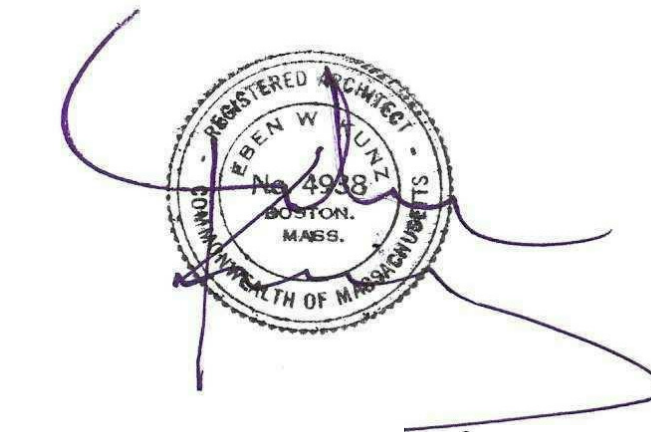
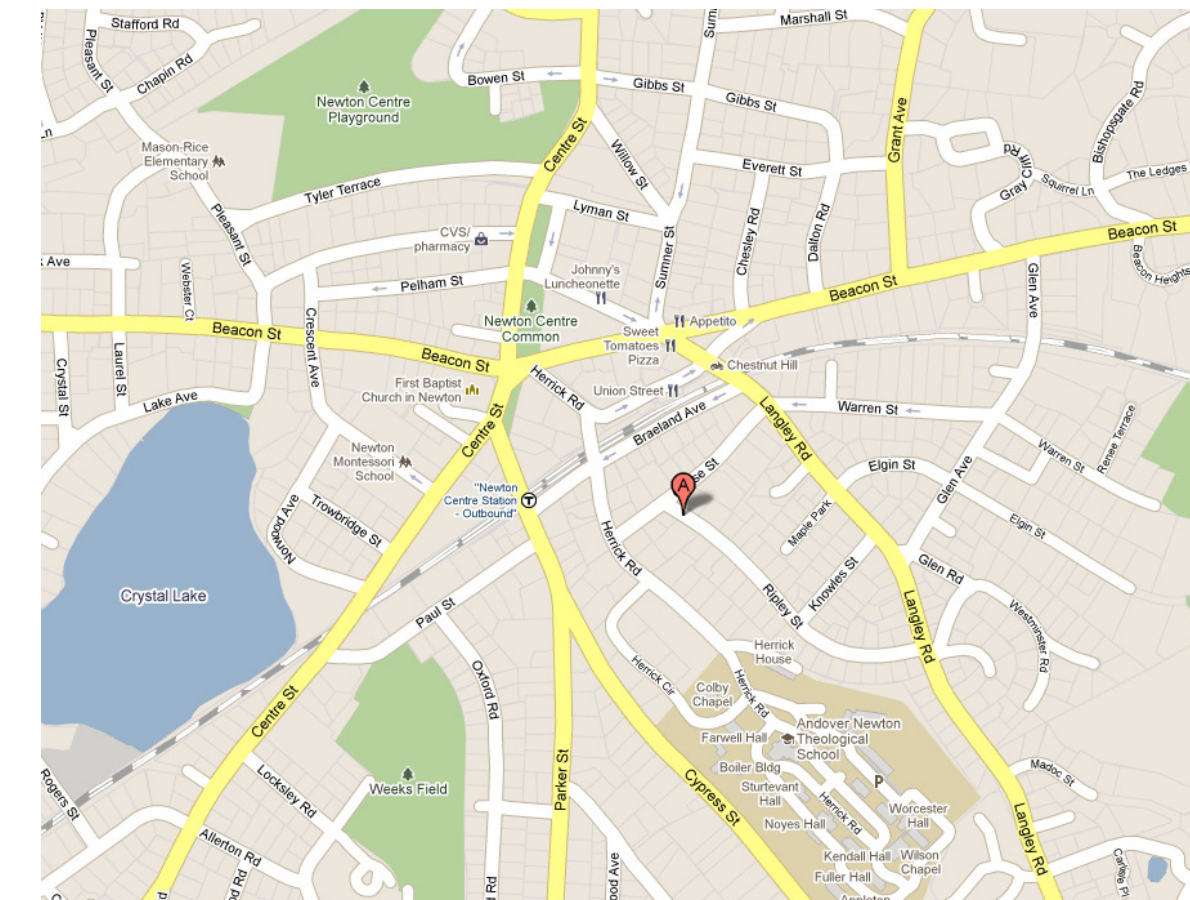


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 38 Greenwich Park
 Boston, MA 02118
 617 267 1482 kunzarch.com
 e-mail kunzarch@verizon.net



Residential Project

9 Ripley Street

Newton, Massachusetts

Sheet List	
A001	9 Ripley LLC Title Page
A100	Rendered Views
A101	Unit 1 Floor Plans
A102	Unit 2 Floor Plans
A103	Units 3 & 4 Floor Plans
A104	Units 3 & 4 Floor Plans
A105	Building Elevations
A106	Building Elevations

9 Ripley LLC Title Page	
Date	2/13/2013 11:29:33 AM
A001	



View from North West No. 5

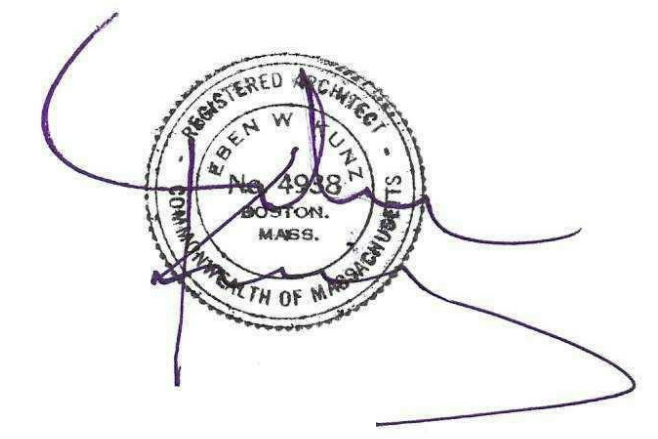


View from South East No. 6



View high No. 1

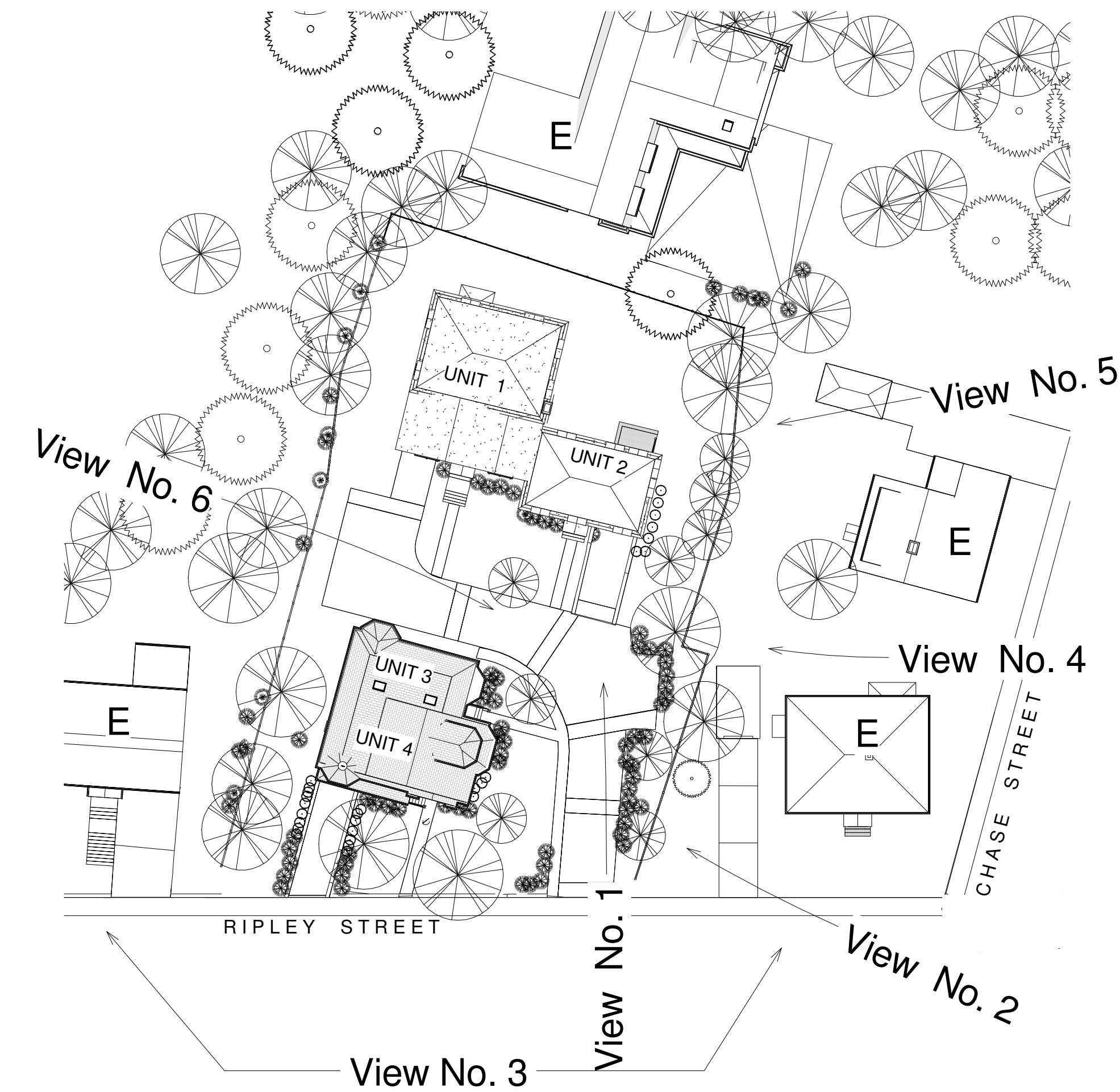
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View from North West No. 4



View from North No. 2



View from North East No. 3

Key Plan 1" = 30'
 1 - 4 Project Units
 E Abutting Buildings

9 Ripley LLC
 9 Ripley Street
 Newton, MA

KEY PLAN
 Rendered Views

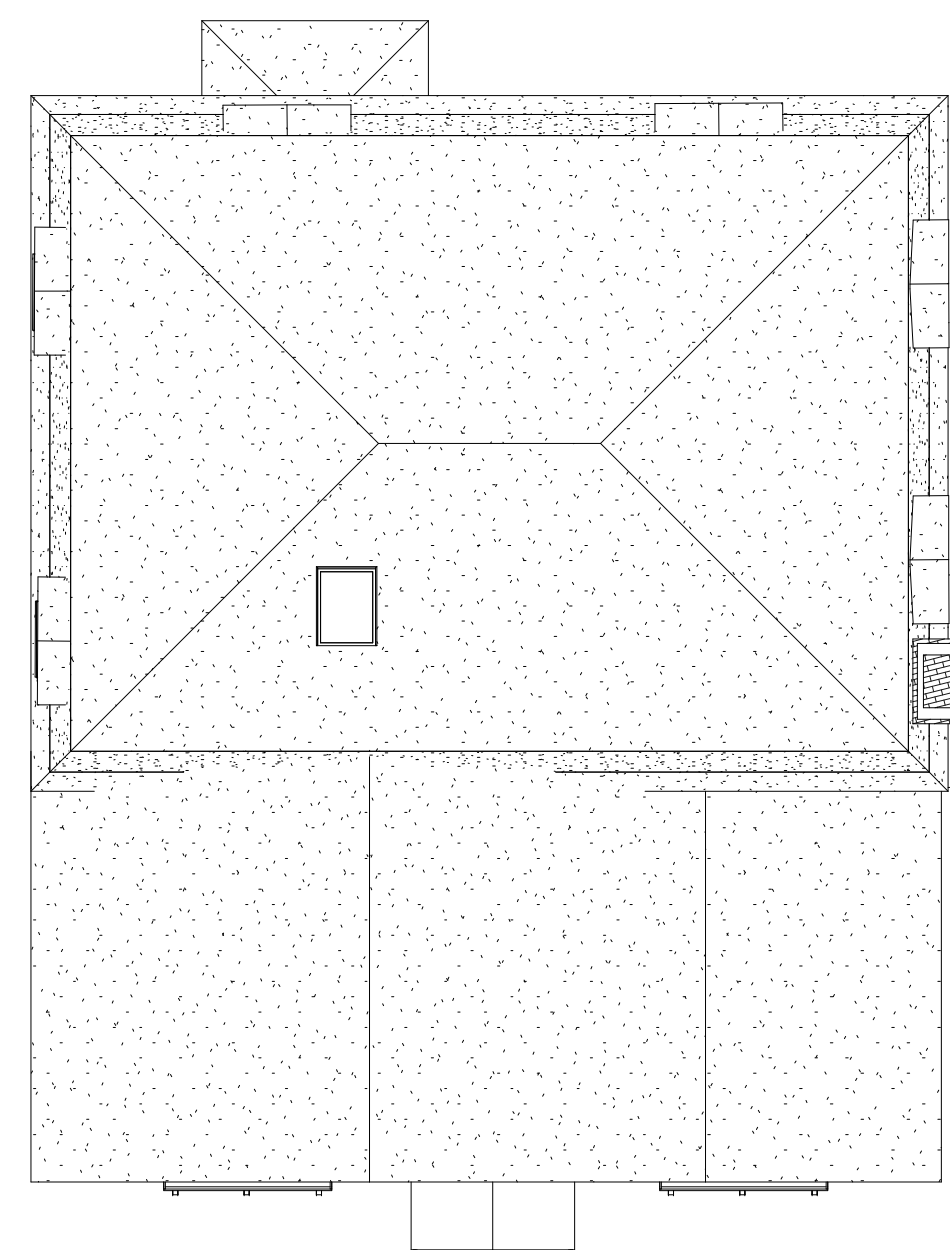
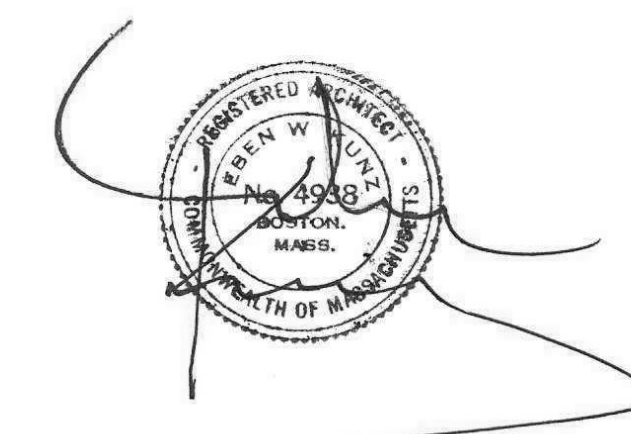
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A100

