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Mayor

City of Newton, Massachusetts

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Candace Havens Director

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Newton City Clerk

ZONING REVIEW MEMORANDUM

- Date: February 4, 2014
- To: John Lojek, Commissioner of Inspectional Services
- From: Jane Santosuosso, Chief Zoning Code Official Alexandra Ananth, Chief Planner for Current Planning
- Cc: George Salles Candace Havens, Director of Planning and Development Ouida Young, Associate City Solicitor

RE: Request to extend a nonconforming structure

Applicant: George Salles			
Site: 11 Solon Street	SBL: 81023 0005		
Zoning: SR3	Lot Alba: 7;589 square et		
Current use: Single-family dwelling	Proposed use: No change		

BACKGROUND:

The property at 11 Solon Street consists of a 7,589 square foot corner lot improved with a single-family residence constructed in 1930. The applicant is proposing a 200 square foot one story kitchen addition to the rear of the house, which has an existing nonconforming rear setback of 10.6 feet.

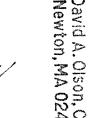
The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by George Salles, submitted 12/30/13
- Site Plan showing proposed conditions, signed and stamped by Verne T. Porter, surveyor, dated 8/5/13
- FAR worksheet, prepared by Domenic Valente, architect, dated 1/14/14
- Architectural plans, signed and stamped by Domenic Valente, architect, dated 1/8/14

ADMINISTRATIVE DETERMINATIONS:

 The proposed 200 square foot addition will be in line with the existing nonconforming attached garage (rear) setback of 10.6 feet, but due to an angled lot line, will be 8.5 feet from the rear lot line at its closest point. The existing rear setback of 10.6 feet does not meet the requirements

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of Section 30-15 Table 1, and therefore requires a special permit from the Board of Aldermen to further reduce the nonconforming rear setback to the proposed 8.5 feet.

SR-3 Zone	Required	Existing	Proposed
Lot Size	7,000 square feet	7,589 square feet	No change
Frontage	70 feet	95 feet	No change
Setbacks for existing structure • Front • Side • Rear	25 feet 7.5 feet 15 feet	25.6 feet 3.4 feet 10.6 feet	No change No change 8.5 feet
FAR	.47	.37	.40
Max. Lot Coverage	30%	18.4%	21.3%
Min. Open Space	50%	70%	66.6%

1. See "Zoning Relief Summary" below:

Zoning Relief Required			
Ordinance		Action Required	
§30-15 Table 1, §30-21(b)	Extend a nonconforming structure with regard to rear setback	S.P. per §30-24	

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