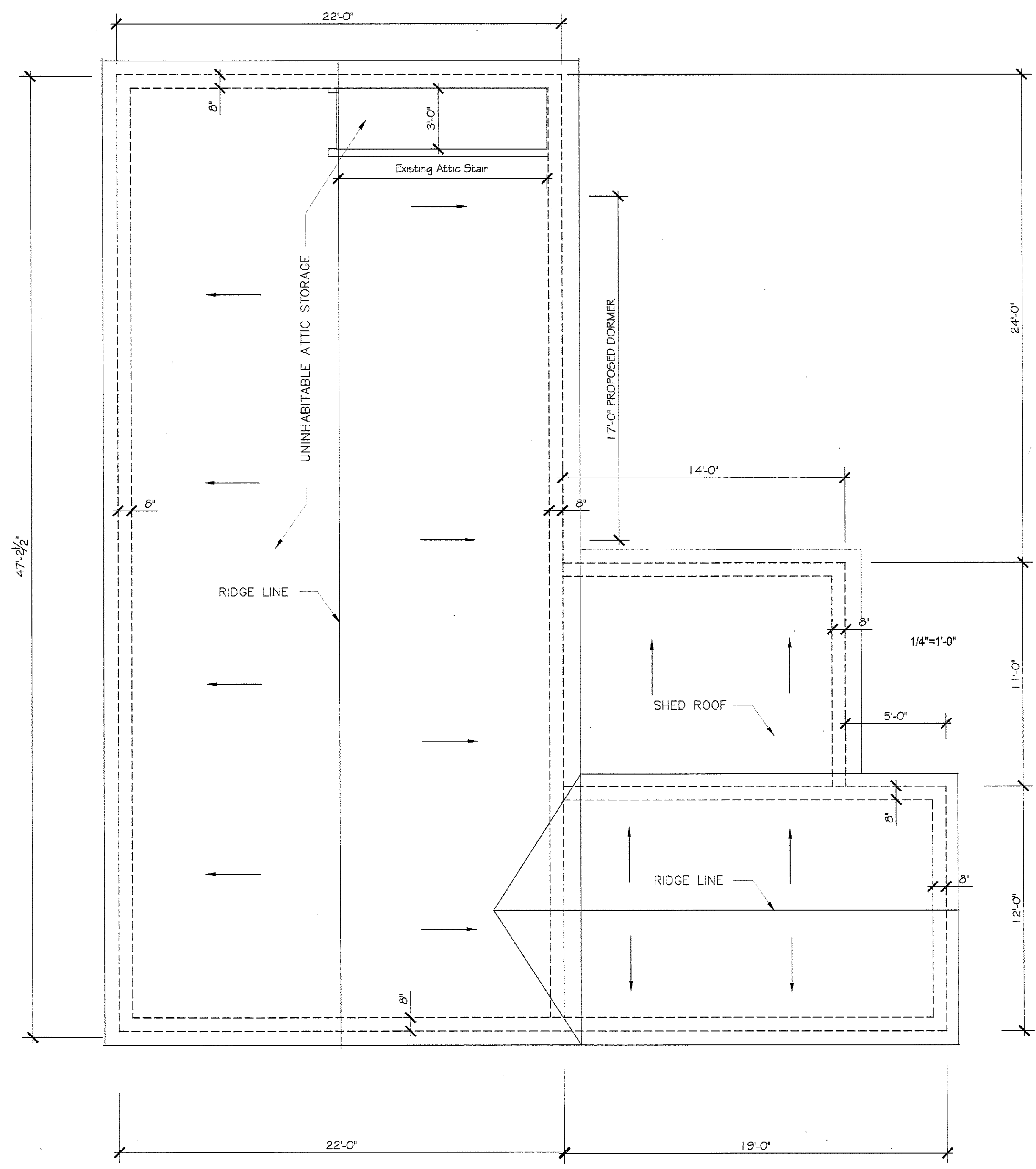
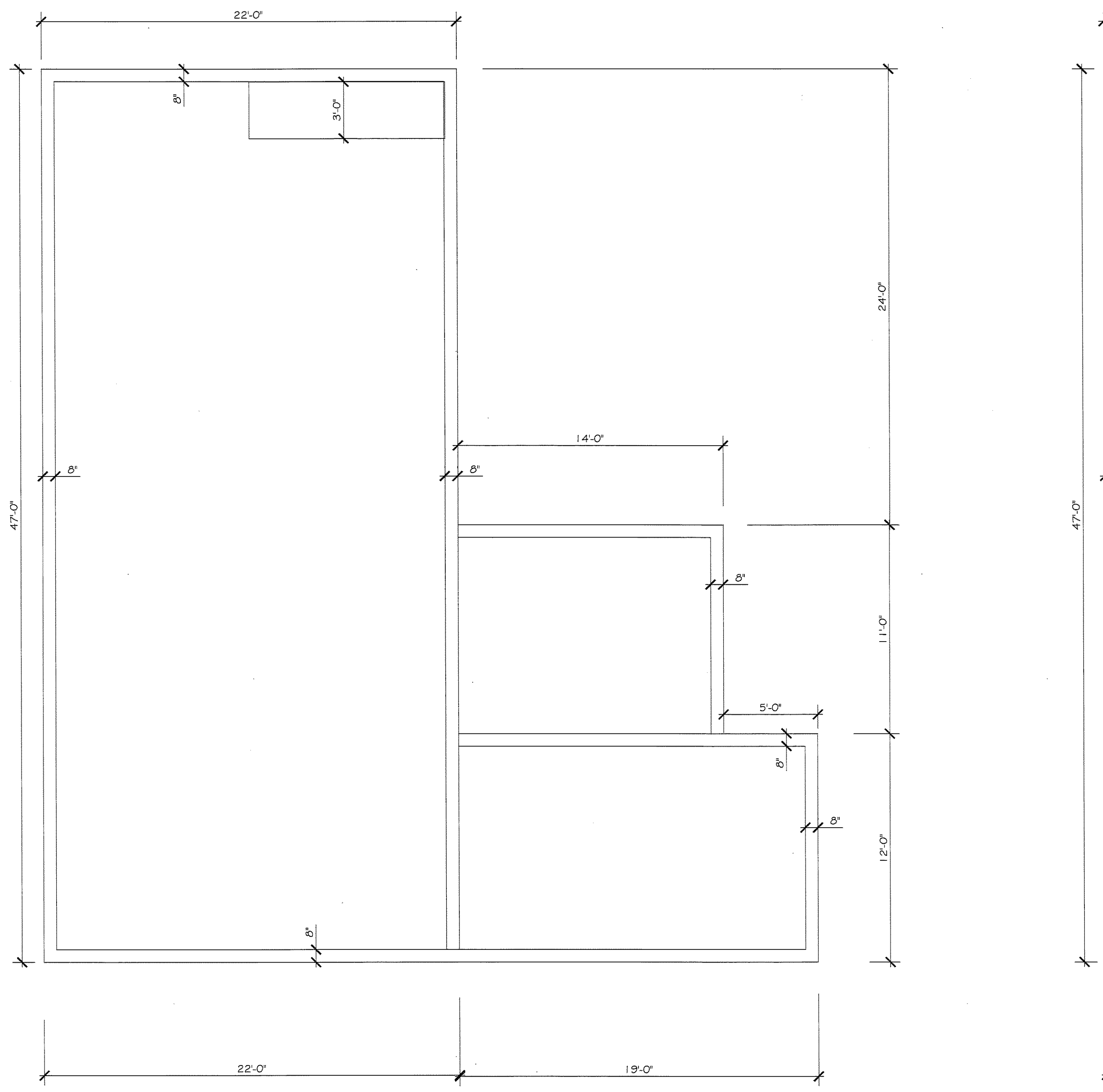


NOTE - DIMENSION
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.



EXISTING ROOF PLAN
EXISTING ROOF / ATTIC PLAN
 1/4"=1'-0"



EXISTING FLOOR PLAN
EXISTING FLOOR PLAN
 1/4"=1'-0"

TITLE:
 Existing Plans

PROJECT: RENOVATION & ALTERATIONS,
 339 RIVER STREET, NEWTON, MA 02466

CLIENT:
 DePasquale's
 339 River Street, Newton, MA 02466

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

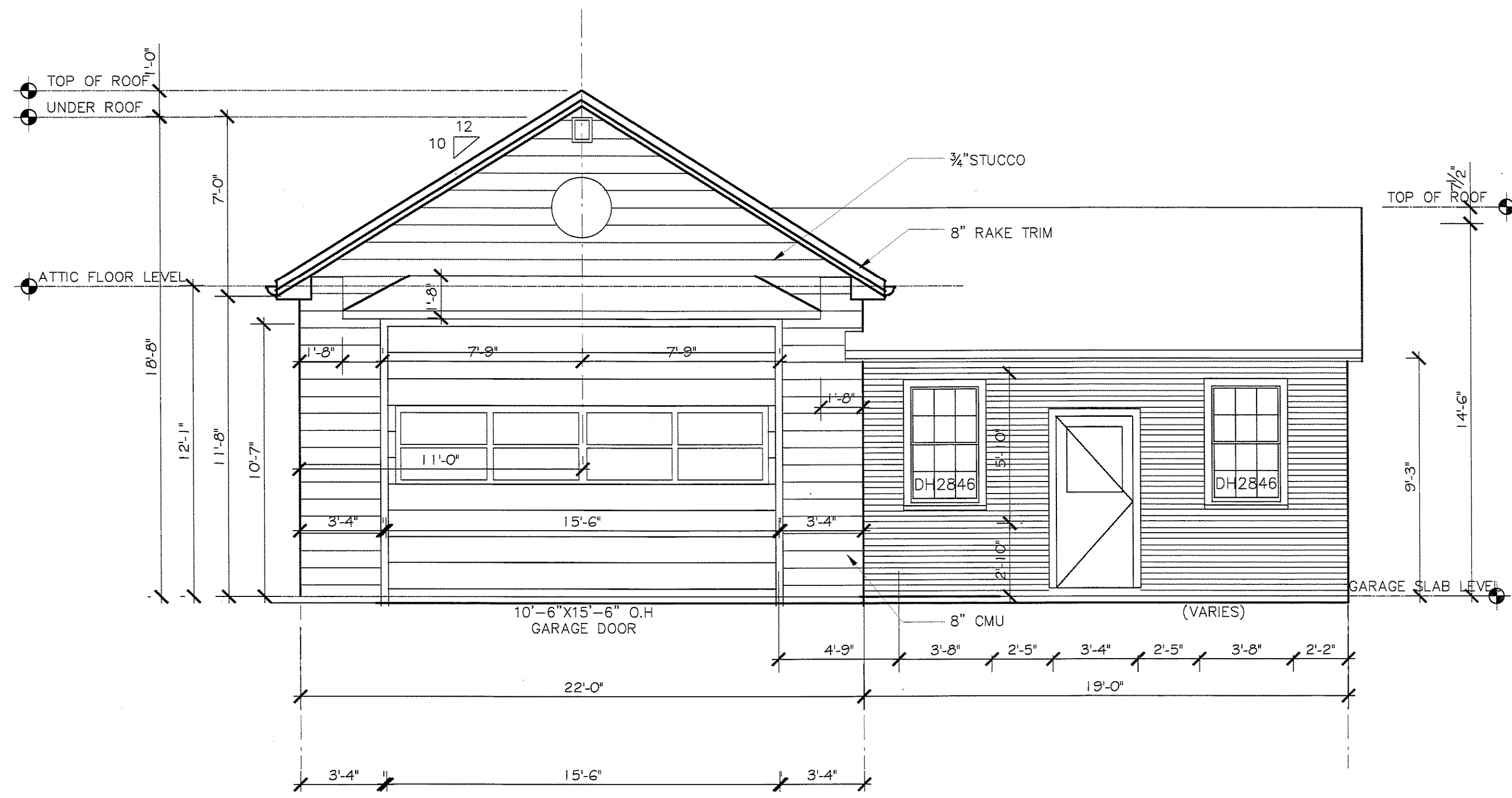
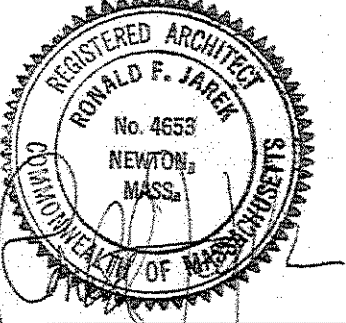
DePasquale's
 339 River Street, Newton, MA 02466

DATE:
 OCT 30, 2011

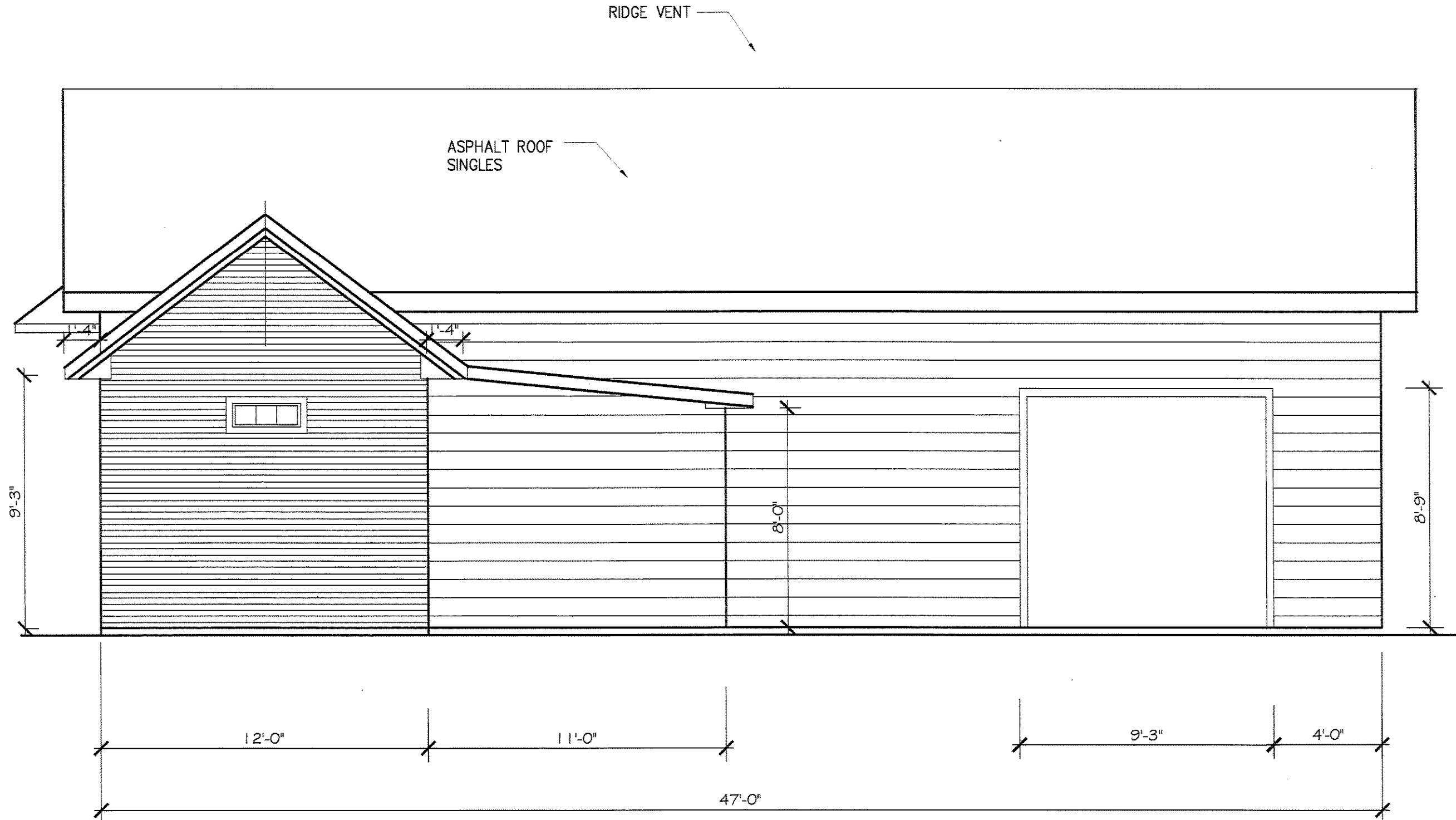
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DRAWN BY:
 N.G.H.

CHECKED BY:
 R.J.