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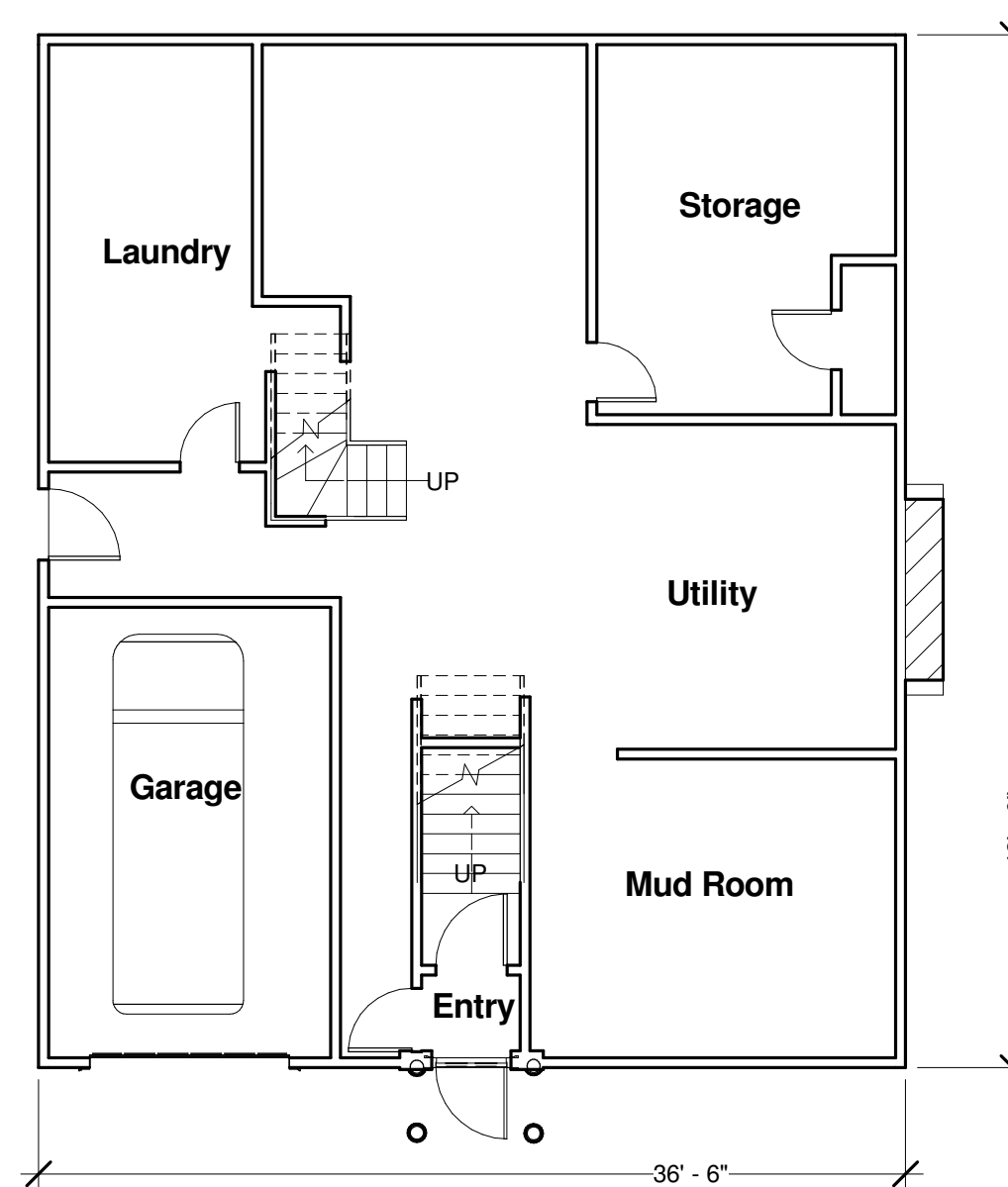
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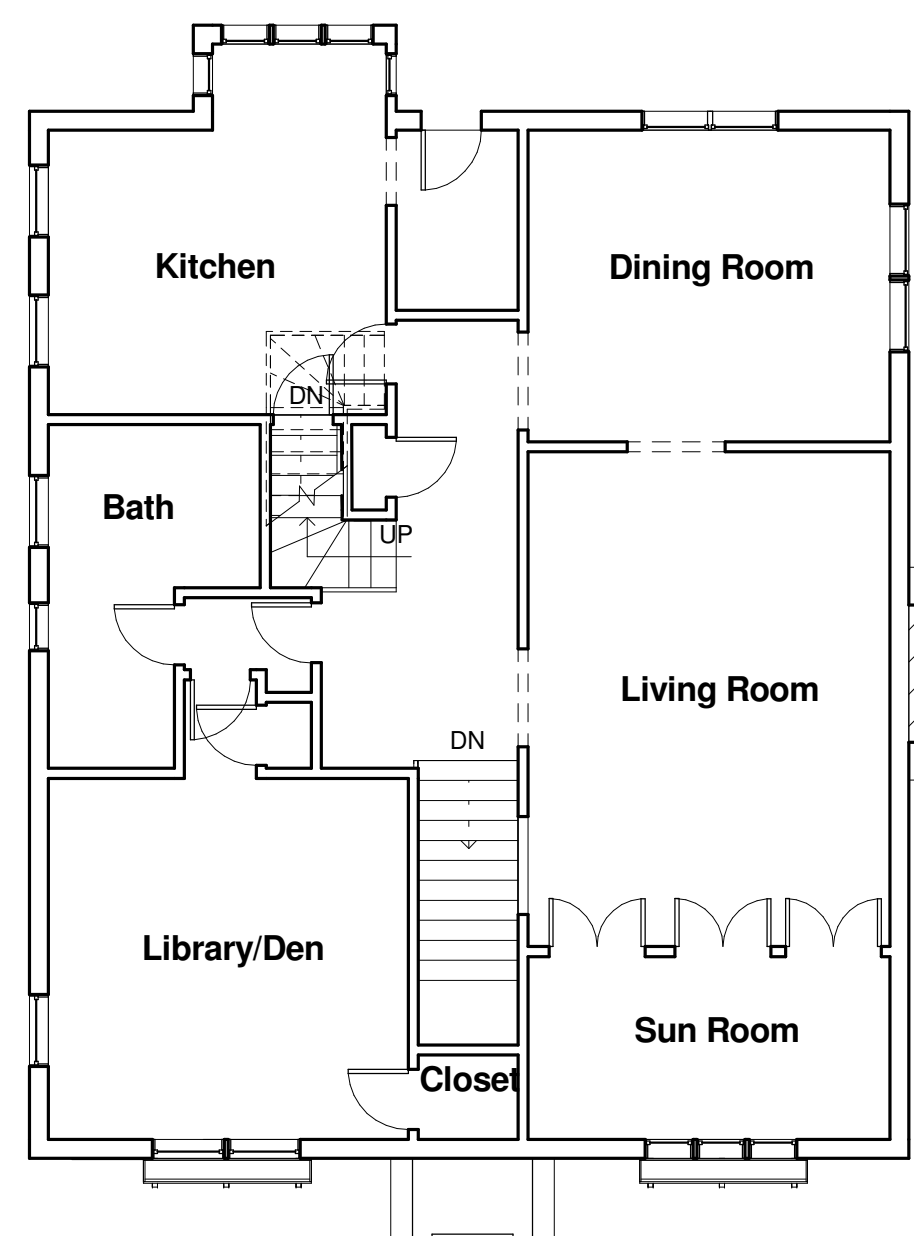


Ⓡ Roof Plan
1/8" = 1'-0"

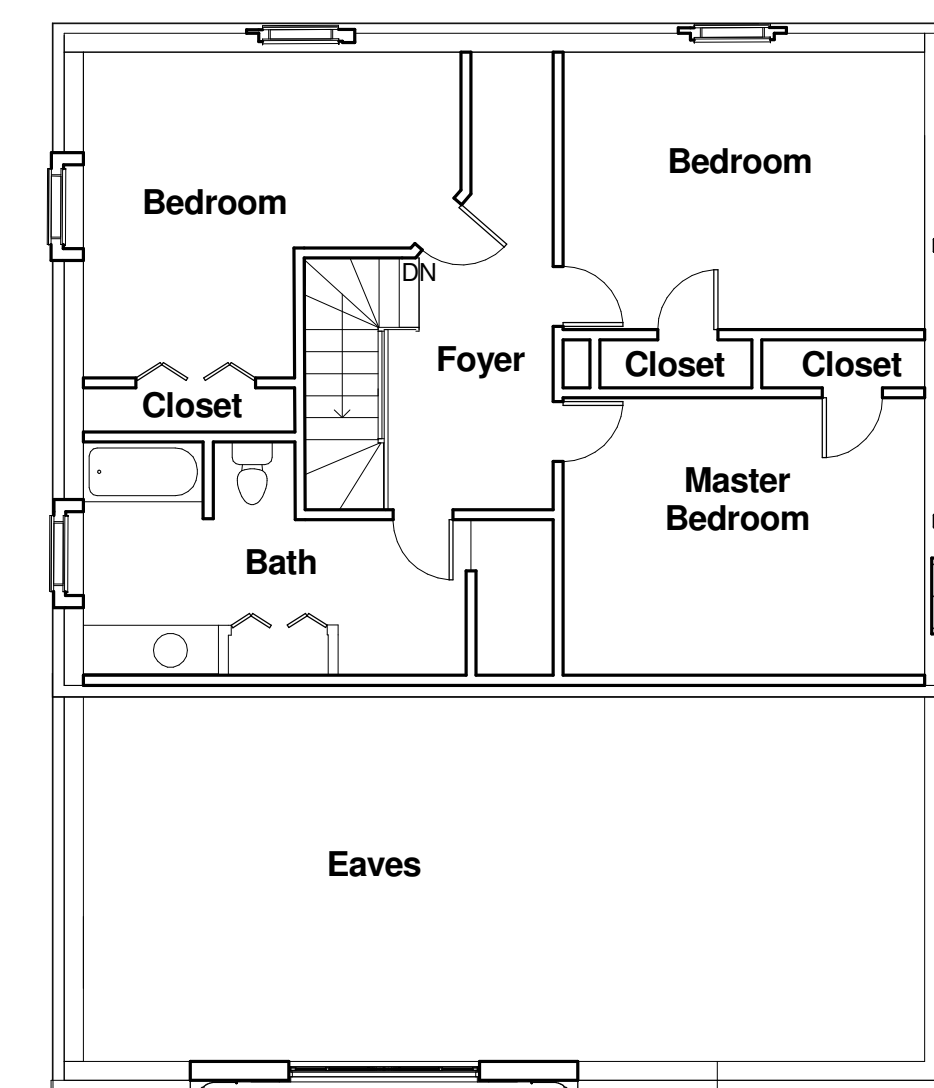
4 Condominium Homes @							
9 Ripley Street, Newton, Massachusetts 1-14-13							
Description	Unit Number	Mass Below 1 st Floor	1 st Floor	2 nd Floor	3 rd Floor	Total Living Space	Number of Bedrooms
Existing House	1	714	1613	816	0	3,143	3
New House (attached to existing above)	2	207	745	695	0	1,647	3
New House (Rear Unit of front building)	3	71	561	592	0	1,224	2
New House (Front Unit of front building)	4	81	921	942	562	2,506	3
		Mass Below 1 st Floor	1 st Floor	2 nd Floor	3 rd Floor	Living Space	
TOTALS		1,073	3,840	3,045	562	8,520	
Total Lot Area			19,367				
F.A.R.			0.44				



Ⓡ Basement Level
1/8" = 1'-0"



Ⓡ First Floor Plan
1/8" = 1'-0"



Ⓡ Second Floor Plan
1/8" = 1'-0"

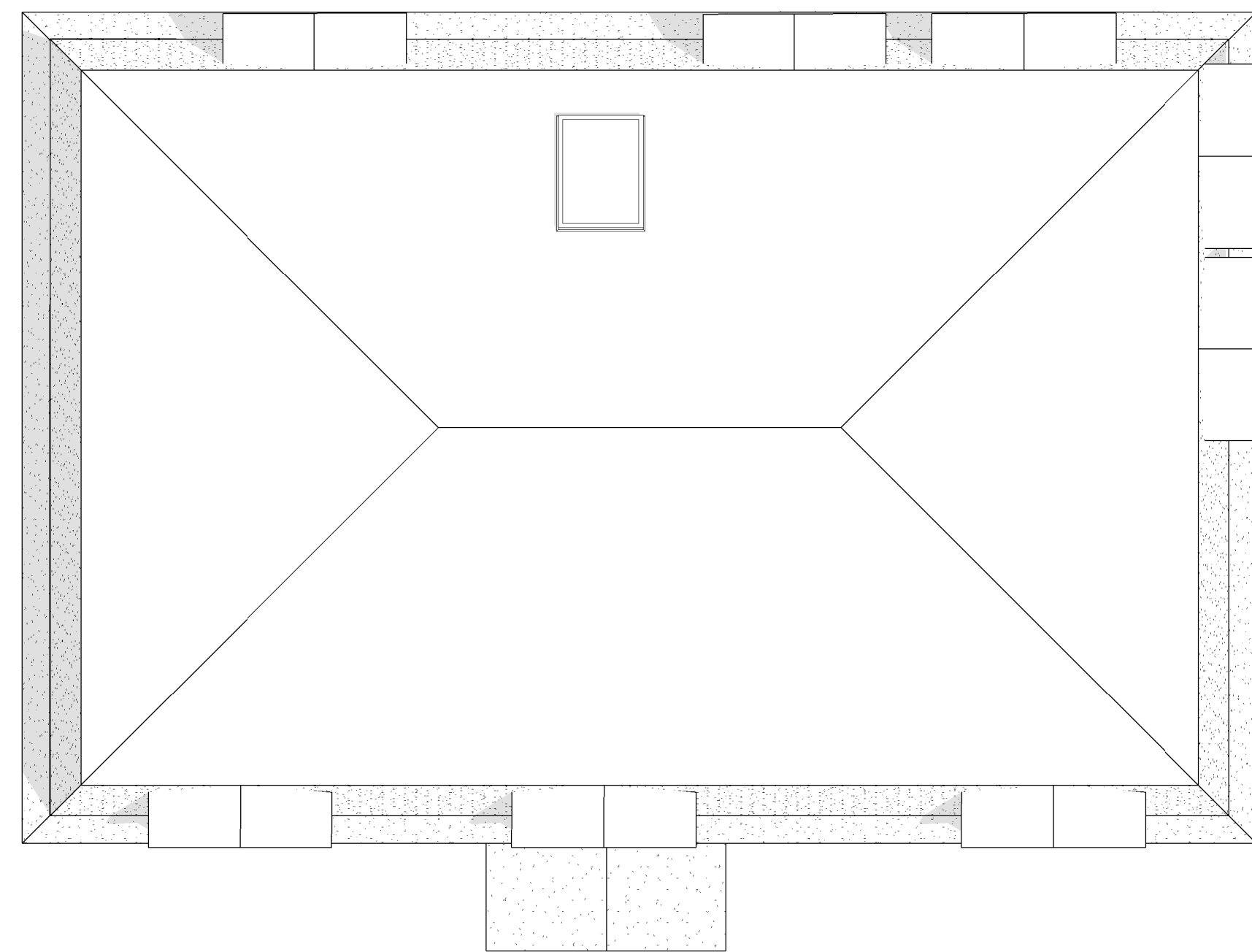
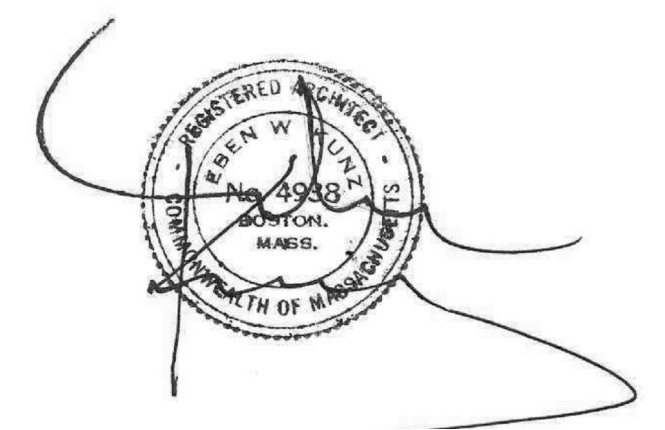
9 Ripley LLC
9 Ripley Street,
Newton, MA

