

CHASE/VAUGH RESIDENCE

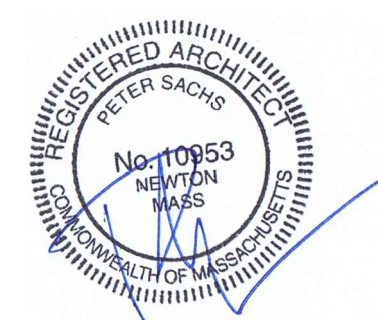
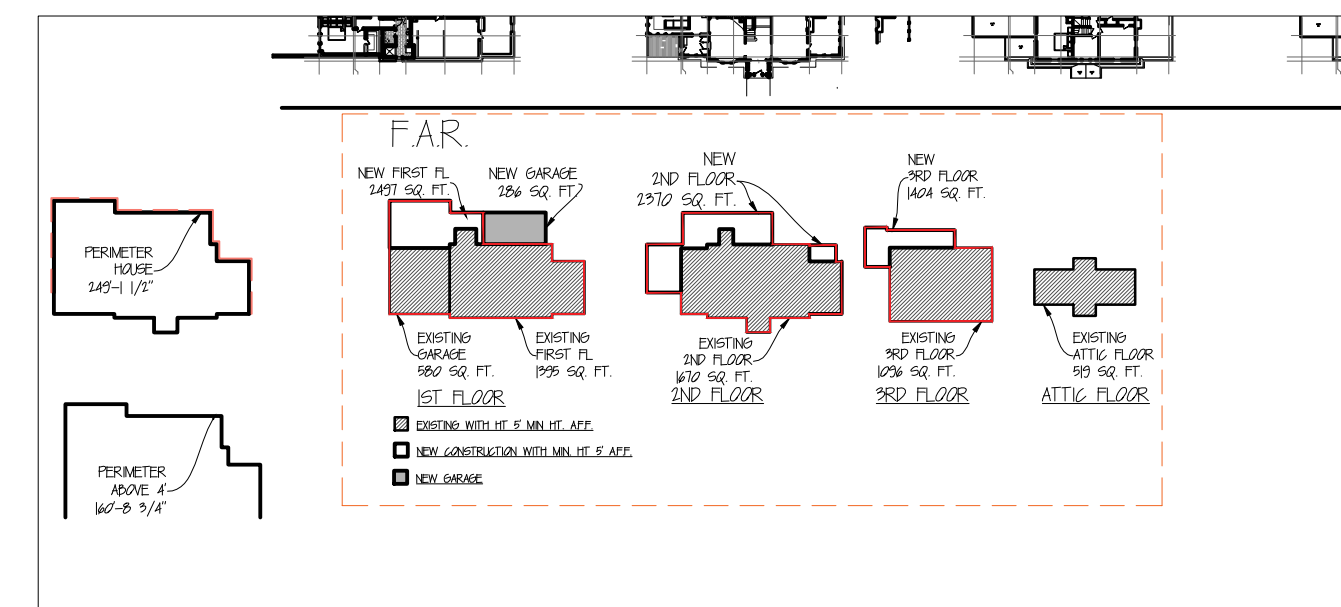
58 ROCHESTER
NEWTON, MA

General Notes

- Prior to commencing work, the contractor shall become familiar with the intent of the Architectural plans, inspect the site and be fully responsible for reporting to the Architect any discrepancies between the dimensions, elevations and/or locations indicated on the drawings and those that actually exist on the site.
- If in the course of the construction, a condition exists which disagrees with the intention of the plans or disagrees with what is indicated on the plans or in the specifications, the contractor is to stop work and notify the Architect.
- The Contractor shall apply for, obtain and pay for all required permits, inspections and other applicable state and municipal regulations and requirements. No construction work of any kind shall commence without a Building Permit from the municipality of jurisdiction.
- The contractor shall be responsible for the overall coordination and supervision including dimensions, layout and specifications related to his own sub-contractors. The contractor shall require the sub-contractors to visit the site and become familiar with the plans and specifications for their portion of the work.
- The contractor shall coordinate all "as built" surveys required by code.
- The contractor and all sub-contractors shall be solely responsible for compliance with all federal, state, and municipal safety regulations and requirements, including but not limited to the regulations of OSHA, AGC, and ASA, the Massachusetts Building Code; Fuel, Gas Plumbing and Electrical codes of the State of Massachusetts. This includes contacting Dig- Safe prior to any excavation. All workers employed by the General Contractor or by the Owner or by any subcontractors either directly or indirectly shall be covered by a Workman Compensation Policy and General Liability without exception. It shall not be the responsibility of the Architect to enforce compliance or administer or regulate compliance of this policy.
- The Architect shall not be responsible for enforcement specific safety regulations or the enforcement of compliance by the General Contractor to any or all of the requirements of the General Notes section of these drawings.
- The existing conditions indicated are from field measurement. All conditions and dimensions are based on visual observation. The Architect makes no representation as to the structural integrity or code compliance of existing conditions that are not readily visible.
- The contractor shall meet all the "U" value requirements of the State Energy Code for walls, floors, ceilings, windows and doors. Window "U" value of .30
- The contractor shall determine with the assistance of a Mechanical Engineer the required heating and air conditioning equipment and elements necessary for the new and existing spaces.

DRAWING LIST	
SHEET NUMBER	DESCRIPTION
ARCHITECTURAL	
A-0	TITLE SHEET
A-1	PROPOSED BASEMENT PLAN
A-2	PROPOSED FIRST FLOOR PLAN
A-3	PROPOSED SECOND FLR PLAN
A-4	PROPOSED ATTIC PLAN
A-5	PROPOSED ROOF PLAN
A-6	ELEV. 1 - PROPOSED FRONT
A-7	ELEV. 2 - PROPOSED RIGHT
A-8	ELEV. 3 - PROPOSED BACK
A-9	ELEV. 4 - PROPOSED LEFT
EXISTING CONDITIONS	
EX-1	EXISTING BASEMENT FLOOR PLAN
EX-2	EXISTING FIRST FLOOR PLAN
EX-3	EXISTING SECOND FLOOR PLAN
EX-4	EXISTING ATTIC FLOOR PLAN
EX-5	EXISTING ROOF PLAN
EX-6	EXISTING FRONT ELEVATION
EX-7	EXISTING RIGHT ELEVATION
EX-8	EXISTING BACK ELEVATION
EX-9	EXISTING LEFT ELEVATION
EX-10	EXISTING SECTION
JULY 16, 2013	

F.A.R. CALCULATION (FLOOR AREA RATIO)	
LOT:	16,518 S.F.
ZONE:	SR3 OLD
ALLOWABLE FAR:	0.38
MAXIMUM ALLOWABLE SF:	6,277 S.F.
EXISTING FAR:	0.32
EXISTING SF:	5,326 S.F.
PROPOSED FAR:	0.42
TOTAL PROPOSED SF:	7,077 S.F.
TOTAL PROPOSED	
FIRST FLOOR	2,497 S.F.
ATTACHED GARAGE	286 S.F.
SECOND FLOOR	2,370 S.F.
THIRD FLOOR	1,405 S.F.
ATTIC FLOOR	519 S.F.
TOTALS (FAR ONLY)	7077 S.F.



CHASE/VAUGH RESIDENCE
58 ROCHESTER NEWTON, MA

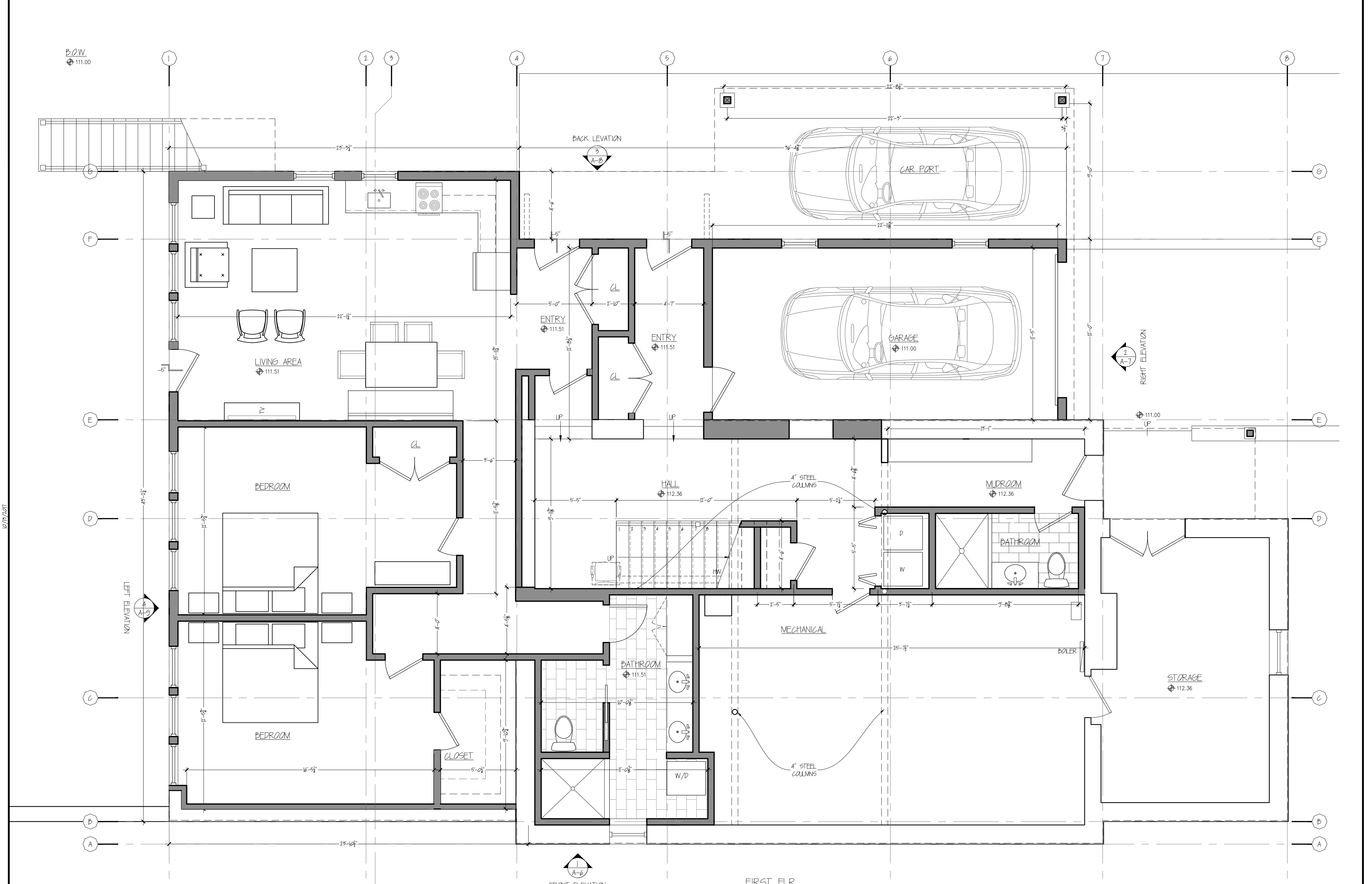
Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

Tel.: 617-527-5777 or Cell 617-312-5045
E-Mail: petersachs@gmail.com
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TITLE SHEET
SCALE: N.T.S.

