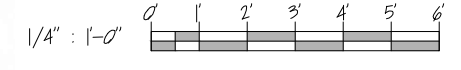


LEGEND

EXISTING WALL TO REMAIN	
PROPOSED FOUNDATION WALL	
PROPOSED STUD WALL	
LINE ABOVE/BEYOND	
PROPOSED WINDOW	
PROPOSED DOOR	



CHASE/VAUGH RESIDENCE
 58 ROCHESTER, NEWTON, MA

Peter Sachs Architect N.C.A.R.B. - A.I.A.
 20 Hunter St.
 Newton, MA 02465

PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Date & Revision
 05-31-2018
 07-16-2018
 09-19-2018

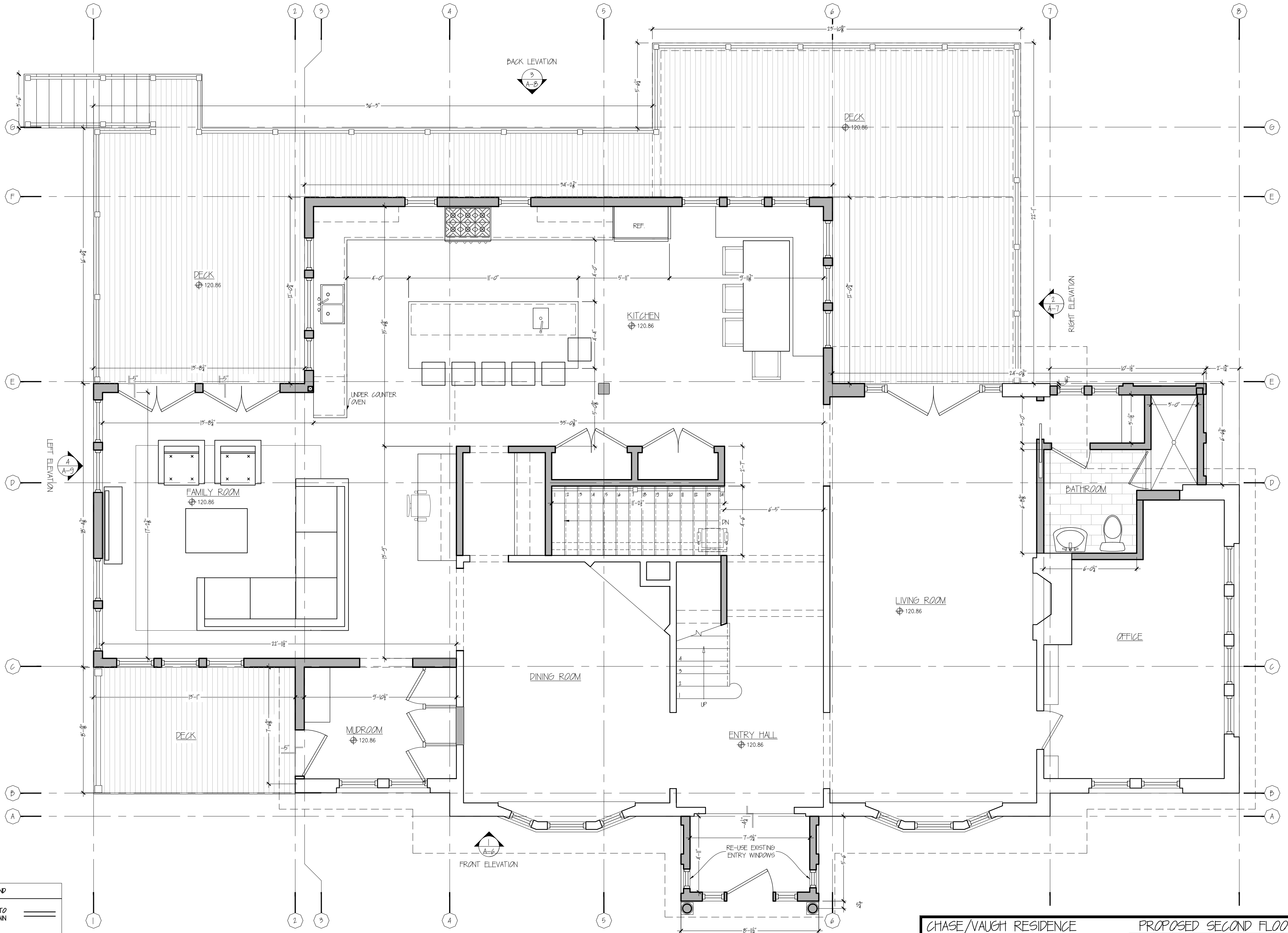
Tel.: 617-527-5777 or Cell 617-312-5045
 E-Mail: petersachs@gmail.com
www.petersachsarchitect.com

A-2

58 Rochester, Rd. - I - Archi/Exp.dwg

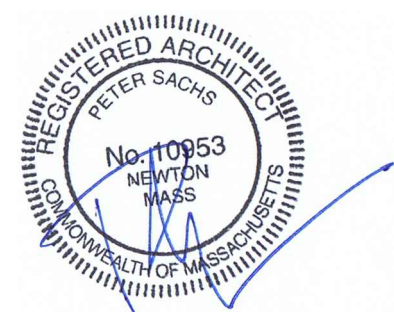
10/19/2017

58 Rochester, Rd. - I - Archi@p.com



LEGEND

EXISTING WALL TO REMAIN	
PROPOSED FOUNDATION	
PROPOSED STUD WALL	
LINE ABOVE/BEYOND	
PROPOSED WINDOW	
PROPOSED DOOR	
TEMPERED GLASS	



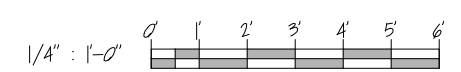
CHASE/VAUGH RESIDENCE PROPOSED SECOND FLOOR PLAN
 58 ROCHESTER, NEWTON, MA SCALE: 1/4" = 1'-0"

Peter Sachs Architect N.C.A.R.B. - A.I.A.
 20 Hunter St.
 Newton, MA 02465

Tel.: 617-527-5777 or Cell 617-312-5045
 E-Mail: petersachs@gmail.com
www.petersachsarchitect.com

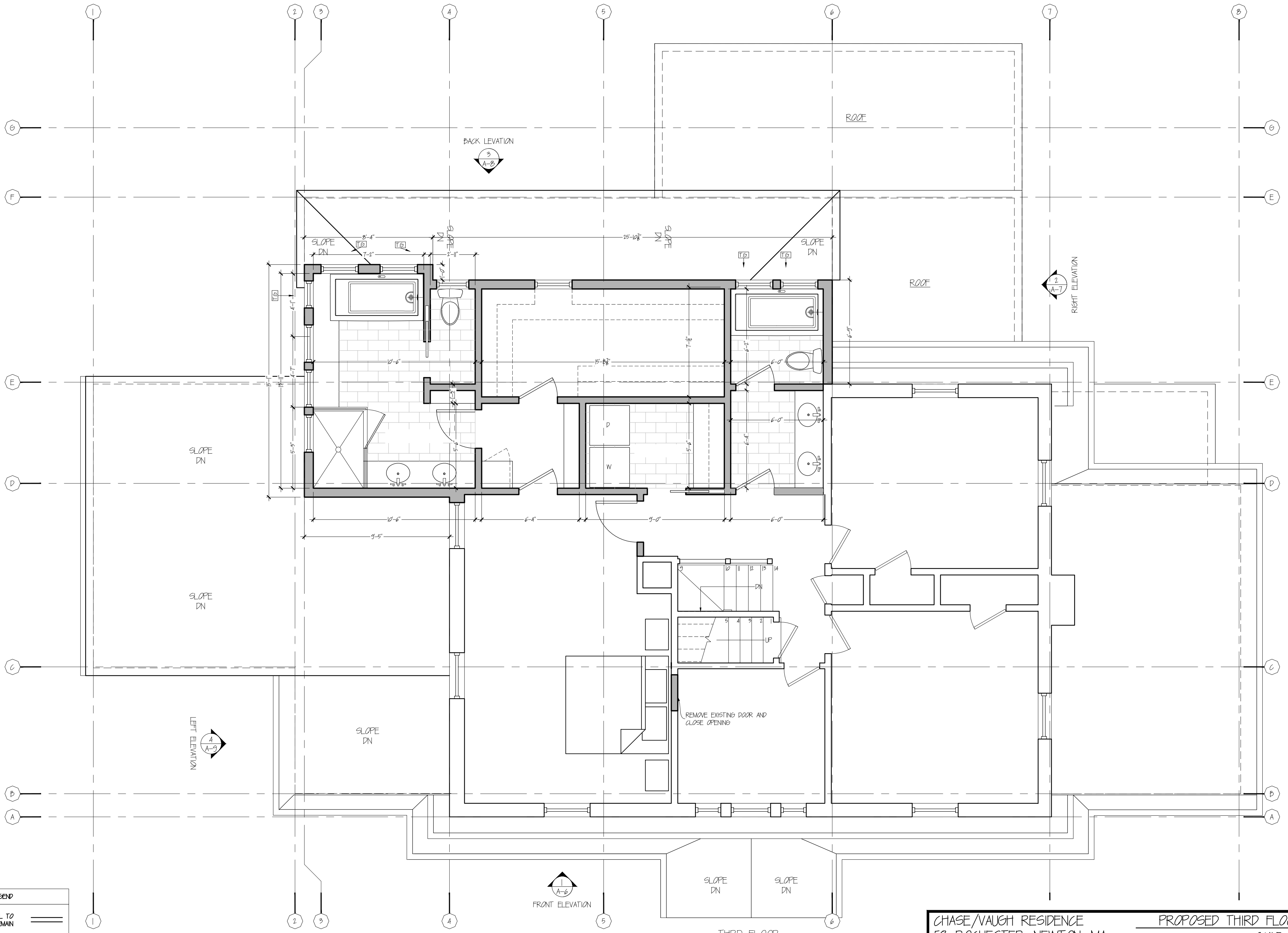
Date & Revision
 05-31-2018
 07-16-2018
 09-13-2018

A-3



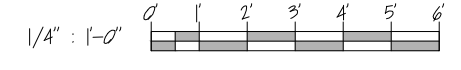
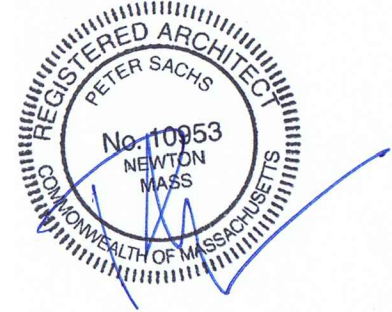
10/19/2017

58 Rochester Rd - 1 - Arch/Exp.dwg



LEGEND

EXISTING WALL TO REMAIN	
PROPOSED FOUNDATION WALL	
PROPOSED STUD WALL	
LINE ABOVE/BEYOND	
PROPOSED WINDOW	
PROPOSED DOOR	



CHASE/VAUGH RESIDENCE PROPOSED THIRD FLOOR PLAN
 58 ROCHESTER, NEWTON, MA SCALE: 1/4" = 1'-0"