Unit 1
Floor Plans

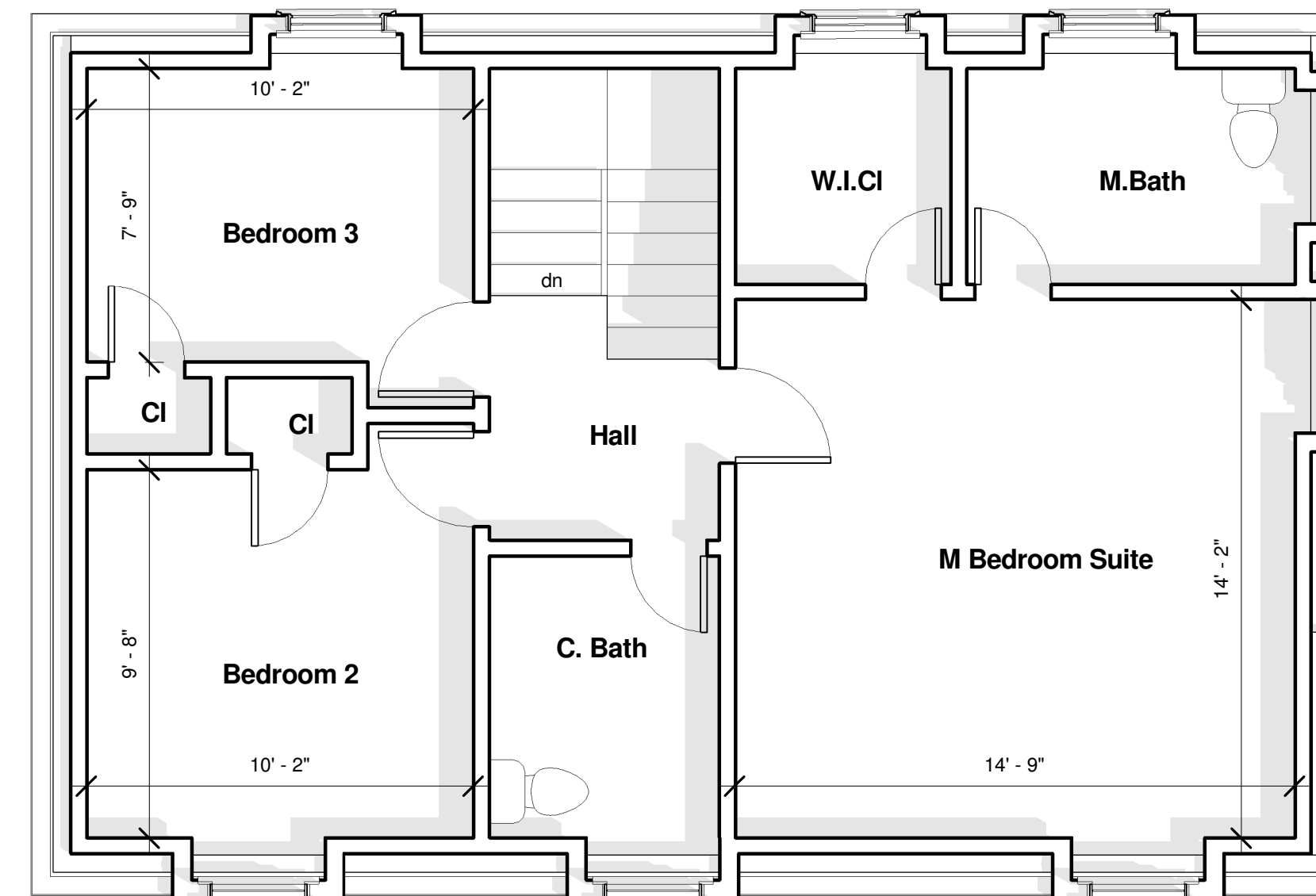
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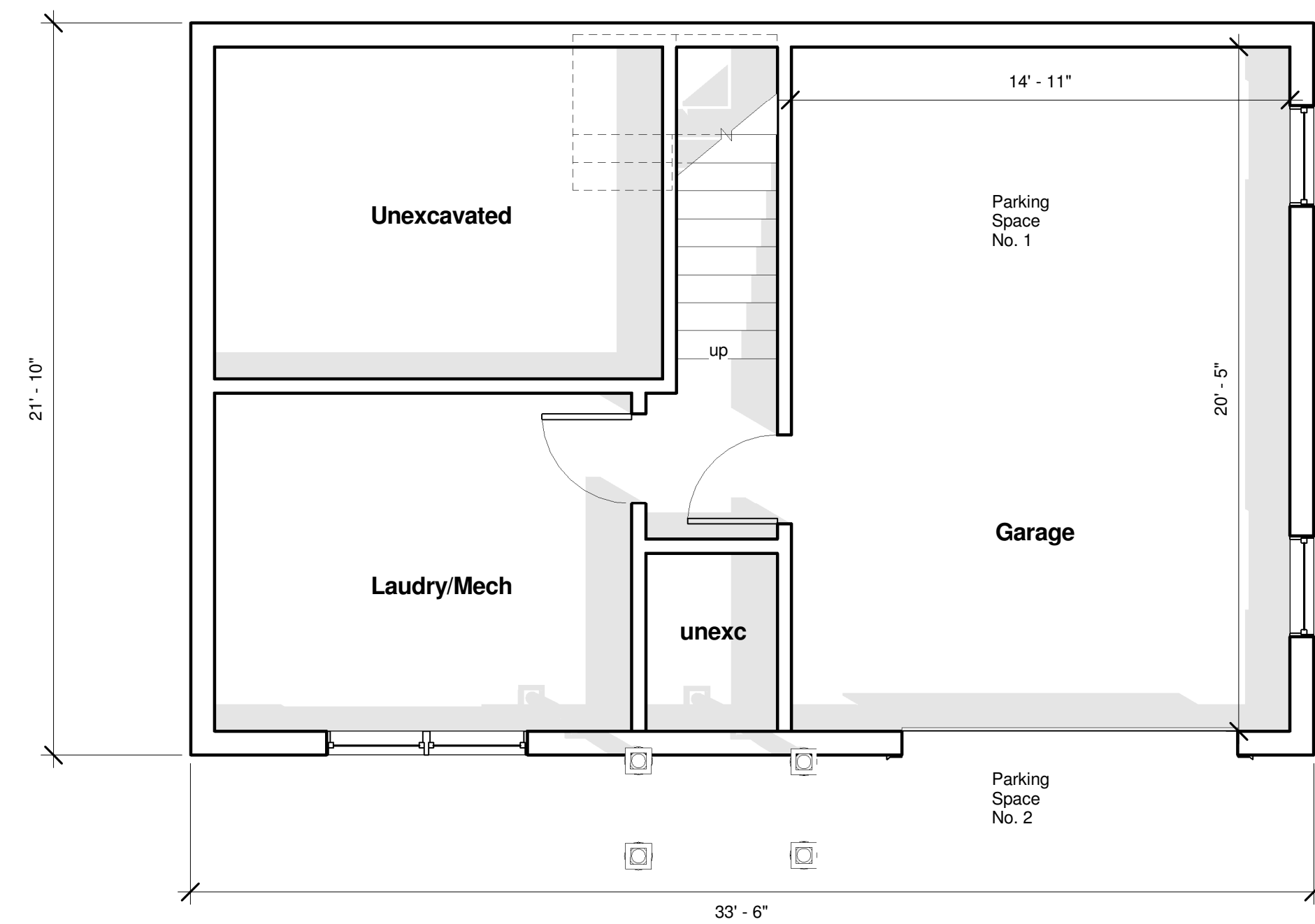
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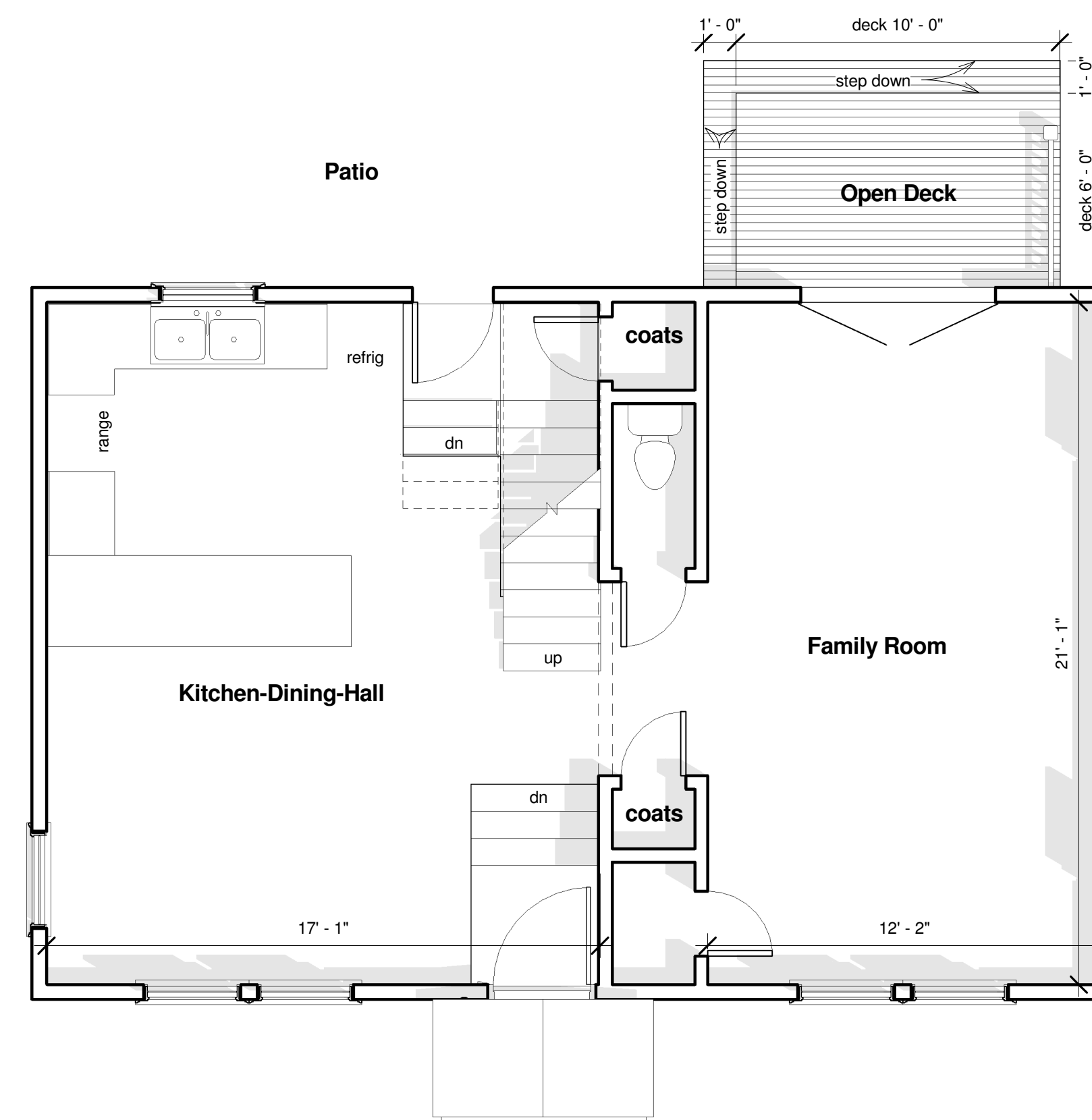
R Roof Unit 2
 1/4" = 1'-0"



S Second Floor Unit 2
 1/4" = 1'-0"



B Basement Unit 2
 1/4" = 1'-0"



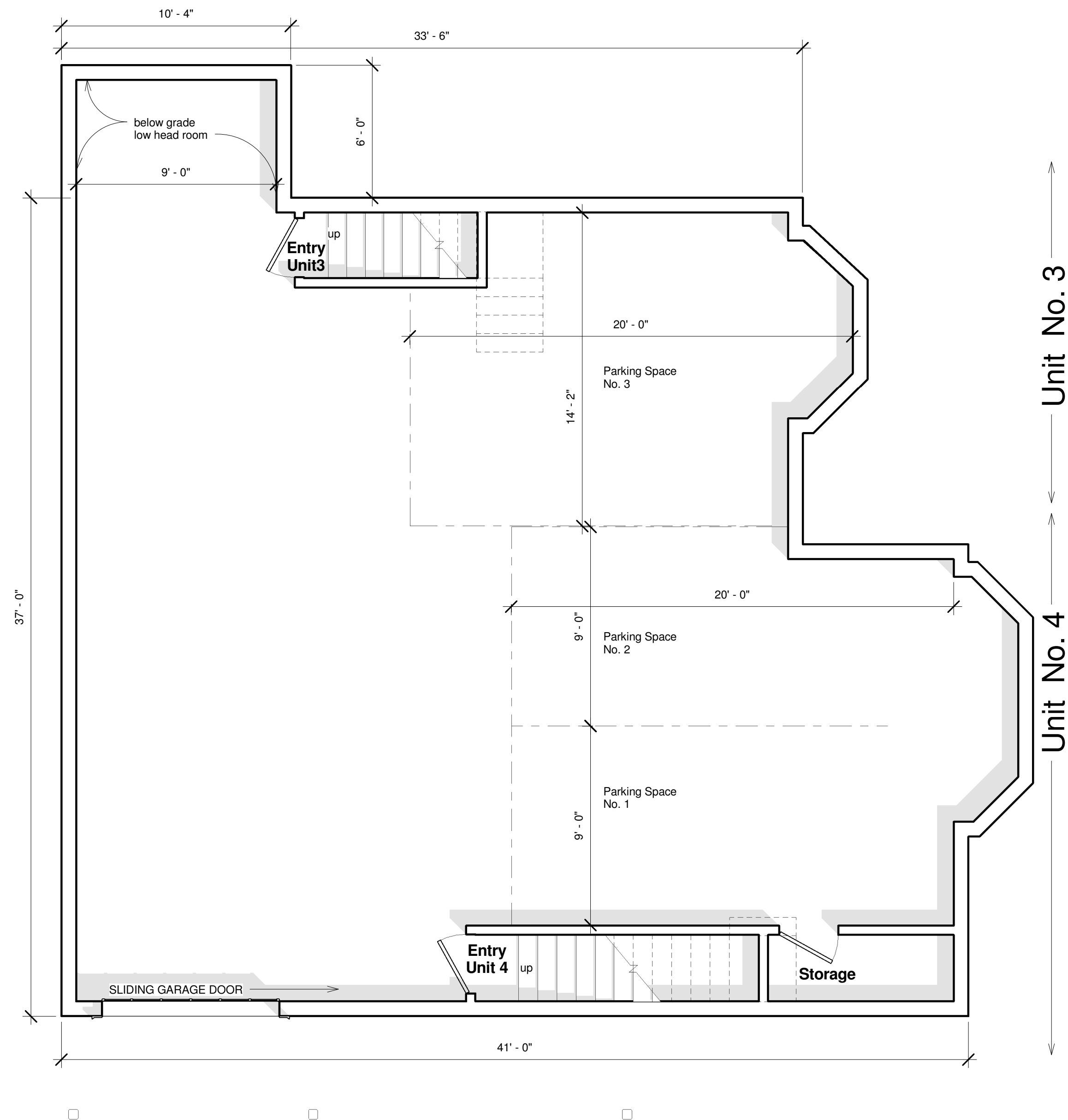
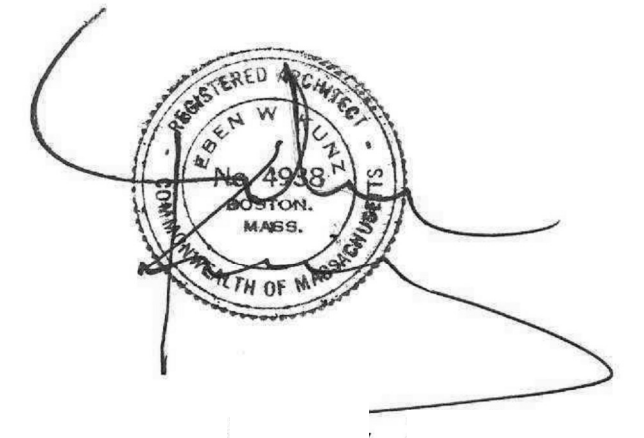
F First Floor Unit 2
 1/4" = 1'-0"

9 Ripley LLC
 9 Ripley Street
 Newton, MA
 Proposed Floor Plans
 Unit 2

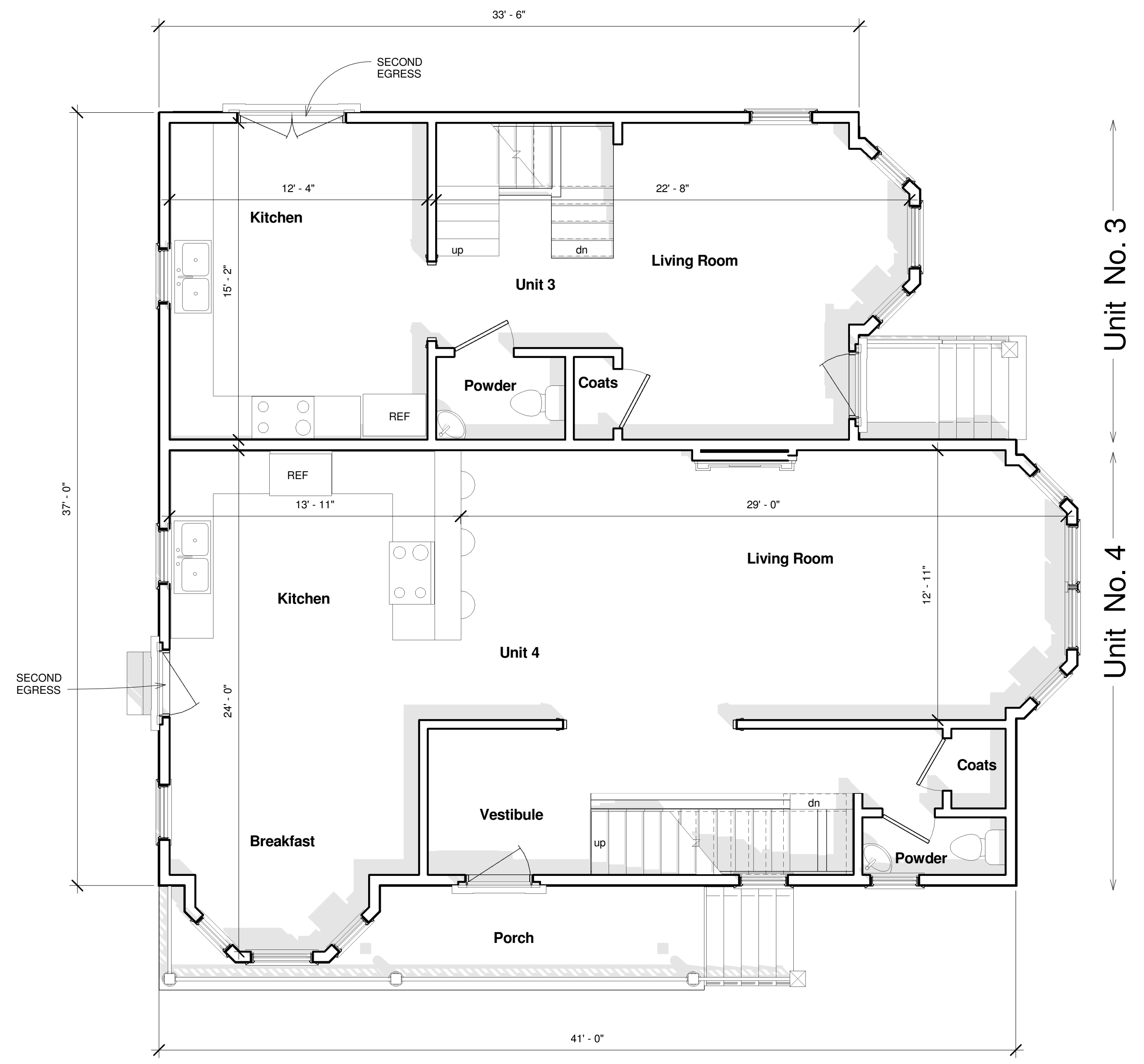
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A102

