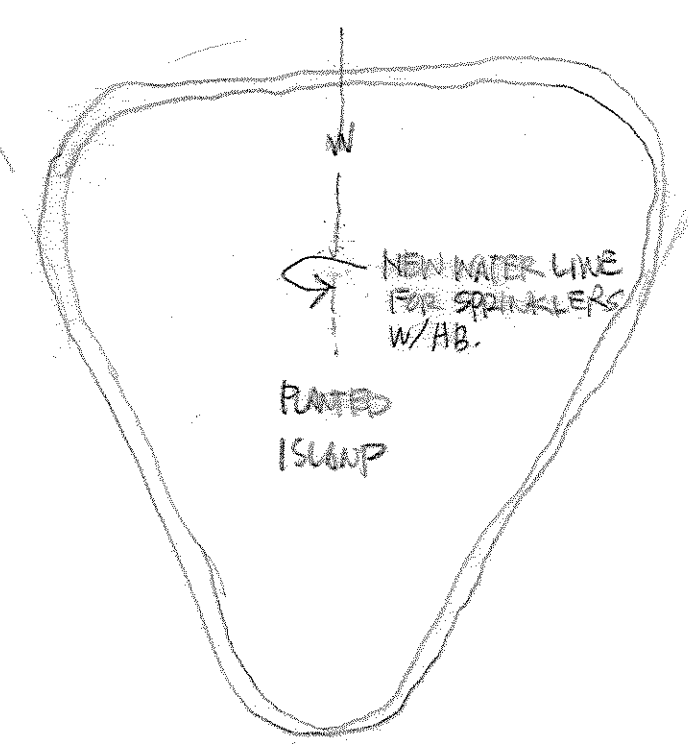
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	NOV. 24, 2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
APP'.	

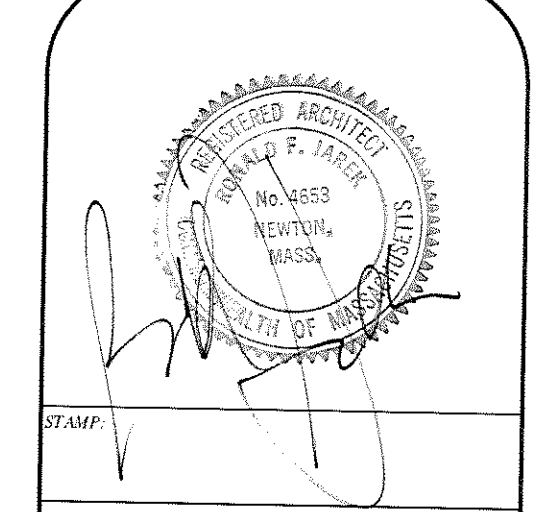
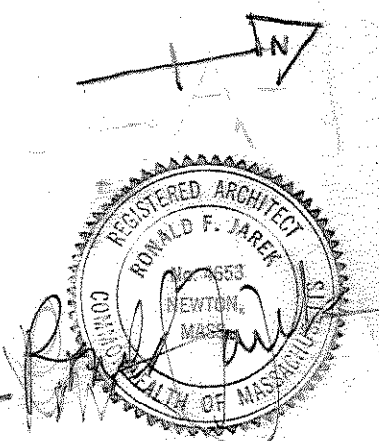
X-4



NOTE: PLANT MATERIALS NOTED ON PLAN  
 BUILDING HEIGHT: EXISTING  
 OPEN SPACE: SEE ENG SITE PLAN  
 LOT COVERAGE: SEE ENG SITE PLAN



15 SOUTH GATE PARK  
 SITE & LANDSCAPE PLAN  
 1"=10'-0" 7-28-2015  
 REV. 1-2015  
 RONALD F. JAREK, ARCHITECT  
 487 WATERTOWN STREET  
 NEWTONVILLE, MA 02460  
 SPECIAL PERMIT update 9/17/2015



PROJECT: RENOVATION & ALTERATIONS,  
 15 SOUTH GATE PARK,  
 WEST NEWTON, MA 02465  
 CLIENT:  
 15 SOUTH GATE PARK  
 WEST NEWTON, MA 02465