Peter Sachs Architect N.C.A.R.B. - A.I.A.
 20 Hunter St.
 Newton, MA 02465

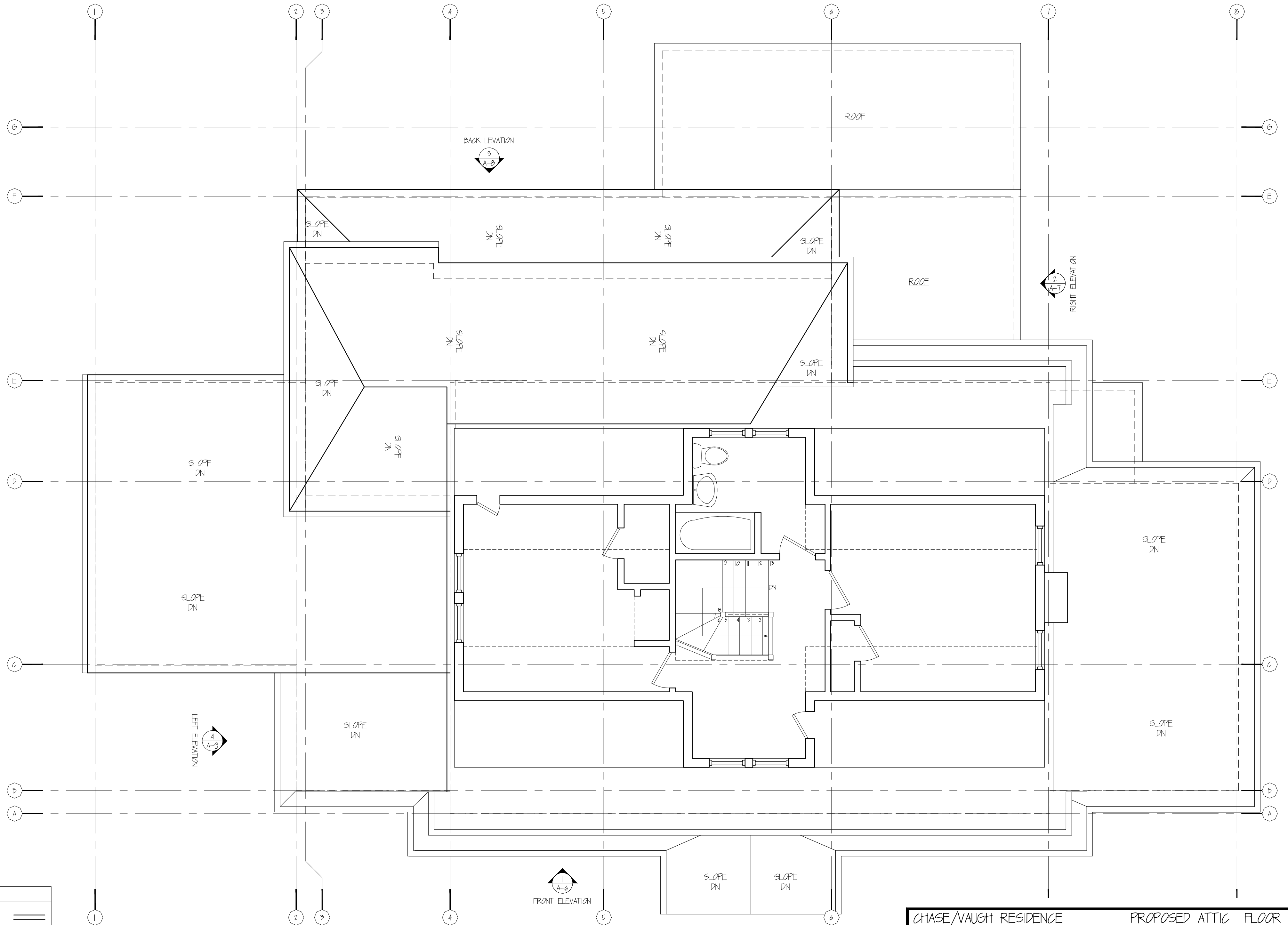
Tel.: 617-527-5777 or Cell 617-312-5045
 E-Mail: petersachs@gmail.com
www.petersachsarchitect.com

Date & Revision
 05-31-2018
 07-16-2018
 09-13-2018

A-4

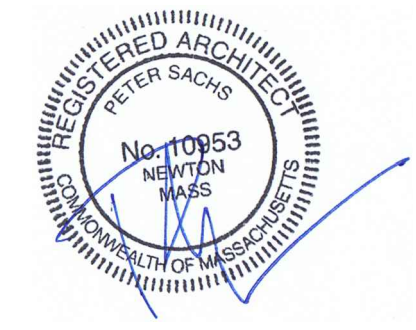
10/19/2017

58 Rochester, Rd. - I - ArchiFF (exp).dwg

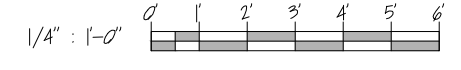


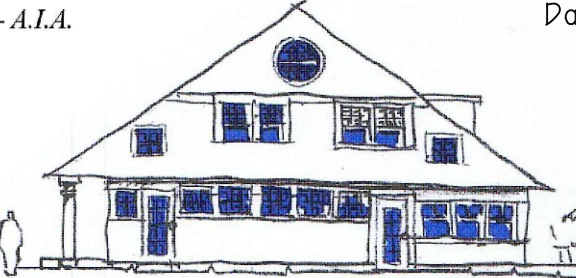
LEGEND

EXISTING WALL TO REMAIN	=====
PROPOSED FOUNDATION WALL	-----
PROPOSED STUD WALL	=====
LINE ABOVE/BEYOND	-----
PROPOSED WINDOW	(X)
PROPOSED DOOR	(O)



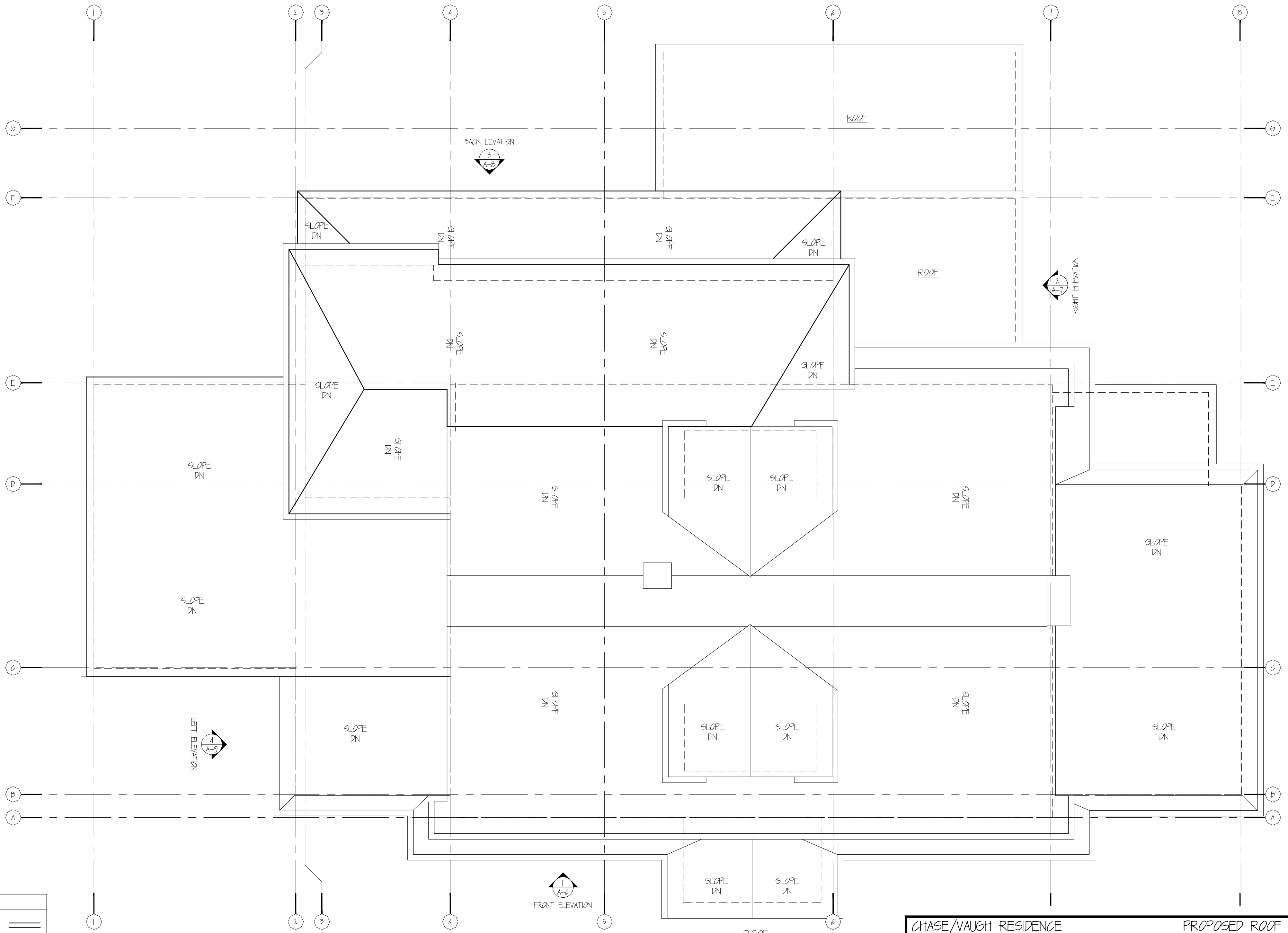
ATTIC
1/4" = 1'-0"



CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED ATTIC FLOOR PLAN SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018 09-13-2018	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com			
			A-5

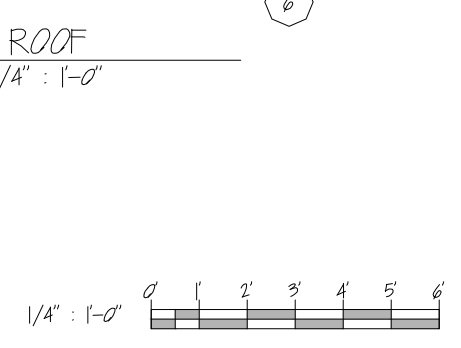
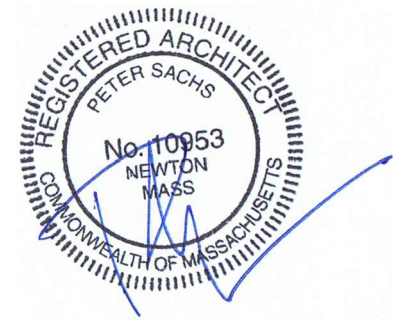
10/19/2017

58 Rochester Rd - I - ArchiFF esp.dwg



LEGEND

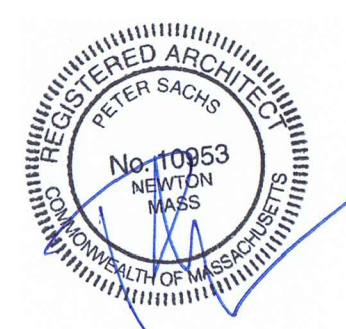
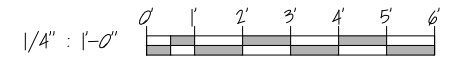
EXISTING WALL TO REMAIN	=====
PROPOSED FOUNDATION WALL	-----
PROPOSED STUD WALL	=====
LINE ABOVE/BEYOND	-----
PROPOSED WINDOW	(X)
PROPOSED DOOR	(O)