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② Basement
 1/4" = 1'-0"



① Level 1
 1/4" = 1'-0"

9 Ripley LLC
 9 Ripley Street
 Newton, MA

Proposed Floor Plans
 Basement & 1st Level
 Units 3 & 4

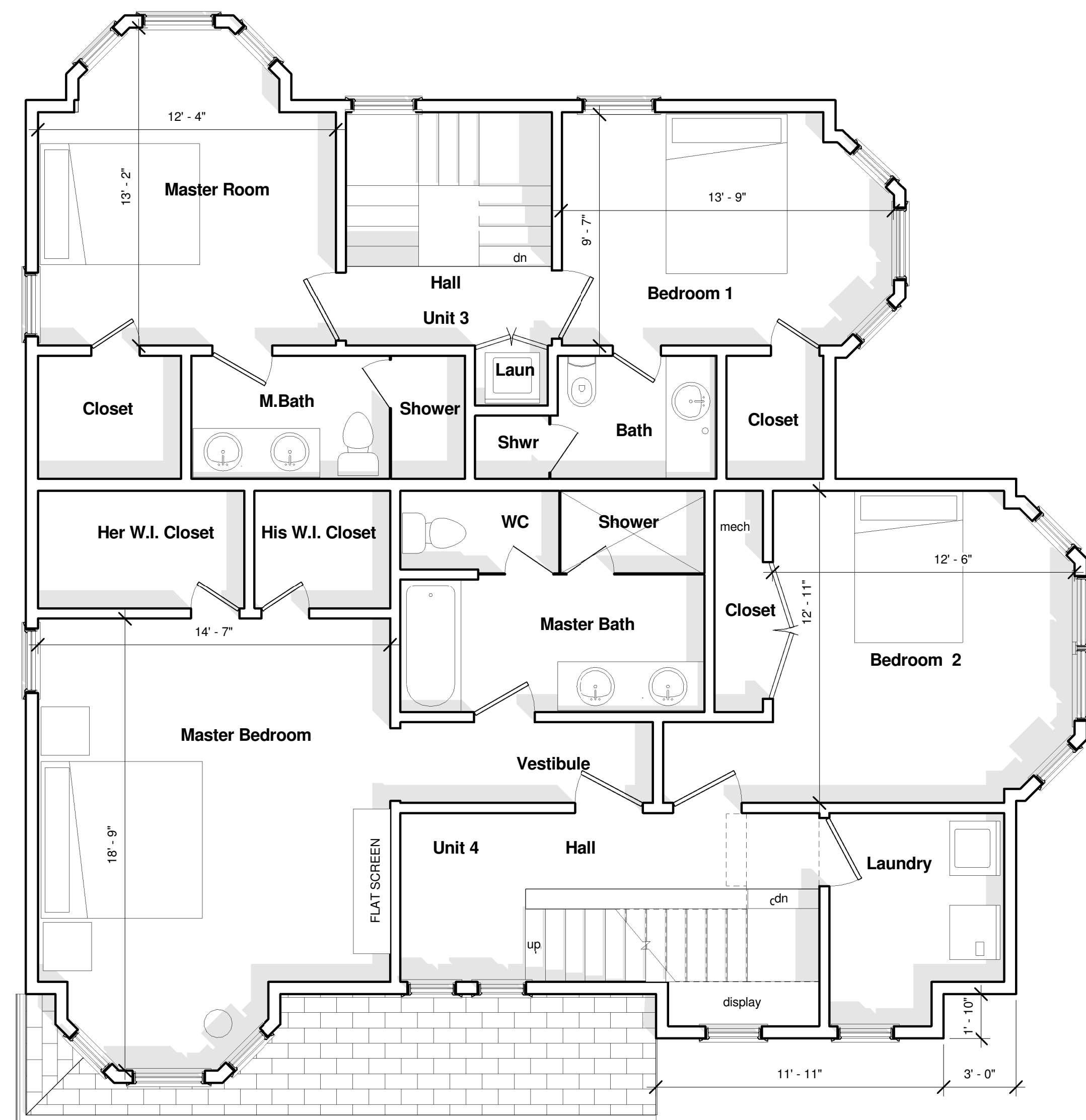
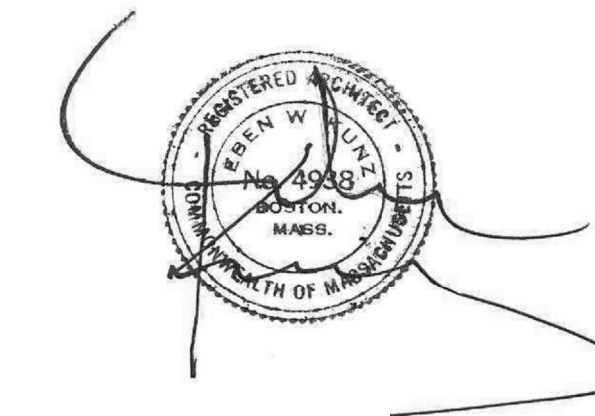
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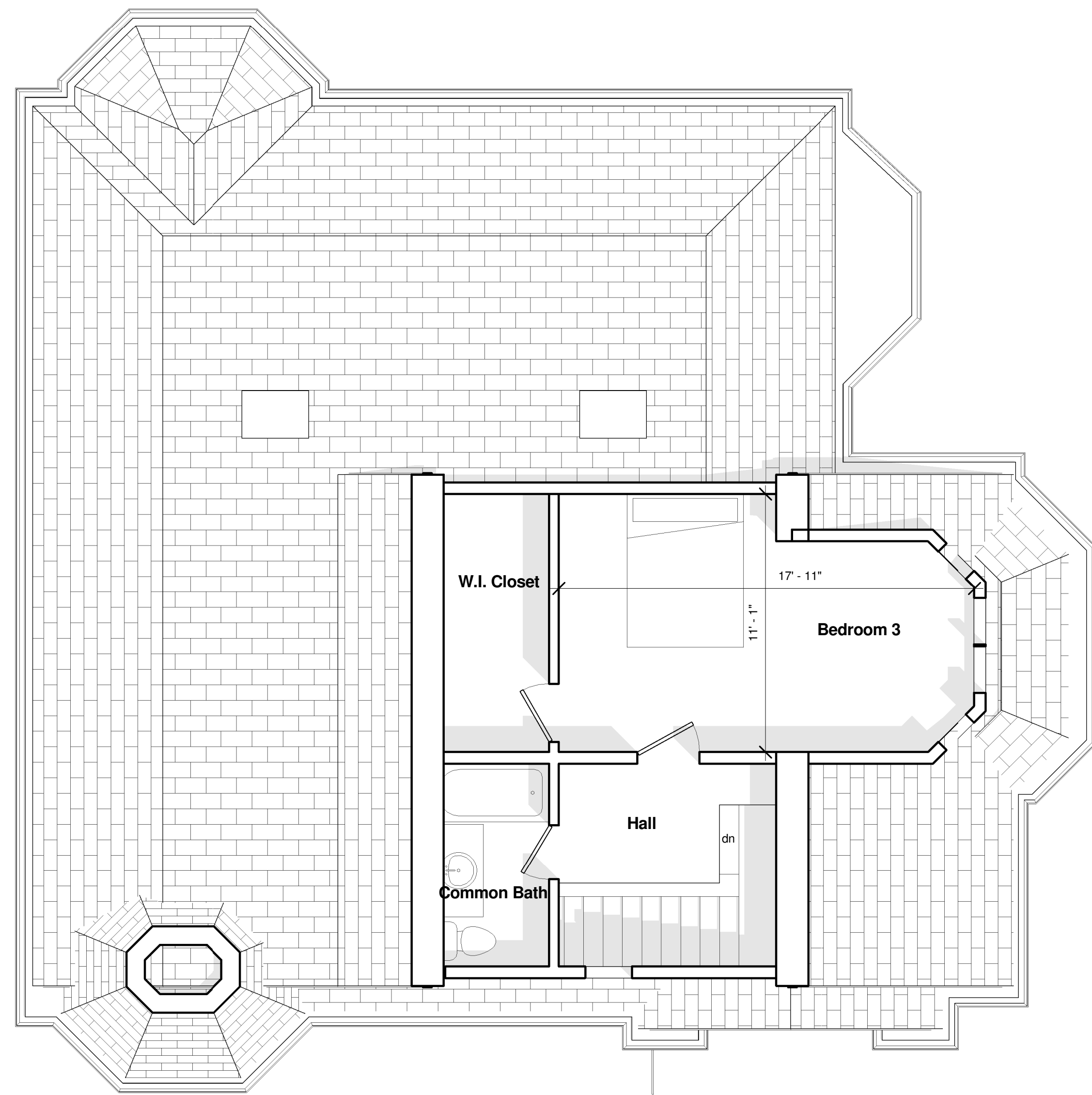
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Unit No. 3
Unit No. 4

① Level 2
1/4" = 1'-0"



Unit No. 3
Unit No. 4

② Level 3
1/4" = 1'-0"

9 Ripley LLC
9 Ripley Street
Newton, MA

Proposed Floor Plans
2nd & 3rd Level
Units 3 & 4

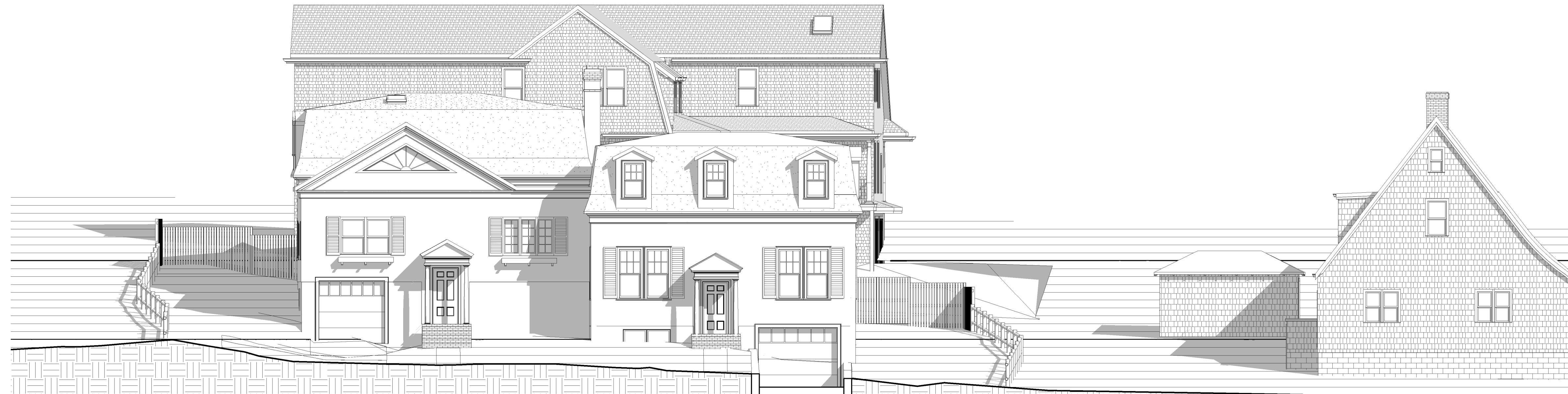
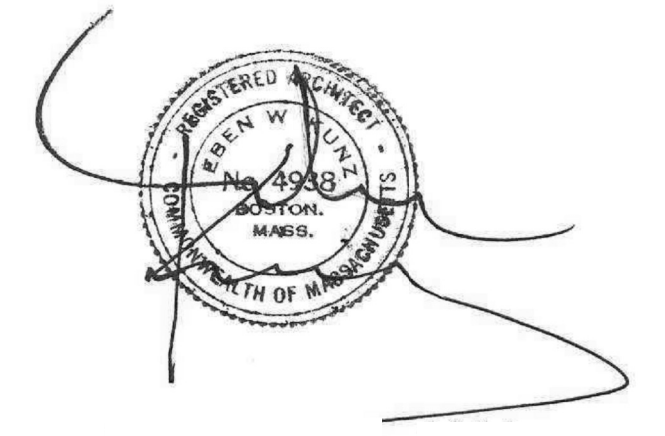
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A104

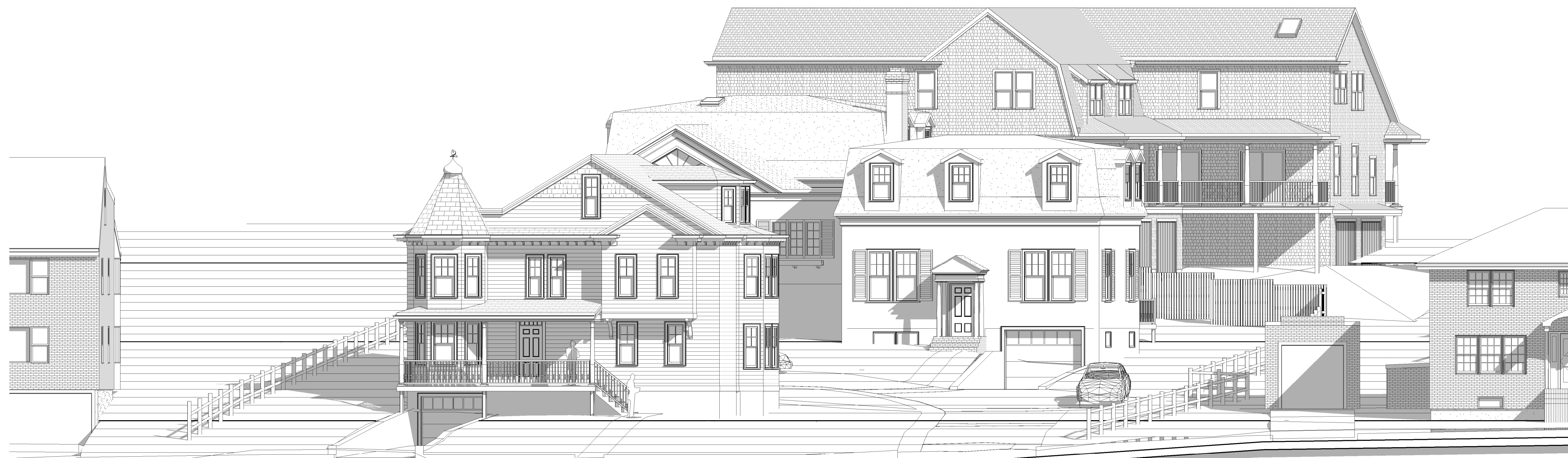
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NorthEast Elevation of Existing Unit 1 &
Proposed Unit 2



NorthEast Elevation of Proposed Unit 4 @
Ripley Street Facade

Scale: 1/8" = 12"