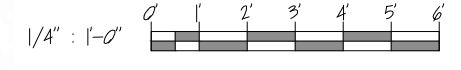
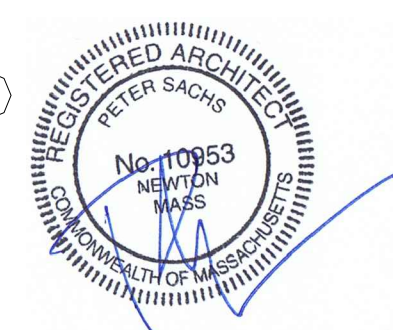
Date & Revision
05-31-2013
07-16-2013

A-1



LEGEND

- EXISTING WALL TO REMAIN
- PROPOSED FOUNDATION WALL
- PROPOSED STUD WALL
- LINE ABOVE/BEYOND
- PROPOSED WINDOW
- PROPOSED DOOR



CHASE/VAUGH RESIDENCE
58 ROCHESTER, NEWTON, MA

Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Date & Revision
05-31-2018
07-16-2018

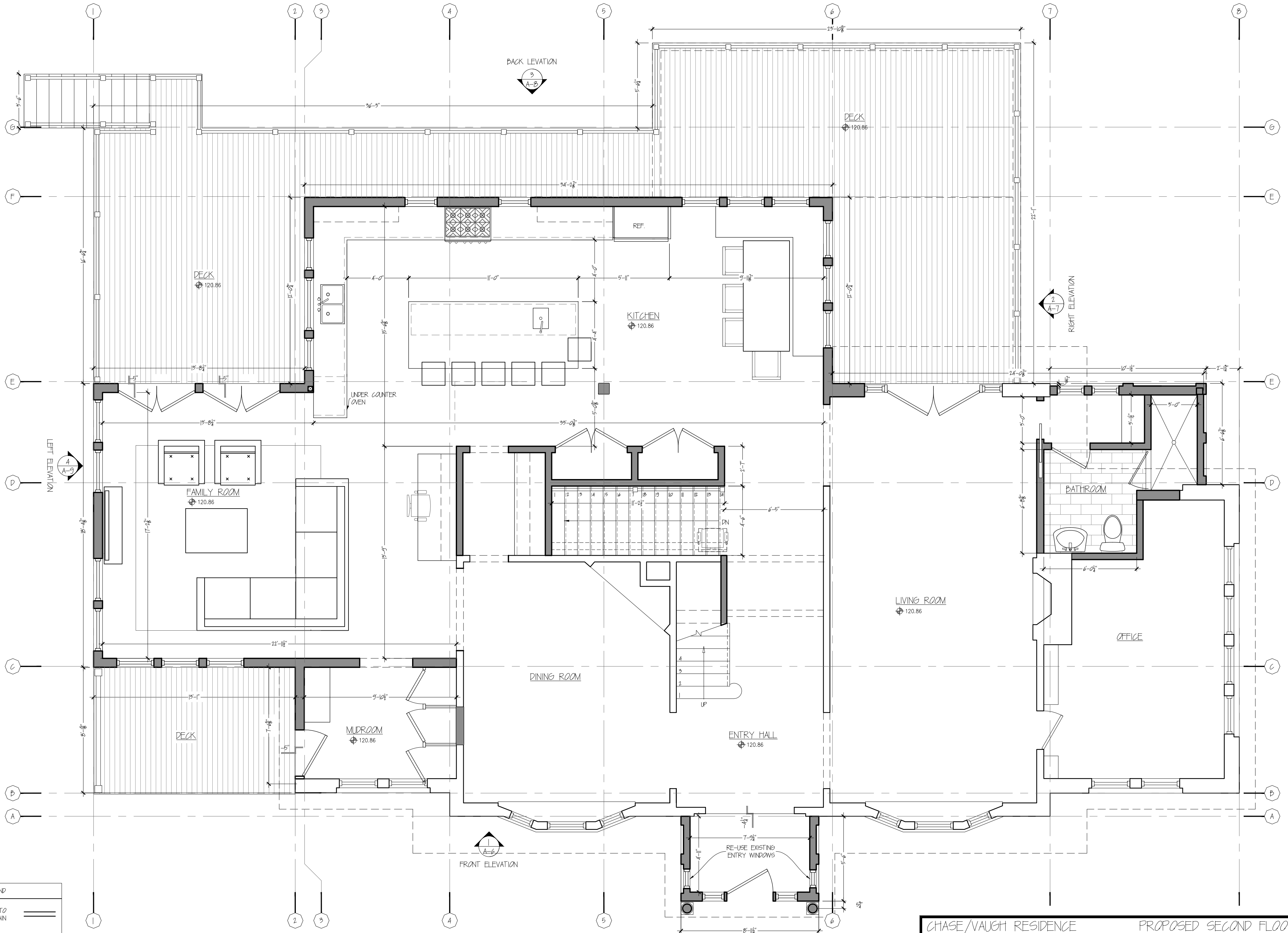
Tel.: 617-527-5777 or Cell 617-312-5045
E-Mail: petersachs@gmail.com
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A-2

58 Rochester, Rd - I - ArchiP/Esp.dwg

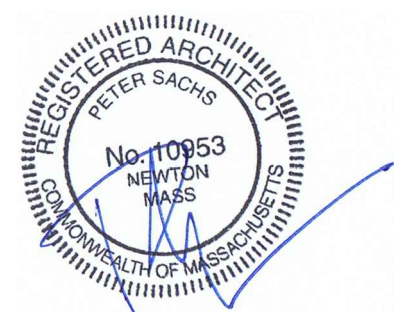
10/19/2017

58 Rochester Rd - I - Arch/Exp.dwg



LEGEND

EXISTING WALL TO REMAIN	
PROPOSED FOUNDATION	
PROPOSED STUD WALL	
LINE ABOVE/BEYOND	
PROPOSED WINDOW	
PROPOSED DOOR	
TEMPERED GLASS	TG



CHASE/VAUGH RESIDENCE
58 ROCHESTER, NEWTON, MA

PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

Date & Revision
05-31-2018
07-16-2018

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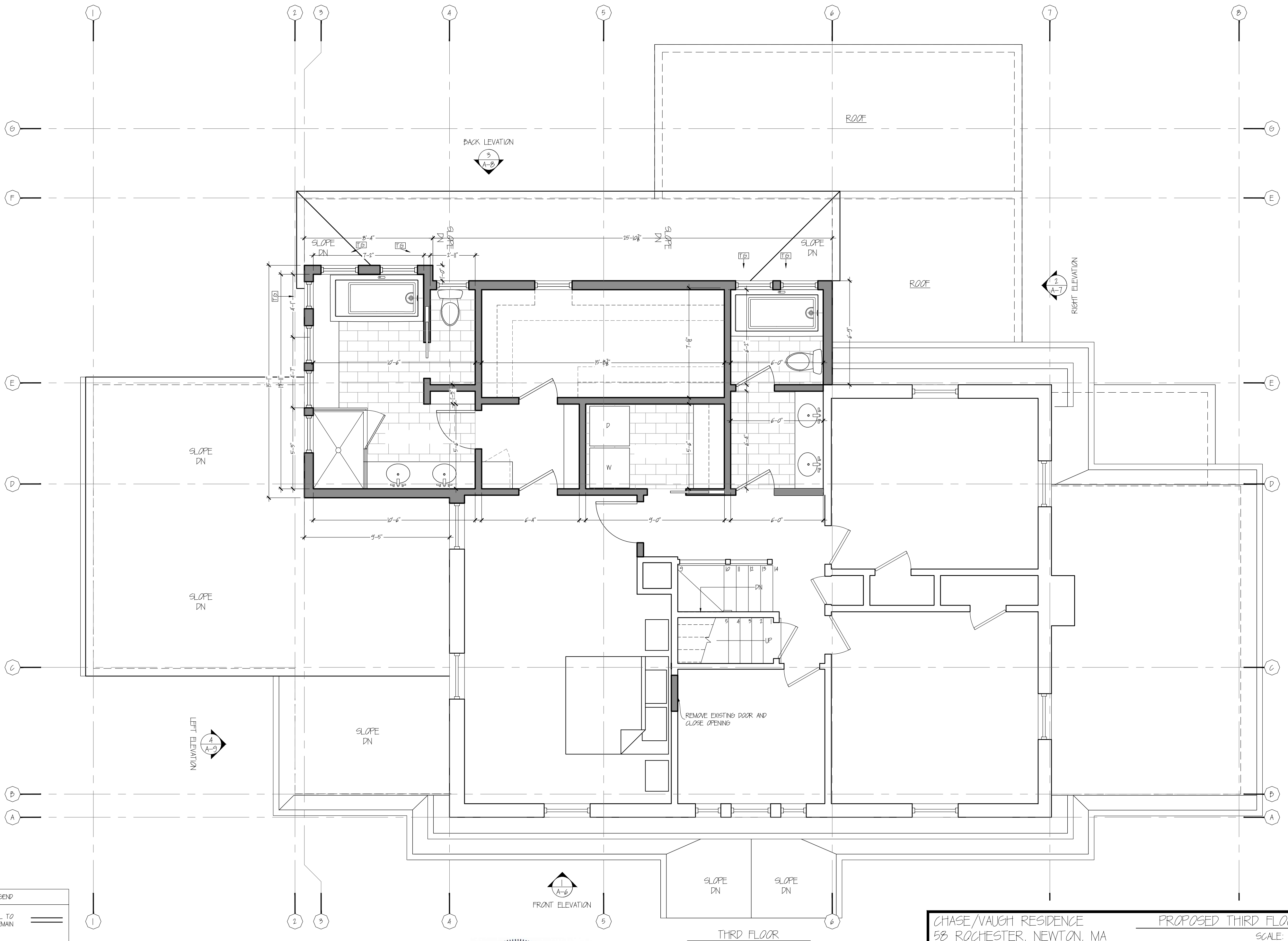
SECOND FLOOR

1/4" = 1'-0"

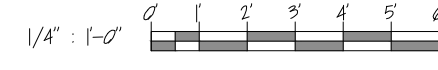
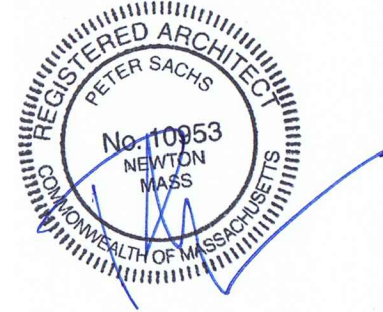
A-3

10/19/2017

58 Rochester Rd - I - Arch/Exp.dwg



LEGEND	
EXISTING WALL TO REMAIN	
PROPOSED FOUNDATION WALL	
PROPOSED STUD WALL	
LINE ABOVE/BEYOND	
PROPOSED WINDOW	
PROPOSED DOOR	



CHASE/VAUGH RESIDENCE PROPOSED THIRD FLOOR PLAN
 58 ROCHESTER, NEWTON, MA SCALE: 1/4" = 1'-0"

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 20 Hunter St.
 Newton, MA 02465