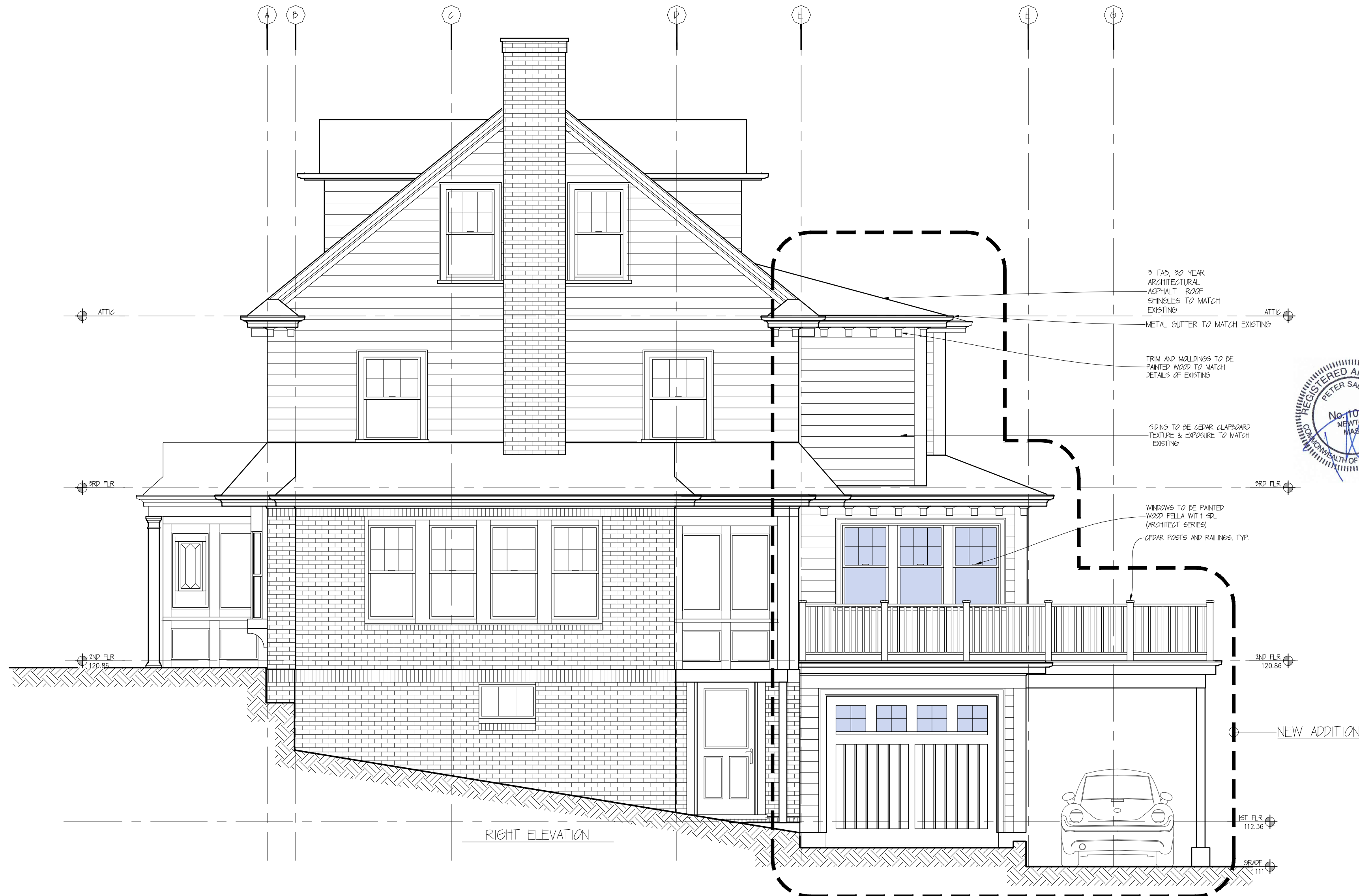
CHASE/VAUGH RESIDENCE		PROPOSED ROOF PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		05-31-2018	
Newton, MA 02465		07-16-2018	
		09-13-2018	
Tel.: 617-527-5777 or Cell 617-312-5045			
E-Mail: petersachs@gmail.com			
www.petersachsarchitect.com			
		A-6	



SPECIAL PERMIT



CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED FRONT ELEVATION	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		SCALE: 1/4" = 1'-0"	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com		Date & Revision 05-31-2018 07-16-2018 09-19-2018	
		A-7	



3 TAB, 30 YEAR
ARCHITECTURAL
ASPHALT ROOF
SHINGLES TO MATCH
EXISTING
METAL GUTTER TO MATCH EXISTING

TRIM AND MOLDINGS TO BE
PAINTED WOOD TO MATCH
DETAILS OF EXISTING

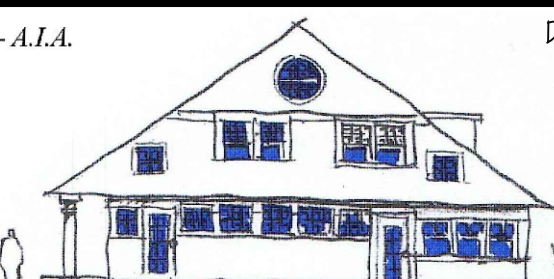
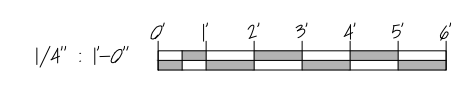
SIDING TO BE CEDAR CLAPBOARD
TEXTURE & EXPOSURE TO MATCH
EXISTING

WINDOWS TO BE PAINTED
WOOD PELLA WITH 50L
(ARCHITECT SERIES)
CEDAR POSTS AND RAILINGS, TYP.



RIGHT ELEVATION

SPECIAL PERMIT

CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018 09-19-2018	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com			
		A-3	



1'-4" ROOF LOWERING

3 TAB, 30 YEAR ARCHITECTURAL ASPHALT ROOF SHINGLES TO MATCH EXISTING
METAL GUTTER TO MATCH EXISTING

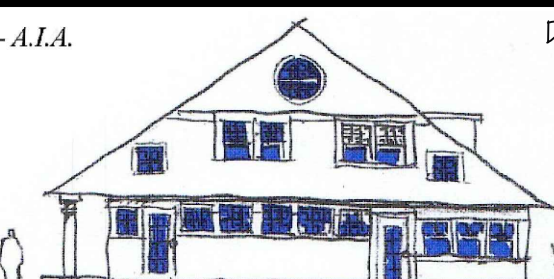
TRIM AND MOLDINGS TO BE PAINTED WOOD TO MATCH DETAILS OF EXISTING
WINDOWS TO BE PAINTED WOOD PELLA WITH SCL (ARCHITECT SERIES)

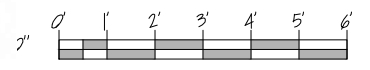
SIDING TO BE CEDAR CLAPBOARD TEXTURE & EXPOSURE TO MATCH EXISTING
CEDAR POSTS AND RAILINGS, TYP.

NEW ADDITION

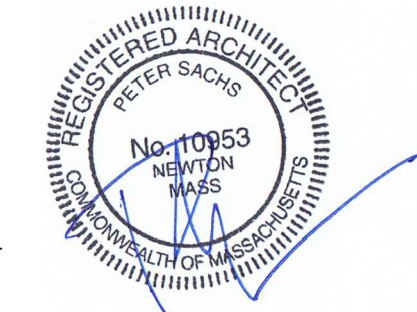
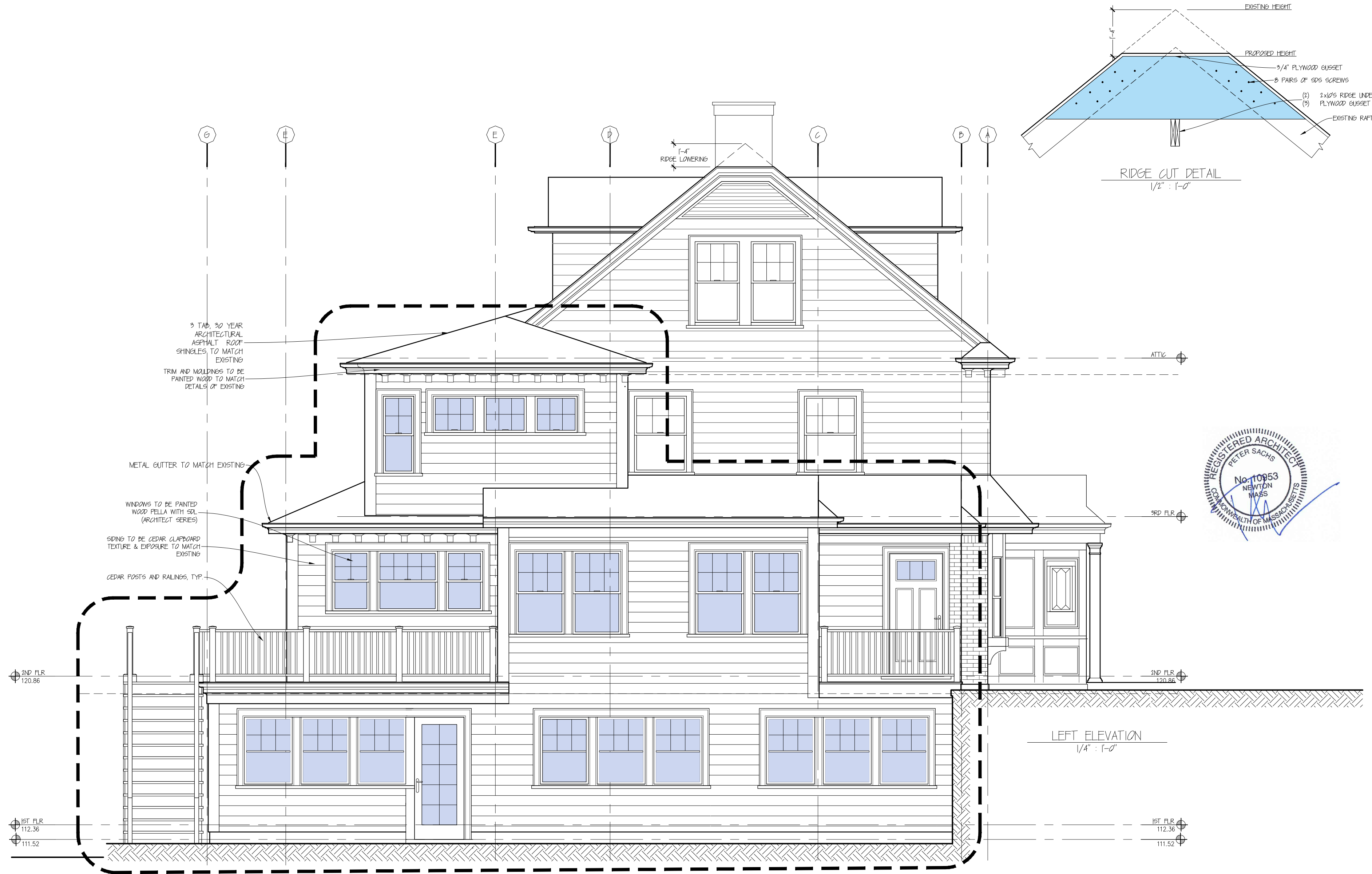
BACK ELEVATION