9 Ripley LLC
9 Ripley Street
Newton, MA
Building Elevations

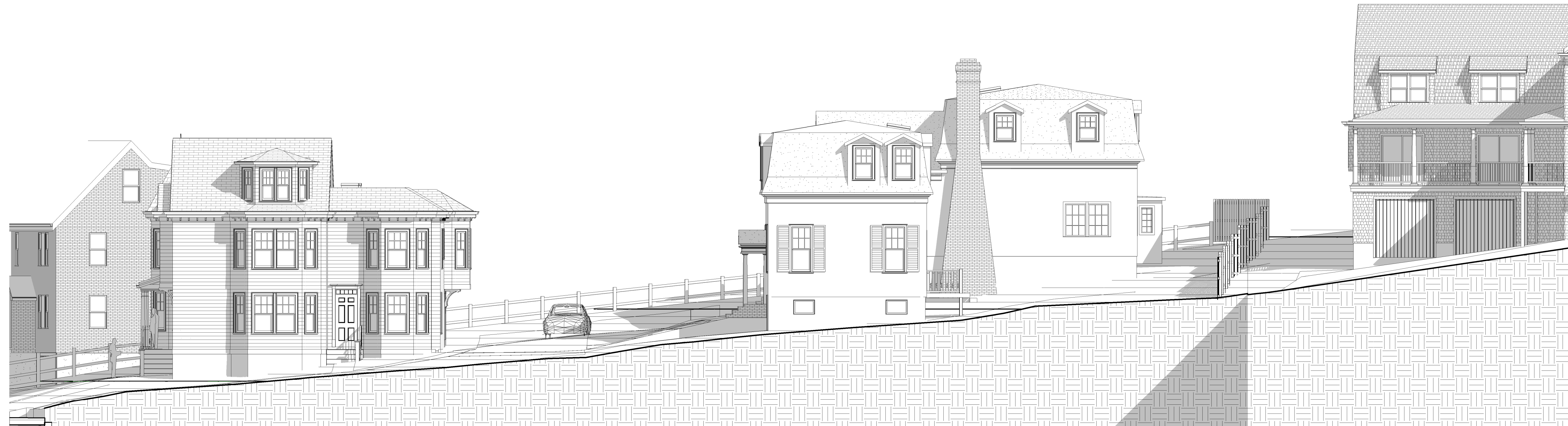
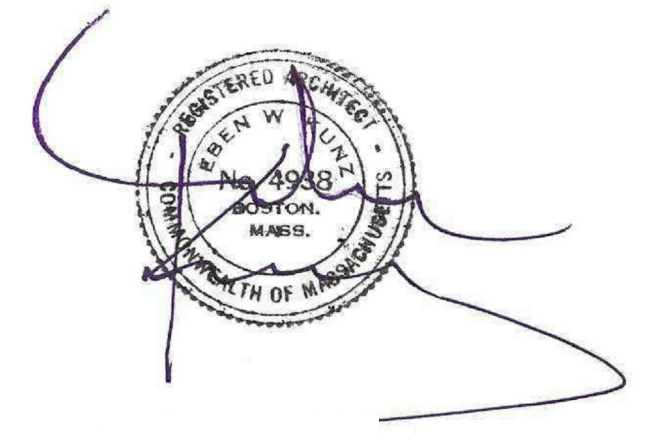
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A105

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NorthWest Elevation from Site Driveway



SouthEast Elevation from Adjacent Property

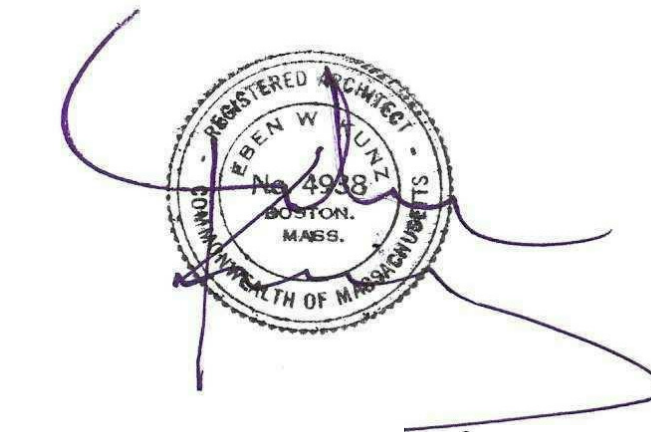
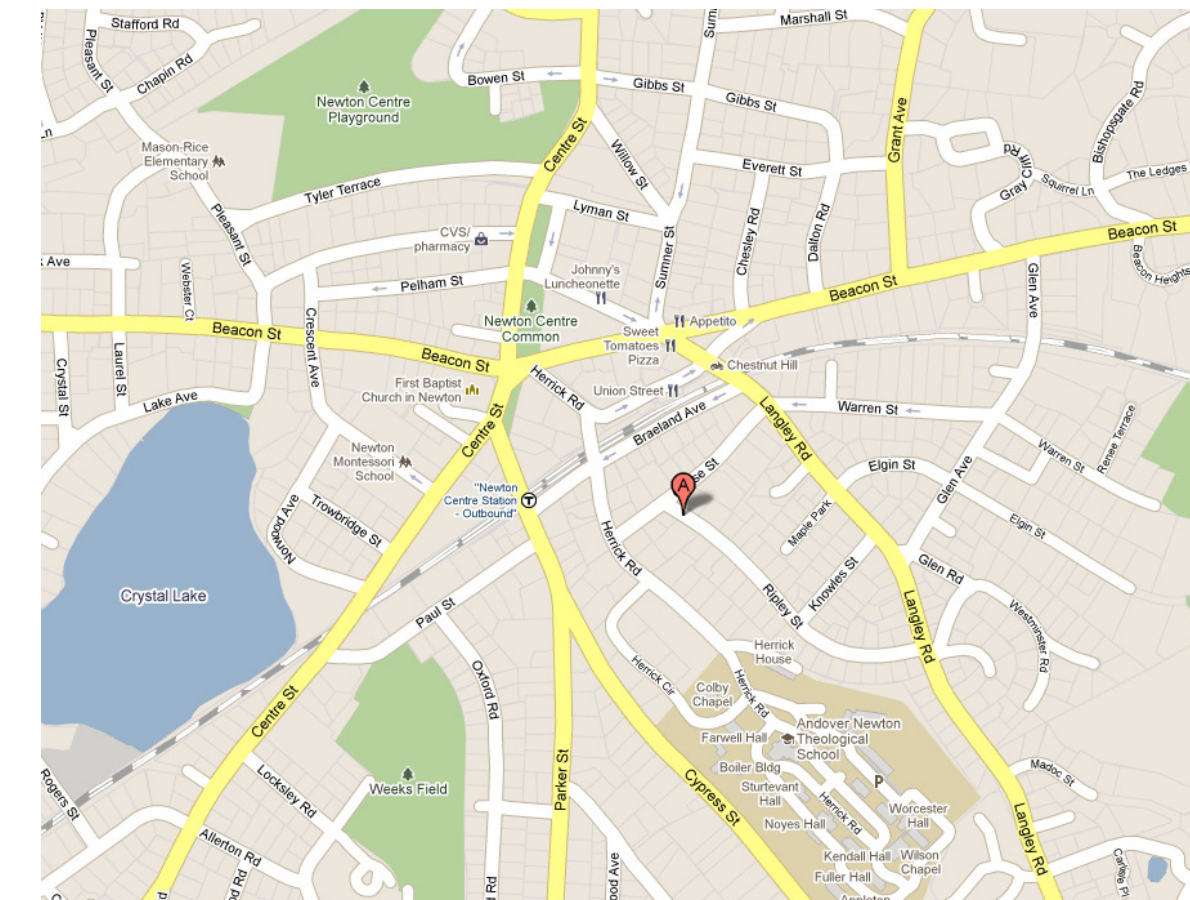
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9 Ripley LLC
9 Ripley Street
Newton, MA
Building Elevations

Date 2/13/2013 10:34:38 AM

A106

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Residential Project

9 Ripley Street

Newton, Massachusetts

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A106	Building Elevations

9 Ripley LLC Title Page	
Date	2/13/2013 11:29:33 AM
A001	



View from North West No. 5



View from South East No. 6



View high No. 1



View from North West No. 4

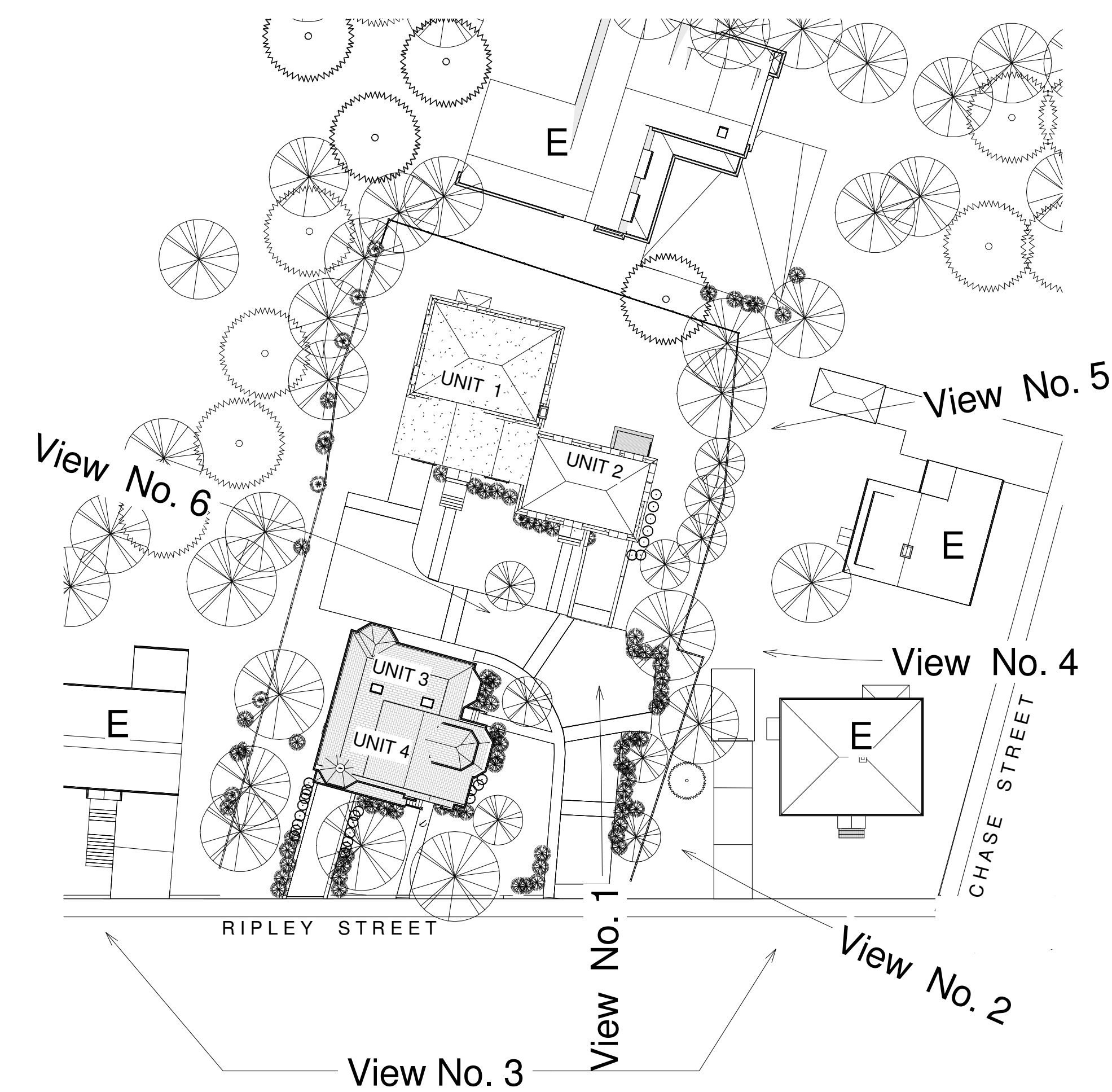
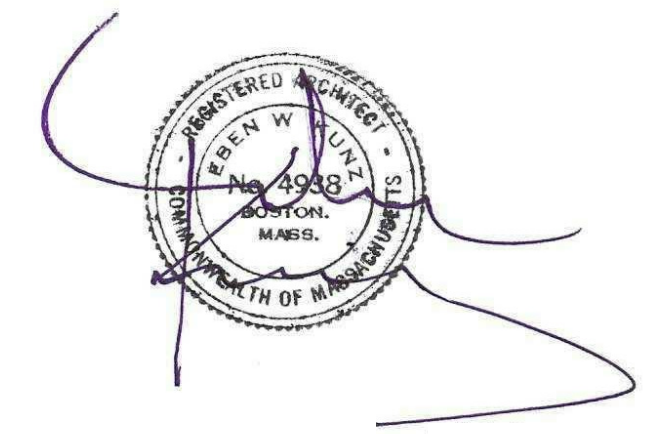


View from North No. 2



View from North East No. 3

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Key Plan 1" = 30'
 1 - 4 Project Units
 E Abutting Buildings

9 Ripley LLC
 9 Ripley Street
 Newton, MA

KEY PLAN
 Rendered Views

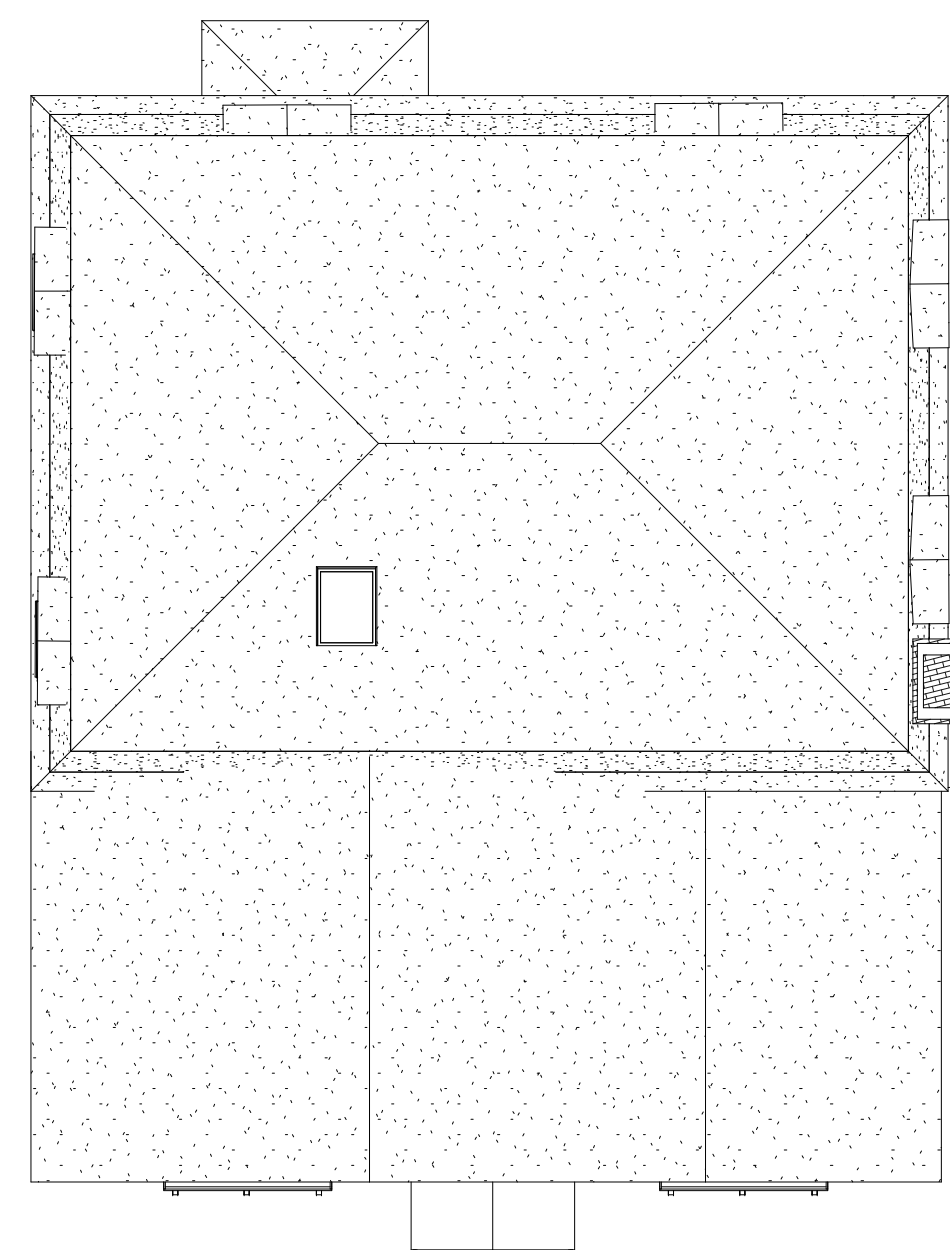
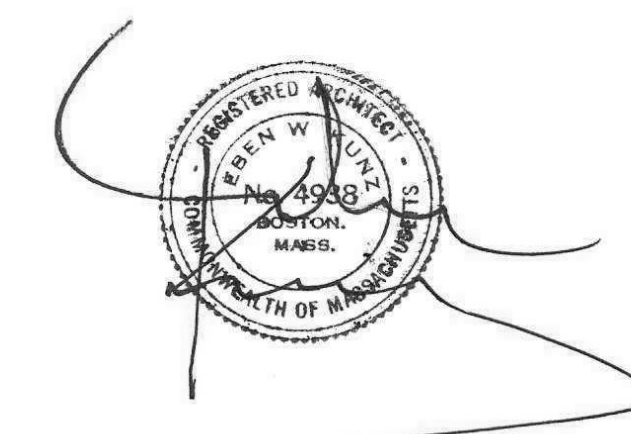
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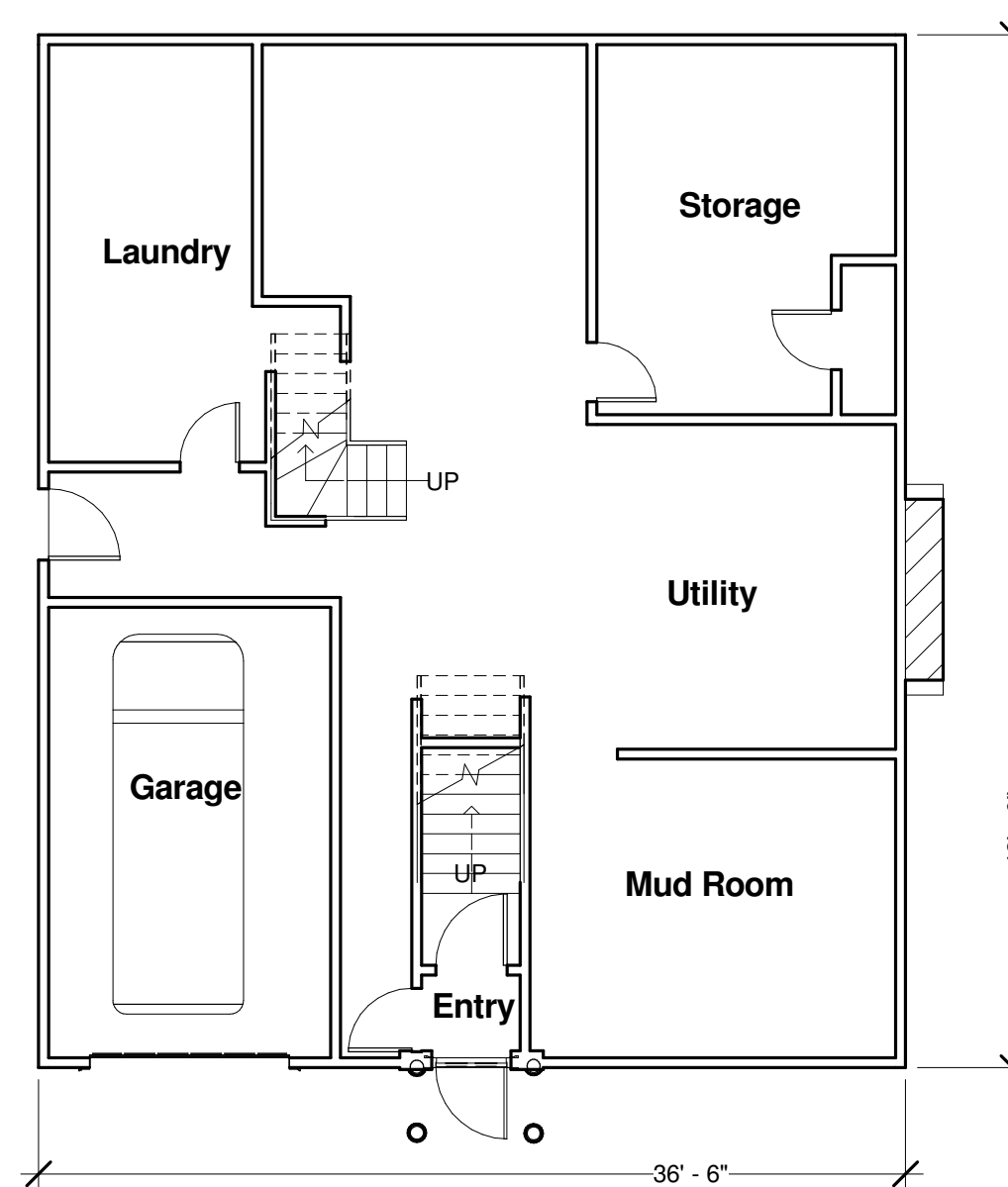
38 GREENWICH PARK
BOSTON, MASSACHUSETTS 02118