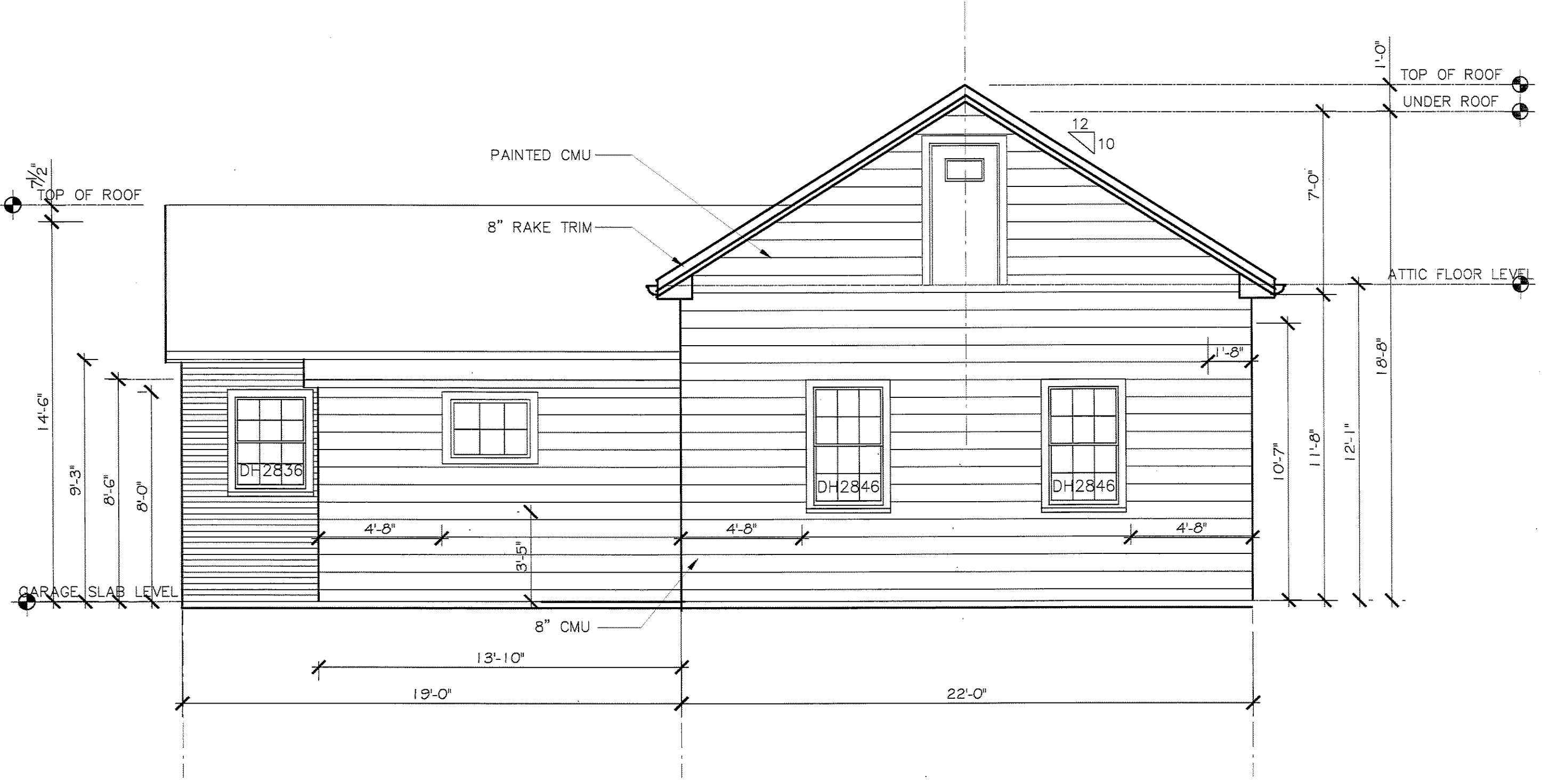


EXISTING FRONT ELEVATION
1/4"=1'-0"

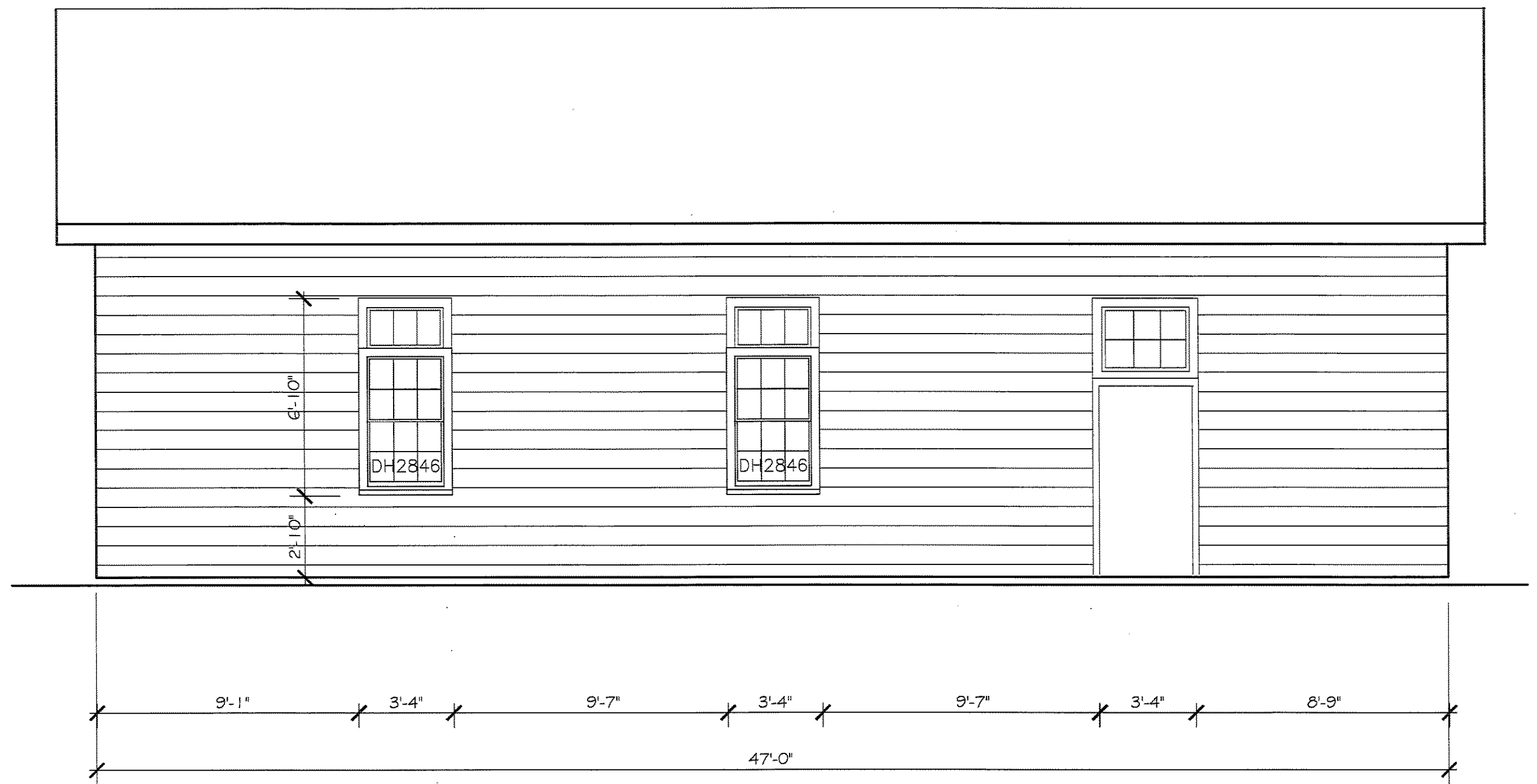


EXISTING RIGHT SIDE ELEVATION
1/4"=1'-0"

DIMENSIONS
ALL DIMENSIONS ARE APPROXIMATE.
CONTRACTOR MUST VERIFY ALL EXISTING
DIMENSIONS AND PREPARE A LAYOUT
DRAWING WITH ALL EXISTING CONDITION
PRIOR TO PROCEEDING WITH ANY NEW WORK.



EXISTING REAR ELEVATION
1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION
1/4"=1'-0"

TITLE:
EXISTING BUILDING ELEVATIONS

PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

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339 River Street, Newton, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
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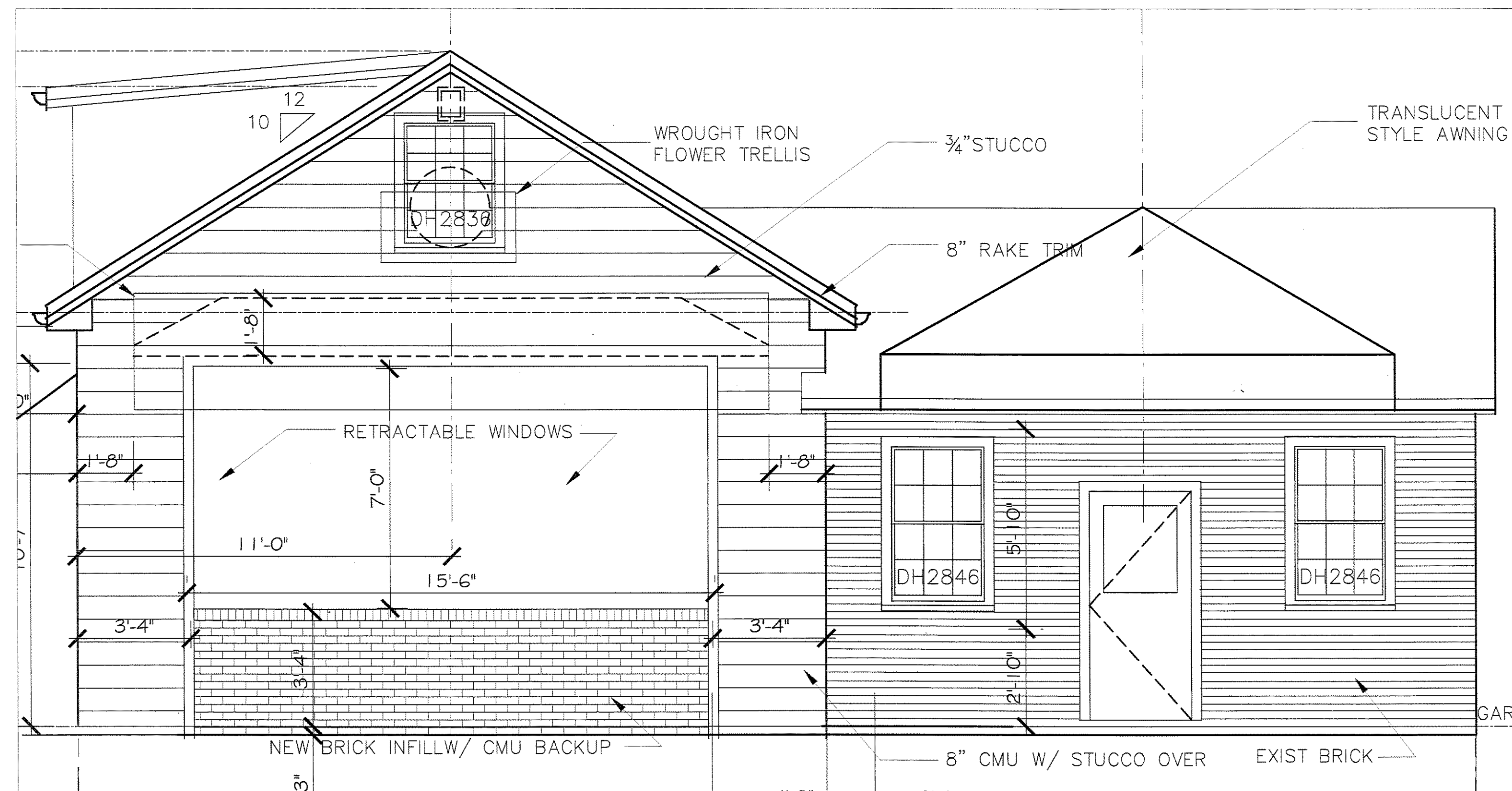
DATE: DEC 5, 2014
SCALE: AS NOTED
DRAWN BY: N.G.H.
CHECKED BY: R.J.

INSULATION GUIDELINES

Code Checklist for Designers - Stretch Code

Alterations, Renovations, or Repairs - HERS rating of ≤ 85 for house < 2000 ft², HERS rating of ≤ 80 for house ≥ 2000 ft². OR the following in all exposed or new areas Get a HERS rating, OR the follow this prescriptive list. Category Verification Source

- Insulation**
 - Roof or joists of unfinished attic - R-38, unless the existing rafters aren't deep enough, then R-3.5inch. This MAY be triggered even if you just expose the sheathing on plans. Inspection: IECC 2009 402.1.1 (see zone 5A) MA Bid Code 8-Ed. 115AA 101.4.3
 - EXCEPTION - up to 500 ft² or 20%, whichever is less, of roof can be R-30 IECC 2009 402.2.2
 - Existing walls - fill full with R 3.5inch material. New walls R-20. Use either 2x6 frame or 2x4 frame with 2" of rigid on plans. Inspection IECC 2009 402.1.1, MA Bid Code 8-Ed. 115AA 101.4.3
 - Floors R-30, existing floors R 3.5inch on plans. Inspection IECC 2009 402.1.1
 - Basement wall R-10 on the foundation wall, or R-13 in a framed wall on plans. Inspection IECC 2009 402.1.1
 - Slab R-10, slab perimeter R-10 on plans. Inspection IECC 2009 402.1.1
 - Crawl space wall R-10 on plans. Inspection IECC 2009 402.1.1
 - Mass walls (concrete/masonry) R-13 if >50% of insulation is outside wall, R-17 if <50% of insulation is outside wall on plans. Inspection IECC 2009 402.1.1
 - For additions all U-values must meet IECC 2009 standards. No R-3.5inch exception for existing voids on plans. Inspection See Renovation section, above
- Fenestration:**
 - windows U-30 or lower, doors: solid U 21 or lower, less than 1/2 glass U 27 or lower, more than 1/2 glass U 32 or lower; skylights U 55 or lower. Doors/hatches to unconditioned space must be gasketed + insulated, so avoid unconditioned space.
 - Up to 15 ft² of "glazed fenestration" can be exempt from U-factor requirements IECC 2009 402.3.3 IECC 2009
 - o One opaque (no glass), side-hinged door, up to 24 ft², can be exempt from U-factor requirements IECC 2009 402.3.4 IECC 2009
- Air seals -**
 - all joints, seams, and penetrations between conditioned + unconditioned space to create continuous barrier. If tested must meet < 7 ACH 50 Blower door, or Energy Star thermal bypass checklist by contractor IECC 2009 402.4.2, 402.4.1 MA Bid Code 8-Ed. Appendix 115AA 401.3
- Lighting**
 - Cans in roofs or unconditioned space - IC rated and caulked or gasketed to finish surface Inspection IECC 2009 402.4.5
 - At least 80% of new lights must be high-efficiency on plans. Inspection IECC 2009 404.1
- HVAC**
 - Equipment sized using Manuals J, S and D. Do not oversize IECC 2009 403.6, IRC 1401.3
- Labeling -**
 - 401.3 Compliance checklist on plans. Inspection IECC 103.1



DePasquale's 339 River Street, Newton, MA 02466 PROPOSED RENOVATION AND ALTERATION

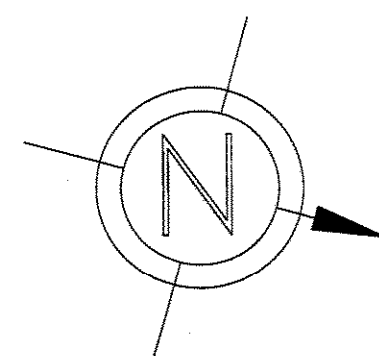
LIST OF DRAWINGS

- A-1 TITLE SHEET, FAR CONSIDERATION
- A-2 NOTES & MATERIALS
- A-3 PROPOSED 1st FLOOR & EQUIPMENT PLAN
- A-4 PROPOSED ATTIC / ROOF & REFLECTED CEILING PLAN
- A-5 PROPOSED ELEVATIONS
- A-6 PROPOSED EQUIPMENT LIST, DETAILS, SECTION & FRAMING
- A-7 PROPOSED WALL SECTION & DETAILS
- A-8 PROPOSED MATERIALS LIST & MISC. DETAILS
- EX-1 EXISTING FLOOR PLAN
- EX-2 EXISTING ELEVATIONS

FAR NOTES:

CURRENT ZONE---BU2--- ZERO SIDE LOT LINE SETBACK REQUIRED

EXPANSION W/ ATTIC DORMER ONLY, PLUS EXTERIOR WALK-IN-COOLER
NO EXPANSION OF EXISTING FOOTPRINT PROPOSED



SEE VTPPLS
CURRENT SURVEY PLAN

SITE PLAN

NTS

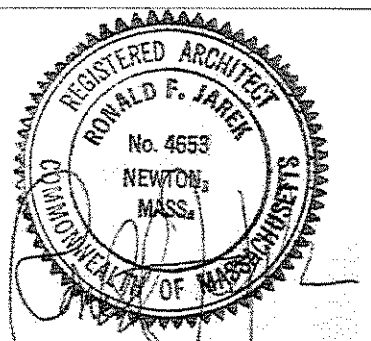
339 RIVER STREET, NEWTON, MA 02466

	EXISTING WALLS TO REMAIN
	EXISTING WALLS/CONSTRUCTION TO BE REMOVED
	NEW WALLS
(N)	NEW
(E)	EXISTING
	BUILDING SECTION
	DETAIL SECTION
	PARTITION TYPE
	NEW DOOR & DOOR NUMBER
	WINDOW NUMBER
	INTERIOR ELEVATION

AL	Aluminum	MIN	Minimum
APPROX	Approximately	MISC	Miscellaneous
BD	Board	NIC	Not in Contract
BLDG	Building	NTS	Not To Scale
CLG	Ceiling	OPP	Opposite
CLR	Clear	P.LAM	Plastic Laminated
COL	Column	PL	Plaster
CONC	Concrete	PTD	Painted
CONSTR	Construction	REQ	Required
CONT	Continuous	RO	Rough Opening
CPT	Carpet	SIM	Similar
CT	Ceramic Tile	SST	Stainless Steel
CTR	Center	STD	Standard
DET	Detail	STL	Steel
DIA	Diameter	STOR	Storage
DISP	Dispenser	SUSP	Suspended
DN	Down	T&G	Tongue & Groove
DWG	Drawing	THK	Thick
ELEC	Electric(Electrical)	TYP	Typical
EQ	Equal	VCB	Vinyl Cove Base
ETR	Existing to Remain	VPB	Veneer Plaster Base
EXIST	Existing	WC	Water closet
FFL	Finish Floor	WD	Wood
GA	Gauge	W/	With
GL	Glass	W/O	Without
GWB	Gypsum Wall Board	WT	Weight
HCP	Handicapped		
HDP	High Density Polymer		
HR	Hour		
HT	Height		
INSUL	Insulation(Insulated)		
LT	Light		
MAX	Maximum		
MECH	Mechanical		

LEGEND

ABBREVIATIONS



STAMP

TITLE SHEET

PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

Ronald F. Jarek, Architect

487 Watertown Street
Newtonville, MA 02460

DATE:
DEC 5, 2014

SCALE:
AS NOTED

DRAWN BY:
R.F.J.

CHECKED BY:
R.F.J.

A-1

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HERS RATINGS.
- PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
- CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
- DRAWN INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
- ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS ETC.
- IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
- CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
- IF HAZARDOUS WASTES ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHCD STANDARDS.
- ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

STRUCTURAL NOTES

- ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS.
- DO NOT SCALE THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LIMITS AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS. REFER TO ARCH. DWGS. FOR ALL ELEVATIONS.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPURTENANCES.
- DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL STRUCTURAL MEMBERS.
- EXISTING LAYOUT ITEMS AND CONDITIONS MAY DIFFER FROM AS SHOWN. ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
- FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

FOUNDATION NOTES

- FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
- NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY DENSITY.
- PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

PLYWOOD NOTES

- ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL I. PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
- ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4".
- ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

CONCRETE NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
- CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE - MIN. COMPRESSIVE STRENGTH = 4000 PSI
- ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM A615 - GRADE 60.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6-W4xW4 UNLESS NOTED.
- MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:
SLABS: TOP - 2"
WALL: ALL SIDES - 2" (MIN.)
- ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOINTS AND FINIS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN, TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS & OWNER.
- CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
- BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDCRETE" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR APPROVED EQUAL.
- DOWELLING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
- CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

WOOD NOTES

- ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
- ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fb = 1500 PSI, Fv = 190 PSI.