SPECIAL PERMIT

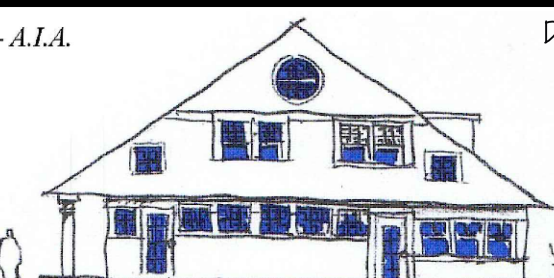
CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED BACK ELEVATION SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018 09-13-2018	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com			
		A-9	

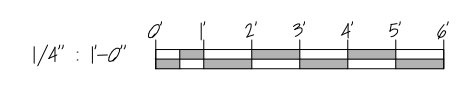


12/19/2017



SPECIAL PERMIT

CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED LEFT ELEVATION	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		SCALE: 1/4" = 1'-0"	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com		Date & Revision 05-31-2018 07-16-2018 09-13-2018	
		A-10	



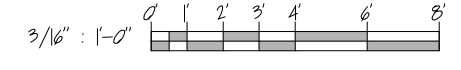
SPECIAL PERMIT

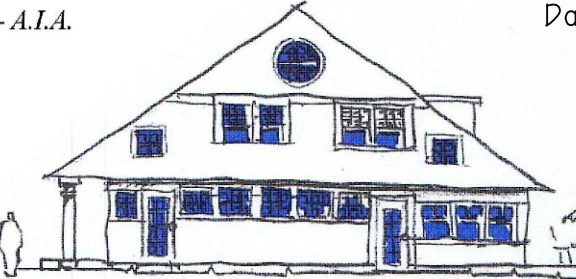


SECTION 1
3/16" = 1'-0"



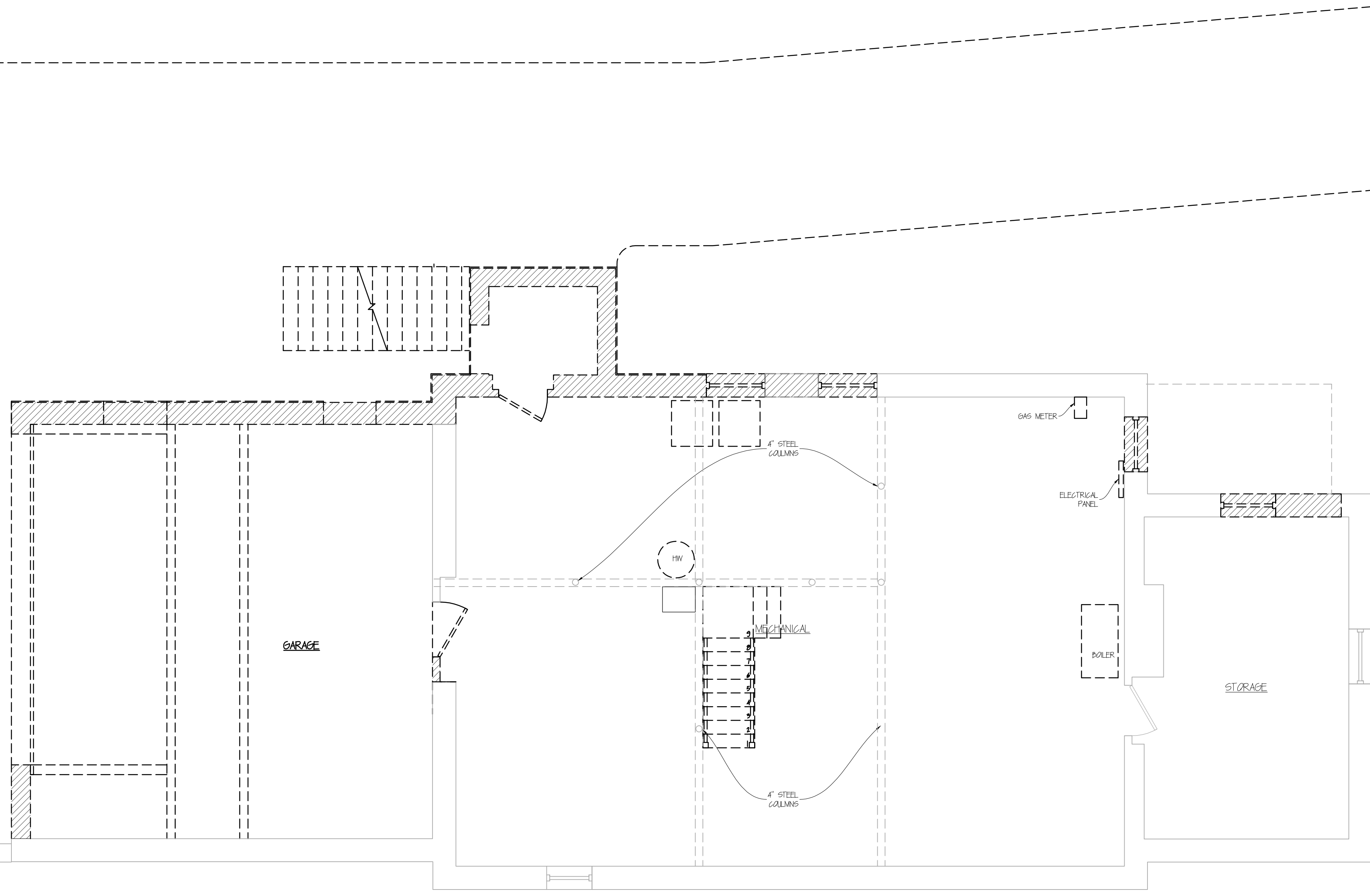
SECTION 2
3/16" = 1'-0"



CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED SECTIONS SCALE: 3/16" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018 09-13-2018	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com			
			A-11

10/19/2017

LEGEND	
EXISTING WALL TO REMAIN	=====
WALL TO DEMOLISH	-----



GARAGE

HW

MECHANICAL

BOILER

STORAGE

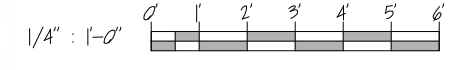
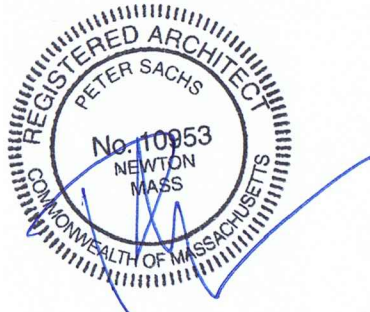
4" STEEL COLUMNS

4" STEEL COLUMNS

GAS METER

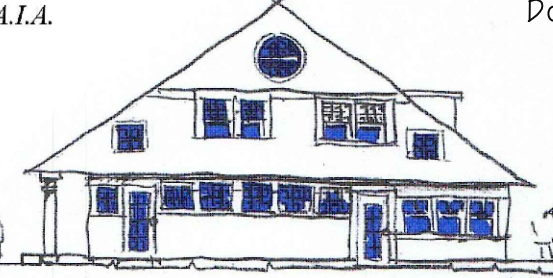
ELECTRICAL PANEL

BASEMENT
1/4" = 1'-0"



SPECIAL PERMIT

CHASE/VAUGH RESIDENCE		DEMOLITION FIRST FLOOR PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		07-16-2018	
Newton, MA 02465		_____	
Tel.: 617-527-5777 or Cell 617-312-5045		_____	
E-Mail: petersachs@gmail.com		_____	
www.petersachsarchitect.com		_____	

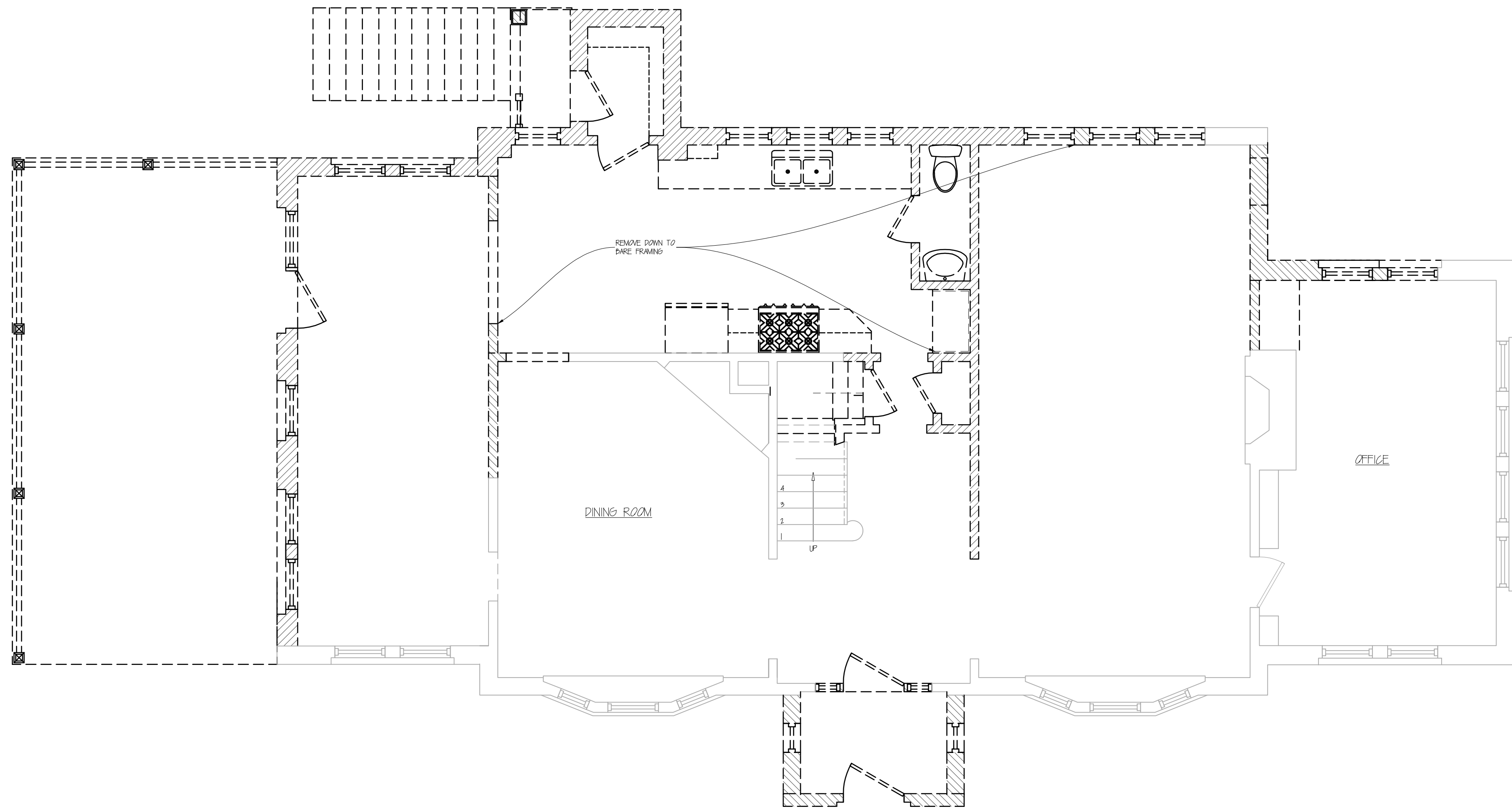


D-1

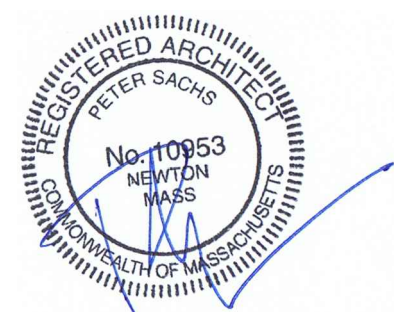
10/19/2017

58 Rochester Rd. - Demolition

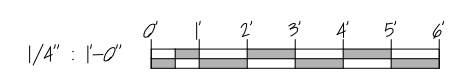
LEGEND	
EXISTING WALL TO REMAIN	—————
WALL TO DEMOLISH	—————