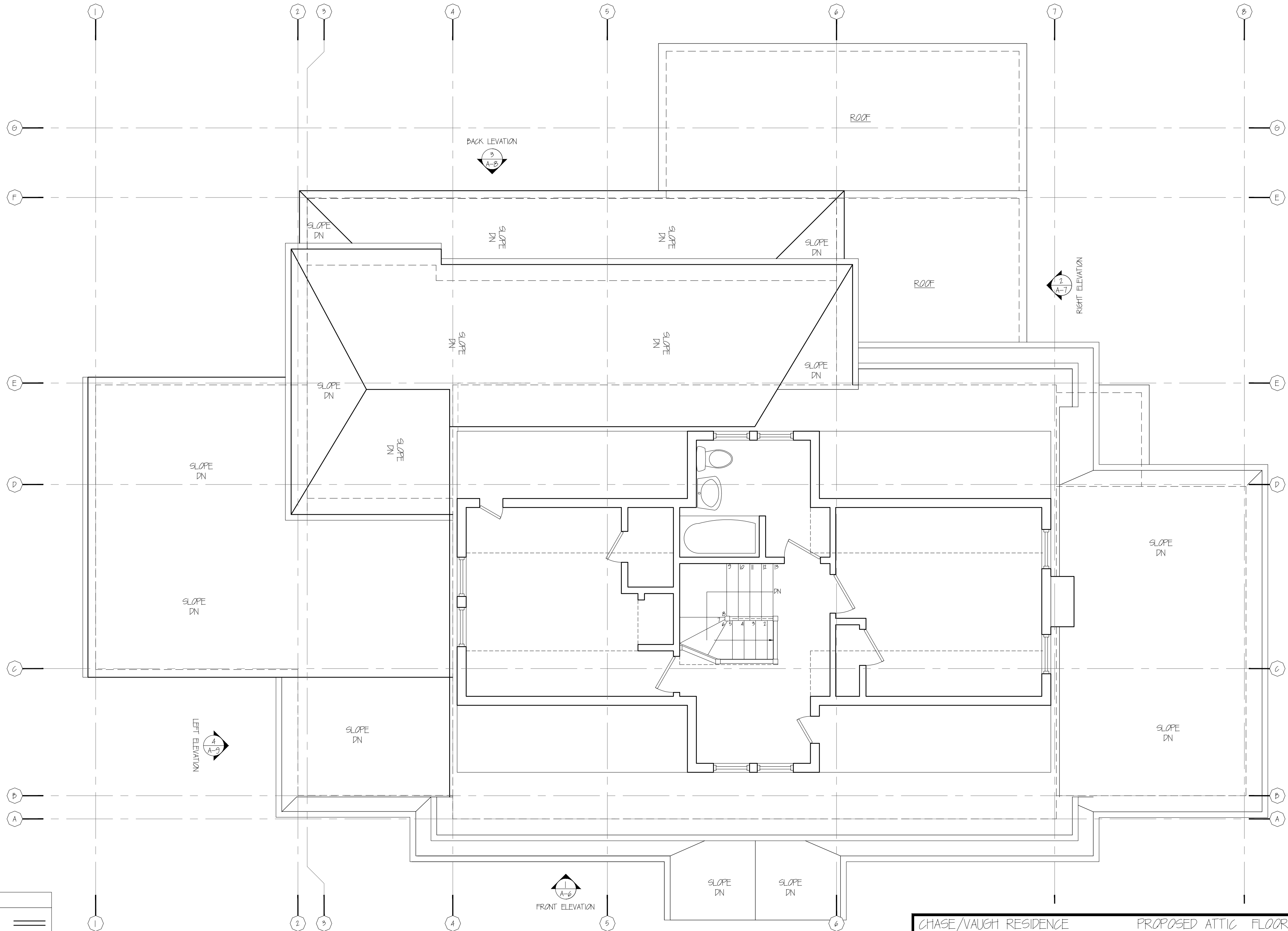
Date & Revision
 05-31-2018
 07-16-2018

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 E-Mail: petersachs@gmail.com
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A-4

10/19/2017

58 Rochester, Rd. - I - ArchiFF (exp).dwg



CHASE/VAUGH RESIDENCE
58 ROCHESTER, NEWTON, MA

Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

PROPOSED ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

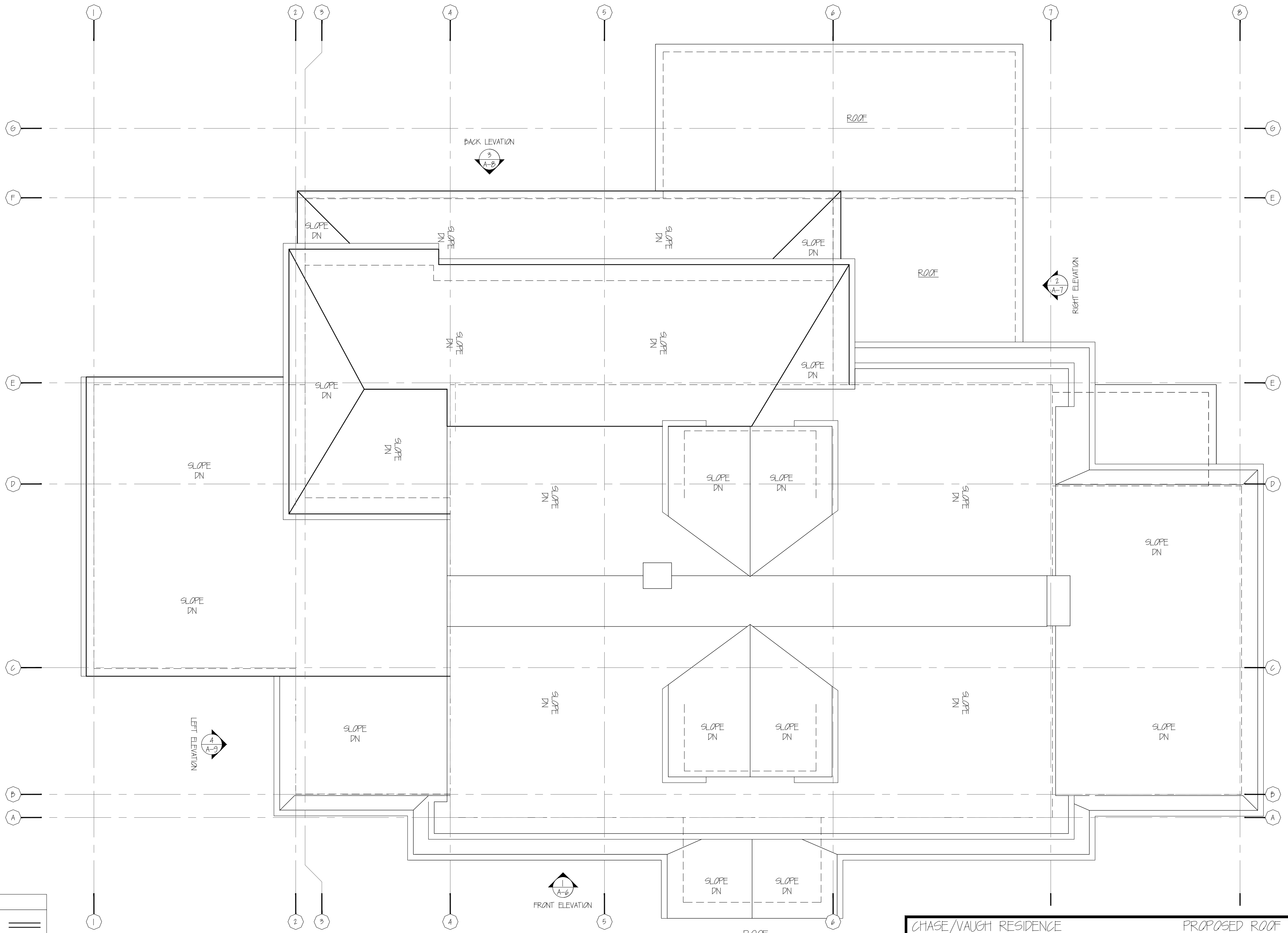
Date & Revision
05-31-2018
07-16-2018

Tel.: 617-527-5777 or Cell 617-312-5045
E-Mail: petersachs@gmail.com
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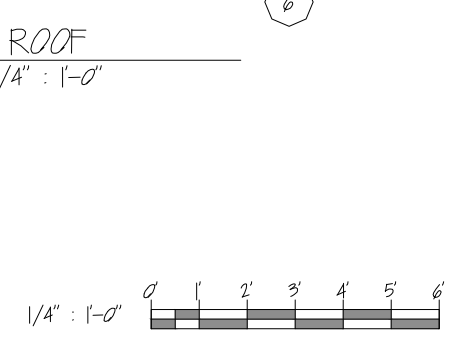
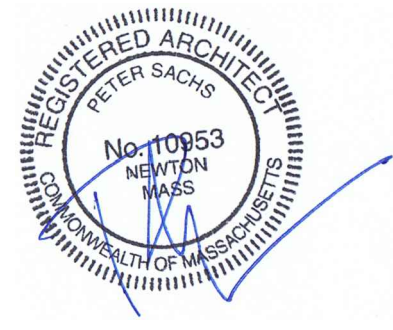
A-5

10/19/2017

58 Rochester Rd - I - Architectural.dwg



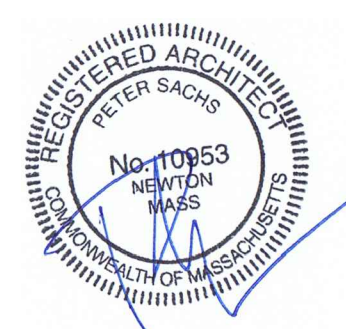
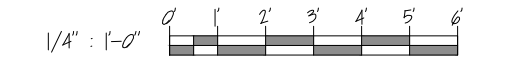
LEGEND	
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PROPOSED FOUNDATION WALL	
PROPOSED STUD WALL	
LINE ABOVE/BEYOND	
PROPOSED WINDOW	
PROPOSED DOOR	



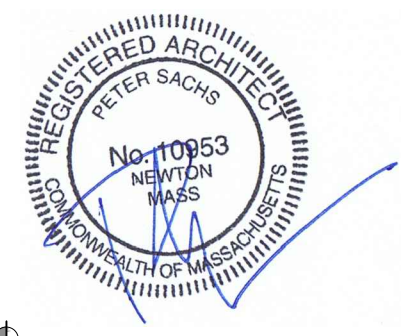
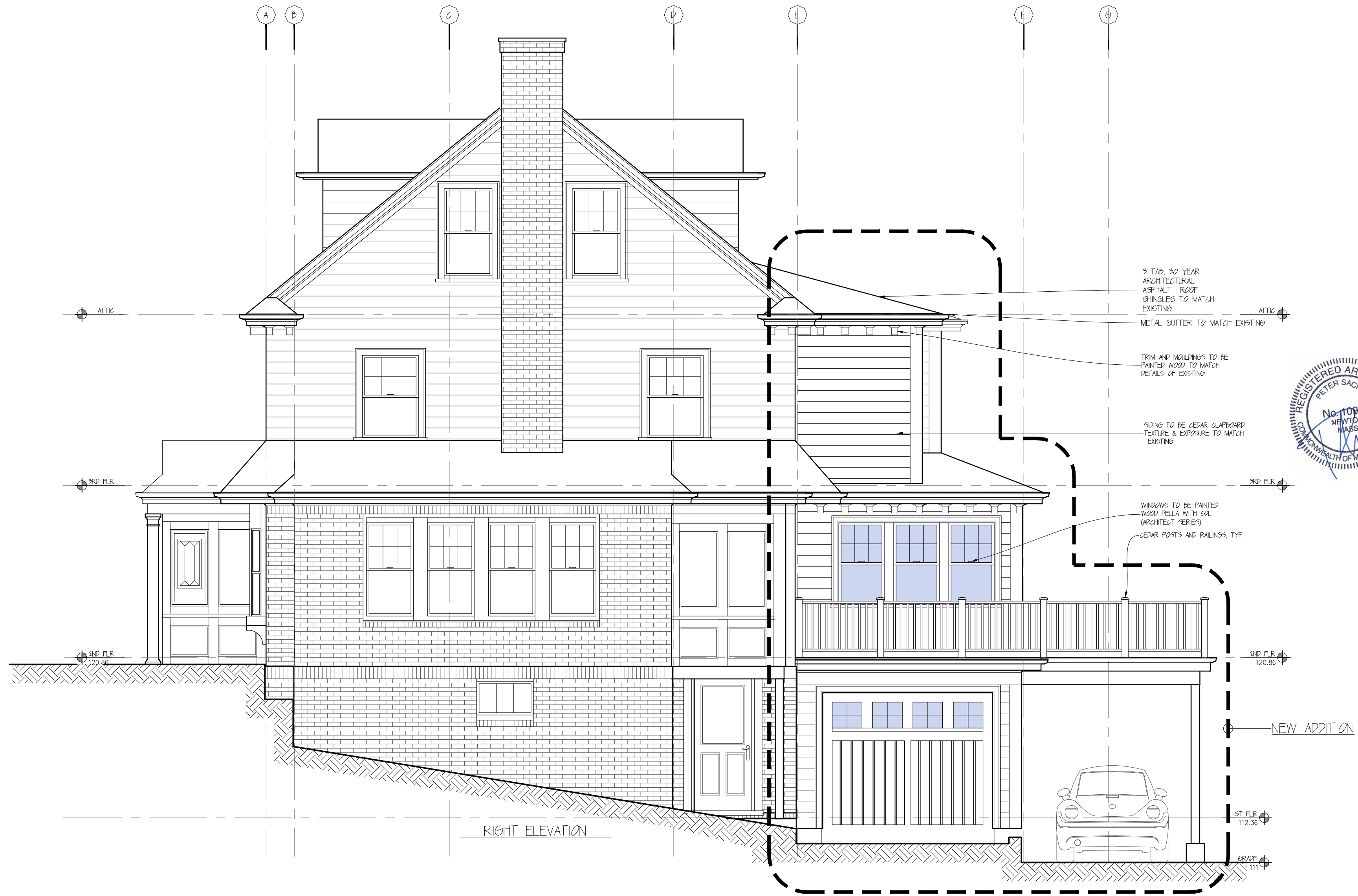
CHASE/VAUGH RESIDENCE		PROPOSED ROOF PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		05-31-2018	
Newton, MA 02465		07-16-2018	
Tel.: 617-527-5777 or Cell 617-312-5045			
E-Mail: petersachs@gmail.com			
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PERMIT SET



CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED FRONT ELEVATION	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		SCALE: 1/4" = 1'-0"	
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com		Date & Revision 05-31-2018 07-16-2018	
		A-7	



PERMIT SET

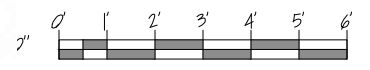
CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com		
1/4" = 1'-0" 		A-3



BACK ELEVATION

PERMIT SET

CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED BACK ELEVATION SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018	
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12/19/2017



PERMIT SET

CHASE/VAUGH RESIDENCE		PROPOSED LEFT ELEVATION	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		05-31-2018	
Newton, MA 02465		07-16-2018	
Tel.: 617-527-5777 or Cell 617-312-5045			
E-Mail: petersachs@gmail.com			
www.petersachsarchitect.com			
1/4" = 1'-0"		A-10	

10/19/2017

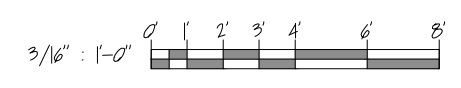
EXISTING RIDGE



SECTION 1
3/16" = 1'-0"

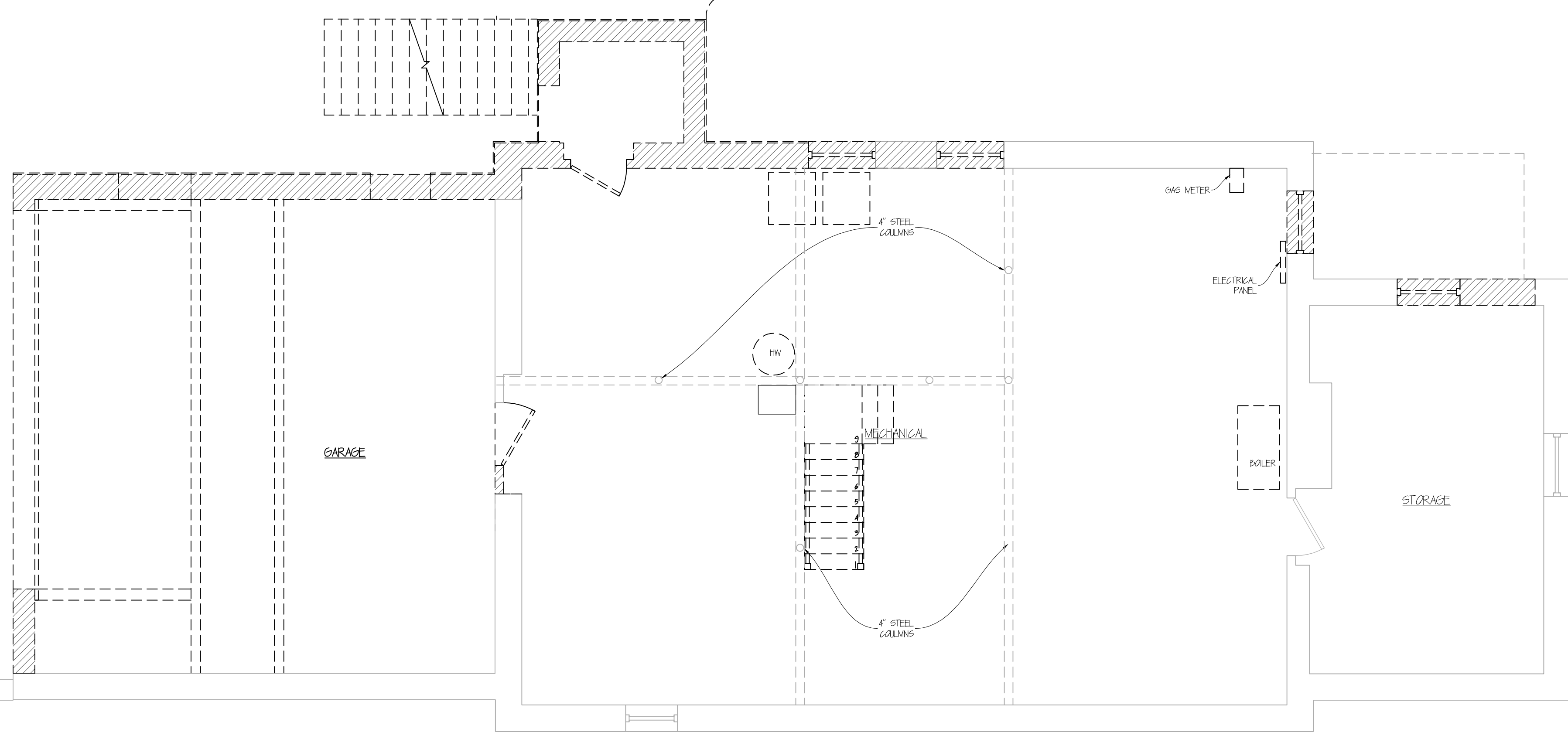


SECTION 2
3/16" = 1'-0"

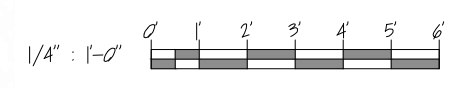


CHASE/VAUGH RESIDENCE 58 ROCHESTER, NEWTON, MA		PROPOSED SECTIONS SCALE: 3/16" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 05-31-2018 07-16-2018	
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			A-11

LEGEND	
EXISTING WALL TO REMAIN	=====
WALL TO DEMOLISH	-----

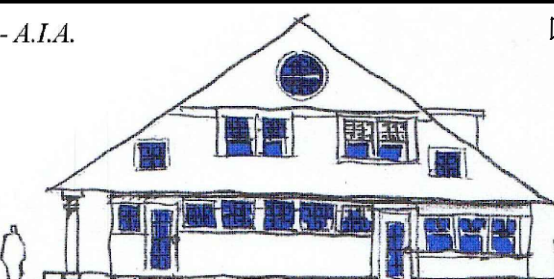


BASEMENT
1/4" = 1'-0"



PERMIT SET

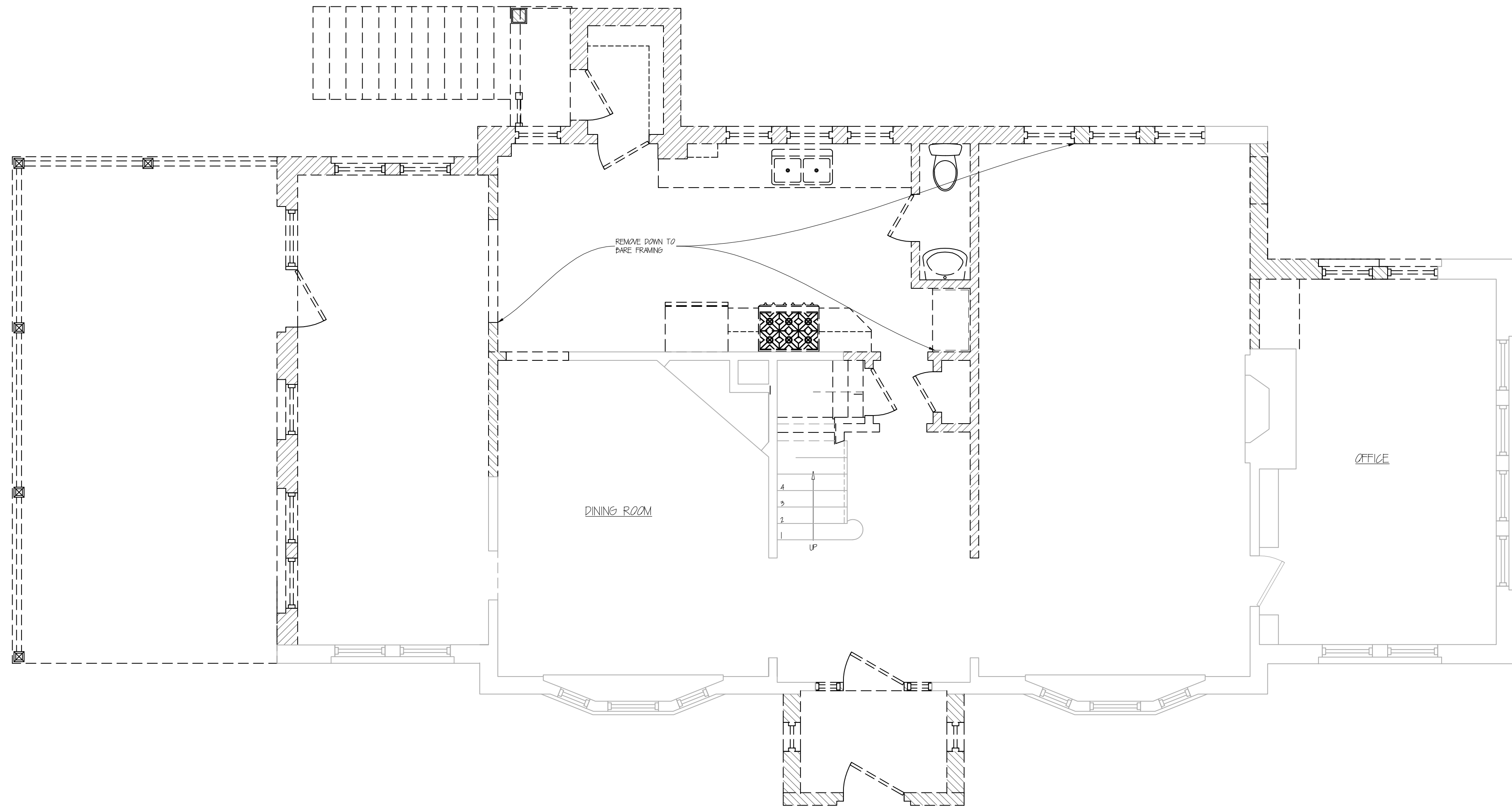
CHASE/VAUGH RESIDENCE		DEMOLITION FIRST FLOOR PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		05-31-2018	
Newton, MA 02465		_____	
Tel.: 617-527-5777 or Cell 617-312-5045		_____	
E-Mail: petersachs@gmail.com		_____	
www.petersachsarchitect.com		_____	