ELECTRICAL NOTES (DESIGN BUILD):

- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES.
- ALL ELECTRICAL WORK IS SHOWN DIAGRAMMATICALLY ONLY. EXACT LOCATIONS AND LAYOUTS SHALL BE DETERMINED AT THE JOB SITE INCLUDING SWITCHES, OUTLETS, GFI OUTLETS, DATA, CABLE AND SECURITY.
- ALL ELEVATIONS SHALL BE VERIFIED AT THE JOB SITE.
- ELECTRICAL CONTRACTOR SHALL PAY ALL FEES AND CHARGES IN CONNECTION WITH THE WORK SHOWN.
- NEW LIGHT FIXTURES SHALL BE FLOURESCENT, 2x2 PARABOLIC or STRIP LINE PENDENT MOUNTED, AS MFG. BY LITHONIA LIGHTING, OR APPROVED EQUAL. FIXTURE LOCATIONS SHALL BE AS SHOWN ON THE DRAWINGS.
- HORN / STROBES SHALL BE MOUNTED TO WALL AT A HEIGHT OF 6'-8" ABOVE FINISH FLOOR

EXTERIOR MATERIALS LIST: 339 River Street, Newton MA 02466

ROOF:

- 30 year Fiberglass Asphalt Shingles
- Flat Roof, Carlisle or Equal .060 EPDM
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

TRIM

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

SIDWALL MATERIALS

- Brick infill panels to match existing brick
- Hardie Plank or equal, 4.5" to weather, texture side out and/or Match Existing
- Nichia Siding Panels
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs
- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs

DOWN SPOUTS AND GUTTERS

- Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings

AWNINGS

- Design, Strength and Material per Supplier / Mfg.

WINDOWS

- Harvey or equal Insulated Glass, Simulated 2 over 1 Divided Lites and Ovals
- Retractable Folding Windows per Supplier / Mfg.

DOORS

- Synthetic Panel Entry Units with Vision Lites and/or Simulated Divided Side Lites
- Synthetic Panel Style Garage Doors

SUCCO - PARGING

- Design, Strength and Material per Supplier / Installer

FAUX, BALCONYS

- Azek or Equal Synthetic Balustrade and Newel Posts

LIGHTING

- Wall Mounted Lantern Style

HARDWARE

- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

PATIO

- Modular Pavers at Field and Points

DRIVEWAY

- Bituminous

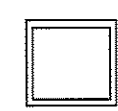
HVAC NOTES (DESIGN BUILD):

- NEW HVAC WORK IS IDENTIFIED DIAGRAMMATICALLY ON THESE DRAWINGS. EXISTING SYSTEM IS TO BE REMOVED OR MODIFIED TO FULFILL NEW REQUIREMENTS SHOWN ON DRAWINGS.
- HVAC SUB CONTRACTOR SHALL REVIEW ALL EXISTING HVAC CONDITIONS AND DUCTWORK IN THE RESTROOM, OFFICE AND ACTIVE INVENTORY AREAS AND MAKE CERTAIN THAT COMPLIANCE WITH EXISTING BUILDING CODES IS MAINTAINED. ANY VARIANCE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR FURTHER EVALUATION.
- EXHAUST AT TOILET ROOMS SHALL BE INTERLINKED TO ENTRY LIGHT SWITCH BUT ALSO CYCLE EXHAUST CONTROLLED TO PROVIDE THE MINIMUM NUMBER AIR CHANGES PER HOUR REQUIRED BY CODE TIER. EXACT LOCATION SHALL BE DETERMINED IN FIELD.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE.

PLUMBING NOTES (DESIGN BUILD):

- NO DETAIL PLUMBING DIAGRAMS ARE SHOWN. CONTRACTOR SHALL INVESTIGATE REGARDING EXISTING PLUMBING CONDITION AND PROCEED TO COMPLETE ALL PLUMBING WORK IN ACCORDANCE WITH PLANS AND SPECIFICATION.
- THE CONTRACTOR SHALL VISIT THE JOB SITE BEFORE SUBMITTING THEIR PROPOSAL AND MAKING THEIR OWN APPRAISAL OF THE DIFFICULTIES AND CONDITIONS THAT WILL BE ENCOUNTERED DURING THEIR WORK. NO ADDITIONAL CHARGES WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH COMMONWEALTH OF MASSACHUSETTS BUILDING, GAS AND PLUMBING CODES, CITY OF NEWTON REQUIREMENTS AND ALL OTHER CITY, STATE AND FEDERAL LAWS AND REGULATIONS. INSPECTIONS BY LOCAL INSPECTOR SHALL COMPLY APPLICABLE REQUIREMENTS. ALL WORK SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL ELEVATIONS SHALL BE VERIFIED AT THE JOB SITE. ALL CUTTING AND PATCHING SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS FOR HIS WORK.
- PLUMBING CONTR. TO PROVIDE AND INSTALL POINT SOURCE HOT WATER UNITS BY STIEBEL OR EQUAL, AT ALL SINKS
- ALL CUTTING AND PATCHING SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
- ANY DAMAGE DONE TO THE BUILDING AS A RESULT OF THE PLUMBING CONTRACTORS OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- AS-BUILT DIAGRAMS OF ALL NEW AND EXISTING PIPING SHALL BE SUBMITTED AT END OF PROJECT.
- ALL UNUSED PIPING SHALL BE PLUGGED AS REQUIRED. PROVIDE ACCESS DOORS FOR ALL WHA'S AND VALVES.
- CONTRACTOR SHALL INCLUDE IN HIS/HER CONTRACT ALL VALVES, FITTINGS, TRAPS, ACCESSORIES FOR COMPLETE AND OPERATIONAL PLUMBING SYSTEMS.

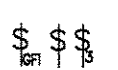
LEGEND:

 PROPOSED 2x2 Fluorescent Fixtures

 PROPOSED 1x1 Fan & Light

 PROPOSED Horn/Light

 PROPOSED Exit Sign

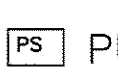
 PROPOSED Switches per CODE

 PROPOSED Outlets per CODE


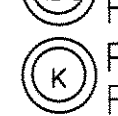
 PROPOSED Emergency Light

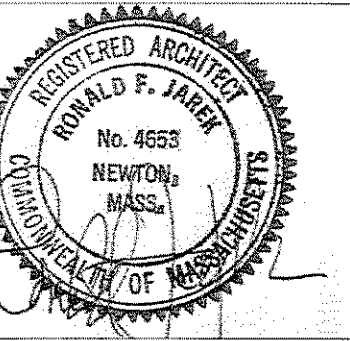
 PROPOSED Exit Light & Horn/Light Combo Unit

 SMOKE HEAT OR C.O. DETECTORS

 PULL STATIONS

NOTE:
ALL OTHER PROPOSED DEVICES INCLUDING SPEAKERS SHALL BE DESIGN BUILD

 PROVIDE (3) ABC 20LB FIRE EXTINGUISHERS
 PROVIDE (1) K 6 LITER FIRE EXTINGUISHERS



STAMP:

NOTES & MATERIALS

PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE:

DEC 5, 2014

SCALE:

AS NOTED

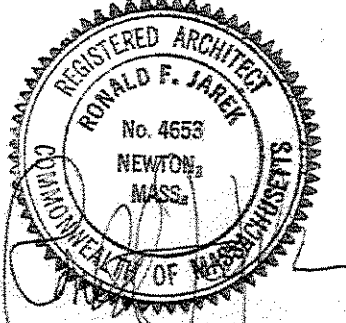
DRAWN BY:

N.G.H.

CHECKED BY:

R.J.

A-2



STAMP

TITLE:
PROPOSED FLOOR AND EQUIPMENT PLANS

PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

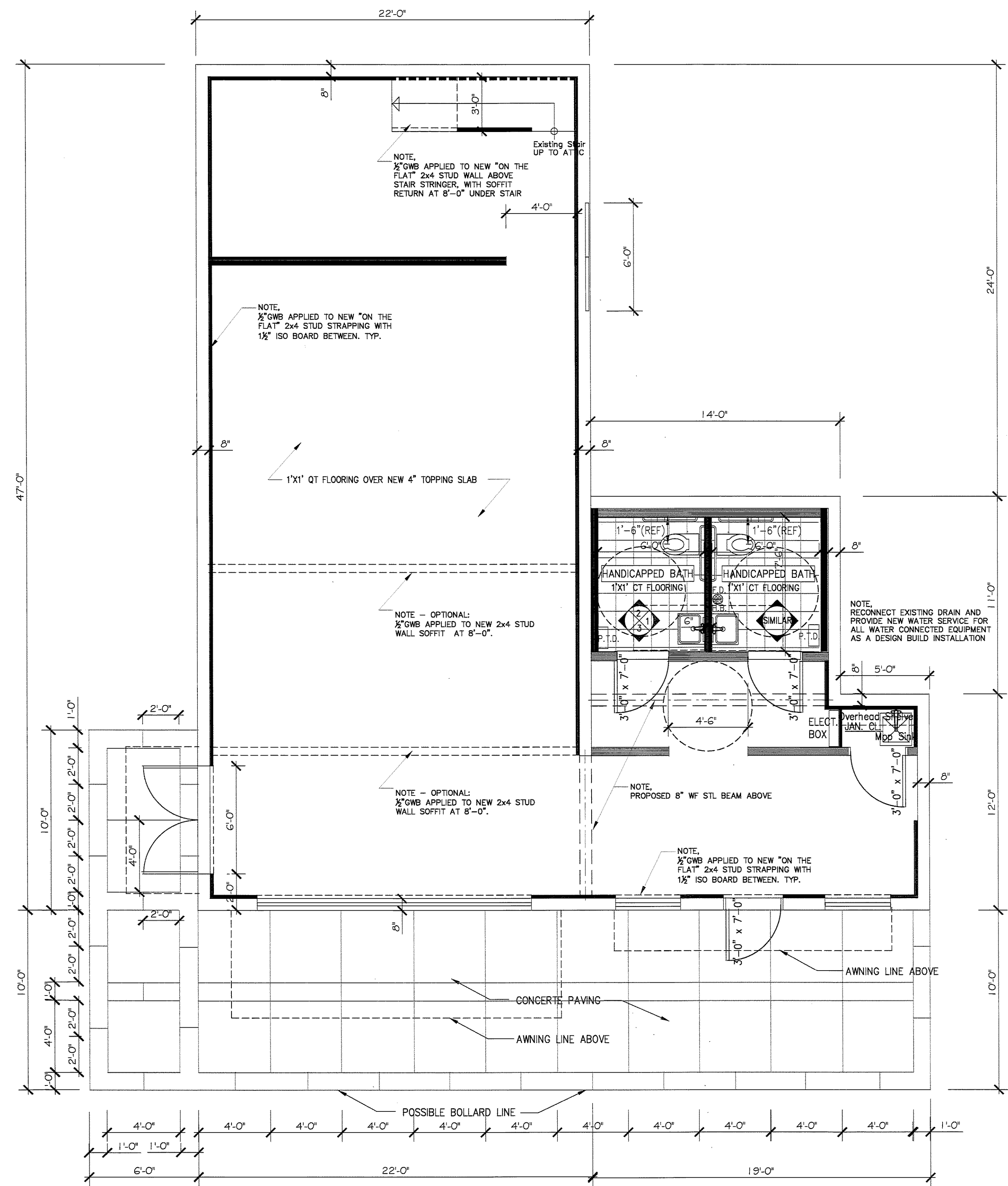
CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

DATE:
DEC 5, 2014

SCALE:
AS NOTED

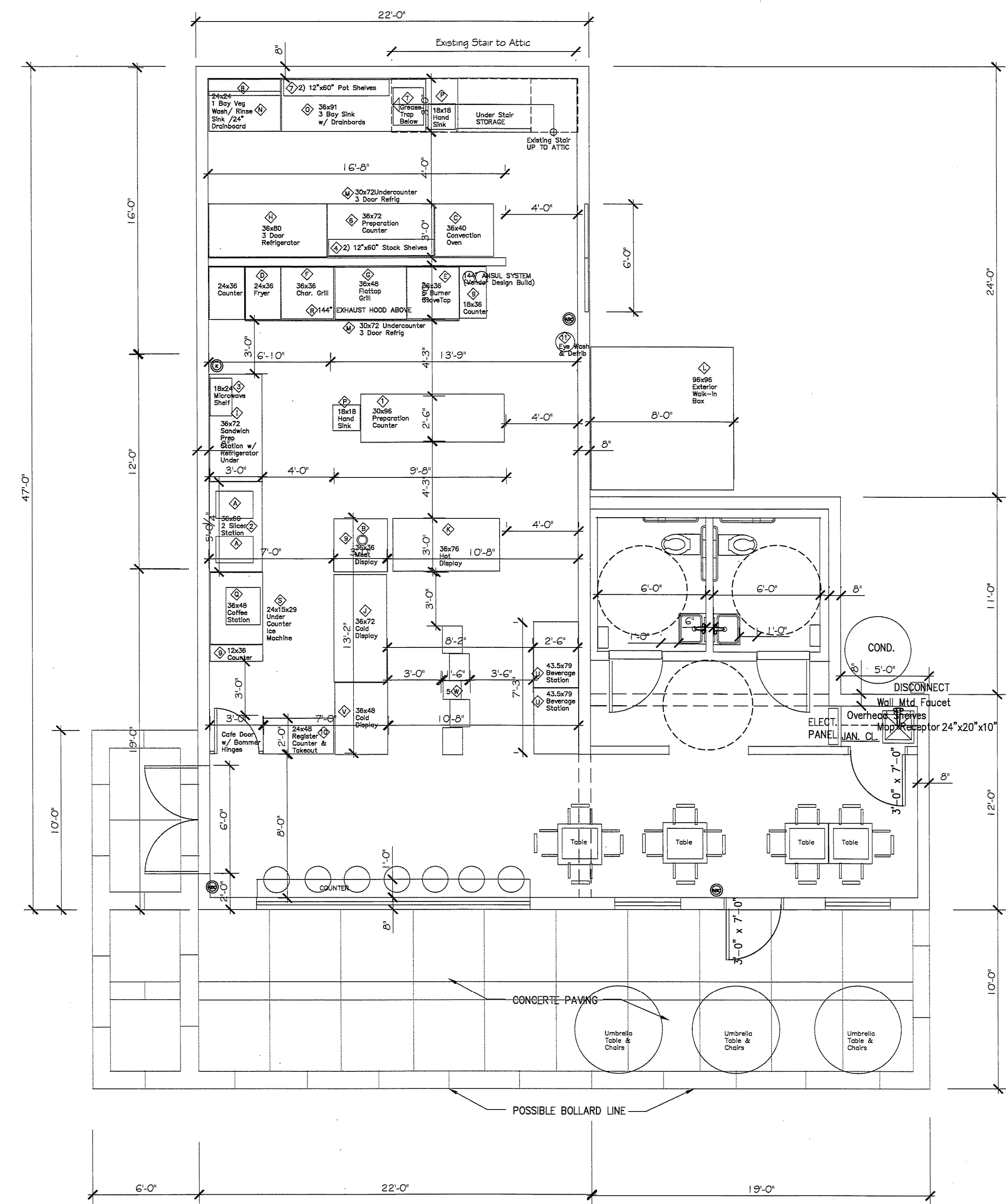
DRAWN BY:
N.G.H.

CHECKED BY:
R.J.



PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"

DIMENSIONS
ALL DIMENSIONS ARE APPROXIMATE.
CONTRACTOR MUST VERIFY ALL EXISTING
DIMENSIONS AND PREPARE A LAYOUT
DRAWING WITH ALL EXISTING CONDITION
PRIOR TO PROCEEDING WITH ANY NEW WORK.



PROPOSED EQUIPMENT PLAN
1/4"=1'-0"

LIST OF EQUIPMENT, FURNISHINGS and/or PRODUCTS

KITCHEN EQUIPMENT FURNISHINGS LIST

EQUIPMENT: Note, Manufacturers Name and Model Numbers supplied at the time of purchase.

DePasquale's
339 River Street
Newton, MA 02466

EQUIPMENT:

- A. Gravity Feed Slicer W 22.25" x D 19.25" x H 17" - 1/2 HP, 115V
- B. Retractable Cord Ceiling Mount Heat Lamp w/ Brushed Chrome Finish Infrared H 8" x Dia 11" - 115V
- C. Gas Convection Oven W/ Legs and Casters and Quick Disconnect Gas Hose W 38.25" x L 37" - 1/2 HP, 115V
- D. Gas Fryer W 14" x L 18" - 100,000 btu/hr, 29.3 kw, 110mj, w/ Splash Guard and Filter System
- E. 6 Burner Countertop Range/Hotplate - 180,000 BTU - 36" Natural Gas W 36" x D 30.6" x H 13.75" Manual Control
- F. Heavy Duty Natural Gas Radiant Char-Broiler w/Adjustable Gates and Legs, CI Grates, Model GTBG 36 W 36" x H 13" x D 32" Manual Control
- G. Restaurant Series Gas Griddle - 25,000 BTU/12" Griddle Width, Manual Control W 48" x D 27" x H 16" on 4" Legs
- H. Stainless Steel Reach in Refrigerator 115V - 1/2 HP, W 78" x H 75" x D 32" 3 Door, 70cuft
- I. Basic Stainless Steel Sandwich Prep Table with Standard Top and 2 Doors W 60.25" x H 43.5" x D 30" 120V, 1/3 HP, 7.2 A
- J. Curved Glass Deli Display Case, Counter Height with 1 Shelf 115V, 1/2 HP, H 44" x W 72" x D 34"
- K. Electric 5 Sealed Well Hot Food Table, 208/240V, 3000-4000W, W 32" x H 34" x L 76" Manual Control and Under Shelf Base
- L. Walk-in Outdoor Cooler with Floor, Stainless Steel/Aluminum 208-230V, 3/4HP, H 6'-7" x W 8'-0" x D 8'-0" Single Door w/ Dead Bolt Locking Handle
- M. Under Counter Refrigerator TUC-72G, W 72" x D 30" H 33.63", 3 Door, 115V, Frost Free, Stainless Steel/Aluminum, 4 Shelves
- N. One Compartment SS Sink, W 24" x H 43.5" x D 24", Galvanized Open Frame 4 Leg Base w/ 24" Drainboard
- O. Three Compartment SS Sink, 18" Right & Left Drainboards & Backsplash, W 91" x H 42" x D 27", Galvanized Open Frame Base
- P. Stainless Steel Wall Mounted Hand Sink, Splash Mounted Faucet, W 17.25" x H 13" x D 15.25
- Q. Automatic Stainless Steel 12 Cup Coffee Brewer with 5 Lower Warmers 120/240V, W 24" x H 23.5" x D 18.5"
- R. 12" Stainless Steel Restaurant Hood System with Make Up Air (Fan 2900CFM, .75HP), Side Draft Exhaust Fan (3700CFM, 1 HP), Grease Cup, Filters, 2 Light Fixtures and Curb (if Req'd) w/ Welded Stainless Steel Duct Work, NSF Listed and Conforms to NFPA96, L 144" x H 1.5" Front and 24" Back x D 36" w/ Design Build 144" Ansul system
- S. Self Contained Under Counter Ice Machine, 115V, 15A, 37 Gal/100lbs, H 29" x W 15" x D 23.63", 84lb/24Hr, Air Cooled
- T. 40 lb Heavy Duty Grease Trap, 20 GPM 3" inlet, W 17.25 x L 24.125" x H 15.0
- U. Beverage Station, 2 Commercial Refrigerators- Supplied by Vendors (Coke, Pepsi and/or Craft Drinks etc) 115V, H 79" x W 43.5" x D 30"
- V. 48" Food/Beverage Dispenser, Multi Deck, Open Display Merchandiser, 115V, L 48" x D 30.5" x H 43.25", NEMA 5-20P 14/3 Cord, 34 to 41 F Temp Range
- W. 5 Tier Adjustable Shelf Chip Display Rack, Clip to floor, H 53" x W 12"/18" x D 12.25"

EQUIPMENT CONTINUED:

- 1) SS Table Prep Counter, 18 Ga, H 36" x W 30" x L 96"
- 2) SS Slicer Station Counter, H 36" x W 30" x L 60"
- 3) Microwave Shelf, 18" x 24" with Mounting Brackets
- 4) Stock Shelves, 2) 12" x 60" with Mounting Brackets
- 5) Pots and Pan Shelves, 2) 12" 72" with Mounting Brackets
- 6) SS Prep Counter with Under Counter Refrigerator
- 7) Prep Counter Shelves, 2) 12" 72" with Mounting Brackets
- 8) SS Shelves, 2) 12" 48" with Mounting Brackets
- 9) Custom Counter, Size Varies, H 36"
- 10) Custom Register Counter, L 24" x H 36" x 48"
- 11) Eye Wash Station & Portable Defibrillator

Note: The following Items shall be Owner selected and installed at the time of Facility Fit-out.