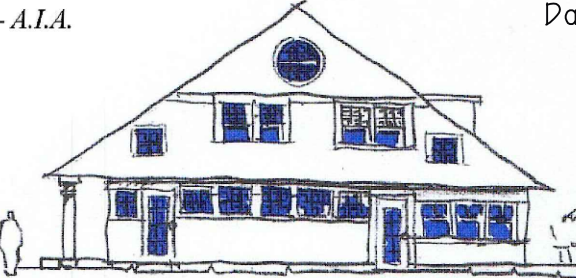


SPECIAL PERMIT



FIRST FLOOR
1/4" = 1'-0"



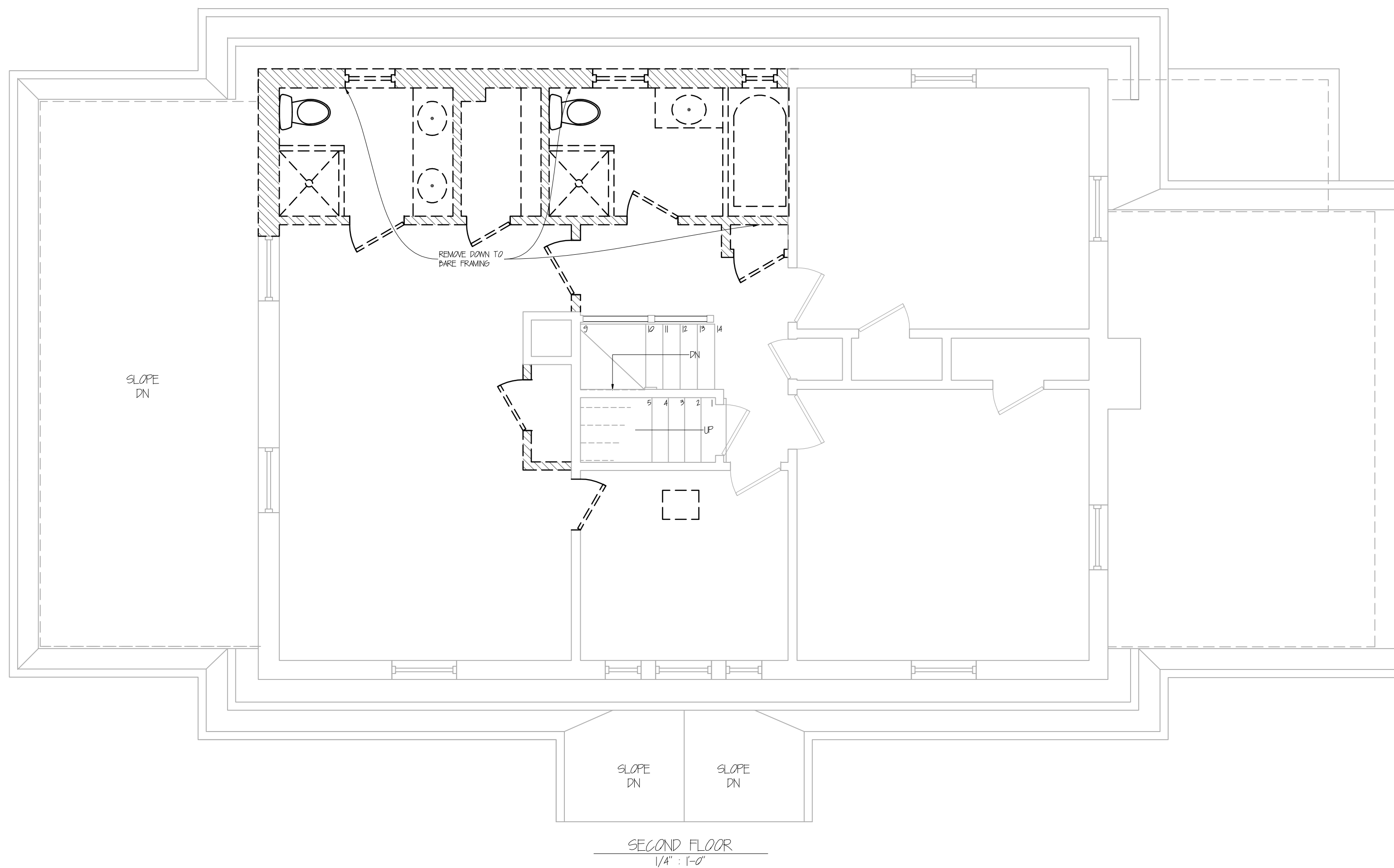
CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA	DEMOLITION SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465	Date & Revision 07-16-2018
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com	

D-2

10/19/2017

58 Rochester Rd. - 3 - Demolition

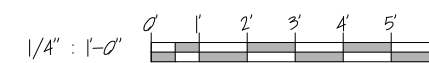
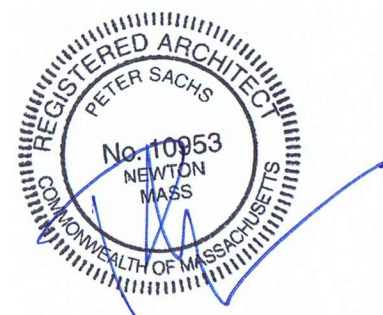
LEGEND	
EXISTING WALL TO REMAIN	———
WALL TO DEMOLISH	ZZZZ



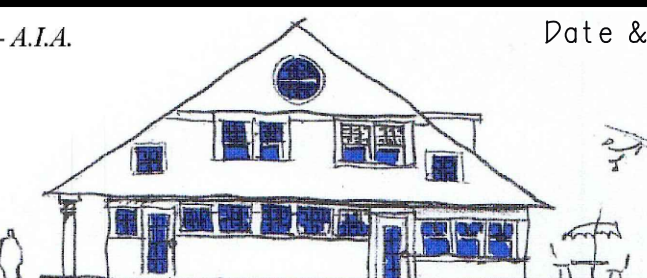
10/19/2017

58 Rochester Rd. - 3 - Demolition

SPECIAL PERMIT



CHASE/VAUGH RESIDENCE		DEMOLITION THIRD FLOOR PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		07-16-2018	
Newton, MA 02465		_____	
Tel.: 617-527-5777 or Cell 617-312-5045		_____	
E-Mail: petersachs@gmail.com		_____	
www.petersachsarchitect.com		_____	



D-3



ELECTRICAL LEGEND

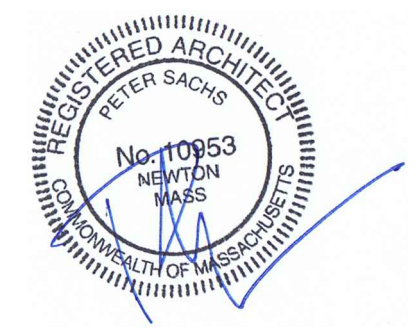
- RECESSED LIGHT
- RECESSED EXTERIOR LIGHT
- WALL MOUNTED LIGHT
- WALL MOUNTED EXTERIOR LIGHT
- CEILING MOUNTED LIGHT
- CEILING MOUNTED EXTERIOR LIGHT
- CEILING FAN
- UNDER CABINET LIGHT
- FLUORESCENT LIGHT
- FAN/LIGHT
- OUTLET
- GFI ○ GFI OUTLET (GROUND FAULT)
- S ○ SWITCHED OUTLET
- EX ○ EXTERIOR OUTLET
- △ APPLIANCE
- S ○ SMOKE DETECTOR
- S/C ○ SMOKE/CARBON MONOXIDE DETECTOR
- NEW ELECTRICAL PANEL
- HEAT DETECTOR
- ⚡ SWITCH

SPECIAL PERMIT

AREA = 2,497 S.F.

FIRST FLR

58 Rochester Rd - 4 - Electrical 9/19/2018



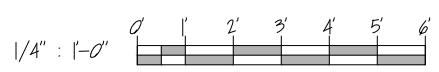
CHASE/VAUGH RESIDENCE ELECTRICAL FIRST FLOOR PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 3/16" = 1'-0"

Peter Sachs Architect N.C.A.R.B. - A.I.A.
 20 Hunter St.
 Newton, MA 02465

Tel.: 617-527-5777 or Cell 617-312-5045
 E-Mail: petersachs@gmail.com
www.petersachsarchitect.com