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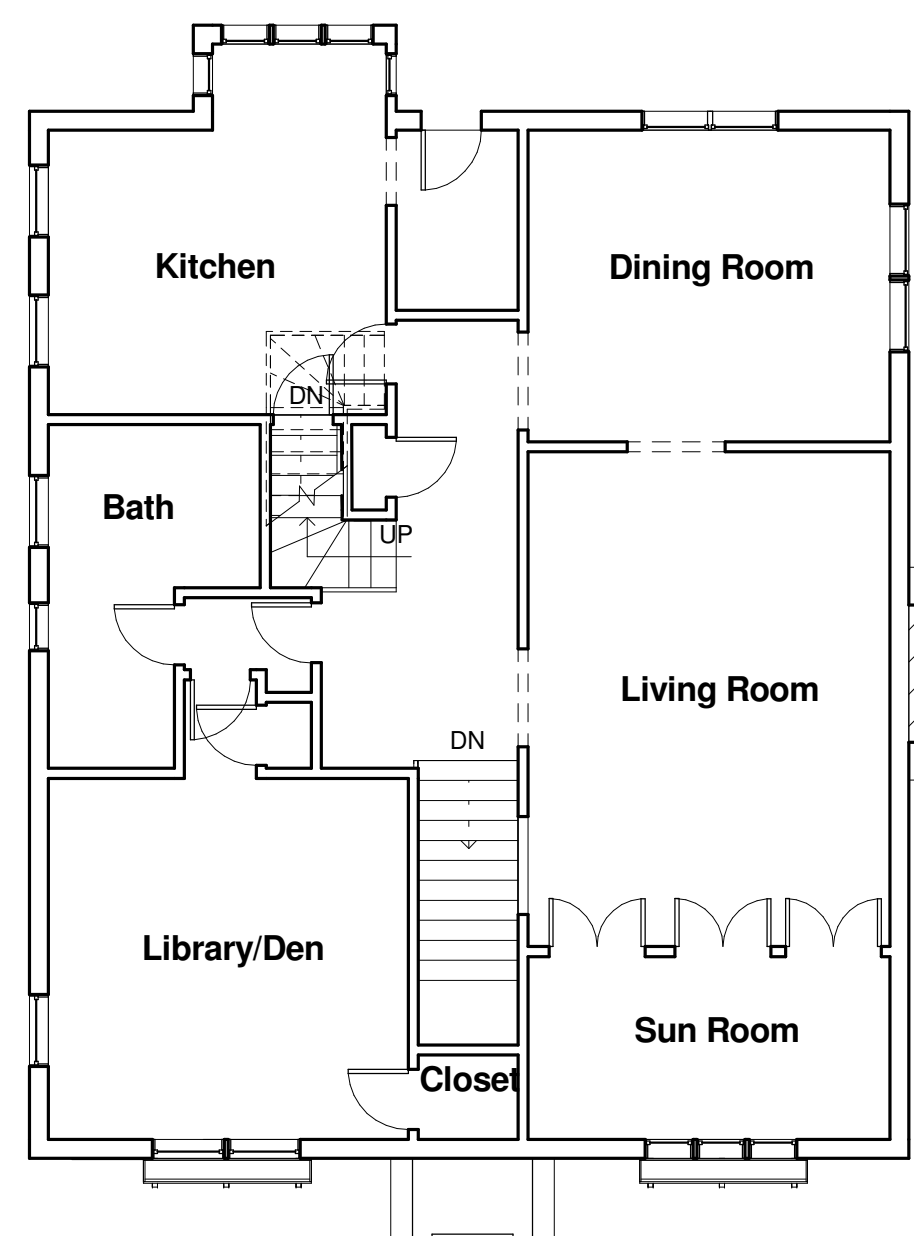


Ⓡ Roof Plan
1/8" = 1'-0"

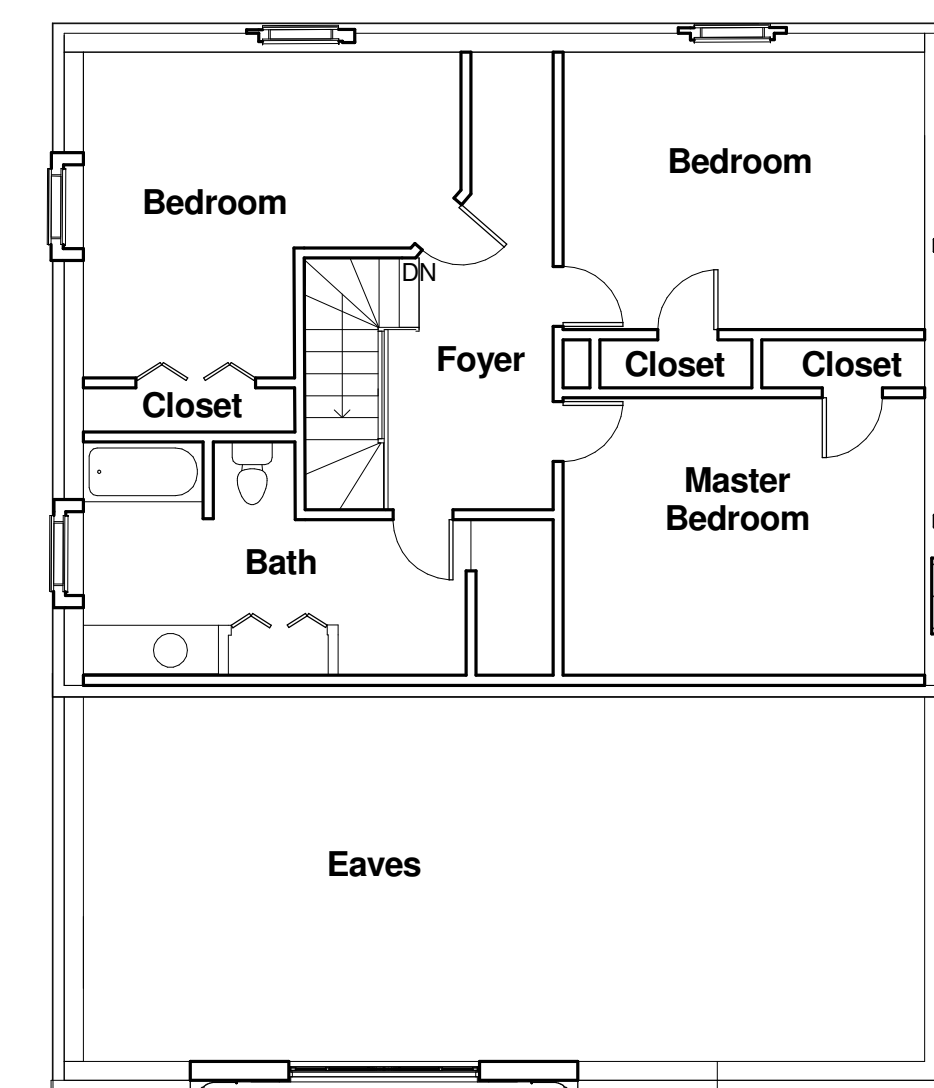
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9 Ripley Street, Newton, Massachusetts 1-14-13							
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		Mass Below 1 st Floor	1 st Floor	2 nd Floor	3 rd Floor	Living Space	
TOTALS		1,073	3,840	3,045	562	8,520	
Total Lot Area			19,367				
F.A.R.			0.44				



Ⓡ Basement Level
1/8" = 1'-0"



Ⓡ First Floor Plan
1/8" = 1'-0"



Ⓡ Second Floor Plan
1/8" = 1'-0"