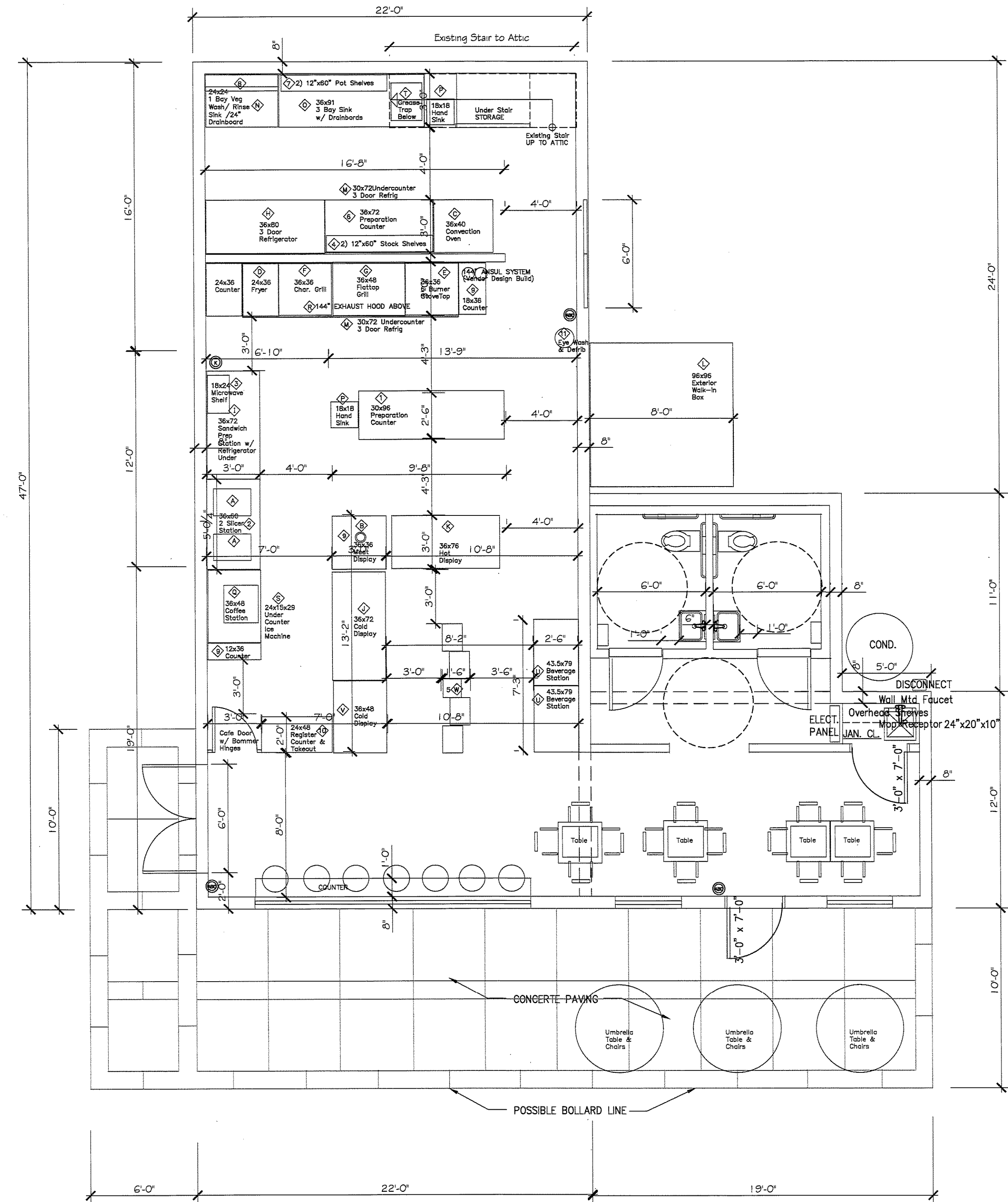
- Soup Warmer 2 compartment
- Microwave Oven
- Pots and Pans
- Supplemental S Tables w/ under shelf and legs
- Signboard/Chalkboard/Whiteboard, hand written erasable surface
- Monitor,
- Sound System, Bose Wireless with Bluetooth
- Utility Closet - mop, bucket, receptor and wall hung faucet set including wire hooks and shelving
- Local Alarm, Design Build including AV Horns and Lights plus Pull Stations
- Cash Register
- Warmer Box
- Paper Goods, China, Utensils
- Fire Extinguishers, Type K & ABC

FURNISHINGS:

- Stools
- Chairs
- Tables
- Umbrella & Outdoor Tables & Chairs,
- Rope Stanchions & Rope
- Planter Boxes,
- Trash Containers,
- On Site Trash Dumpster
- Curtains

MATERIALS:

- Pavers - Ideal Pavers Aqua Brick IV Quarry Blend
- Quarry Tile,
- Ceramic Tile,
- Replacement and Retractable Windows,
- Synthetic Trim,
- Bathroom Fans
- Motion Detection Toilet Room Lighting,
- Stucco,
- Thin Brick,
- Nichia Brick and Stucco Panels
- Custom Awnings,
- Fence, Outdoor Sign and Lights,
- HP Parking Signs
- Railings



PROPOSED EQUIPMENT PLAN

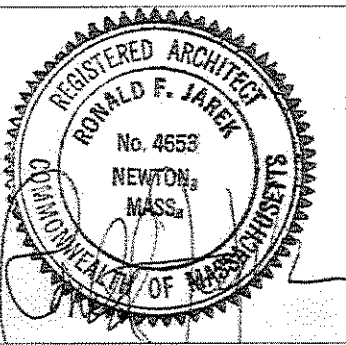
1/4"=1'-0"

DIMENSIONS

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

PROPOSED EQUIPMENT LIST

NTS



TITLE: PROPOSED EQUIPMENT PLAN and LIST

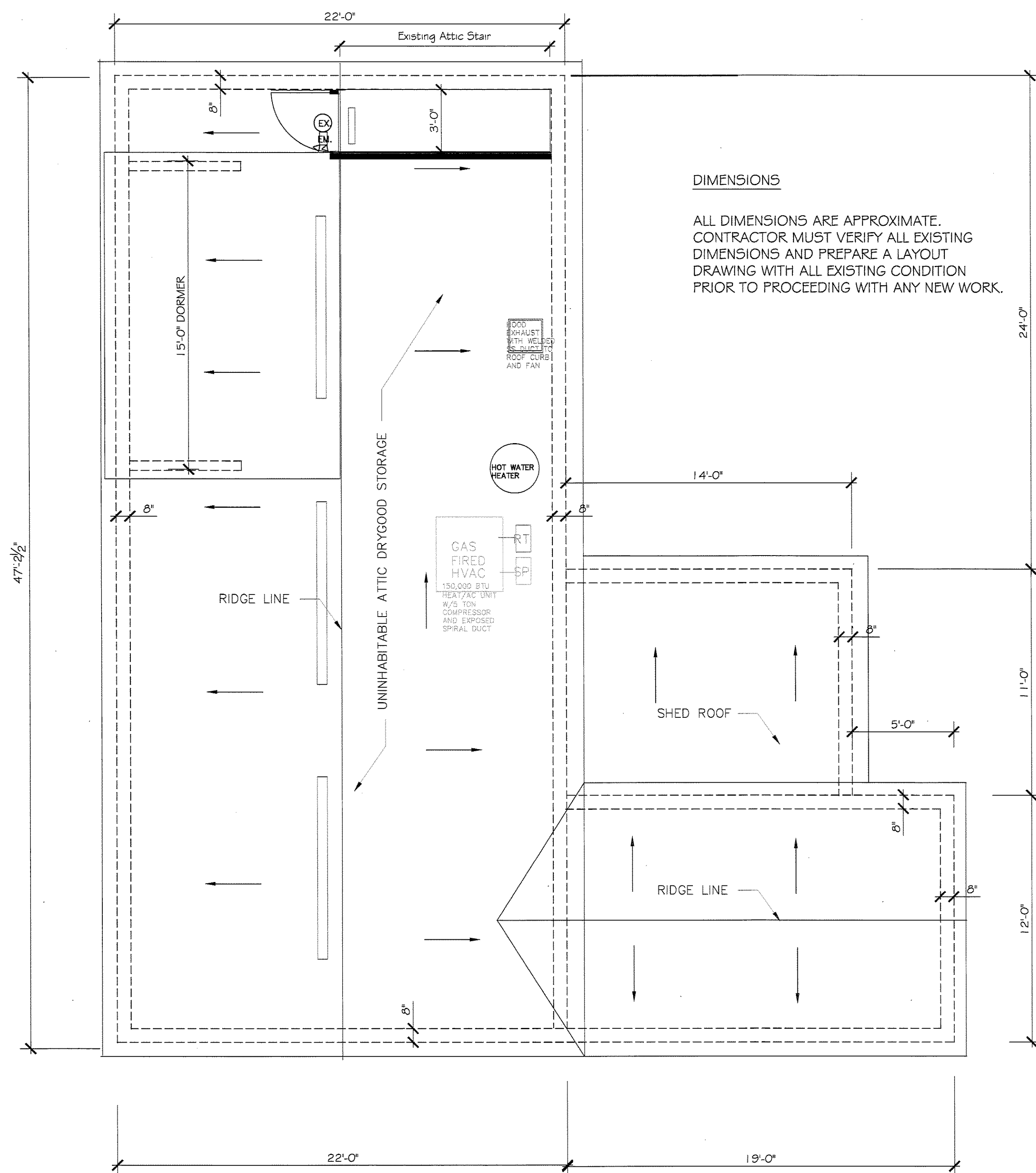
PROJECT: RENOVATION & ALTERATIONS, 339 RIVER STREET, NEWTON, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DePasquale's
339 River Street, Newton, MA 02466

DePasquale's
339 River Street, Newton, MA 02466

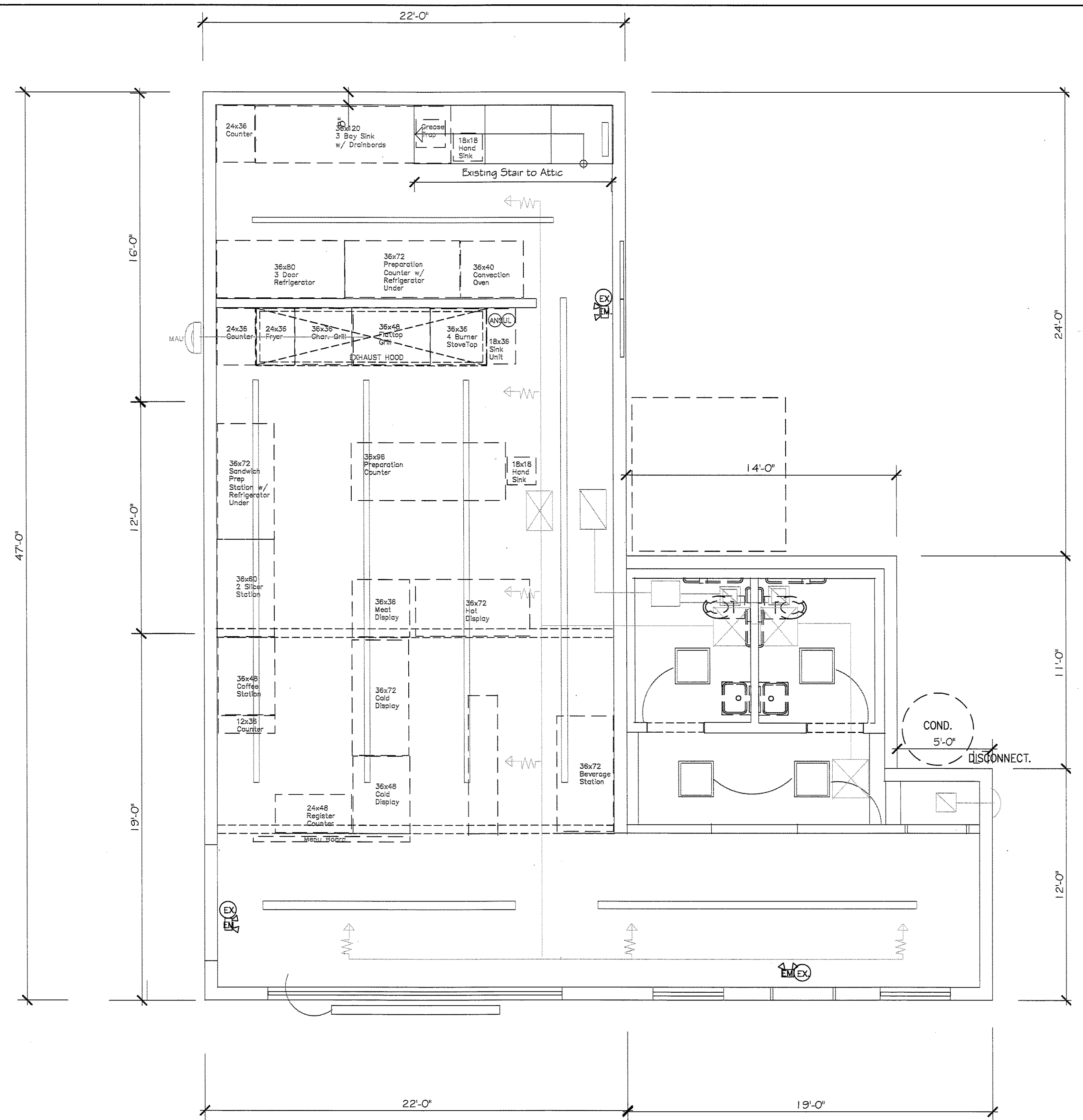
DATE: DEC 5, 2014
SCALE: AS NOTED
DRAWN BY: N.G.B.
CHECKED BY: R.J.



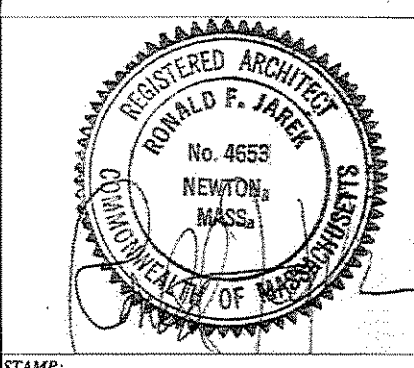
DIMENSIONS

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

PROPOSED ATTIC-ROOF PLAN
1/4"=1'-0"



PROPOSED REFLECTED CEILING PLAN
1/4"=1'-0"



PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

TITLE:
PROPOSED REFLECTED CEILING, ROOF AND ATTIC PLANS

DePasquale's
339 River Street, Newton, MA 02466

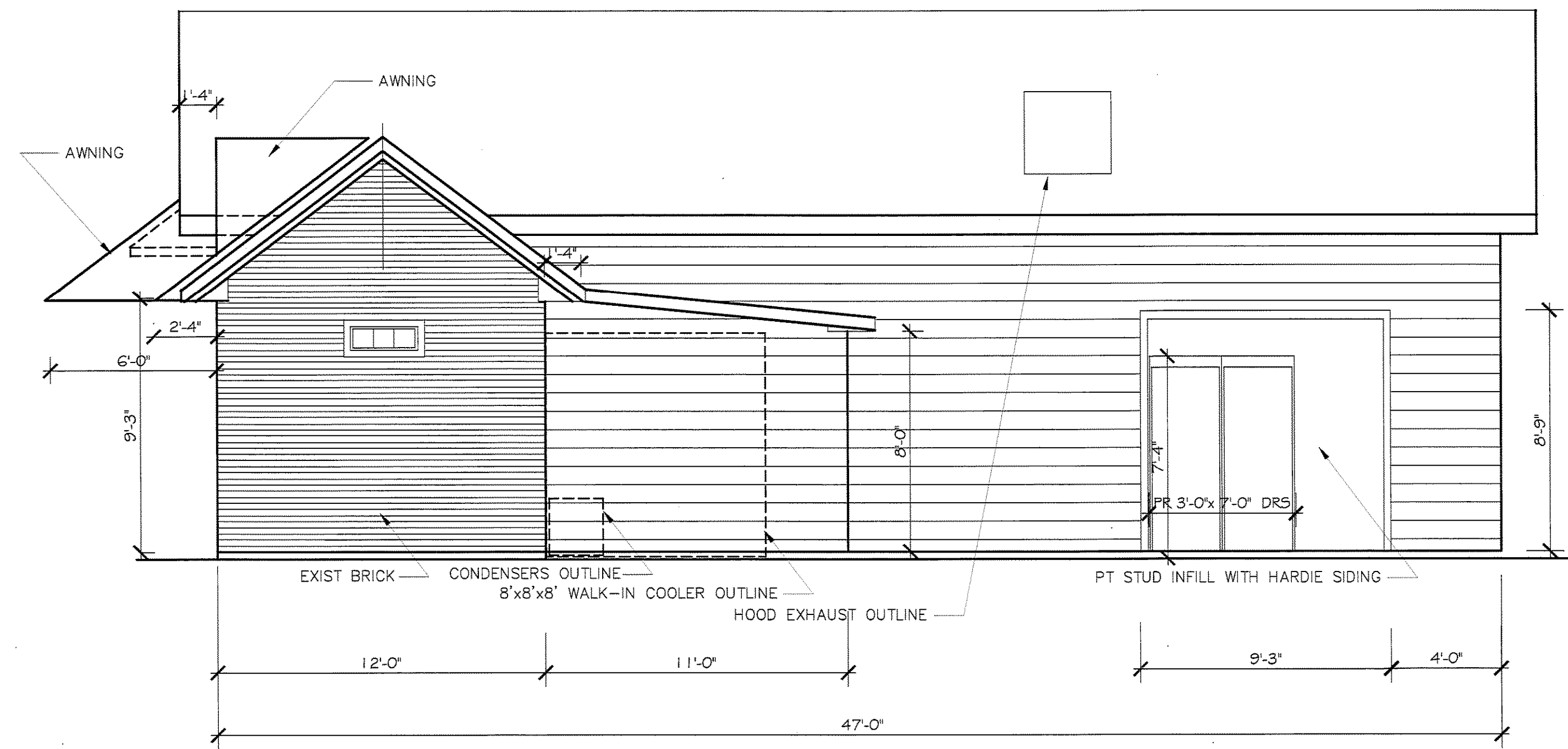
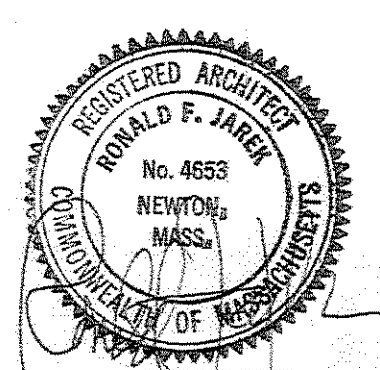
Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE:
DEC 5, 2014