LANDSCAPE SITE PLAN - SPECIAL PERMIT SET

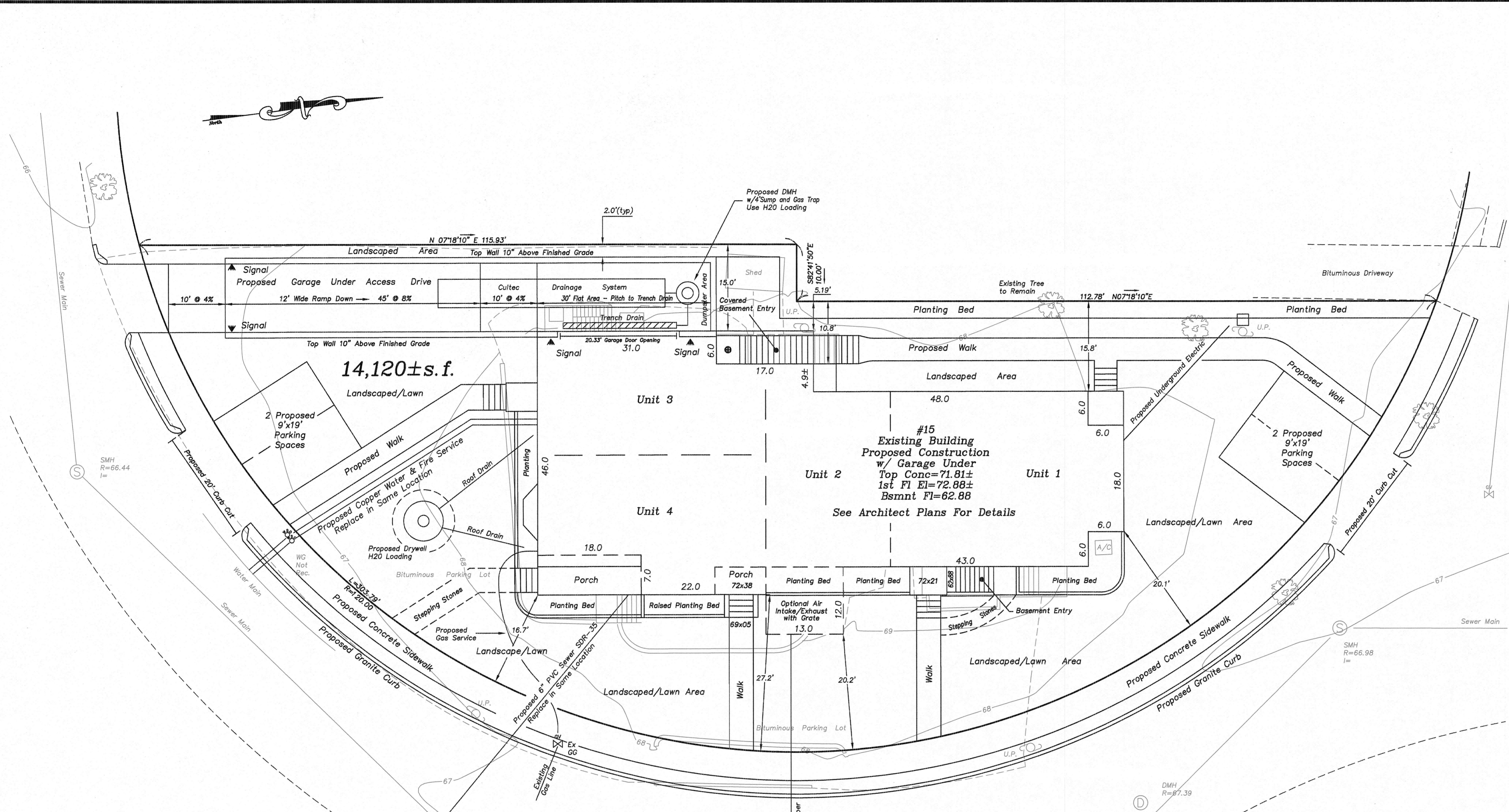
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 WEST NEWTON, MA 02465