9 Ripley LLC
9 Ripley Street,
Newton, MA

Unit 1
Floor Plans

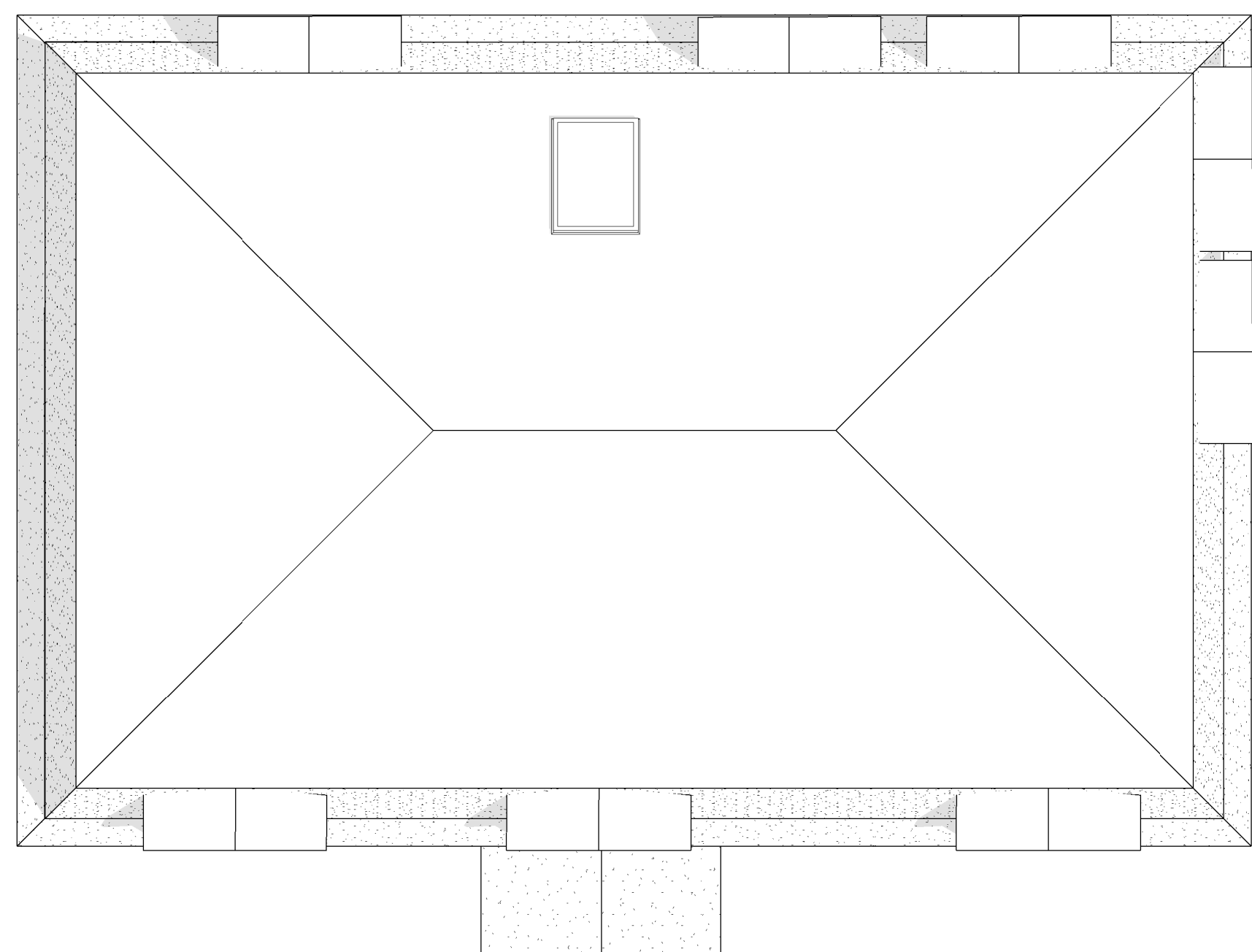
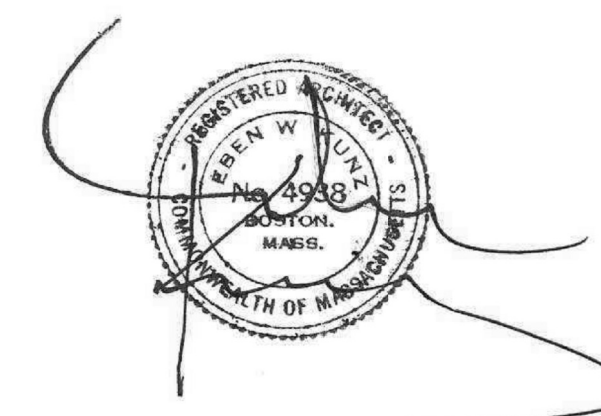
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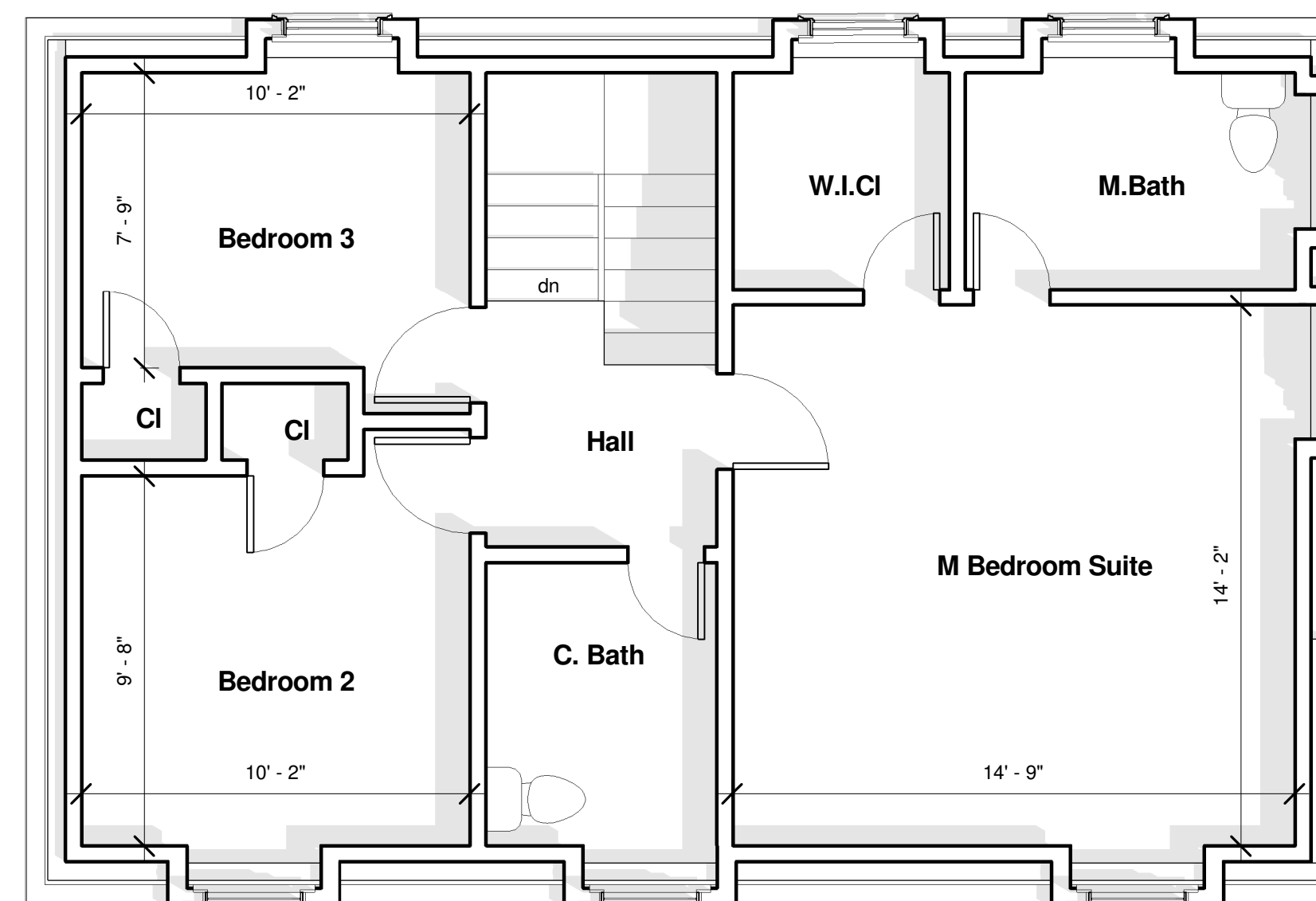
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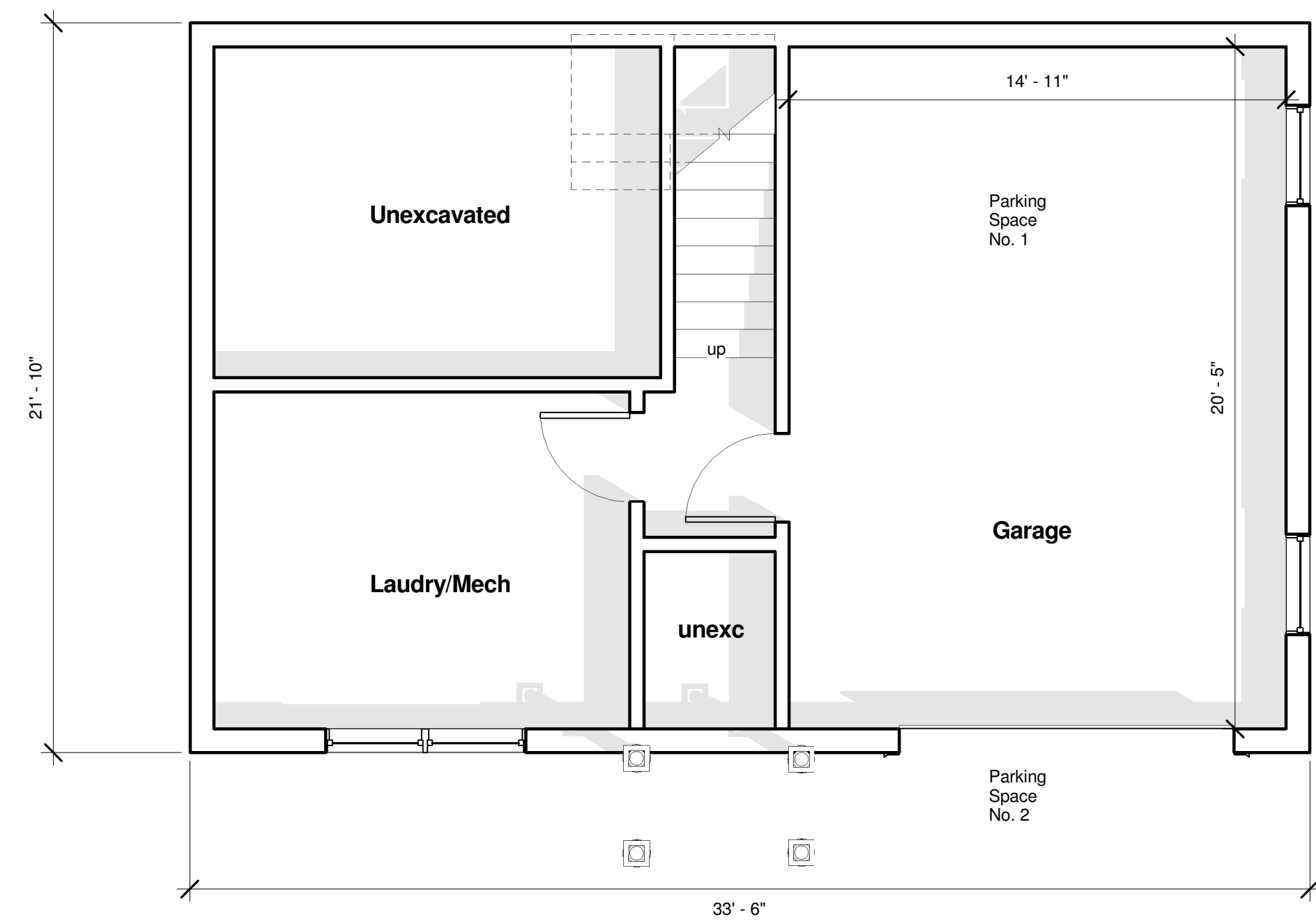
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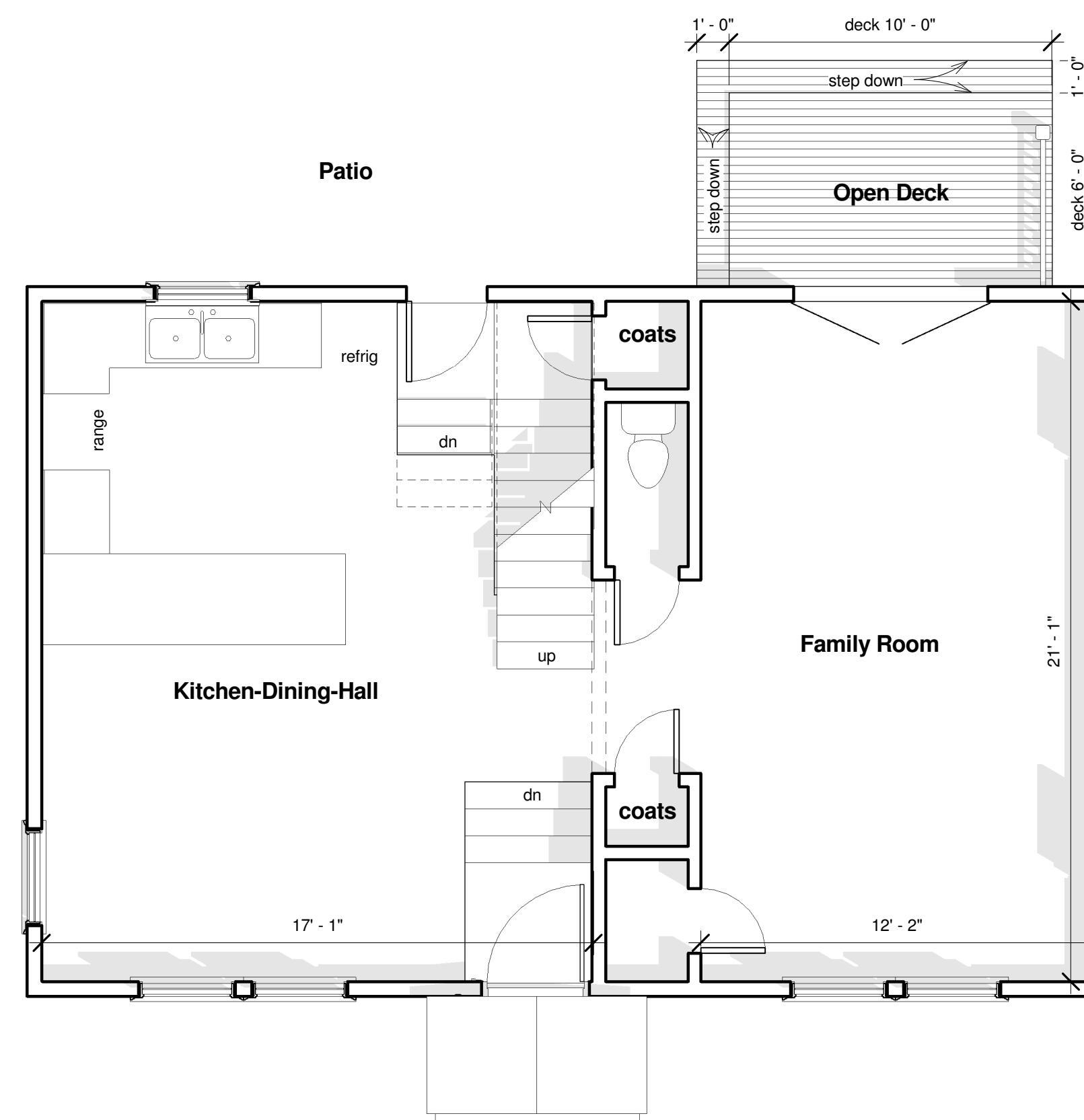
R Roof Unit 2
1/4" = 1'-0"



S Second Floor Unit 2
1/4" = 1'-0"



B Basement Unit 2
1/4" = 1'-0"



F First Floor Unit 2
1/4" = 1'-0"

9 Ripley LLC
9 Ripley Street
Newton, MA

Proposed Floor Plans
Unit 2

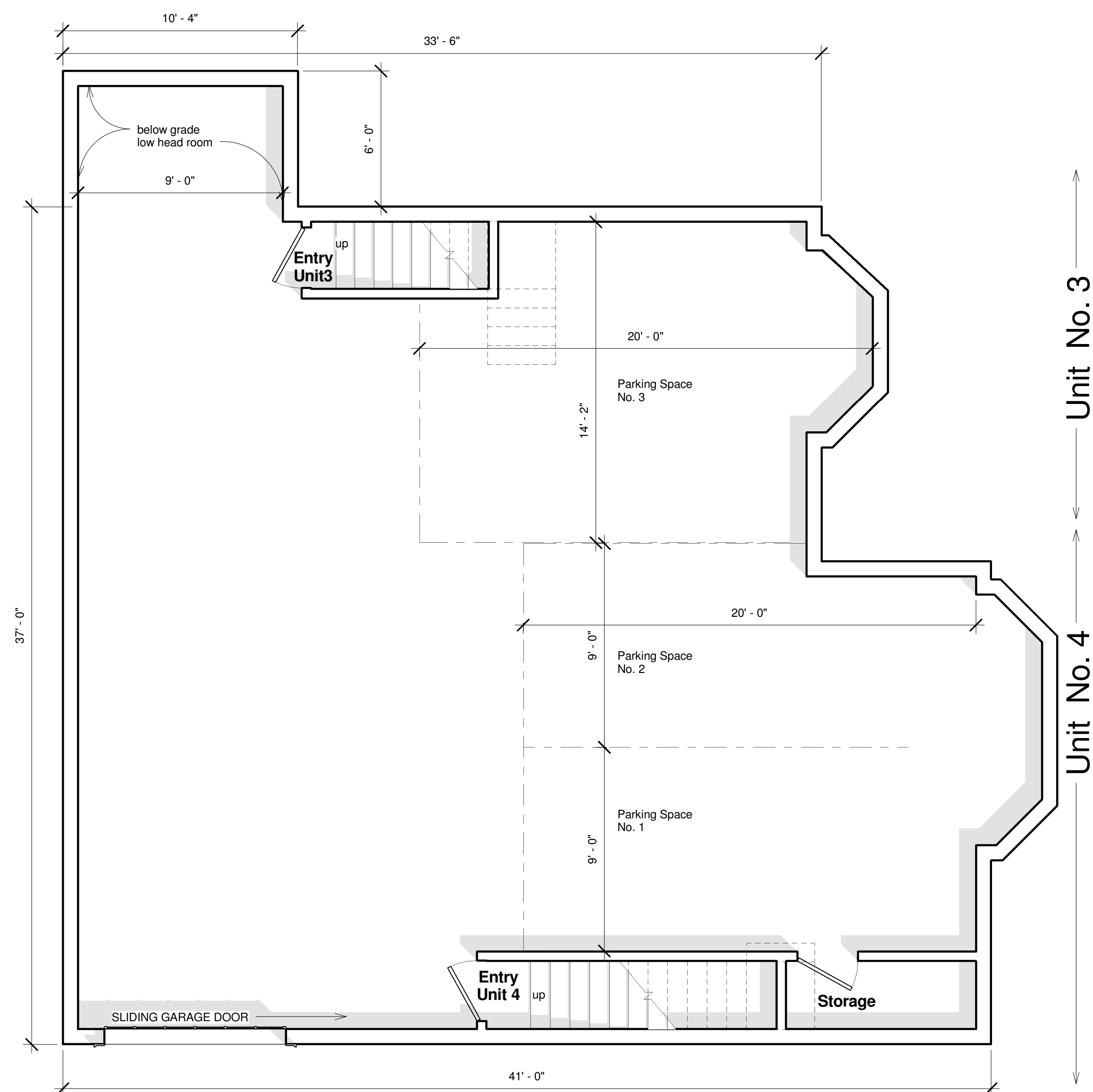
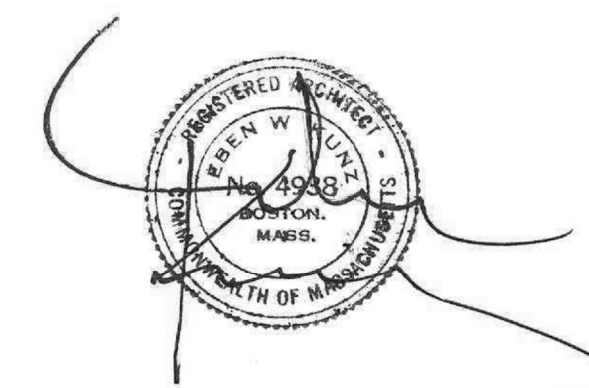
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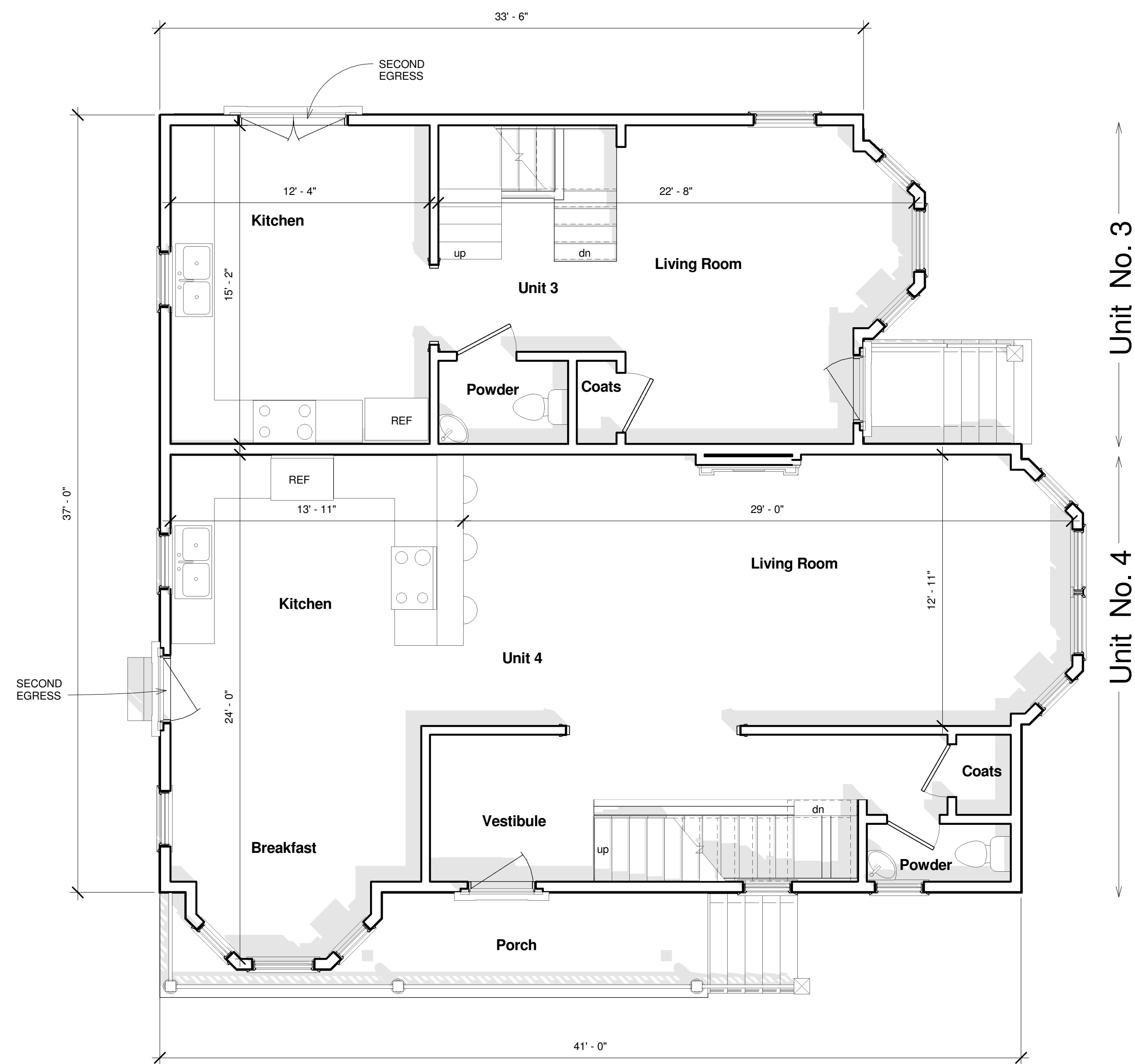
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BOSTON, MASSACHUSETTS 02118