SCALE:
AS NOTED

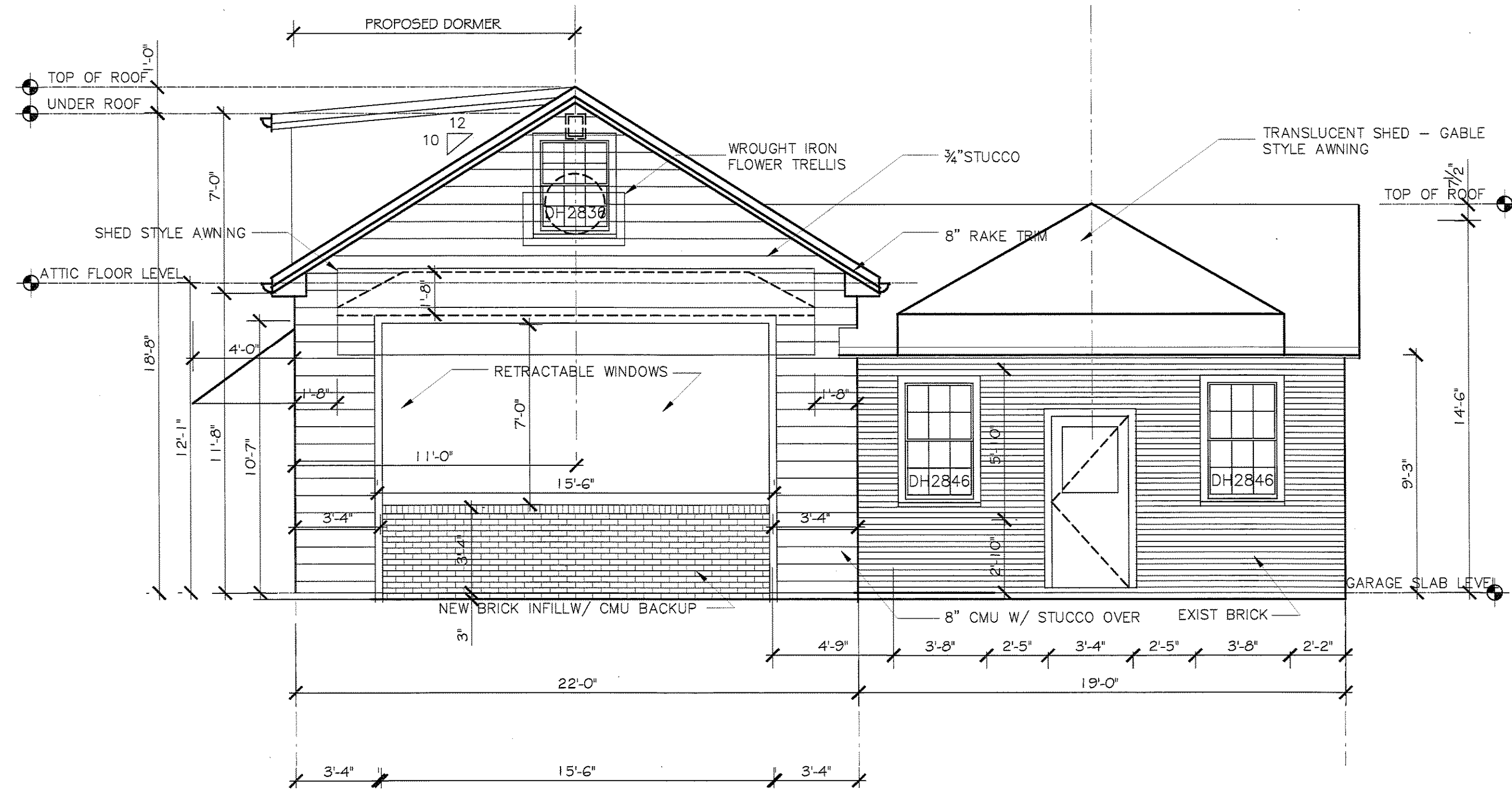
DRAWN BY:
N.G.M.

CHECKED BY:
R.J.



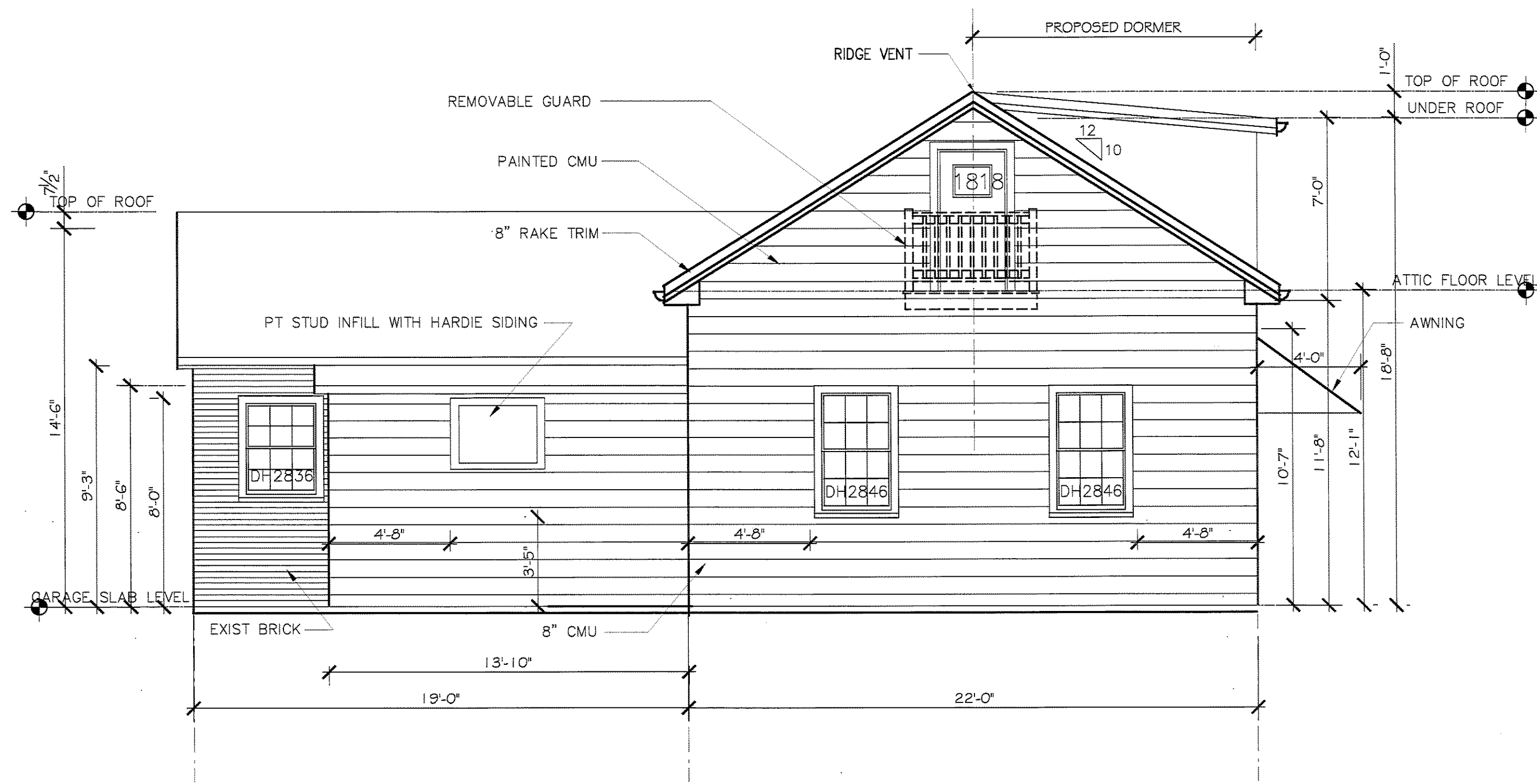
PROPOSED RIGHT SIDE ELEVATION

1/4"=1'-0"



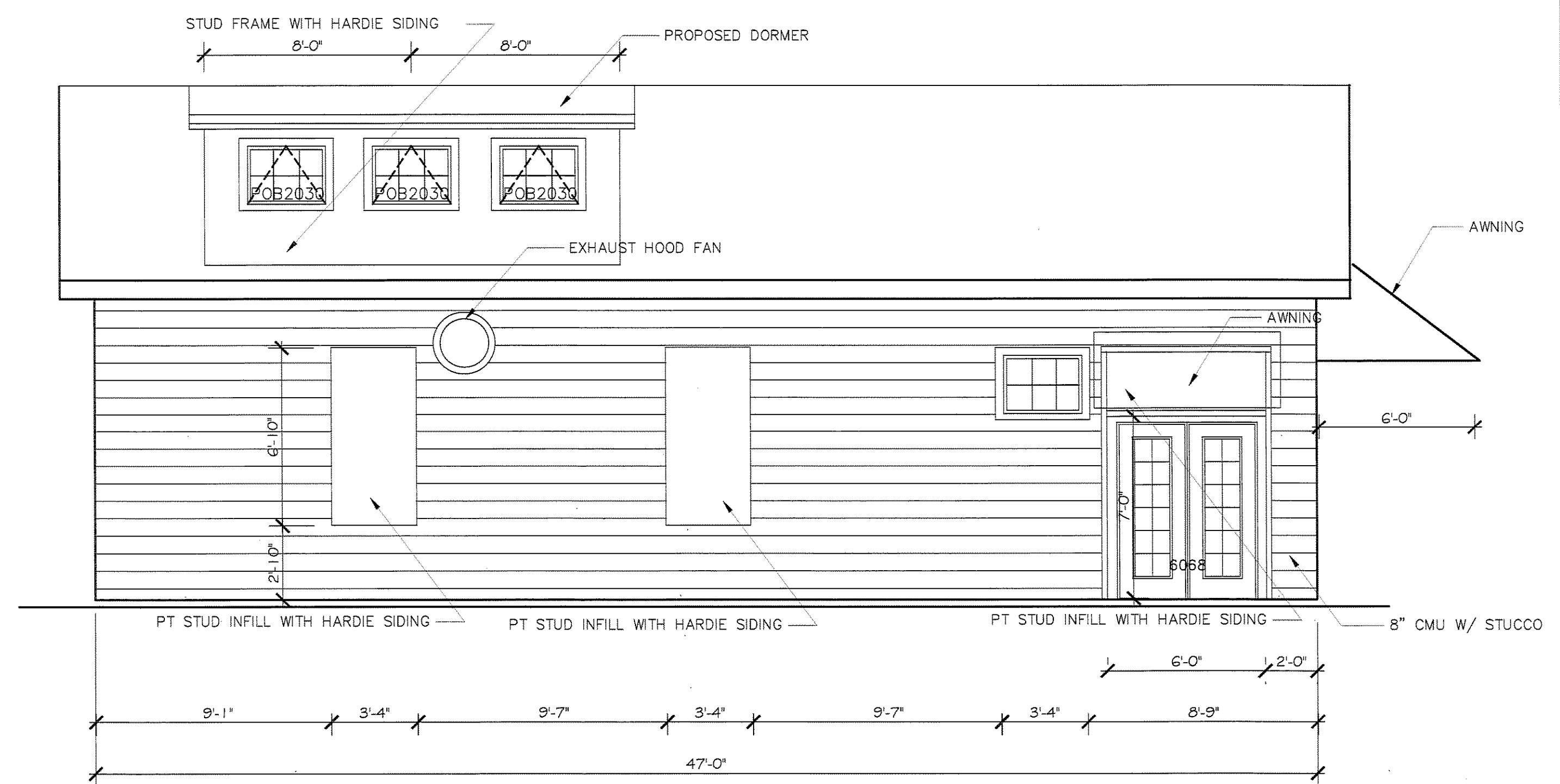
PROPOSED FRONT ELEVATION

1/4"=1'-0"



PROPOSED REAR ELEVATION

1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION

1/4"=1'-0"

TITLE:
PROPOSED ELEVATIONS

PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE: DEC 5, 2014

SCALE: AS NOTED

DRAWN BY: N.G.M.

CHECKED BY: R.J.

LIST OF EQUIPMENT, FURNISHINGS and/or PRODUCTS

KITCHEN EQUIPMENT FURNISHINGS LIST

EQUIPMENT: Note, Manufacturers Name and Model Numbers supplied at the time of purchase.

DePasquale's
339 River Street
Newton, MA 02466

EQUIPMENT:

- A. **GLOBE G12** - 12" Gravity Feed Slicer W 22.25" x D 19.25" x H 17" - 1/2 HP, 115V
- B. **HANSON Brass 800-RET-BC** Retractable Cord Ceiling Mount Heat Lamp w/ Brushed Chrome Finish Infrared H 8" x Dia 11" - 115V
- C. **BLODGETT, Model Zephyre-100 G** - Gas Convection Oven W/ Legs and Casters and Quick Disconnect Gas Hose W 38.25" x L 37" - 1/2 HP, 115V
- D. **PITCO, Solstice Supreme (SSH-60R)** Gas Fryer W 14" x L 18" - 100,000 btu/hr, 29.3 kw, 110mj, w/ Splash Guard and Filter System
- E. **STAR 806HA Ultra Max** 6 Burner Countertop Range/Hotplate - 180,000 BTU - 36" Natural Gas W 36" x D 30.6" x H 13.75" Manual Control
- F. **GARLAND**, Heavy Duty Natural Gas Radiant Char-Broiler w/Adjustable Gates and Legs, CI Grates, Model GTBG 36 W 36" x H 13" x D 32" Manual Control
- G. **VALCAN VCRG 48-M**, Restaurant Series Gas Griddle - 25,000 BTU/12" Griddle Width, Manual Control W 48" x D 27" x H 16" on 4" Legs
- H. **UNIVERSAL RIC78SC-78"**, Stainless Steel Reach in Refrigerator 115V - 1/2 HP, W 78" x H 75" x D 32" 3 Door, 70cuft
- I. **TURBO AIR -MST-60**, Basic Stainless Steel Sandwich Prep Table with Standard Top and 2 Doors W 60.25" x H 43.5" x D 30" 120V, 1/3 HP, 7.2 A
- J. **LEADER -NRCD72SC-72"**, Curved Glass Deli Display Case, Counter Height with 1 Shelf 115V, 1/2 HP, H 44" x W 72" x D 34"
- K. **VOLLRATH 38119**, ServeWell Electric 5 Sealed Well Hot Food Table, 208/240V, 3000-4000W, W 32" x H 34" x L 76" Manual Control and Under Shelf Base
- L. **NOR-LAKE KOD888-C**, Walk-in Outdoor Cooler with Floor, Stainless Steel/Aluminum 208-230V, 3/4HP, H 6'-7" x W 8'-0" x D 8'-0" Single Door w/ Dead Bolt Locking Handle
- M. **GLOBAL INDUSTRIAL**, True Under Counter Refrigerator TUC-72G, W 72" x D 30" H 33.63", 3 Door, 115V, Frost Free, Stainless Steel/Aluminum, 4 Shelves
- N. **GLOBAL INDUSTRIAL**, Aree One Bowl SS Sink, W 24" x D 24" x H 43.5", 1.5" Dia Galv Legs With Open Base and Adjustable Feet
- O. **GLOBAL INDUSTRIAL**, Advance Table Inc, Three Compartment SS Sink, 18" Right & Left Drainboards & Backsplash, W 91" x H 42" x D 27", Galvanized Open Frame Base
- P. **GLOBAL INDUSTRIAL**, Advance Table Inc, Stainless Steel Wall Mounted Hand Sink, Splash Mounted Faucet, W 17.25" x H 13" x D 15.25
- Q. **Bunn RL35** Automatic Stainless Steel 12 Cup Coffee Brewer with 5 Lower Warmers 120/240V, W 24" X H 23.5" x D 18.5"
- R. **USA Equipment Direct, (VSSD48-12)**, 12' Stainless Steel Restaurant Hood System with Make Up Air (Fan 2900CFM, .75HP), Side Draft Exhaust Fan (3700CFM, 1 HP), Grease Cup, Filters, 2 Light Fixtures and Curb (if Req'd) w/ Welded Stainless Steel Duct Work, NSF Listed and Conforms to NFPA96, L 144" x H 1.5" Front and 24" Back x D 36" w/ Design Build 144" Ansil System
- S. **FSW Scotsman**, Self Contained Under counter Gourmet Ice Machine, 115V, 15A, 37 Gal/100lbs, H 29" x W 15" x D 23.63", 84lb/24Hr, Air Cooled
- T. **ZURN -GT2700-20**, 40 lb Heavy Duty Grease Trap, 20 GPM 3" inlet, W 17.25 x L 24.125" x H 15.0
- U. Beverage Station, 2 Commercial Refrigerators- Supplied by Vendors (Coke, Pepsi and /or Craft Drinks etc) 115V, H 79" x W 43.5" x D 30"
- V. **Master Built MPM-48**, 48" Food/Beverage Dispenser, Multi Deck, Open Display Merchandiser, 115V, L 48" x D 30.5" x L 43.25", NEMA 5-20P 14/3 Cord, 34 to 41 F Temp Range
- W. **ESSI-Medix Shelving** 5 Tier Adjustable Shelf Chip Display Rack, Clip to floor, H 53" x W 12"/18" x D 12.25"

EQUIPMENT CONTINUED:

-2-

- 1) SS Table Prep Counter, 18 Ga, H 36"x W 30" x L 96"
- 2) SS Slicer Station Counter, H 36"x W 30" x L 60"
- 3) Microwave Shelf, 18" x 24" with Mounting Brackets
- 4) Stock Shelves, 2) 12" x 60" with Mounting Brackets
- 5) Pots and Pan Shelves, 2) 12" 72" with Mounting Brackets
- 6) SS Prep Counter with Under Counter Refrigerator
- 7) Prep Counter Shelves, 2) 12" 72" with Mounting Brackets
- 8) SS Shelves, 2) 12" 48" with Mounting Brackets
- 9) Custom Counter, Size Varies, H 36"
- 10) Custom Register Counter, L 24" x H 36" x 48"
- 11) Eye Wash Station & Portable Defibrillator

Note: The following Items shall be Owner selected and installed at the time of Facility Fit-Out.