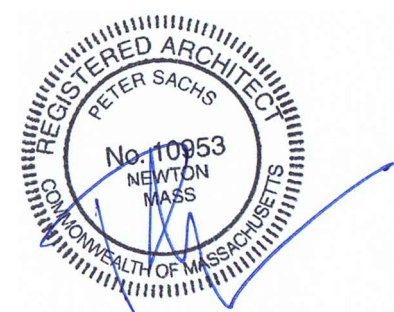
58 Rochester Rd. - 3 - Demolition 10/19/2017

D-1

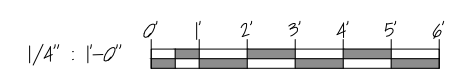
LEGEND	
EXISTING WALL TO REMAIN	
WALL TO DEMOLISH	



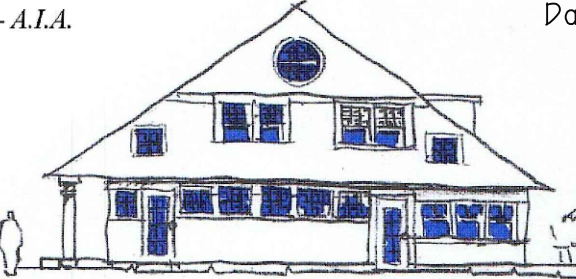
PERMIT SET



FIRST FLOOR
1/4" = 1'-0"



CHASE/VAUGH RESIDENCE		DEMOLITION SECOND FLOOR PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		05-31-2018	
Newton, MA 02465		_____	
Tel.: 617-527-5777 or Cell 617-312-5045		_____	
E-Mail: petersachs@gmail.com		_____	
www.petersachsarchitect.com		_____	

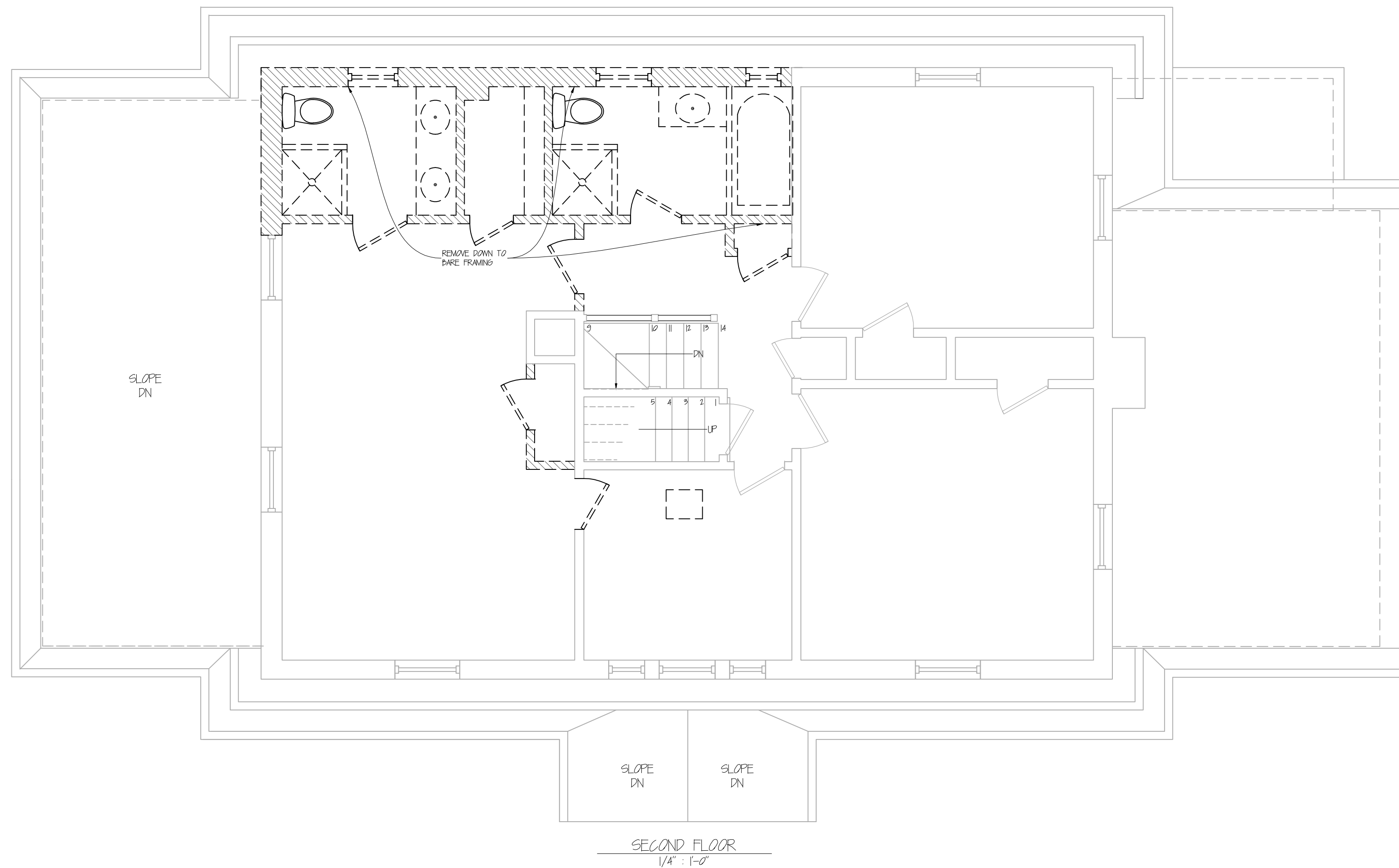


D-3

10/19/2017

58 Rochester Rd. - 3 - Demolition

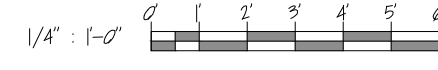
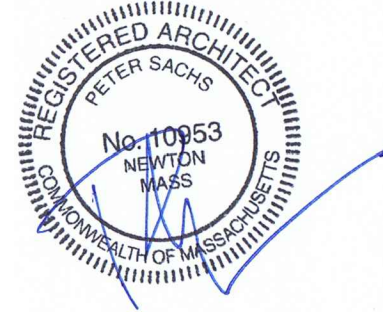
LEGEND	
EXISTING WALL TO REMAIN	———
WALL TO DEMOLISH	ZZZZ



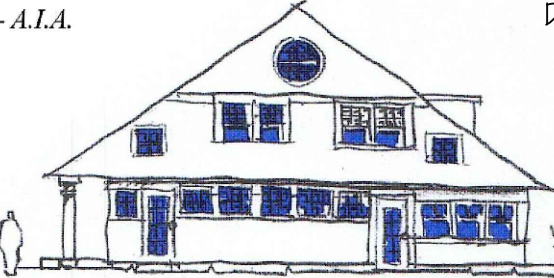
10/19/2017

58 Rochester Rd. - 3 - Demolition

PERMIT SET



CHASE/VAUGH RESIDENCE		DEMOLITION THIRD FLOOR PLAN	
58 ROCHESTER, NEWTON, MA		SCALE: 1/4" = 1'-0"	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		05-31-2018	
Newton, MA 02465		_____	
Tel.: 617-527-5777 or Cell 617-312-5045		_____	
E-Mail: petersachs@gmail.com		_____	
www.petersachsarchitect.com		_____	

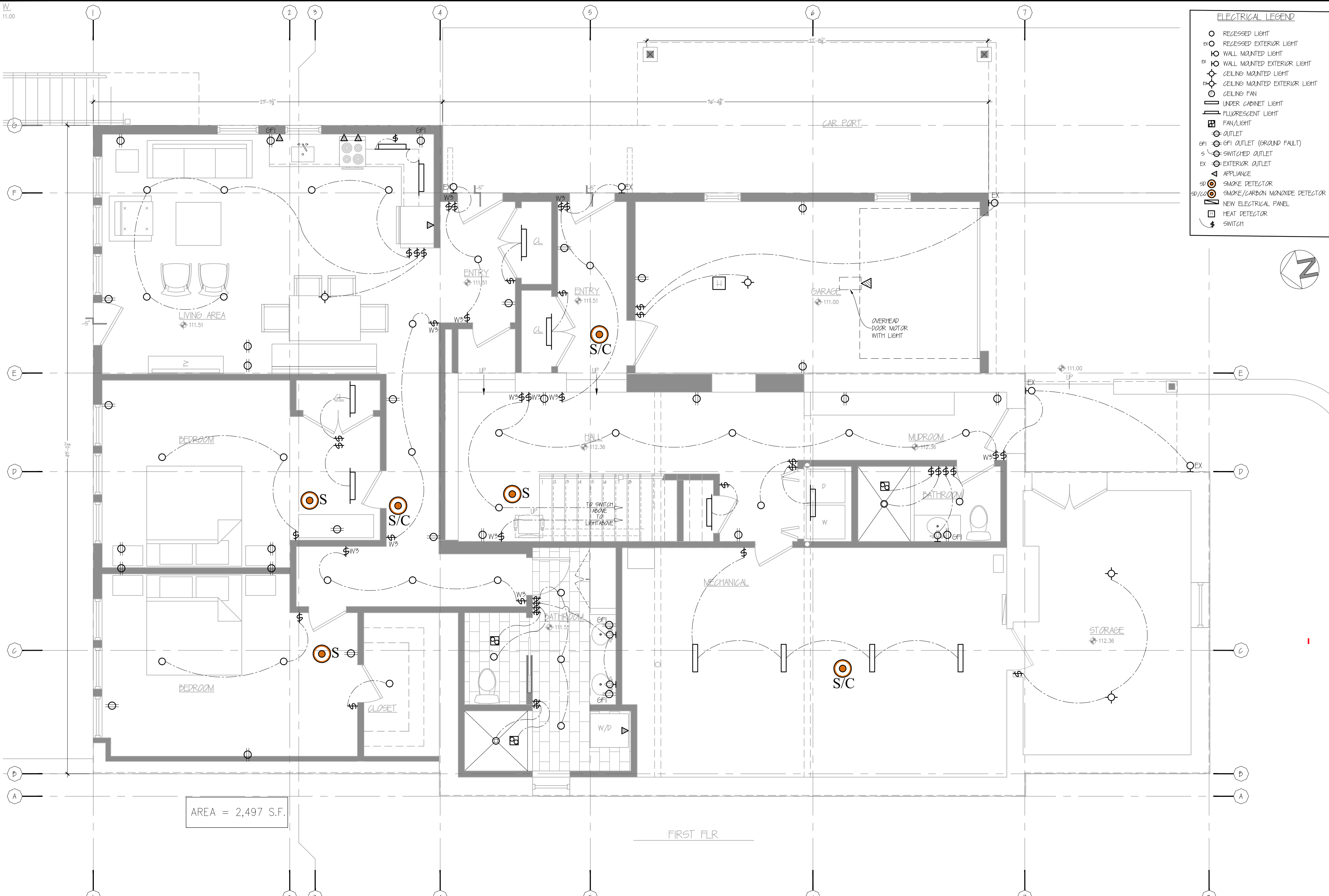


CHASE/VAUGH RESIDENCE

58 ROCHESTER RD
NEWTON, MA

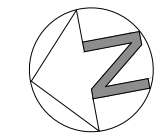
FIRE DEPARTMENT
00/00/2018

CHASE/VAUGH RESIDENCE 58 ROCHESTER RD NEWTON, MA	FIRE DEPARTMENT
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465	Date & Revision 07/16/2018
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com	 E-0



ELECTRICAL LEGEND

- RECESSED LIGHT
- RECESSED EXTERIOR LIGHT
- WALL MOUNTED LIGHT
- WALL MOUNTED EXTERIOR LIGHT
- CEILING MOUNTED LIGHT
- CEILING MOUNTED EXTERIOR LIGHT
- CEILING FAN
- UNDER CABINET LIGHT
- FLUORESCENT LIGHT
- FAN/LIGHT
- OUTLET
- GFI OUTLET (GROUND FAULT)
- SWITCHED OUTLET
- EXTERIOR OUTLET
- △ APPLIANCE
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- NEW ELECTRICAL PANEL
- HEAT DETECTOR
- ⌘ SWITCH



7/16/2018
58 Rochester Rd - 4 - Electrical

AREA = 2,497 S.F.