Date & Revision
 01/16/2018
 09/19/2018

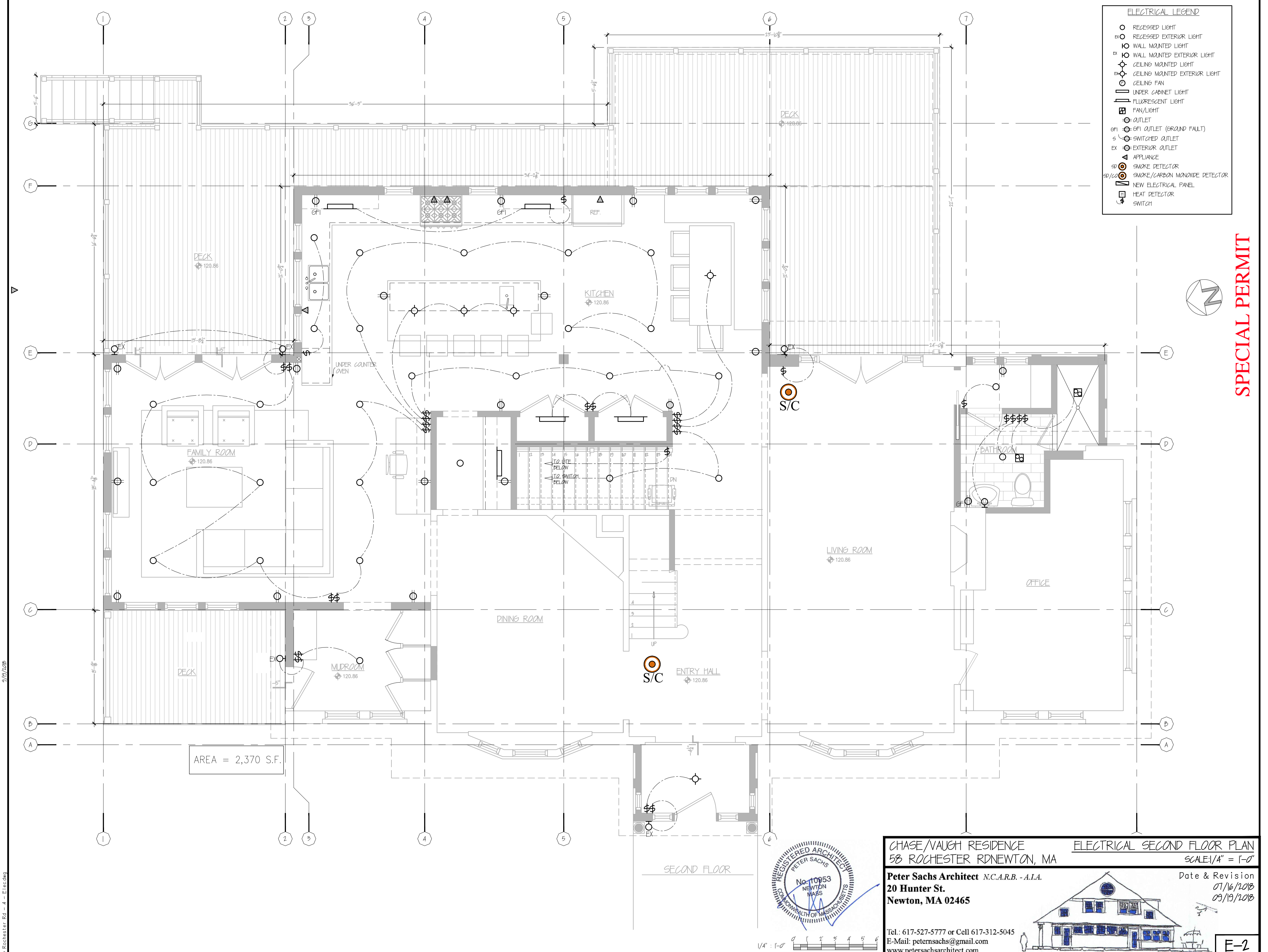
E-1



ELECTRICAL LEGEND	
	RECESSED LIGHT
	RECESSED EXTERIOR LIGHT
	WALL MOUNTED LIGHT
	WALL MOUNTED EXTERIOR LIGHT
	CEILING MOUNTED LIGHT
	CEILING MOUNTED EXTERIOR LIGHT
	CEILING FAN
	UNDER CABINET LIGHT
	FLUORESCENT LIGHT
	FAN/LIGHT
	OUTLET
	GFI OUTLET (GROUND FAULT)
	SWITCHED OUTLET
	EXTERIOR OUTLET
	APPLIANCE
	SMOKE DETECTOR
	SMOKE/CARBON MONOXIDE DETECTOR
	NEW ELECTRICAL PANEL
	HEAT DETECTOR
	SWITCH



SPECIAL PERMIT



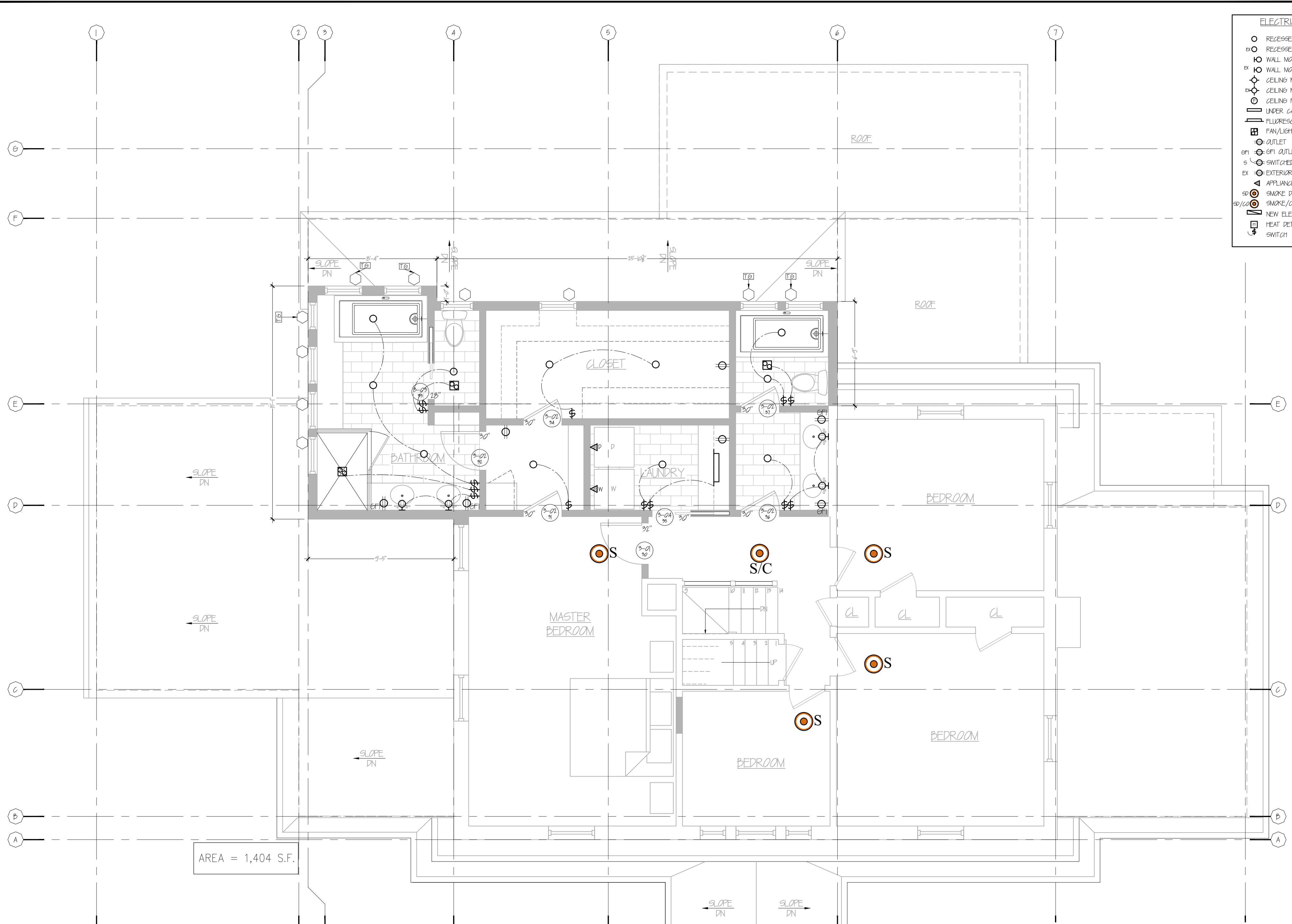
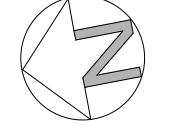
9/19/2018 58 Rochester Rd - 4 - Electrical

CHASE/VAUGH RESIDENCE ELECTRICAL SECOND FLOOR PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"
 Peter Sachs Architect N.C.A.R.B. - A.I.A. Date & Revision
 20 Hunter St. 01/16/2018
 Newton, MA 02465 09/19/2018

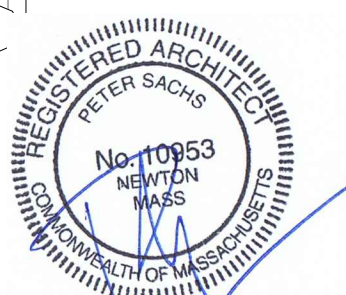
Tel.: 617-527-5777 or Cell 617-312-5045
 E-Mail: petersachs@gmail.com
www.petersachsarchitect.com

E-2

ELECTRICAL LEGEND	
○	RECESSED LIGHT
EX ○	RECESSED EXTERIOR LIGHT
○	WALL MOUNTED LIGHT
EX ○	WALL MOUNTED EXTERIOR LIGHT
○	CILING MOUNTED LIGHT
EX ○	CILING MOUNTED EXTERIOR LIGHT
○	CILING FAN
○	UNDER CABINET LIGHT
	FLUORESCENT LIGHT
⊞	FAN/LIGHT
○	OUTLET
GFI ○	GFI OUTLET (GRAND FALT)
S ○	SWITCHED OUTLET
EX ○	EXTERIOR OUTLET
○	APPLIANCE
SD ○	SMOKE DETECTOR
SD/CO ○	SMOKE/CARBON MONOXIDE DETECTOR
□	NEW ELECTRICAL PANEL
⊞	HEAT DETECTOR
⊞	SWITCH



SPECIAL PERMIT



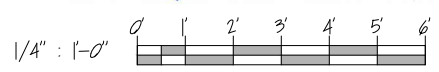
CHASE/VAUGH RESIDENCE
58 ROCHESTER RD NEWTON, MA

Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

ELECTRICAL THIRD FLOOR
SCALE: 1/4" = 1'-0"

Date & Revision
01/16/2018
09/19/2018

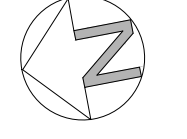
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E-3

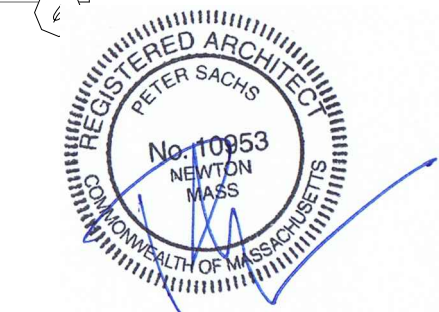
58 Rochester Rd - 4 - Electrical 9/19/2018

ELECTRICAL LEGEND	
○	RECESSED LIGHT
EX ○	RECESSED EXTERIOR LIGHT
○	WALL MOUNTED LIGHT
EX ○	WALL MOUNTED EXTERIOR LIGHT
○	CILING MOUNTED LIGHT
EX ○	CILING MOUNTED EXTERIOR LIGHT
○	CILING FAN
○	UNDER CABINET LIGHT
	FLUORESCENT LIGHT
⊞	FAN/LIGHT
○	OUTLET
GFI ○	GFI OUTLET (GRAND FALT)
S ○	SWITCHED OUTLET
EX ○	EXTERIOR OUTLET
○	APPLIANCE
SD ○	SMOKE DETECTOR
SD/CO ○	SMOKE/CARBON MONOXIDE DETECTOR
⊞	NEW ELECTRICAL PANEL
⊞	HEAT DETECTOR
⊞	SWITCH



AREA = 588 S.F.