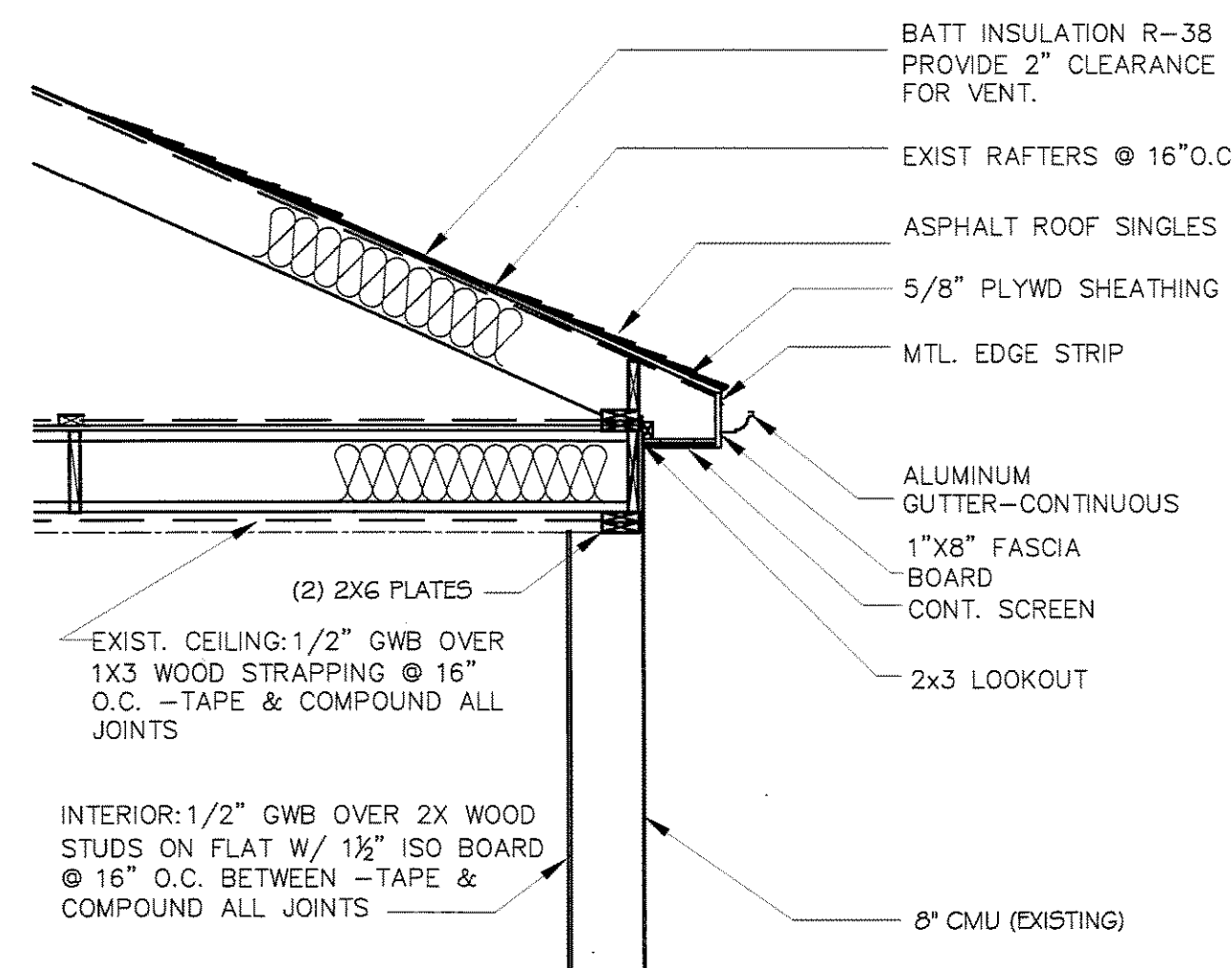
- Soup Warmer 2 compartment
- Microwave Oven
- Pots and Pans
- Supplemental SS Tables w/ under shelf and legs
- Signboard/Chalkboard/Whiteboard, hand written erasable surface
- Monitor,
- Sound System, Bose Wireless with Bluetooth
- Utility Closet - mop, bucket, receptor and wall hung faucet set including wire hooks and shelving
- Local Alarm, Design Build including AV Horns and Lights plus Pull Stations
- Cash Register
- Warmer Box
- Paper Goods, China, Utensils

FURNISHINGS:

- Stools
- Chairs
- Tables
- Umbrella & Outdoor Tables & Chairs,
- Rope Stanchions & Rope
- Planter Boxes,
- Trash Containers,
- On Site Trash Dumpster
- Curtains

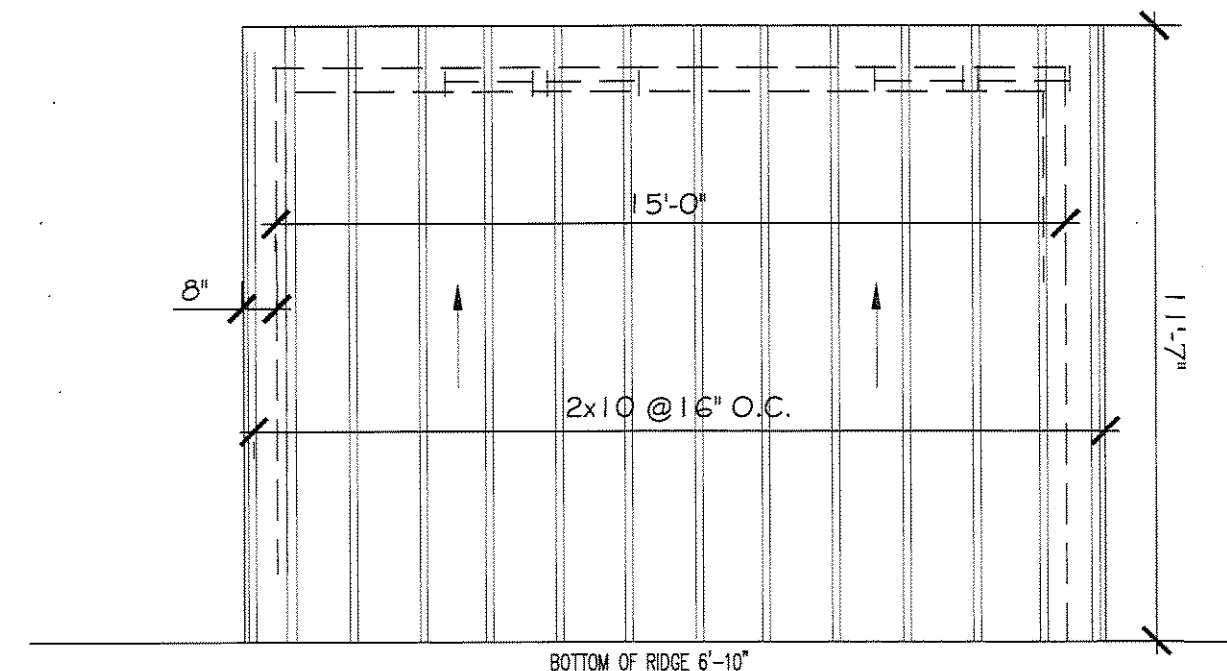
MATERIALS:

- Pavers - Ideal Pavers Aqua Brick IV Quarry Blend
- Quarry Tile,
- Ceramic Tile,
- Replacement and Retractable Windows,
- Synthetic Trim,
- Bathroom Fans
- Motion Detection Toilet Room Lighting,
- Stucco,
- Thin Brick,
- Nichia Brick and Stucco Panels
- Custom Awnings,
- Fence, Outdoor Sign and Lights,
- HP Parking Signs



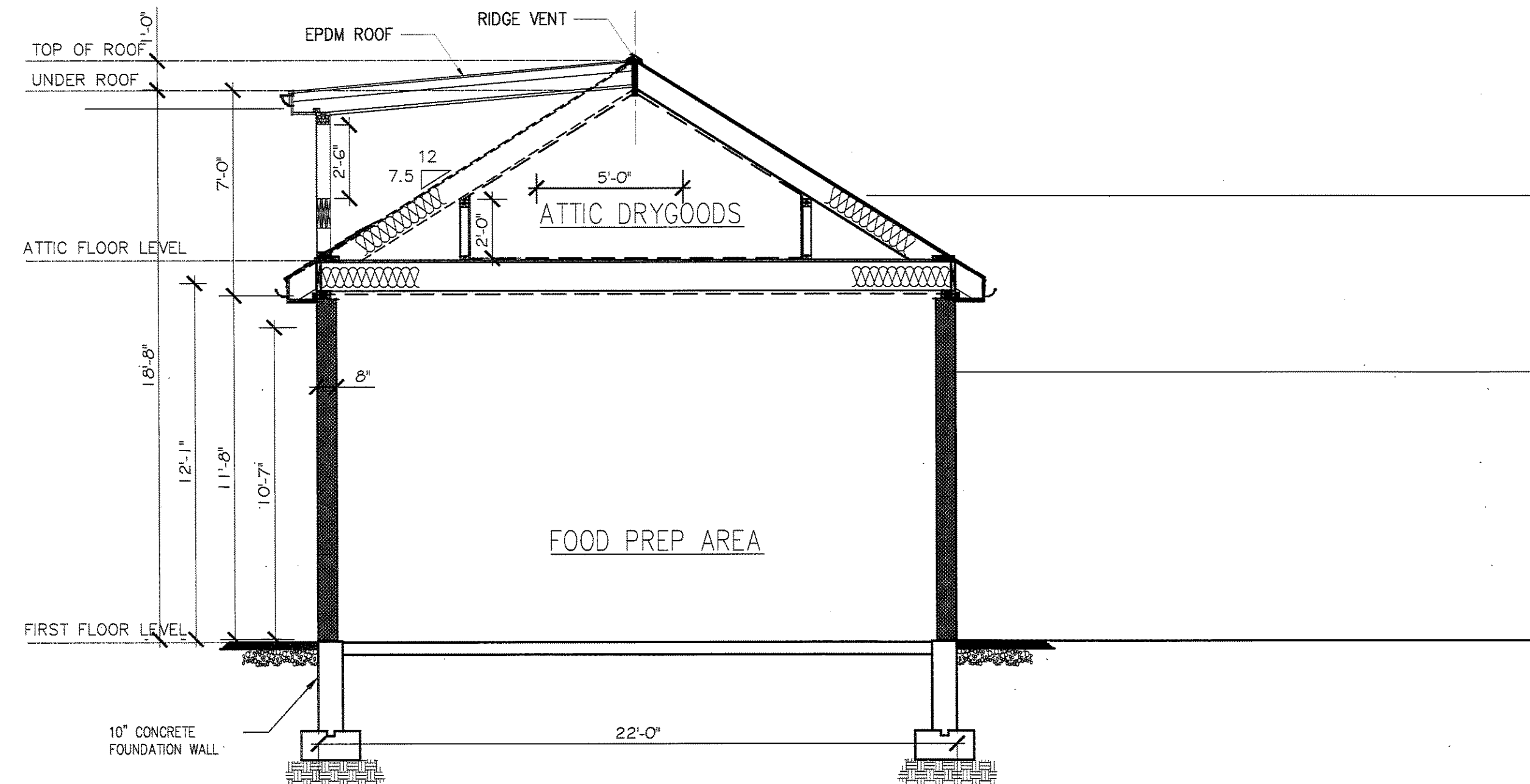
ROOF GABLE DETAIL

3/8"=1'-0"



SHED ROOF DORMER FRAMING

3/8"=1'-0"

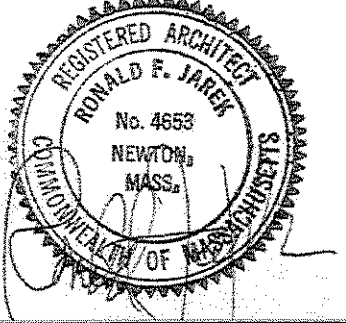


CROSS SECTION

3/8"=1'-0"

LIST OF GENERAL REQUIREMENTS

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS GENERAL LAW INCLUDING CHAPTER 94, SECTION 305 WHICH IS HEREBY APPENDED AND MADE BINDING VIA THIS DOCUMENT, THE REQUIREMENTS OF THE CITY OF NEWTON BOARD OF HEALTH, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
2. CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK. FAILURE TO EXAMINE OR VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION TO PERFORM THE WORK. NO ADDITIONAL COSTS DUE TO LACK OF KNOWLEDGE RELATED EXISTING CONDITIONS WILL BE CONSIDERED.
3. CONTRACTOR'S PRICE SHALL REFLECT ALL SPECIFIED WORK INCLUDING FURNITURE, FIXTURES AND FOOD SERVICE EQUIPMENT, SETUP AND REMOVAL OF ALL PACKAGING .
4. DRAWN INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5. ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE LESSEE OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS ETC.
7. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE OWNER AND LESSEE, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. SUBMITTALS SHALL BE PROVIDED FOR ALL FOOD SERVICE EQUIPMENT AND FURNITURE. ALL FABRIC, FURNITURE AND UPHOLSTERY SHALL MEET CAL 117 AND 133 CERTIFICATES
9. IF HAZARDOUS WASTE IS ENCOUNTERED, STOP WORK & CONTACT THE OWNER & LESSEE IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH PERVALING STANDARDS.
10. ALL WORK SHALL BE PREFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH STANDARDS OF THE INDUSTRY



TITLE: EQUIPMENT LIST AND DETAILS

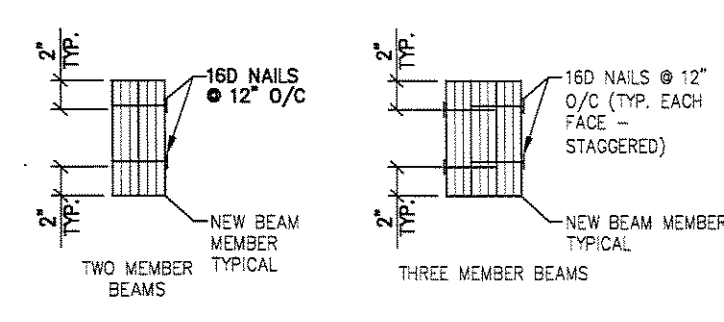
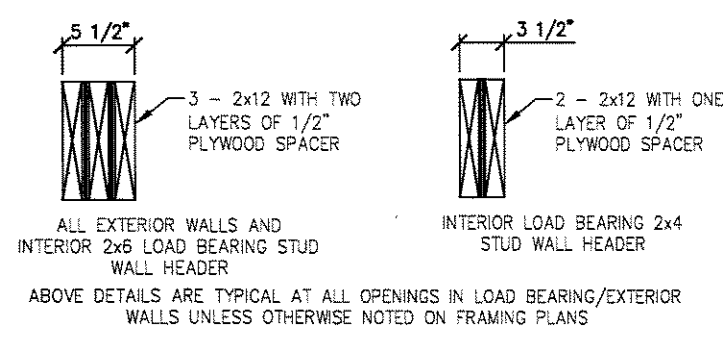
PROJECT: RENOVATION & ALTERATIONS, 339 RIVER STREET, NEWTON, MA 02466

CLIENT: DePasquale's 339 River Street, Newton, MA 02466

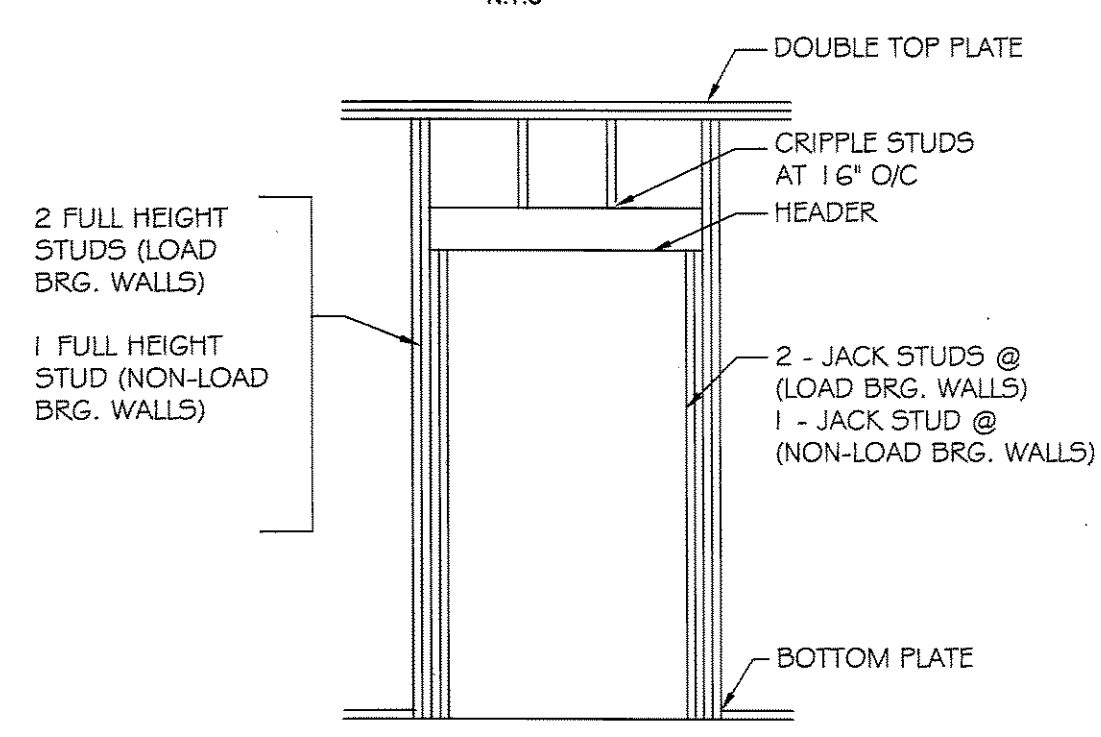
CLIENT: DePasquale's 339 River Street, Newton, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE: DEC 5, 2014
SCALE: AS NOTED
DRAWN BY: N.G.H.
CHECKED BY: R.J.