FIRST FLR



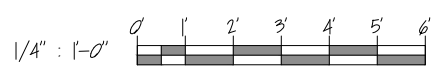
CHASE/VAUGH RESIDENCE
58 ROCHESTER RD NEWTON, MA

Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

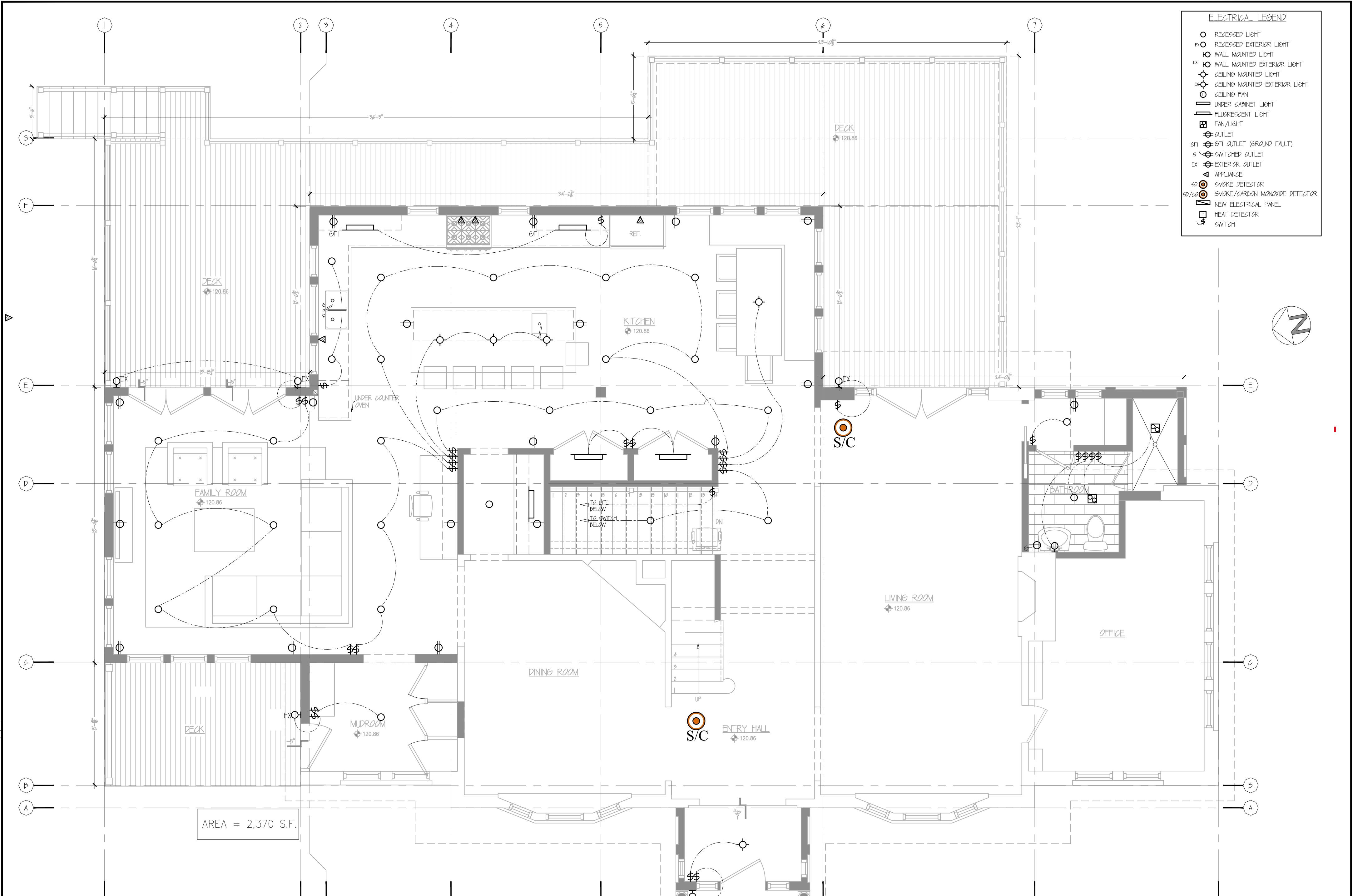
ELECTRICAL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

Date & Revision
07/16/2018

Tel.: 617-527-5777 or Cell 617-312-5045
E-Mail: petersachs@gmail.com
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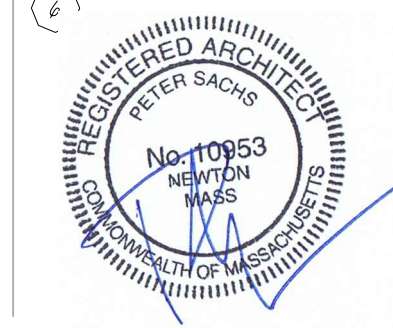


ELECTRICAL LEGEND	
○	RECESSED LIGHT
○	RECESSED EXTERIOR LIGHT
○	WALL MOUNTED LIGHT
○	WALL MOUNTED EXTERIOR LIGHT
○	CEILING MOUNTED LIGHT
○	CEILING MOUNTED EXTERIOR LIGHT
○	CEILING FAN
○	UNDER CABINET LIGHT
○	FLUORESCENT LIGHT
○	FAN/LIGHT
○	OUTLET
○	GFI OUTLET (GROUND FAULT)
○	SWITCHED OUTLET
○	EXTERIOR OUTLET
○	APPLIANCE
○	SMOKE DETECTOR
○	SMOKE/CARBON MONOXIDE DETECTOR
○	NEW ELECTRICAL PANEL
○	HEAT DETECTOR
○	SWITCH



AREA = 2,370 S.F.

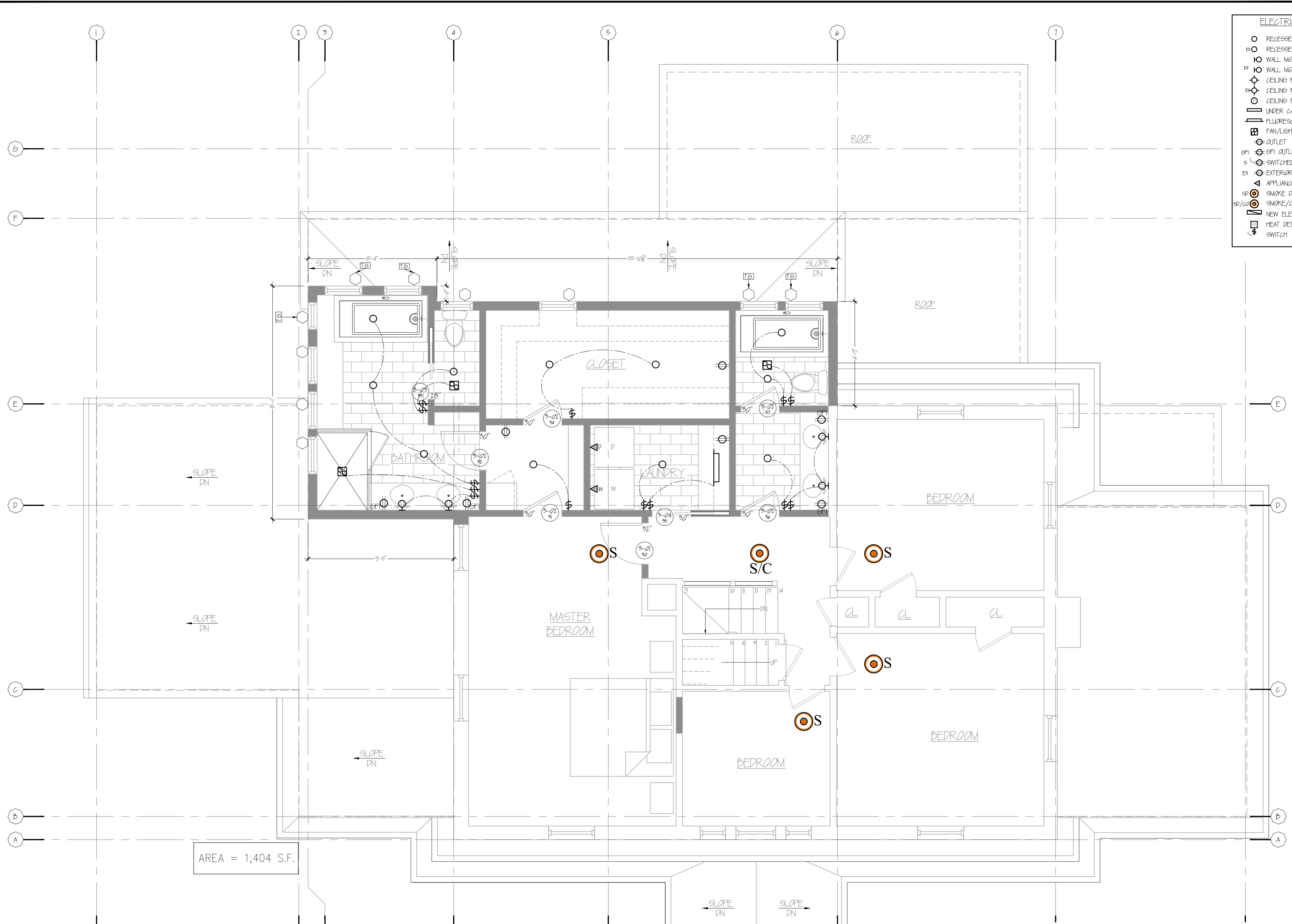
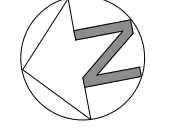
SECOND FLOOR



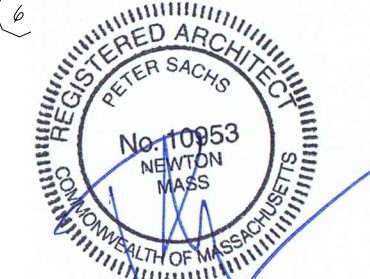
CHASE/VAUGH RESIDENCE ELECTRICAL SECOND FLOOR PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"
 Peter Sachs Architect N.C.A.R.B. - A.I.A. Date & Revision
 20 Hunter St. Newton, MA 02465 07/16/2018
 Tel.: 617-527-5777 or Cell 617-312-5045
 E-Mail: petersachs@gmail.com
 www.petersachsarchitect.com

58 Rochester Rd - 4 - Electrical 7/16/2018

ELECTRICAL LEGEND	
○	RECESSED LIGHT
EX ○	RECESSED EXTERIOR LIGHT
○	WALL MOUNTED LIGHT
EX ○	WALL MOUNTED EXTERIOR LIGHT
○	CILING MOUNTED LIGHT
EX ○	CILING MOUNTED EXTERIOR LIGHT
○	CILING FAN
○	UNDER CABINET LIGHT
▭	FLUORESCENT LIGHT
▭	FAN/LIGHT
○	OUTLET
GFI ○	GFI OUTLET (GRAND FALLT)
S ○	SWITCHED OUTLET
EX ○	EXTERIOR OUTLET
○	APPLIANCE
SD ○	SMOKE DETECTOR
SD/CO ○	SMOKE/CARBON MONOXIDE DETECTOR
▭	NEW ELECTRICAL PANEL
▭	HEAT DETECTOR
⚡	SWITCH



AREA = 1,404 S.F.

