



Setti D. Warren
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
Telefax
(617) 796-1142
TDD/TTY
(617) 796-1089
www.newtonma.gov

Candace Havens
Director

ZONING REVIEW MEMORANDUM

Date: February 4, 2014

To: John Lojek, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official
Alexandra Ananth, Chief Planner for Current Planning

Cc: George Salles
Candace Havens, Director of Planning and Development
Ouida Young, Associate City Solicitor

RE: Request to extend a nonconforming structure

RECEIVED
Newton City Clerk
2014 MAR 20 PM 3: 04
David A. Olson, CMC
Newton, MA 02459

Applicant: George Salles	
Site: 11 Solon Street	SBL: 81023 0005
Zoning: SR3	Lot Area: 7,589 square feet
Current use: Single-family dwelling	Proposed use: No change

BACKGROUND:

The property at 11 Solon Street consists of a 7,589 square foot corner lot improved with a single-family residence constructed in 1930. The applicant is proposing a 200 square foot one story kitchen addition to the rear of the house, which has an existing nonconforming rear setback of 10.6 feet.

The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by George Salles, submitted 12/30/13
- Site Plan showing proposed conditions, signed and stamped by Verne T. Porter, surveyor, dated 8/5/13
- FAR worksheet, prepared by Domenic Valente, architect, dated 1/14/14
- Architectural plans, signed and stamped by Domenic Valente, architect, dated 1/8/14

ADMINISTRATIVE DETERMINATIONS:

1. The proposed 200 square foot addition will be in line with the existing nonconforming attached garage (rear) setback of 10.6 feet, but due to an angled lot line, will be 8.5 feet from the rear lot line at its closest point. The existing rear setback of 10.6 feet does not meet the requirements

of Section 30-15 Table 1, and therefore requires a special permit from the Board of Aldermen to further reduce the nonconforming rear setback to the proposed 8.5 feet.

SR-3 Zone	Required	Existing	Proposed
Lot Size	7,000 square feet	7,589 square feet	No change
Frontage	70 feet	95 feet	No change
Setbacks for existing structure			
• Front	25 feet	25.6 feet	No change
• Side	7.5 feet	3.4 feet	No change
• Rear	15 feet	10.6 feet	8.5 feet
FAR	.47	.37	.40
Max. Lot Coverage	30%	18.4%	21.3%
Min. Open Space	50%	70%	66.6%

1. See "Zoning Relief Summary" below:

Zoning Relief Required		
Ordinance		Action Required
§30-15 Table 1, §30-21(b)	Extend a nonconforming structure with regard to rear setback	S.P. per §30-24