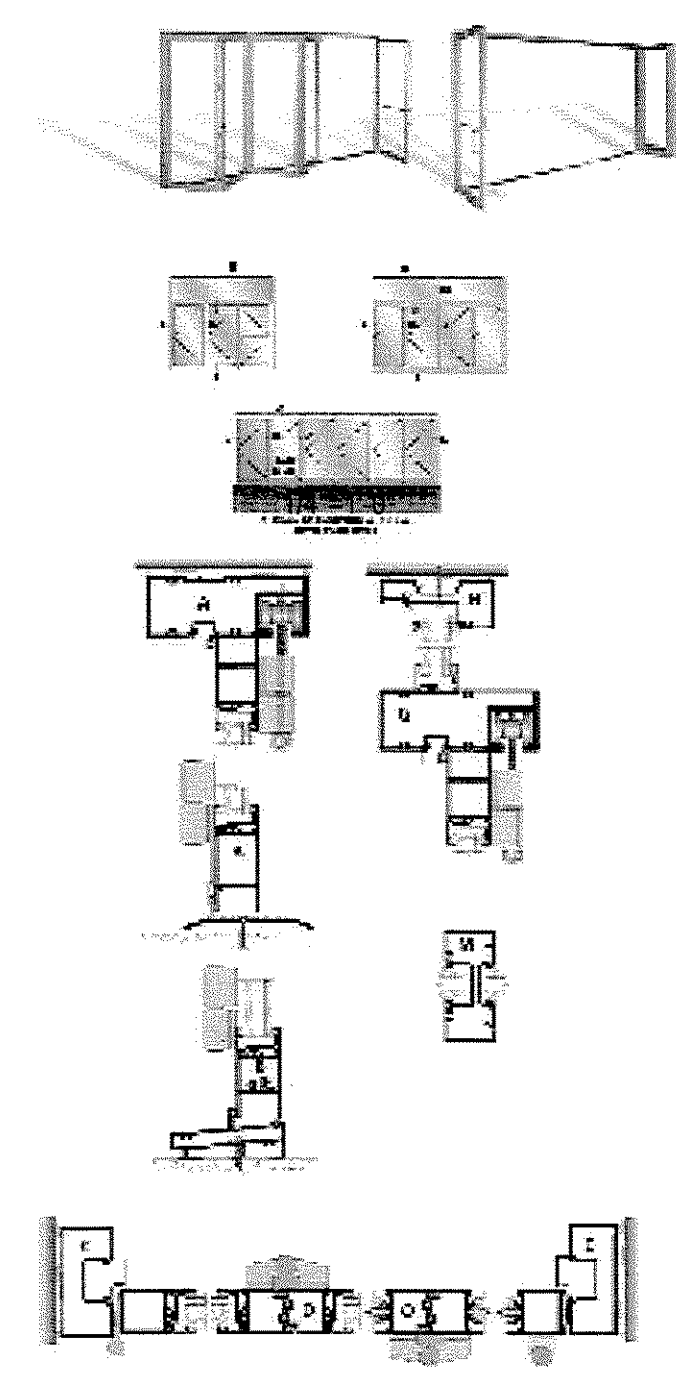


TYPICAL DETAIL
NTS



WALL/WINDOW OPENING CONSTRUCTION SIMILAR
SEE PLAN FOR JACK STUD QUANTITY FOR LARGE OPENINGS

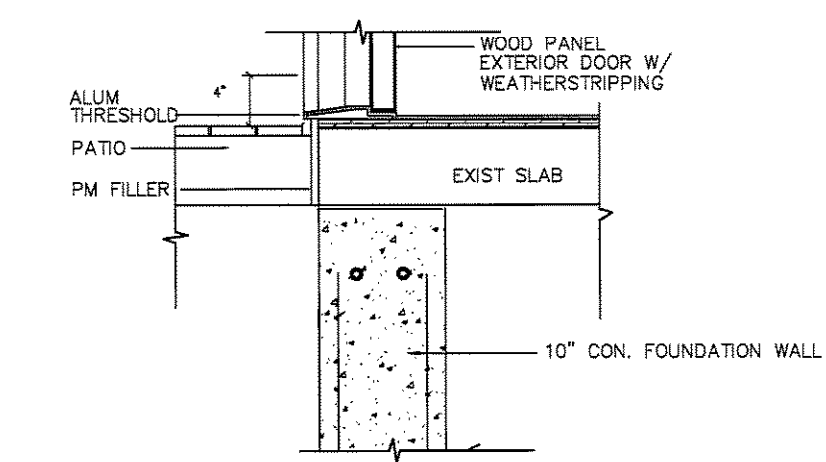
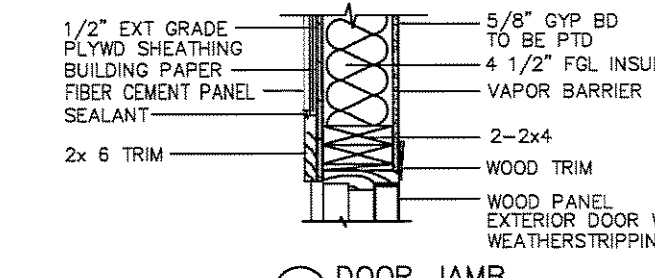
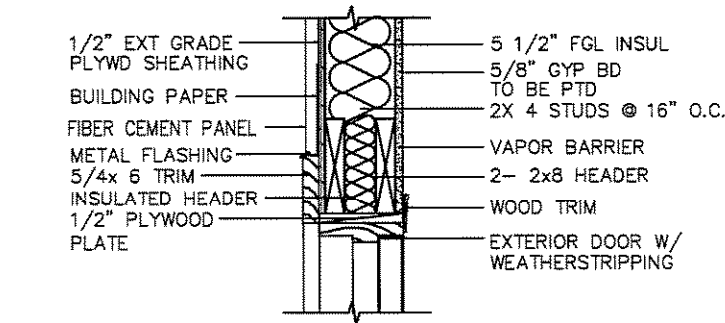
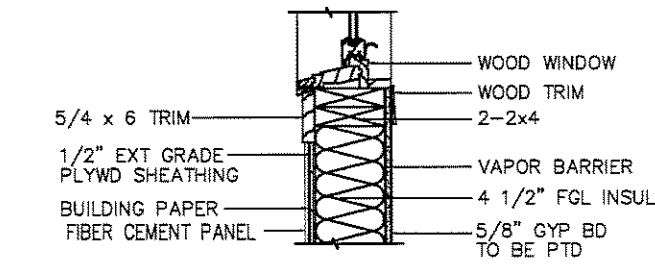
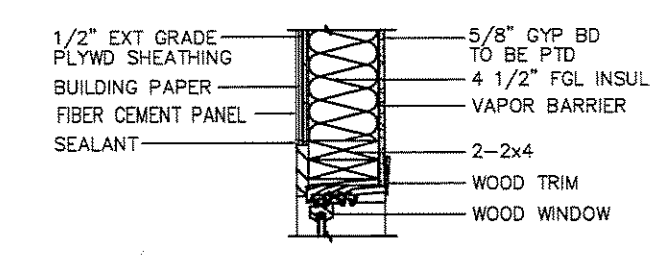
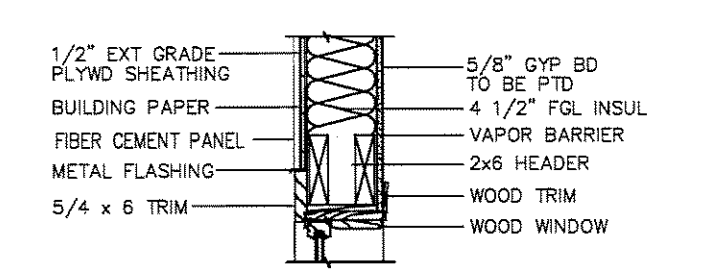
WALL OPENING FRAMING DETAILS
NTS



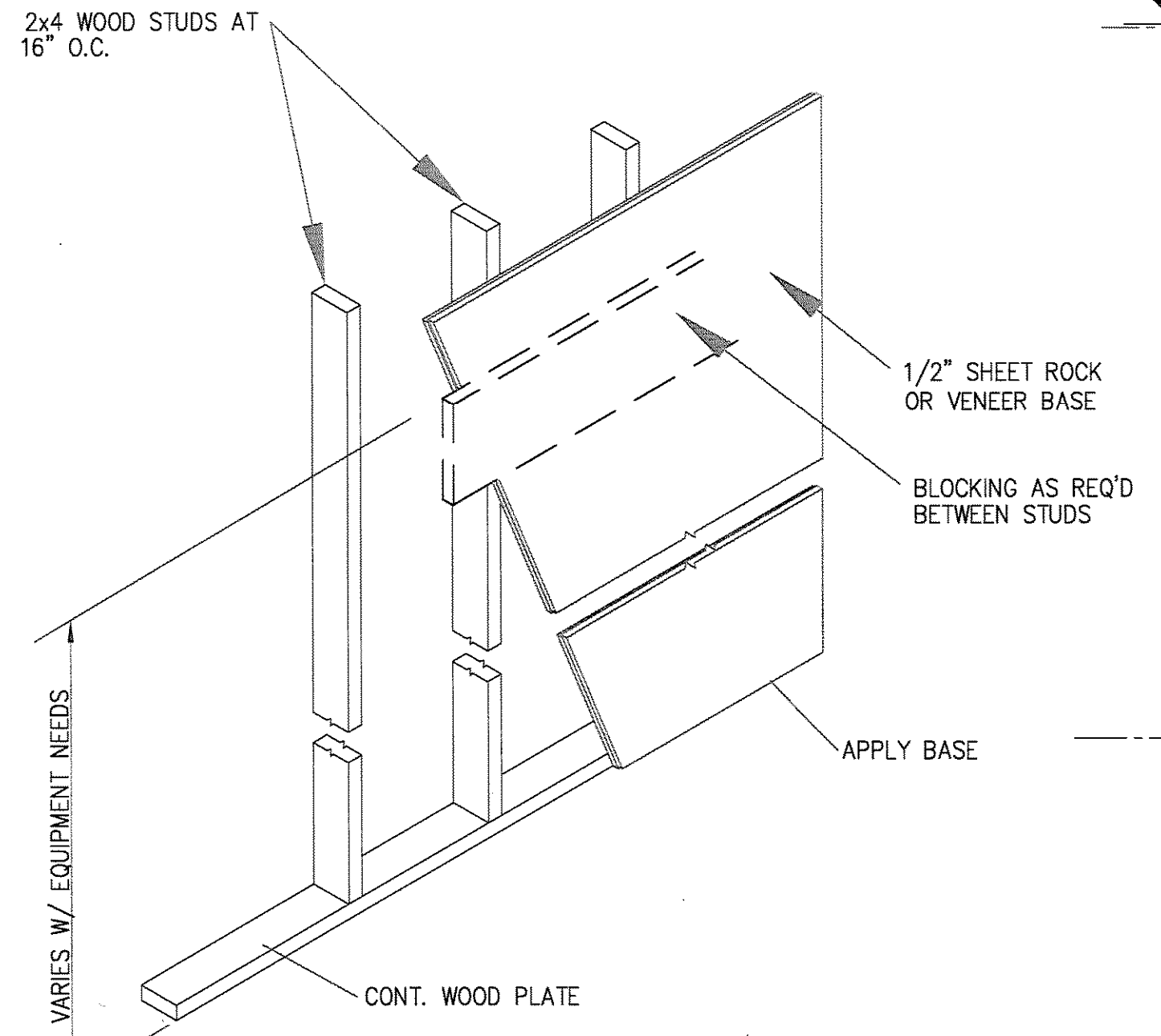
PACER SERIES 450 END FOLDSTACKING SYSTEM
with 2\"/>

RETRACTABLE WINDOW DETAILS
NTS

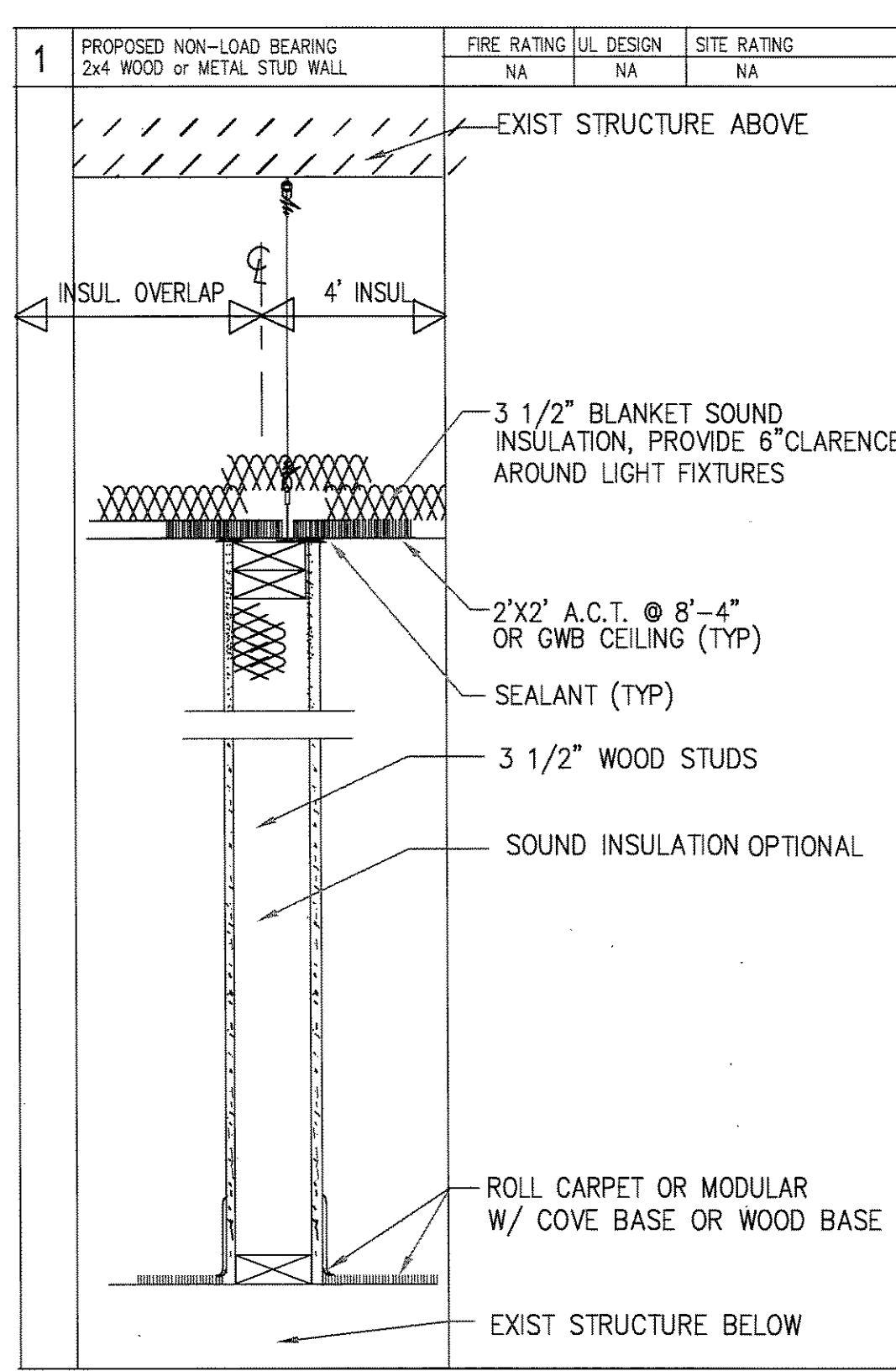
NOTE: DETAILS BELOW ARE SIMILAR FOR CMU INSTALLATION