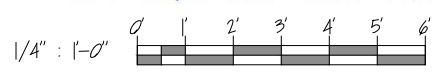


CHASE/VAUGH RESIDENCE
58 ROCHESTER RD NEWTON, MA

Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

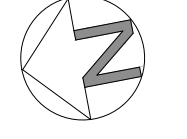
ELECTRICAL THIRD FLOOR
SCALE: 1/4" = 1'-0"
Date & Revision
07/16/2018

Tel.: 617-527-5777 or Cell 617-312-5045
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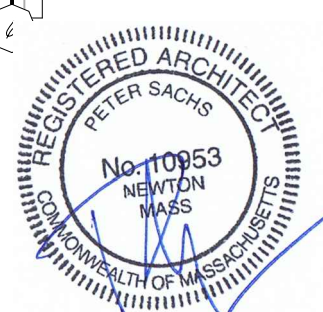


58 Rochester Rd - 4 - Electrical 7/16/2018

ELECTRICAL LEGEND	
○	RECESSED LIGHT
EX ○	RECESSED EXTERIOR LIGHT
○	WALL MOUNTED LIGHT
EX ○	WALL MOUNTED EXTERIOR LIGHT
○	CEILING MOUNTED LIGHT
EX ○	CEILING MOUNTED EXTERIOR LIGHT
○	CEILING FAN
○	UNDER CABINET LIGHT
	FLUORESCENT LIGHT
⊞	FAN/LIGHT
○	OUTLET
GFI ○	GFI OUTLET (GRAND FALT)
S ○	SWITCHED OUTLET
EX ○	EXTERIOR OUTLET
○	APPLIANCE
SD ○	SMOKE DETECTOR
SD/CO ○	SMOKE/CARBON MONOXIDE DETECTOR
□	NEW ELECTRICAL PANEL
□	HEAT DETECTOR
⊞	SWITCH



58 Rochester Rd - 4 - Electrical 7/16/2018



CHASE/VAUGH RESIDENCE
 58 ROCHESTER RD NEWTON, MA
Peter Sachs Architect N.C.A.R.B. - A.I.A.
 20 Hunter St.
 Newton, MA 02465

ELECTRICAL ATTIC FLOOR
 SCALE: 1/4" = 1'-0"
 Date & Revision
 07/16/2018

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General Structural Notes

A. General notes

1. The Contractor must notify the Architect and the Engineer immediately if there are any changes or substitutions to the structural documents.
2. If shoring is required, the Contractor must submit shoring plans and specifications prior to commencing any construction. In addition, the Contractor must employ the services of a Registered Structural Engineer, other than the Structural Engineer of record, for all shoring related diagrams and calculations.
3. All materials, means and methods of construction must conform to the Building Code of the State of Massachusetts.
4. No construction shall begin unless the Architect's stamp be on the Construction Documents. Under no circumstances shall these plans be utilized for the purposes of obtaining a construction permit without the knowledge and permission of the Architect.
5. Under no circumstances shall any concrete be poured for footings or foundation walls without first arranging an inspection by the Architect or the Engineer of the layout and concrete elevations, formwork and reinforcing bars. In addition, the concrete subcontractor shall work only under the direct site supervision of the General Contractor. This is the same requirement for structural steel work, welding or wood framing. The Architect reserves the right without penalty to stop work if these conditions are not observed.
6. The Contractor shall provide all subcontractors with plans and specifications prior to and during construction. Under no circumstances shall the Contractor give the approved building dept. drawings to a subcontractor.
7. The Contractor shall notify the local building inspectors, in a timely fashion of any required inspections. All required permits and inspection certificates shall be obtained, paid for and made available to the owner at the completion of the work.
8. All steel, concrete or structural wood framing requires an inspection by the Engineer of record. When structural work of any kind is complete, the contractor shall notify the Engineer, in a timely fashion, that the work is ready for final inspection and meet the Engineer at the site. In addition, the Contractor, upon completion of the foundation work, shall immediately notify the Surveyor in order to complete the "as built survey".
9. Prior to pouring the footings or the foundation walls, the Contractor shall locate all survey data. With the assistance of the Surveyor of record, the contractor shall locate the footing depths, footing corner locations, the foundation wall heights, finish grades and elevations of finish slabs. These elevations shall be established with the use of a transit.
10. The Contractor shall be solely responsible for providing the subcontractors with Division 1 General Conditions of the specification and the appropriate division of the specification pertaining to the sub trade.
11. The Architect and the Engineer cannot determine prior to excavation the exact nature of the sub-surface conditions. For the purpose of these drawings, it is assumed that the soil conditions are "normal" and do not require blasting or rock splitting.

B. General Concrete Notes

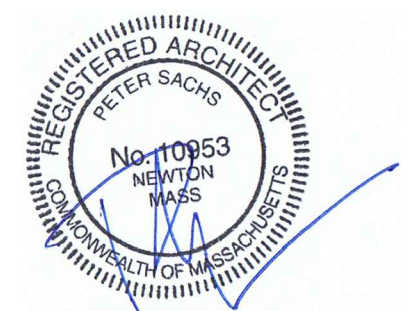
1. Compressive strength of concrete at 28 days: footings-3000 psi, walls and slabs- 4000 psi.
2. Connections between new and existing concrete walls and footings: Provide # 5 dowels @ 12" vertically, anchored to a depth of 6" with epoxy cement at all points of connection between new and existing concrete footings and foundation walls.
3. Footings: Provide 2 continuous # 5 bars 2" from the bottom of the footing in all footings unless otherwise noted. Unless otherwise noted all footing are 2'-0" wide and 12" deep with vertical # 4 bars tying the footing to the foundation wall.
4. Frost walls (foundations and foundation walls to a depth of 4'-0" below grade): Provide continuous # 4 bars top and bottom of the foundation wall.
5. Piers and Column pads: Unless otherwise noted piers and pads are to be reinforced. See structural drawings.
6. Footings shall bear on soil with a safe bearing capacity no less than 2 tons per sq ft. Field verify.

C. General Structural Steel Notes

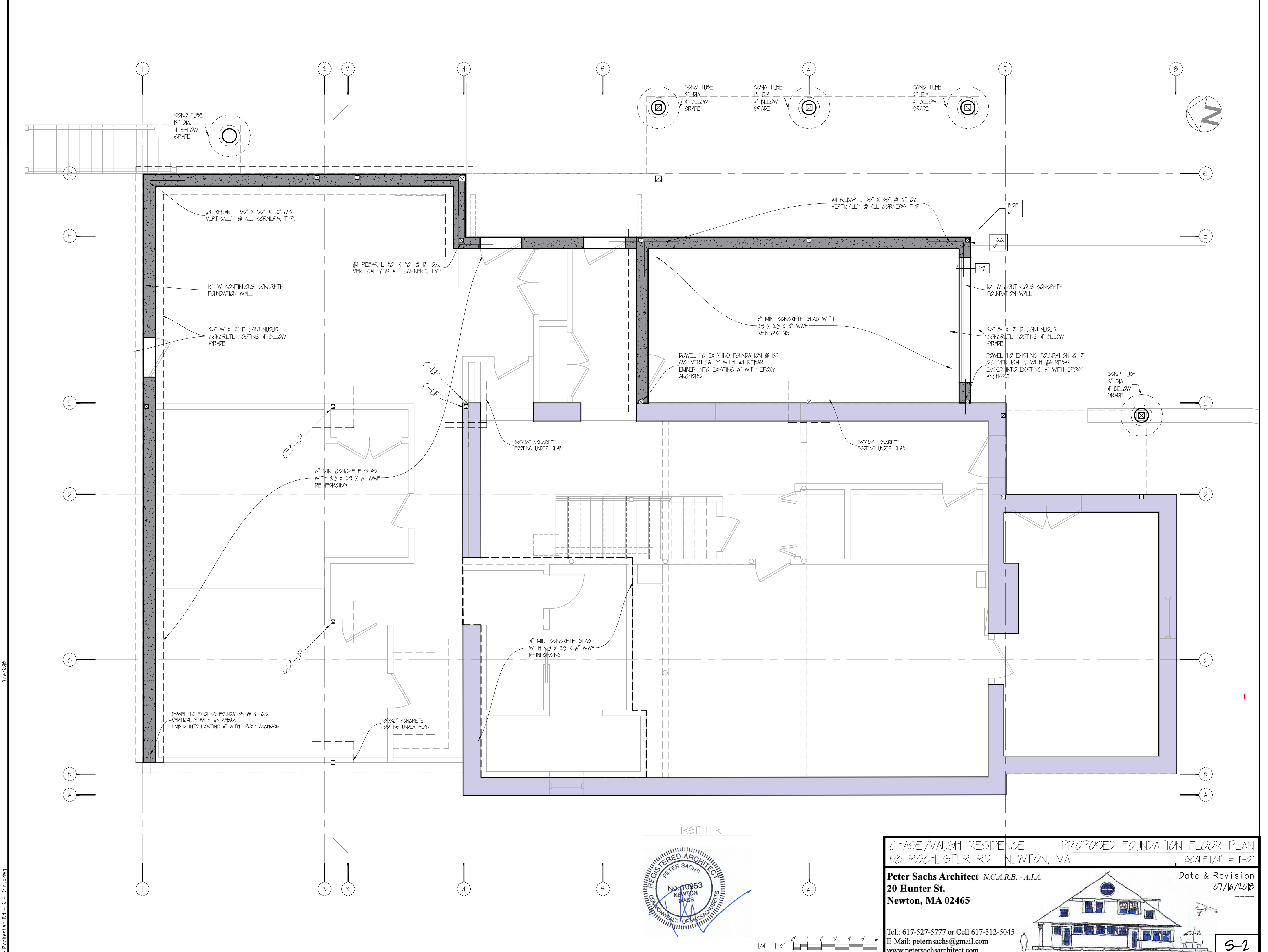
1. All steel shall be ASTM A 36: beams, plates, clips, columns and angles.
2. Pipe columns shall be Schedule 40, A 501 or A53 type E or S, grade B.
3. Steel bolts shall be ASTM A325.
4. Anchor bolts 8" long x 1/2" dia. (1" hook min.) shall be ASTM A307. Install all anchor bolts for sill plates @ 32" O.C.
5. Rebar shall be ASTM A 615 Grade 60.
6. All metal framing connectors shall be capable of equaling or exceeding all loading requirements of the State building code.
7. If necessary and for the purposes of certification, the Contractor shall be responsible for producing receipts demonstrating that steel meets the ASTM standards noted above.
8. All welding must be performed by a licensed or certified shop or field welder. Under no circumstance shall there be any deviation from this standard.
9. All bearing plates shall be 1/2" steel anchored with 1/2" x 8" long bolts and mounted with non-shrink grout unless otherwise noted.