ATTIC
1/4" = 1'-0"



CHASE/VAUGH RESIDENCE
58 ROCHESTER RD NEWTON, MA

ELECTRICAL ATTIC FLOOR
SCALE: 1/4" = 1'-0"

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09/19/2018

SPECIAL PERMIT

E-4

58 Rochester Rd - 4 - Electrical 9/19/2018

General Structural Notes

A. General notes

1. The Contractor must notify the Architect and the Engineer immediately if there are any changes or substitutions to the structural documents.
2. If shoring is required, the Contractor must submit shoring plans and specifications prior to commencing any construction. In addition, the Contractor must employ the services of a Registered Structural Engineer, other than the Structural Engineer of record, for all shoring related diagrams and calculations.
3. All materials, means and methods of construction must conform to the Building Code of the State of Massachusetts.
4. No construction shall begin unless the Architect's stamp be on the Construction Documents. Under no circumstances shall these plans be utilized for the purposes of obtaining a construction permit without the knowledge and permission of the Architect.
5. Under no circumstances shall any concrete be poured for footings or foundation walls without first arranging an inspection by the Architect or the Engineer of the layout and concrete elevations, formwork and reinforcing bars. In addition, the concrete subcontractor shall work only under the direct site supervision of the General Contractor. This is the same requirement for structural steel work, welding or wood framing. The Architect reserves the right without penalty to stop work if these conditions are not observed.
6. The Contractor shall provide all subcontractors with plans and specifications prior to and during construction. Under no circumstances shall the Contractor give the approved building dept. drawings to a subcontractor.
7. The Contractor shall notify the local building inspectors, in a timely fashion of any required inspections. All required permits and inspection certificates shall be obtained, paid for and made available to the owner at the completion of the work.
8. All steel, concrete or structural wood framing requires an inspection by the Engineer of record. When structural work of any kind is complete, the contractor shall notify the Engineer, in a timely fashion, that the work is ready for final inspection and meet the Engineer at the site. In addition, the Contractor, upon completion of the foundation work, shall immediately notify the Surveyor in order to complete the "as built survey".
9. Prior to pouring the footings or the foundation walls, the Contractor shall locate all survey data. With the assistance of the Surveyor of record, the contractor shall locate the footing depths, footing corner locations, the foundation wall heights, finish grades and elevations of finish slabs. These elevations shall be established with the use of a transit.
10. The Contractor shall be solely responsible for providing the subcontractors with Division 1 General Conditions of the specification and the appropriate division of the specification pertaining to the sub trade.
11. The Architect and the Engineer cannot determine prior to excavation the exact nature of the sub-surface conditions. For the purpose of these drawings, it is assumed that the soil conditions are "normal" and do not require blasting or rock splitting.

B. General Concrete Notes

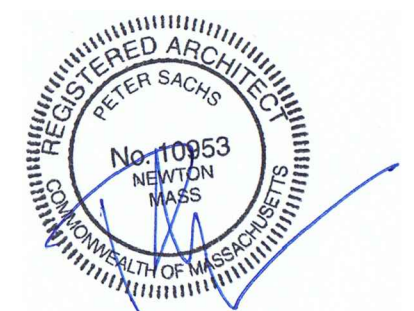
1. Compressive strength of concrete at 28 days: footings-3000 psi, walls and slabs- 4000 psi.
2. Connections between new and existing concrete walls and footings: Provide # 5 dowels @ 12" vertically, anchored to a depth of 6" with epoxy cement at all points of connection between new and existing concrete footings and foundation walls.
3. Footings: Provide 2 continuous # 5 bars 2" from the bottom of the footing in all footings unless otherwise noted. Unless otherwise noted all footing are 2'-0" wide and 12" deep with vertical # 4 bars tying the footing to the foundation wall.
4. Frost walls (foundations and foundation walls to a depth of 4'-0" below grade): Provide continuous # 4 bars top and bottom of the foundation wall.
5. Piers and Column pads: Unless otherwise noted piers and pads are to be reinforced. See structural drawings.
6. Footings shall bear on soil with a safe bearing capacity no less than 2 tons per sq ft. Field verify.

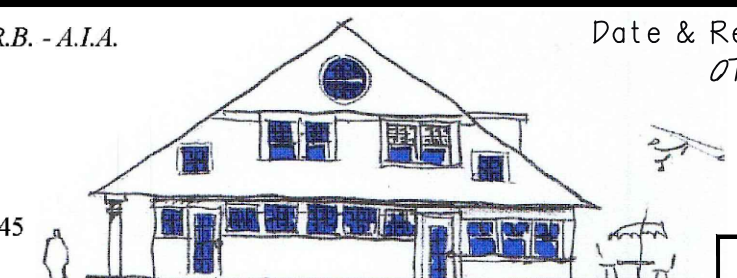
C. General Structural Steel Notes

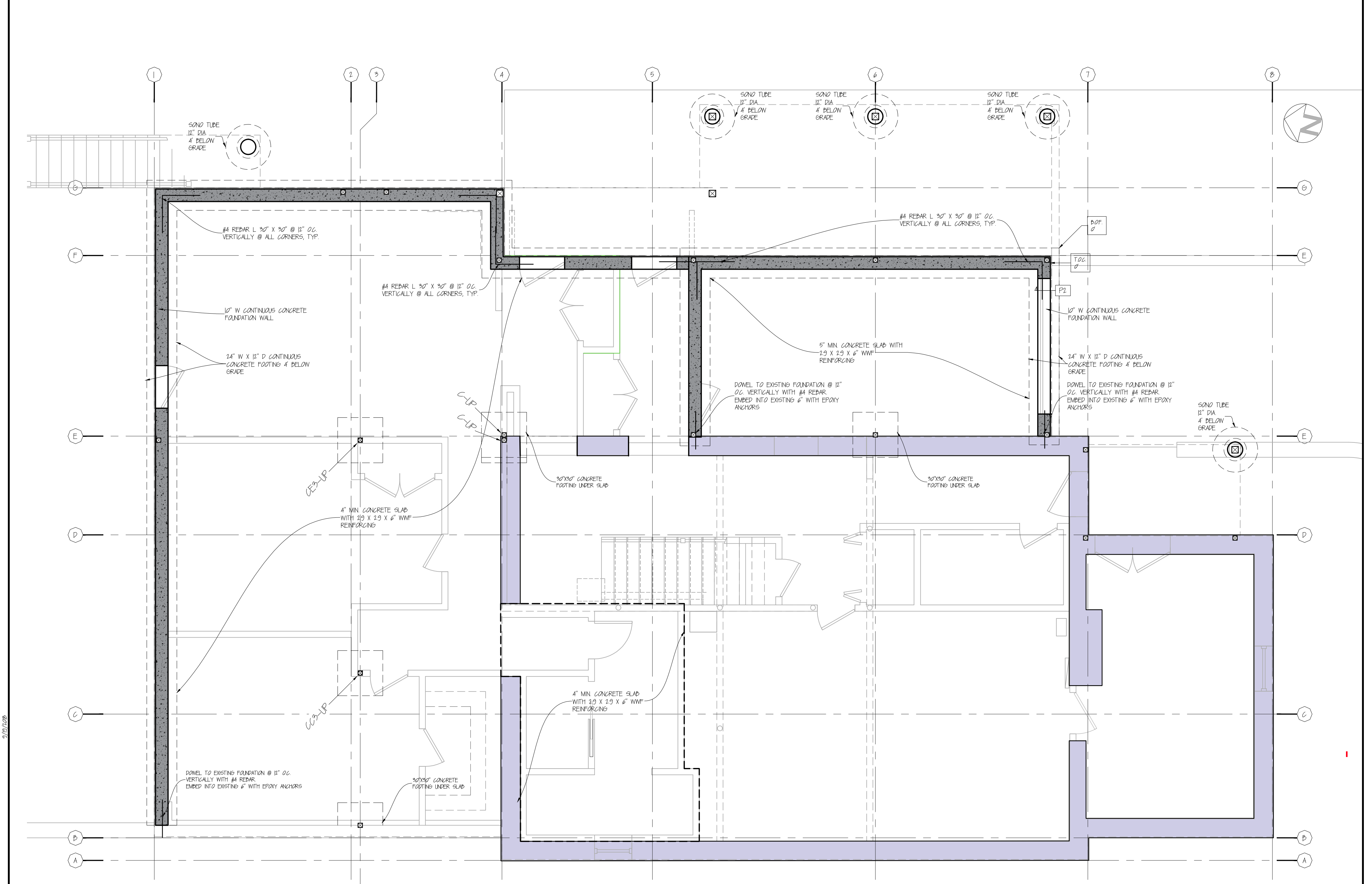
1. All steel shall be ASTM A 36: beams, plates, clips, columns and angles.
2. Pipe columns shall be Schedule 40, A 501 or A53 type E or S, grade B.
3. Steel bolts shall be ASTM A325.
4. Anchor bolts 8" long x 1/2" dia. (1" hook min.) shall be ASTM A307. Install all anchor bolts for sill plates @ 32" O.C.
5. Rebar shall be ASTM A 615 Grade 60.
6. All metal framing connectors shall be capable of equaling or exceeding all loading requirements of the State building code.
7. If necessary and for the purposes of certification, the Contractor shall be responsible for producing receipts demonstrating that steel meets the ASTM standards noted above.
8. All welding must be performed by a licensed or certified shop or field welder. Under no circumstance shall there be any deviation from this standard.
9. All bearing plates shall be 1/2" steel anchored with 1/2" x 8" long bolts and mounted with non-shrink grout unless otherwise noted.

D. Lumber

1. Consult the structural drawings for reaction (R) values when selecting joist hangers, beam hangers, post caps and bases. Adhere to all manufacturers' instructions when using selected products.
2. LVL lumber: F =2800psi, F = 285 psi, E= 2 x 10 psi. Nailing or bolting multiply LVL beams together shall be in accordance with the manufacturer's instructions.
3. Dimensional Lumber: wood posts shall be SPF # 1. / #2 and composed of solid wood (built up posts are not acceptable). Joists built up posts and beams, wall framing, window and door headers and window jamb posts shall be SPF #1. / #2. and have design values of F = 875 psi, F = 70 psi, F = 1,100 psi, E= 1.4 x 10
4. TJI's (see structural drawings and specifications)
5. PSL posts and beams: F =2800 psi, F =295 psi, E= 2x10 psi
7. All nailing shall conform to the Massachusetts State Building Code.