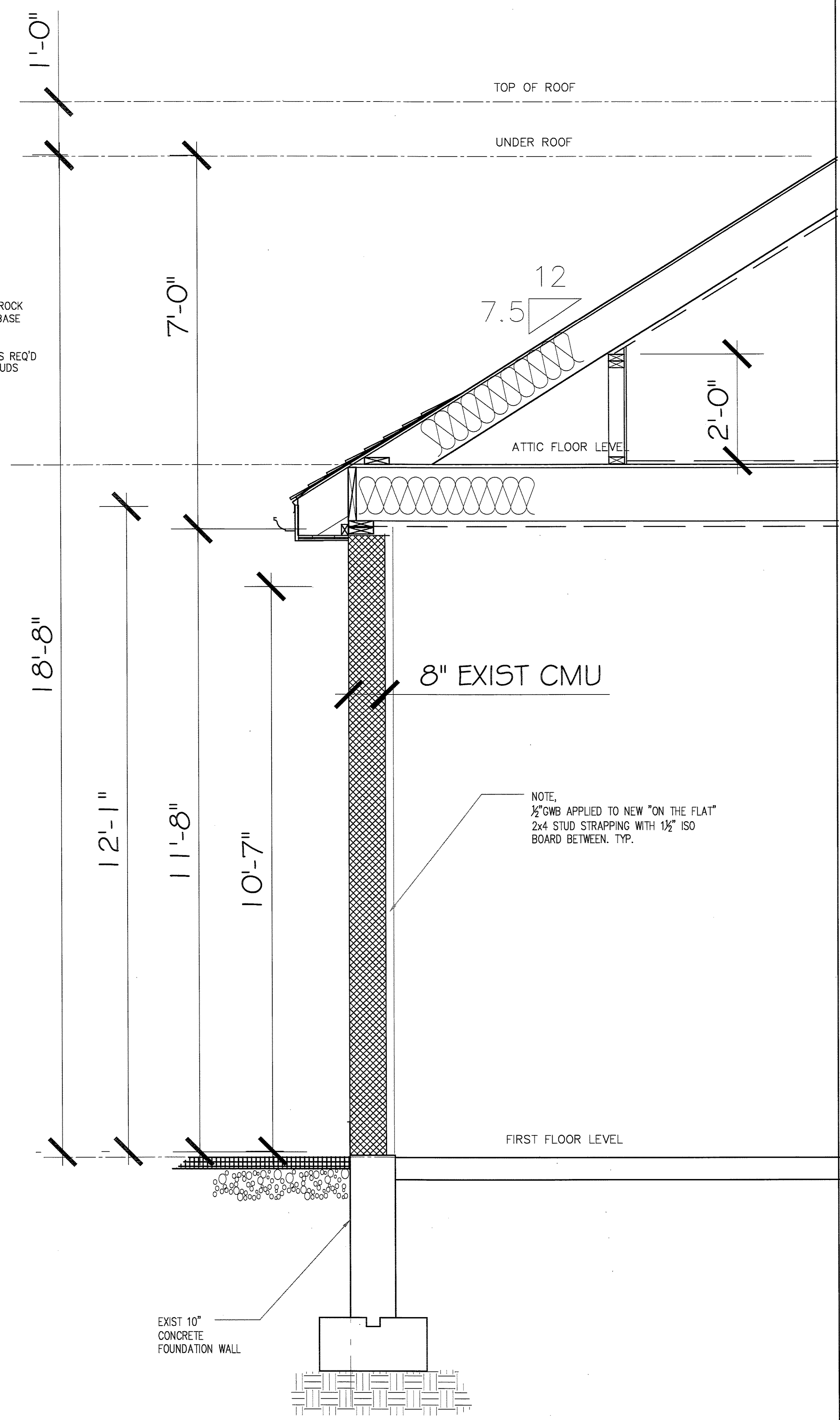
DOOR AND WINDOW DETAILS
NTS



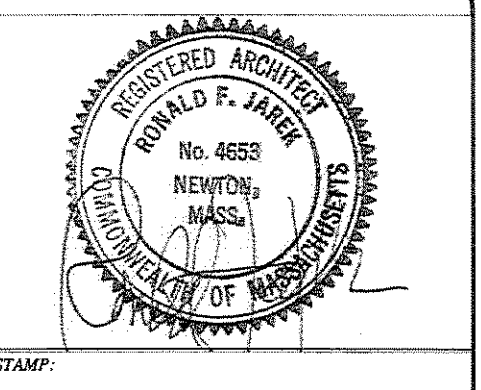
ISOMETRIC OF TYPICAL PLATE SUPPORT FOR ALL WALL HUNG EQUIPMENT
NO SCALE



TYPICAL WALL DETAILS
NTS



PROPOSED WALL SECTION
NTS



TITLE:
SECTIONS, MISC DETAILS

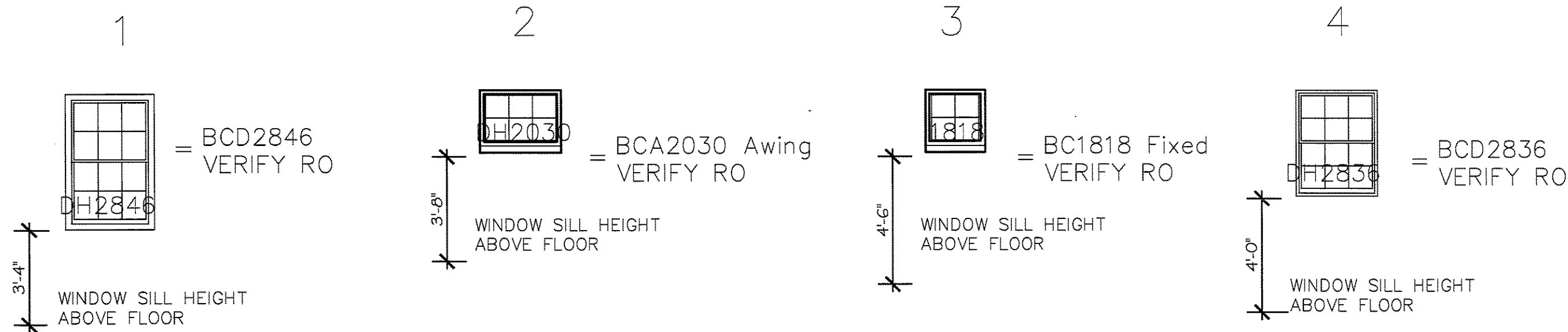
PROJECT: RENOVATION & ALTERATIONS,
339 RIVER STREET, NEWTON, MA 02466

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

CLIENT:
DePasquale's
339 River Street, Newton, MA 02466

DATE: OCT 30, 2011
SCALE: AS NOTED
DRAWN BY: N.G.H.
CHECKED BY: R.J.

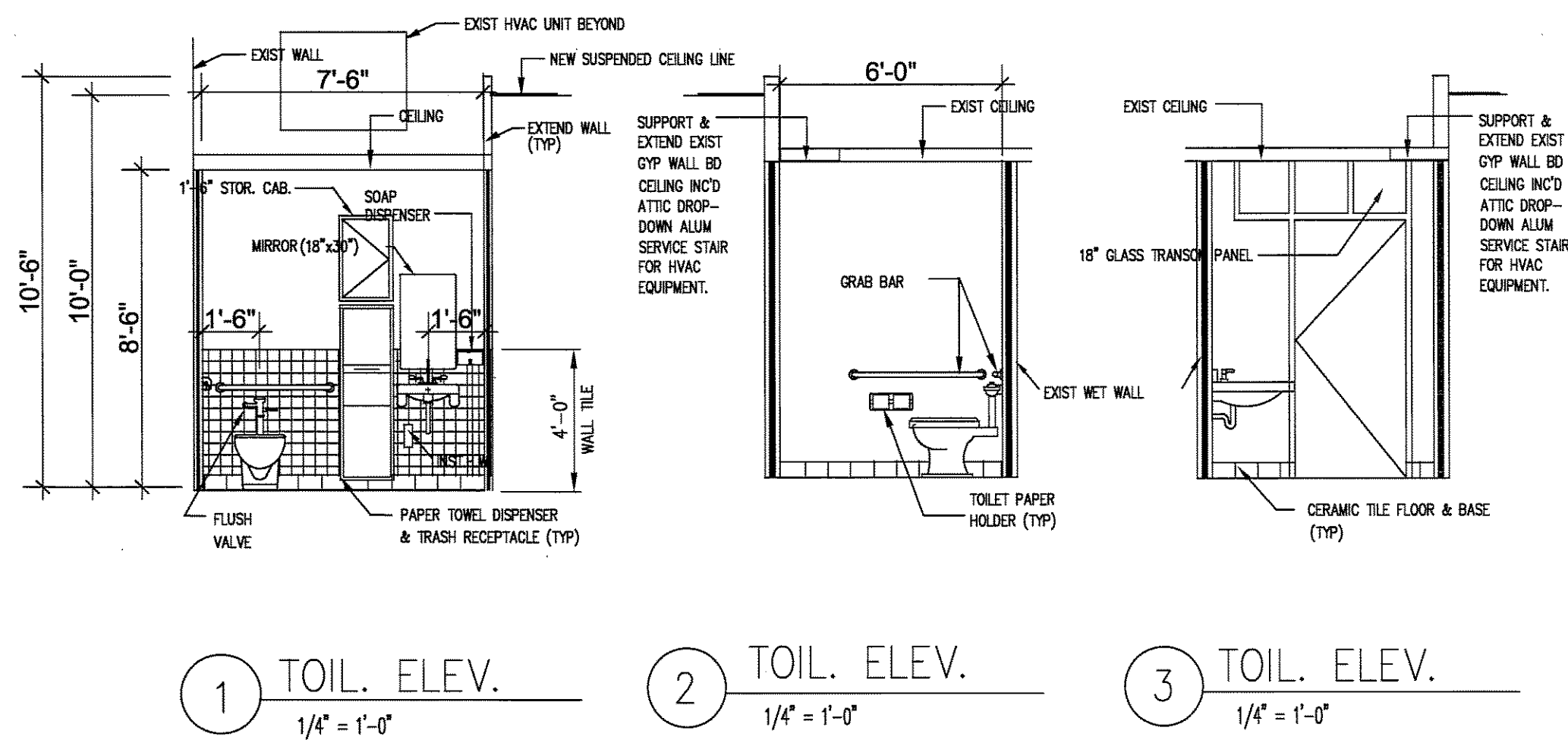
PROPOSED WINDOW SCHEDULE



NOTE: BUILDER TO VERIFY ALL SILL HEIGHTS ABOVE FINISHED FLOOR WITH OWNER

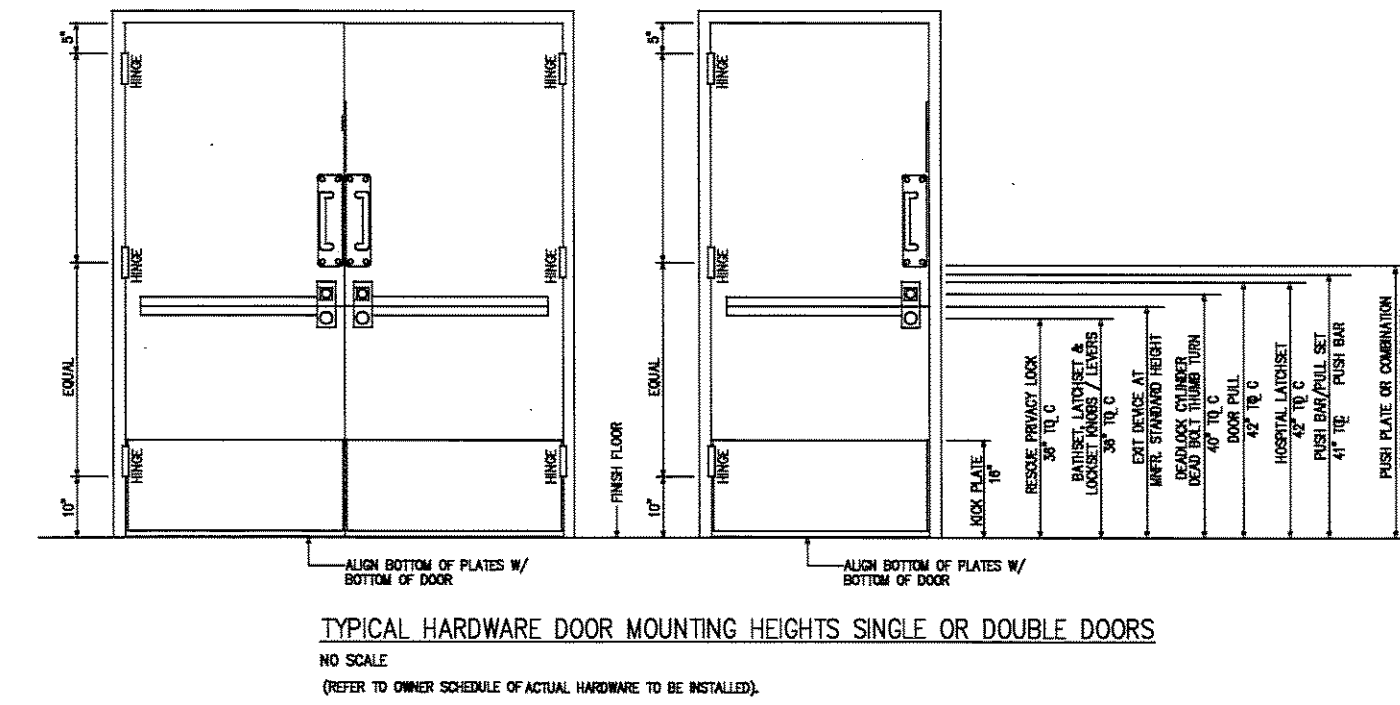
PROPOSED WINDOW SCHEDULE

1/4"=1'-0"



HANDICAP MOUNTING HEIGHT SCHEDULE

IDENTIFICATION SIGNS	5'-0"
LAVATORY, URINAL, ELEVATOR CONTROLS, COW SLIPS, FIRE ALARMS	4'-0"
TV, MIRROR, URINAL, LEVEL, PAPER TOWELS, PAPER TOWEL GRAB, SHELF	5'-0"
MIRROR	5'-0"
LOOKS, SHOE LEVERS	5'-0"
HANDRAILS, DRINKING FOUNTAINS, MIN. KNEE CLEARANCE	2'-10"
SEAT	2'-0"
GRAB BARS	2'-0"
TOILET PAPER DISPENSER	2'-0"
HAND GRIPS AT RAMP	1'-7"
OUTLETS	1'-6"
WATER CLOSET, URINALS	1'-6"
THRESHOLDS	2" TO 1/2"



PROPOSED TOILET ROOM ELEVATIONS

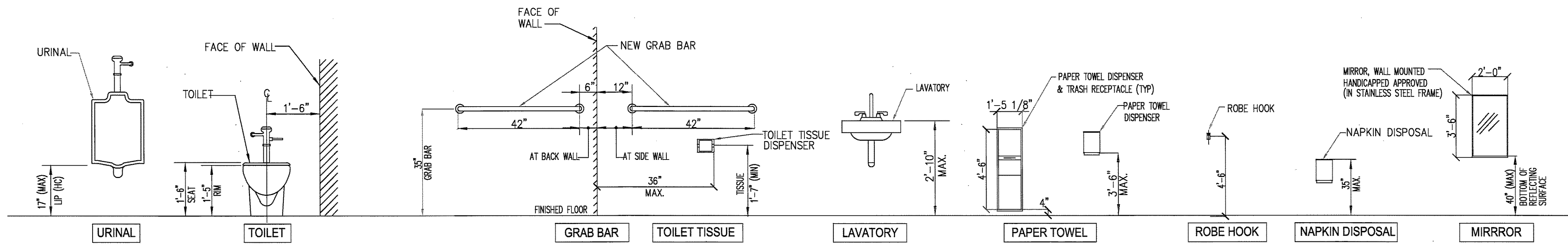
1/4"=1'-0"

HP SIGN & SCHEDULE

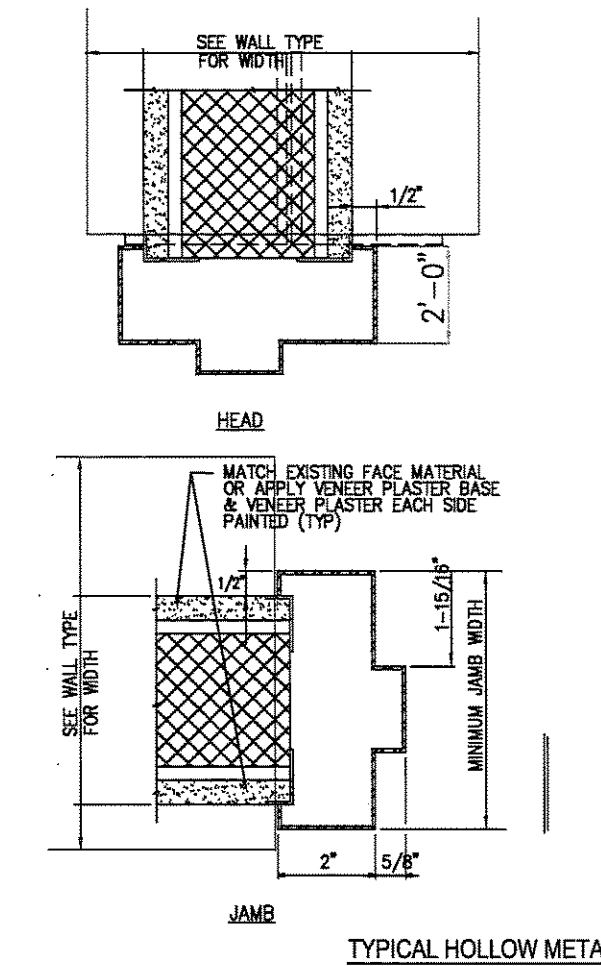
NTS

PROPOSED HM DOOR ELEVATIONS

1/4"=1'-0"



TYPICAL FIXTURE ELEVATIONS FOR HANDICAPPED ACCESSIBILITY
NO SCALE



CMU - GWB PM DOOR FRAME DETAILS
NTS

DIMENSIONS

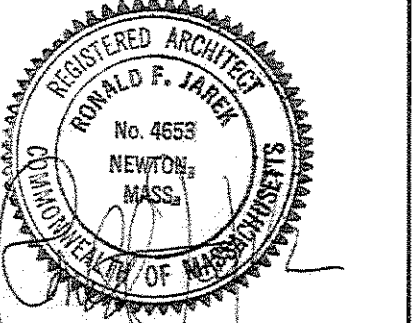
ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

FIXTURE MOUNTING CHART

NTS

LIST OF MATERIALS and/or PRODUCTS

- SILICONE ACRYLIC SEALANT - DAP or EQUAL
- EXTERIOR ENTRY AND INTERIOR DOOR UNITS, INCLUDING THRESHOLD & HARDWARE- STANLEY OR EQUAL
- SOUND BEADENING BOARD - 4'x8'x1/2" PANELS, GEORGIA PACIFIC "HUSHBOARD" OR EQUAL AS REQUIRED
- SOUND DEADENING IN WALL BATT INSULATION - 3 1/2" ROCKWOOL OR EQUAL AS REQUIRED
- ABOVE CEILING SOUND INSULATION AT TOILET RMS - 3 1/2" BLANKET, OWENS CORNING OR EQUAL AS REQUIRED
- 2x2 LAY IN TILES AND GRID SYSTEM @ 10'-0" AFF - ARMSTRONG OR EQUAL
- 4'x8'x5/8" TYPE "X" "MR" GYPSUM WALL BOARD, TAPE AND JOINT COMPOUND - US GYPSUM OR EQUAL
- WALL AND/OR TRIM PAINT - BENJAMIN MOORE LATEX OR EQUAL
- VINYL 4" COVE BASE AND ADHESIVE - JOHNSONITE OR EQUAL
- ADHESIVE APPLIED 28 OZ. CARPET SHEET GOODS OR MODULAR - SHAW OR EQUAL
- PROVIDE DESIGN BUILD MECHANICAL, ELECTRICAL, TELE/DATA AND PLUMBING EQUIPMENT, DEVICES/FIXTURES
- QUARRY and CERAMIC TILE FLOORS AND PIECES - EPOXY THIN SET & LEVELASTIC UNDERLAYMENT AS REQ'D - MASCO OR EQUAL
- PRESSURE TREATED, REGULAR OR FIRE TREATED WOOD STRAPS, STUDS AND FASTENERS - NATIONAL OR EQUAL
- OAK CONTINUOUS SURFACE MOUNTED BLOCKING - NATIONAL LUMBER OR EQUAL
- ABSOLUTE ZERO BLACKOUT CURTAIN W/ WHITE EXTERIOR PLUS ROD - JC PENNY, TARGET OR EQUAL
- FIRE EXTINGUISHERS ABC - KIDDE OR EQUAL
- EXTERIOR STUCCO - COLOR MATCHED
- BOARD AND BATTEN TRIM - AZEK OR EQUAL
- 2'x4' ALUM PULL DOWN ATTIC ACCESS LADDER - WERNER OR EQUAL
- RIBBED MAT, GLUED DOWN - MUNSON OR EQUAL
- LAYTEX BASED PAINT - BENJAMIN MOORE OR EQUAL
- OPEN MESH FATIGUE MATS - MUNSON OR EQUAL
- PAVERS - IDEAL, AQUA BRICK IV QUARRY BLEND
- FRP FIRE RESISTANT PANELS, WALL OR CEILING, MARLITE SYSTEM OR EQUAL



TITLE: MATERIALS AND MISC DETAILS

DePasquale's
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CLIENT: DePasquale's
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Ronald F. Jarek, Architect
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DATE: Dec 5, 2014
SCALE: AS NOTED
DRAWN BY: N.G.H.
CHECKED BY: R.J.