D. Lumber

1. Consult the structural drawings for reaction (R) values when selecting joist hangers, beam hangers, post caps and bases. Adhere to all manufacturers' instructions when using selected products.
2. LVL lumber: F =2800psi, F = 285 psi, E= 2 x 10 psi. Nailing or bolting multiply LVL beams together shall be in accordance with the manufacturer's instructions.
3. Dimensional Lumber: wood posts shall be SPF # 1. / #2 and composed of solid wood (built up posts are not acceptable). Joists built up posts and beams, wall framing, window and door headers and window jamb posts shall be SPF #1. / #2. and have design values of F = 875 psi, F = 70 psi, F = 1,100 psi, E= 1.4 x 10
4. TJI's (see structural drawings and specifications)
5. PSL posts and beams: F =2800 psi, F =295 psi, E= 2x10 psi
7. All nailing shall conform to the Massachusetts State Building Code.

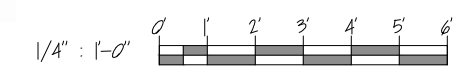
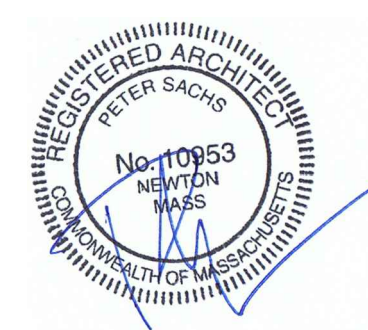


CHASE/VAUGH RESIDENCE 58 ROCHESTER RD NEWTON, MA	PROPOSED STRUCTURAL NOTES SCALE: 3/16" = 1'-0"
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465	Date & Revision 07/16/2018
Tel.: 617-527-5777 or Cell 617-312-5045 E-Mail: petersachs@gmail.com www.petersachsarchitect.com	 S-I

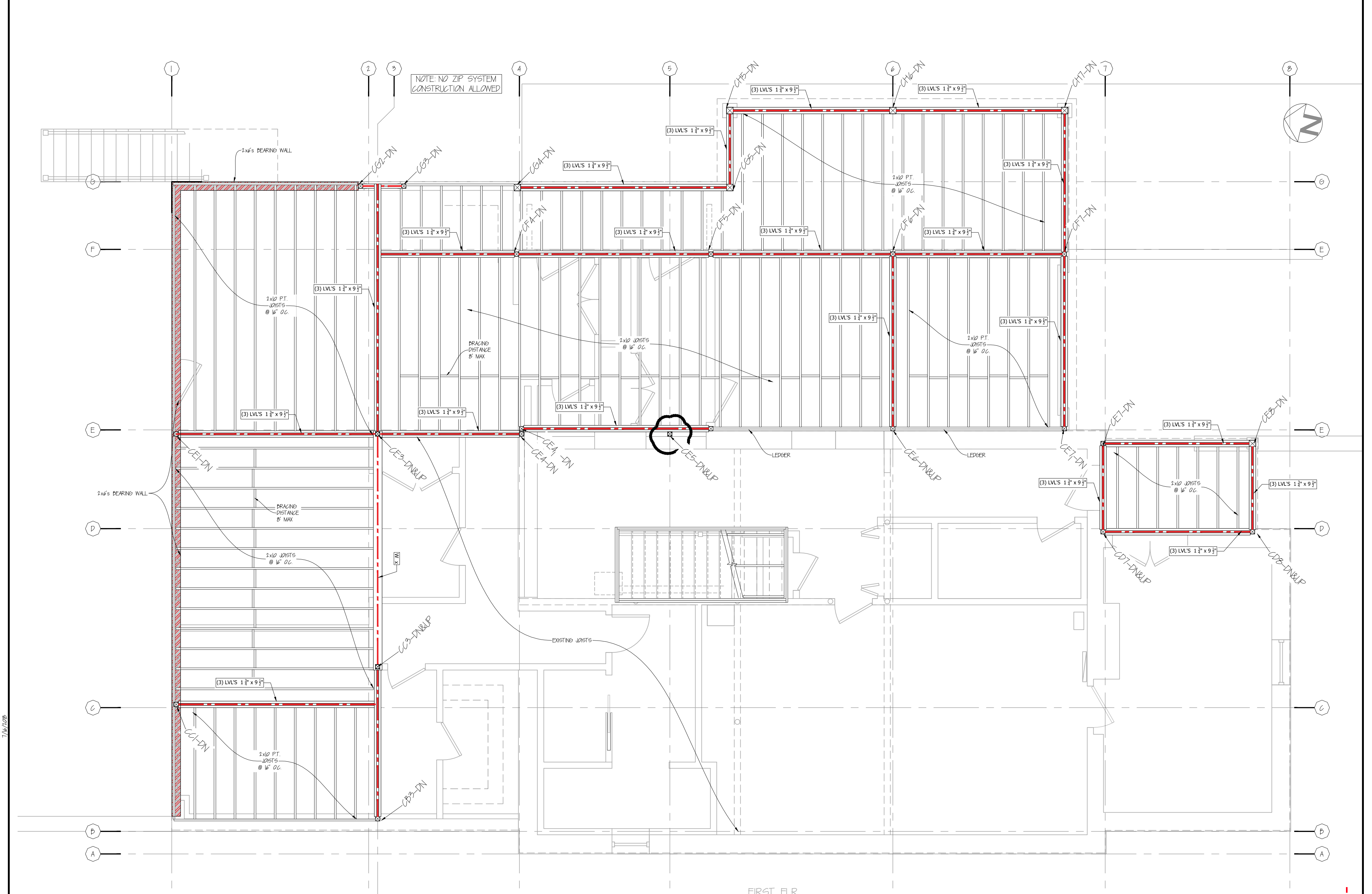


58 Rochester Rd - 2 - Structural 7/16/2018

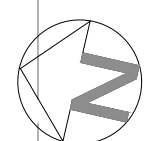
FIRST FLR



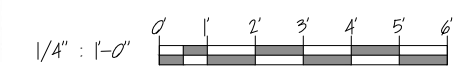
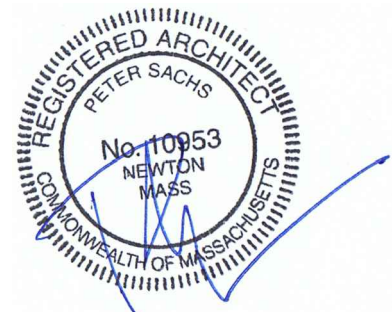
CHASE/VAUGH RESIDENCE		PROPOSED FOUNDATION FLOOR PLAN
58 ROCHESTER RD NEWTON, MA		SCALE: 1/4" = 1'-0"
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision
20 Hunter St.		07/16/2018
Newton, MA 02465		
Tel.: 617-527-5777 or Cell 617-312-5045		
E-Mail: peter@sachs@gmail.com		
www.petersachsarchitect.com		



NOTE: NO ZIP SYSTEM CONSTRUCTION ALLOWED



FIRST FLR



CHASE/VAUGH RESIDENCE PROPOSED FIRST FLOOR FRAMING PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"

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58 Rochester Rd - 2 - Structural 7/16/2018

7/16/2018

58 Rochester Rd - 2 - Structural

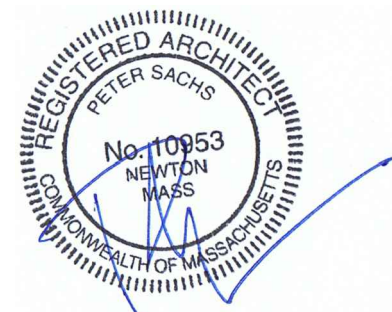


NOTE: NO ZIP SYSTEM CONSTRUCTION ALLOWED

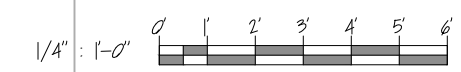
2x10 JOISTS @ 16" OC

2x10 RAFTERS @ 16" OC

2x10 RAFTERS @ 16" OC

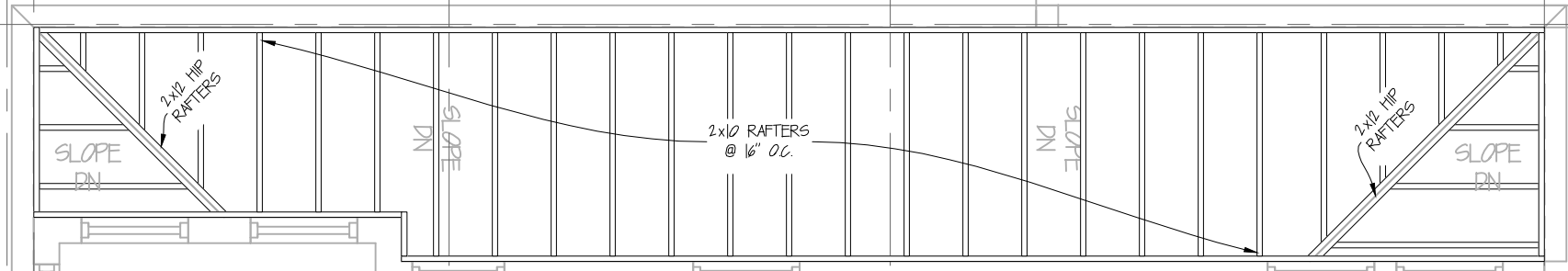
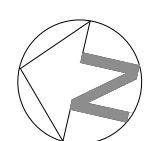


SECOND FLOOR



CHASE/VAUGH RESIDENCE PROPOSED SECOND FLOOR FRAMING PLAN		SCALE: 1/4" = 1'-0"
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		S-4

NOTE: NO ZIP SYSTEM
CONSTRUCTION ALLOWED



SLOPE
DN

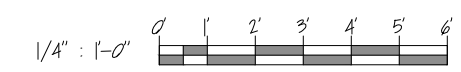
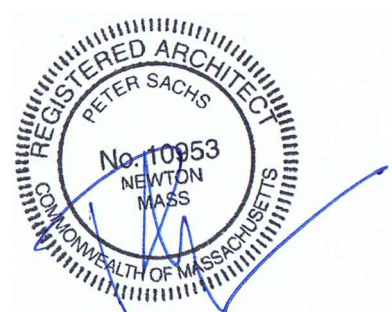
SLOPE
DN

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THRD FLOOR

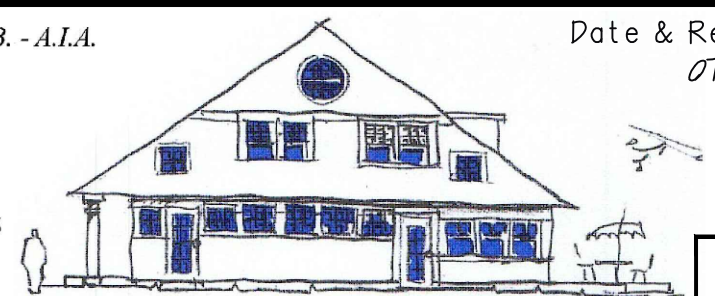


CHASE/VAUGH RESIDENCE PROPOSED ATTIC FLOOR FRAMING PLAN
58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"

Peter Sachs Architect N.C.A.R.B. - A.I.A.
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Date & Revision
07/16/2018

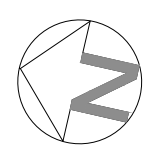
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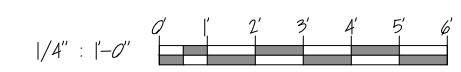
7/16/2018

58 Rochester Rd - 2 - Structural

58 Rochester Rd - 2 - Structural 7/16/2018



ATTIC
1/4" = 1'-0"



CHASE/VAUGH RESIDENCE PROPOSED ROOF FLOOR FRAMING PLAN
 58 ROCHESTER RD NEWTON, MA SCALE: 1/4" = 1'-0"

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 07/16/2018

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