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

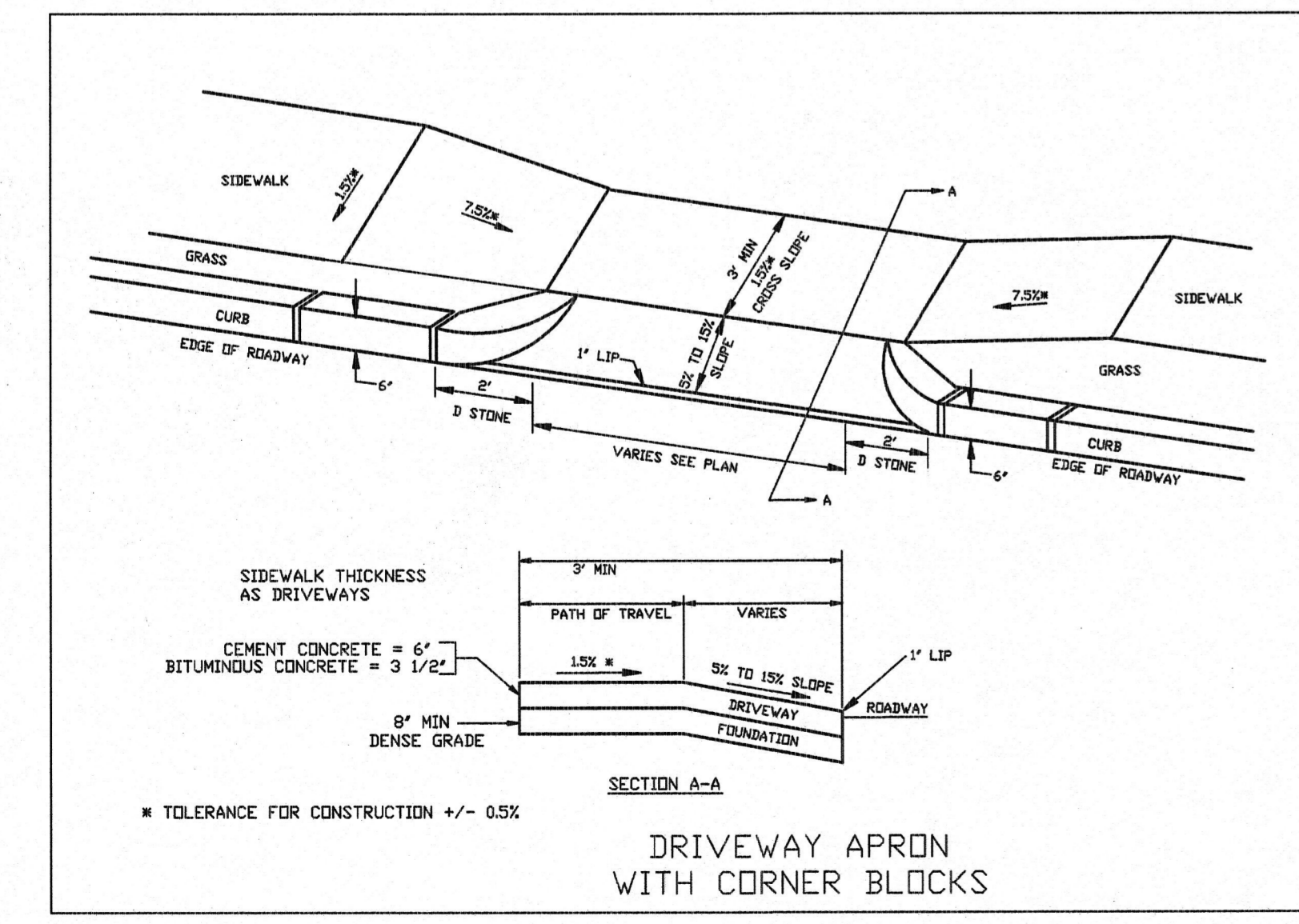
DATE:	4-23-2015
SCALE:	AS NOTED
DRAWN BY:	N/G/H
CHECKED BY:	R/J
REV:	6-30-2015