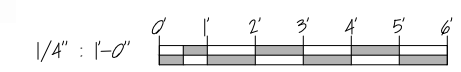


CHASE/VAUGH RESIDENCE 58 ROCHESTER RD NEWTON, MA	PROPOSED STRUCTURAL NOTES SCALE: 3/16" = 1'-0"
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465	Date & Revision 07/16/2018
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com	 S-I

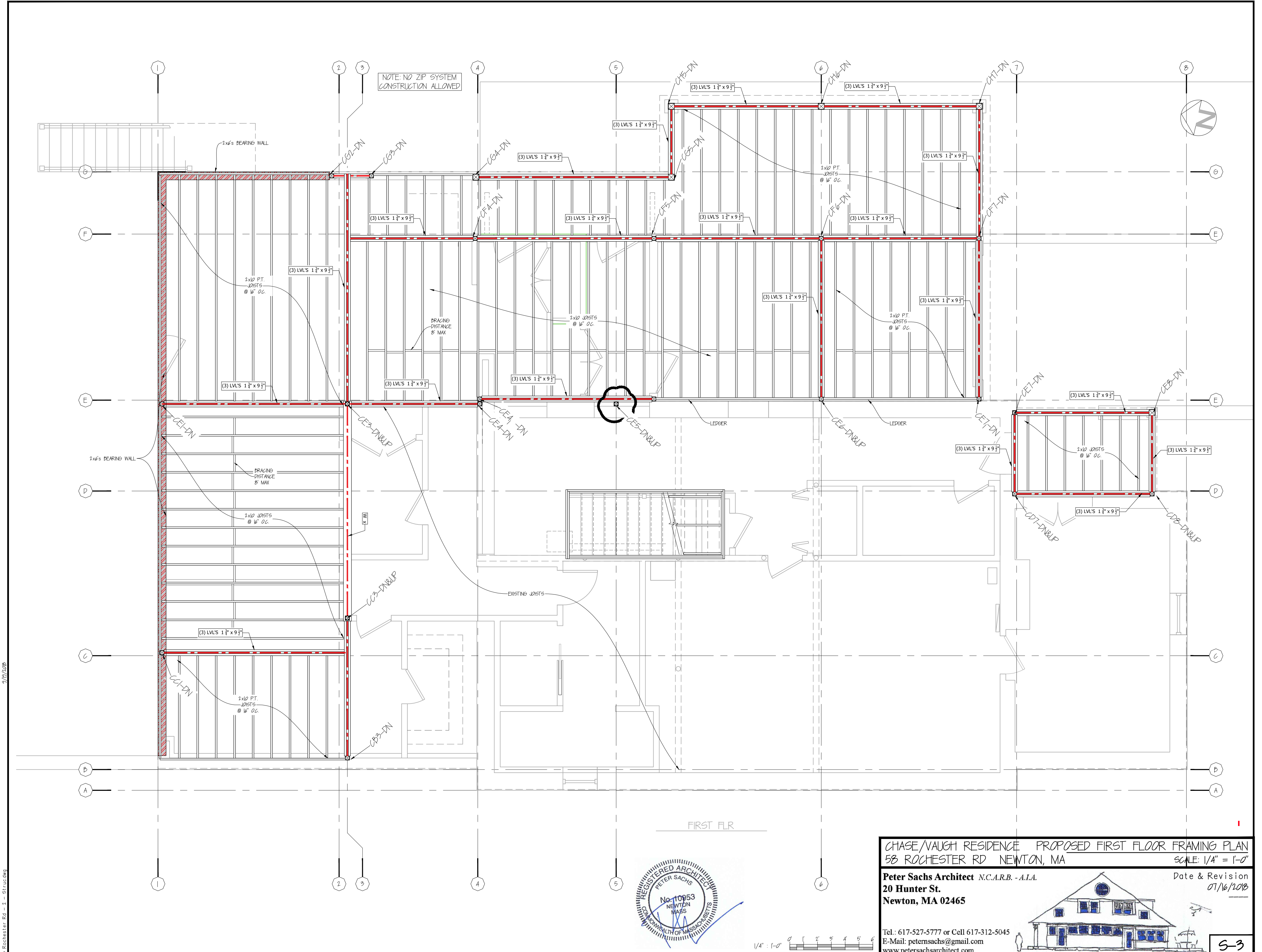


9/19/2018
58 Rochester Rd - 2 - Structural

FIRST FLR

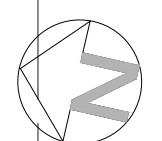


CHASE/VAUGH RESIDENCE		PROPOSED FOUNDATION FLOOR PLAN
58 ROCHESTER RD NEWTON, MA		SCALE: 1/4" = 1'-0"
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision
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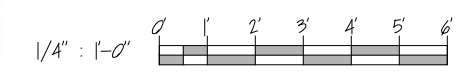
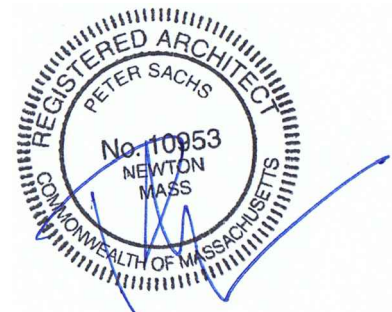


9/16/2018
58 Rochester Rd - 2 - Structural

NOTE: NO ZIP SYSTEM
CONSTRUCTION ALLOWED



FIRST FLR



CHASE/VAUGH RESIDENCE PROPOSED FIRST FLOOR FRAMING PLAN
58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"

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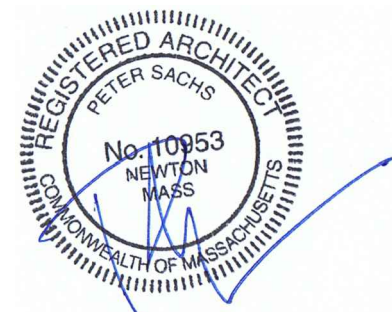
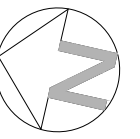
S-3

9/19/2018

58 Rochester Rd - 2 - Structural



NOTE: NO ZIP SYSTEM
CONSTRUCTION ALLOWED



CHASE/VAUGH RESIDENCE PROPOSED SECOND FLOOR FRAMING PLAN
58 ROCHESTER RD NEWTON, MA

SCALE: 1/4" = 1'-0"

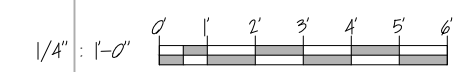
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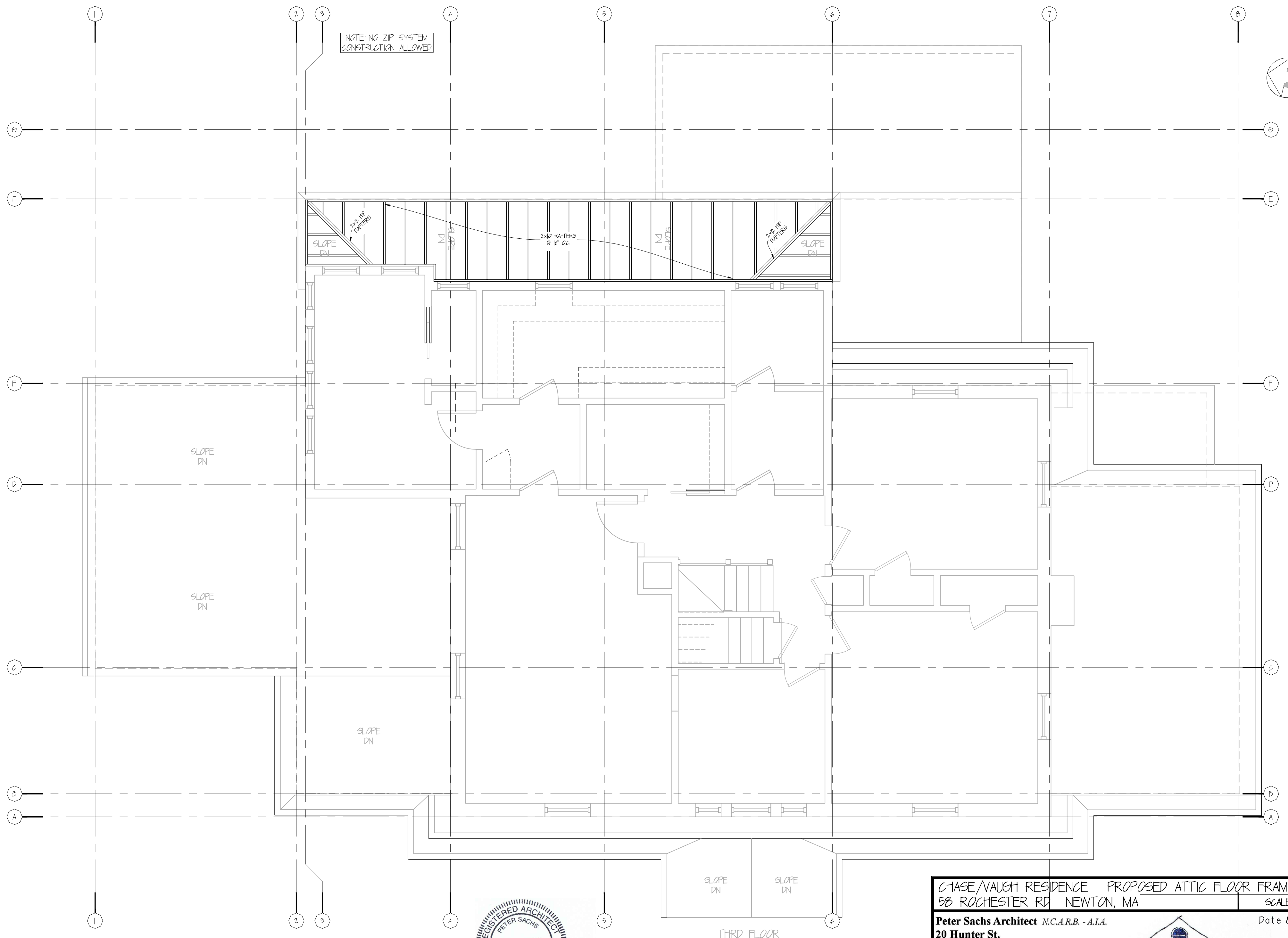
S-4

SECOND FLOOR

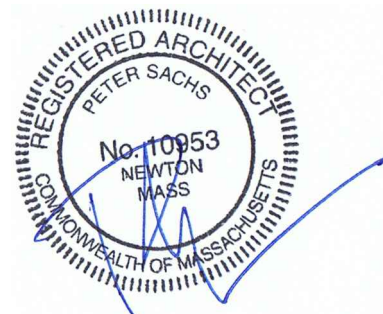
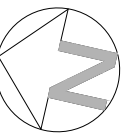


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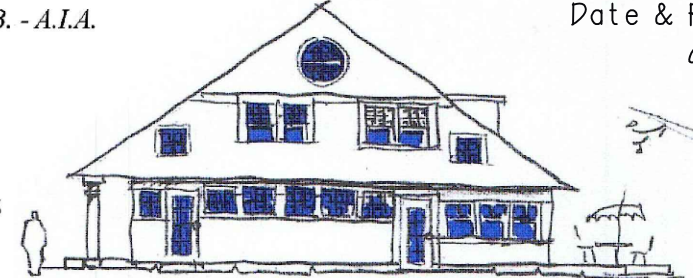
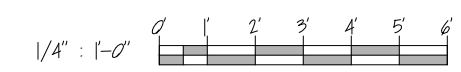
58 Rochester Rd - 2 - Structural



NOTE: NO ZIP SYSTEM CONSTRUCTION ALLOWED

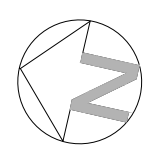


CHASE/VAUGH RESIDENCE PROPOSED ATTIC FLOOR FRAMING PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"
 Peter Sachs Architect N.C.A.R.B. - A.I.A. Date & Revision
 20 Hunter St. 07/16/2018
 Newton, MA 02465

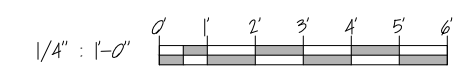


S-5

58 Rochester Rd - 2 - Structural 9/19/2018



ATTIC
1/4" = 1'-0"



CHASE/VAUGH RESIDENCE PROPOSED ROOF FLOOR FRAMING PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"

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