LA-1

- Notes:
- Prior to an occupancy permit being issued, the water and sewer services must be in place and accepted by the Engineering Division. An As-Built Plan should be submitted to the Engineering Department in both digital format and hard copy. The plan should show all utilities and inverts, any easements and final grades.
  - If a certificate of occupancy is requested prior to all site work being completed, the applicant will be required to post a certified bank check in the amount to cover the remaining work. The City Engineer shall determine the value of the uncompleted work.
  - The contractor needs to notify the Engineering Department 48 hours in advance and schedule an appointment to have the drainage system, water and sewer services inspected. The system and utilities must be fully exposed for the inspector. Once the inspector is satisfied, the system and utilities may be back filled.
  - The applicant must apply for a Street Opening and Utilities Connection Permit as well as a sidewalk crossing permit with DPW.
  - The utilities shown were compiled from field locations and available plans of utility companies and may or may not be correct. Contractor is to contact Dig Safe and all local utility companies as required prior to any excavation.
  - All work shall be done in accordance with "City of Newton Standard Specifications" and "City of Newton Construction Details", copies of which may be obtained at the Engineering Office. All work shall be subject to inspection and approval by the City of Newton Engineering Department.
  - The contractor shall provide Police Details for the direction and control of traffic, as required by the city engineer. All roads effected by construction shall remain open to emergency vehicles at all times. Contractor is to coordinate with Police and Fire Department to ensure public safety.
  - An erosion control barrier shall be in place prior to any construction and must be contained on site.
  - The existing water service shall be completely removed from the dwelling to the corporation at the main. The corporation shall be capped, and a new tap shall be made for the fire service. Each phase of this process must be inspected by a representative of the Engineering Division, failure to having this inspection performed, may result in the delay or denial of the water service permit.
  - The existing sewer service shall be completely removed from the existing dwelling and to the existing cleanout. The abandonment, along with the new construction must be witnessed by a representative of the Engineering Division. Failure to having these inspections may result in the denial or delay of issuing a sewer permit.
  - The contractor shall be responsible for all proposed grading as shown on plan. Any variations to proposed grading shown and/or any changes to proposed structure may result in non compliance with zoning regulations.
  - Contractor to field verify all utilities prior to construction.
  - All utilities trenches with the exception of gas, within the City of Newton right-of-way will be backfilled with type I.E (excavatable) controlled density fill, as specified by the City of Newton Engineering Specifications
  - The proposed sewer service line will need to be pressure tested prior to use.
  - All roof drains are to be connected to proposed drywells. Roof drains with less than 4' cover to be Sch 80 PVC or ductile iron.
  - Contractor to use existing drive opening and match existing loam/seed grass berm area as necessary.
  - All construction activities within the City of Newton right-of-way must fully comply with all City of Newton Construction Specifications as well as 521 CMR 21.00 and 22.00
  - No excavation is allowed within any City right of way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant's representative must contact the City Engineering Department prior to start of work for clarification.
  - As of January 1, 2009, all trench excavation contractors shall comply with M.G.L. Chapter B2A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to unattended trenches. Trench Excavation Permit required. This applies to all trenches on public and private property.
  - Any tree removed from site must comply with City of Newton Tree Ordinance.



## Southgate Park

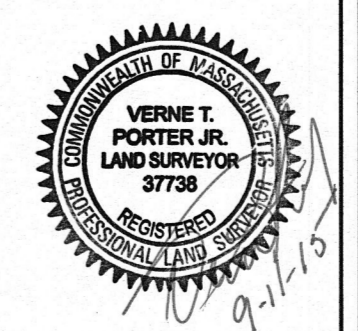


Existing Lot Coverage=29.87%  
Open Space=29.16%

Proposed Lot Coverage=27.11%  
Open Space=58.26%

Note: Existing Ridge Height to Remain

REVISIONS	
DATE	DESCRIPTION



**15 Southgate Park**  
Newton, Massachusetts

**Proposed Grading and Building Location**

Scale: 1"=10'      September 11, 2015

**VERNE T. PORTER Jr., PLS**  
Land Surveyors - Civil Engineers

**354 Elliot Street, Newton, Massachusetts 02464**

Project: 14065

Checked By: \_\_\_\_\_

Drawn By: \_\_\_\_\_

Sheet 1 of 1