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② Basement
1/4" = 1'-0"



① Level 1
1/4" = 1'-0"

9 Ripley LLC
9 Ripley Street
Newton, MA

Proposed Floor Plans
Basement & 1st Level
Units 3 & 4

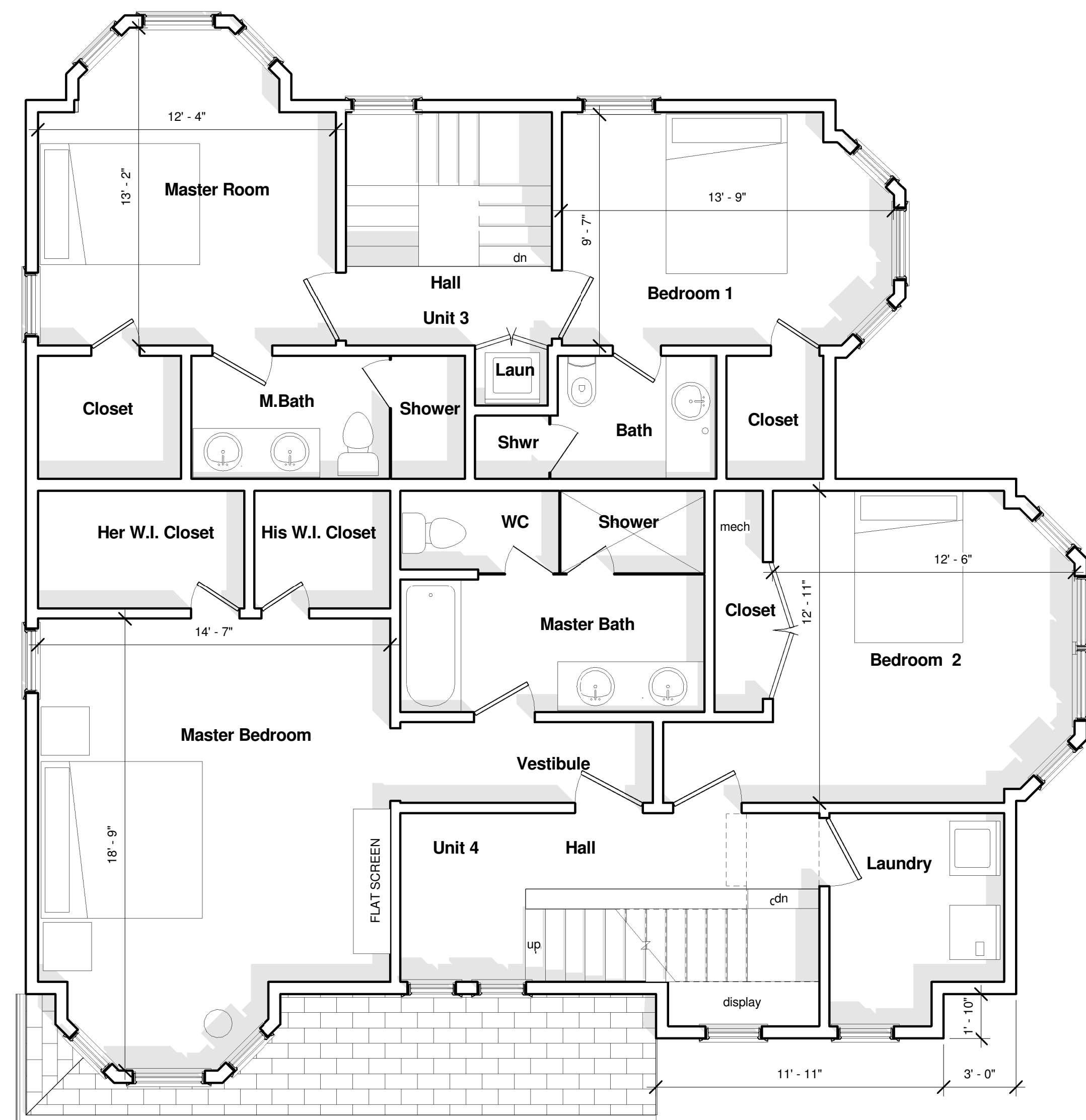
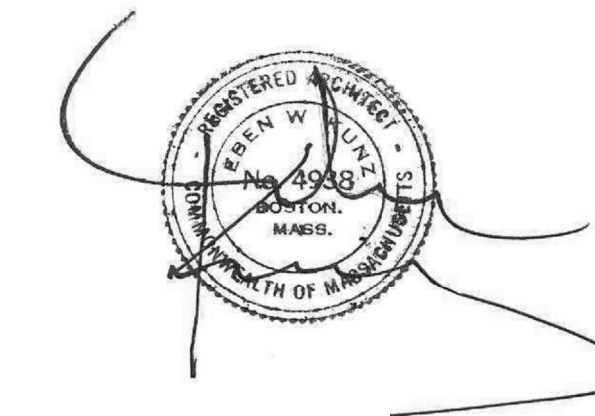
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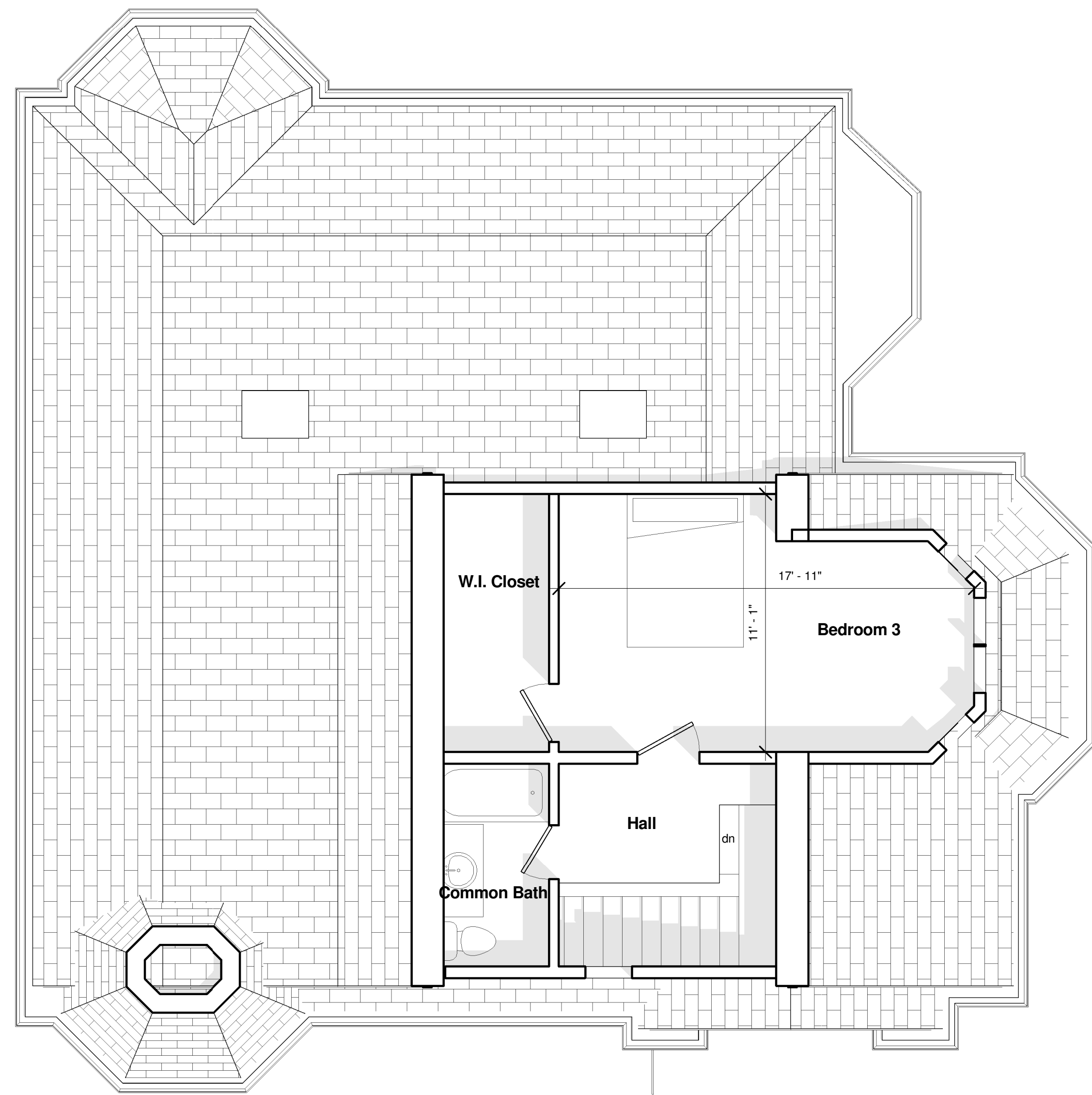
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Unit No. 3
Unit No. 4

① Level 2
1/4" = 1'-0"



Unit No. 3
Unit No. 4

② Level 3
1/4" = 1'-0"

9 Ripley LLC
9 Ripley Street
Newton, MA

Proposed Floor Plans
2nd & 3rd Level
Units 3 & 4

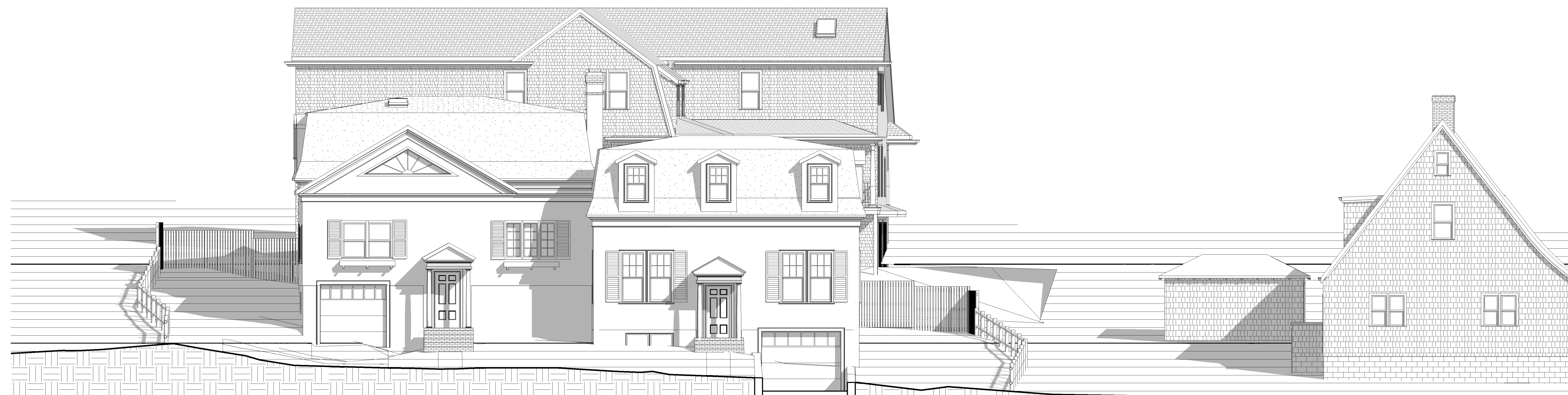
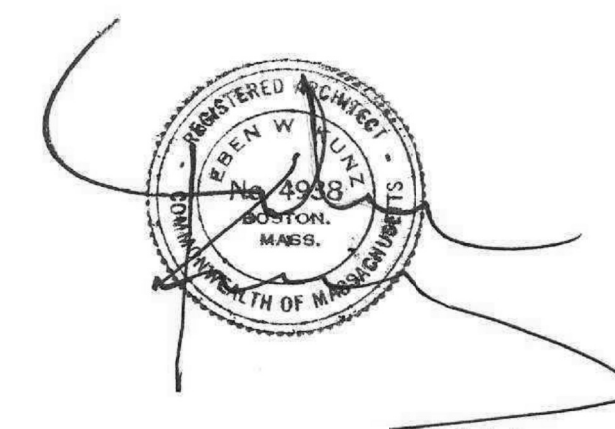
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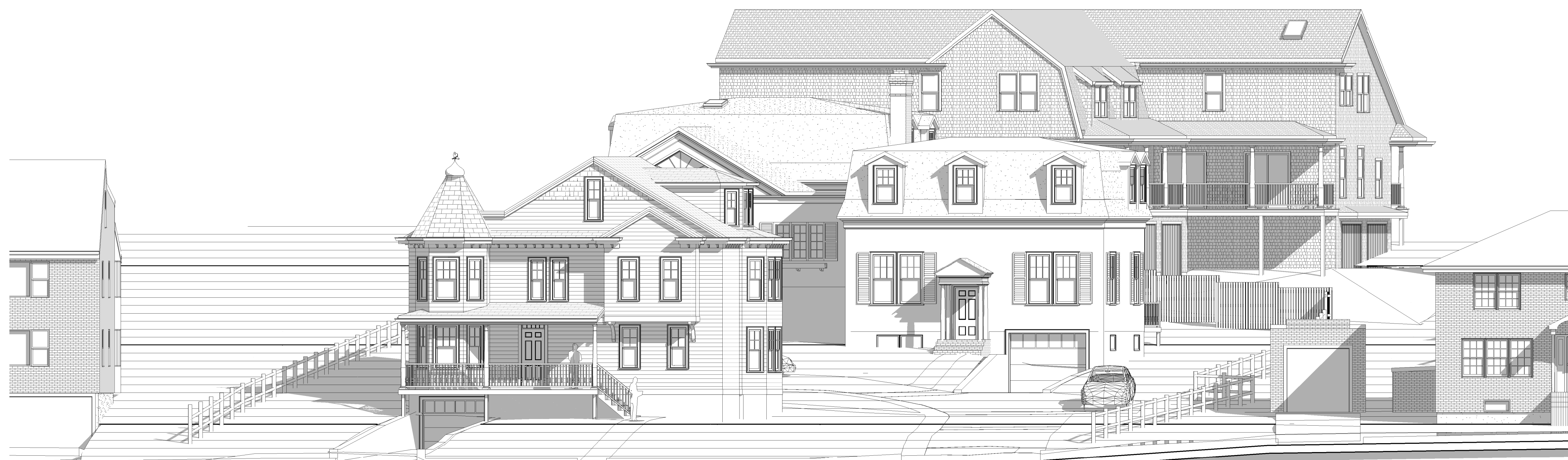
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NorthEast Elevation of Existing Unit 1 &
Proposed Unit 2



NorthEast Elevation of Proposed Unit 4 @
Ripley Street Facade

Scale: 1/8" = 12"

9 Ripley LLC
9 Ripley Street
Newton, MA
Building Elevations

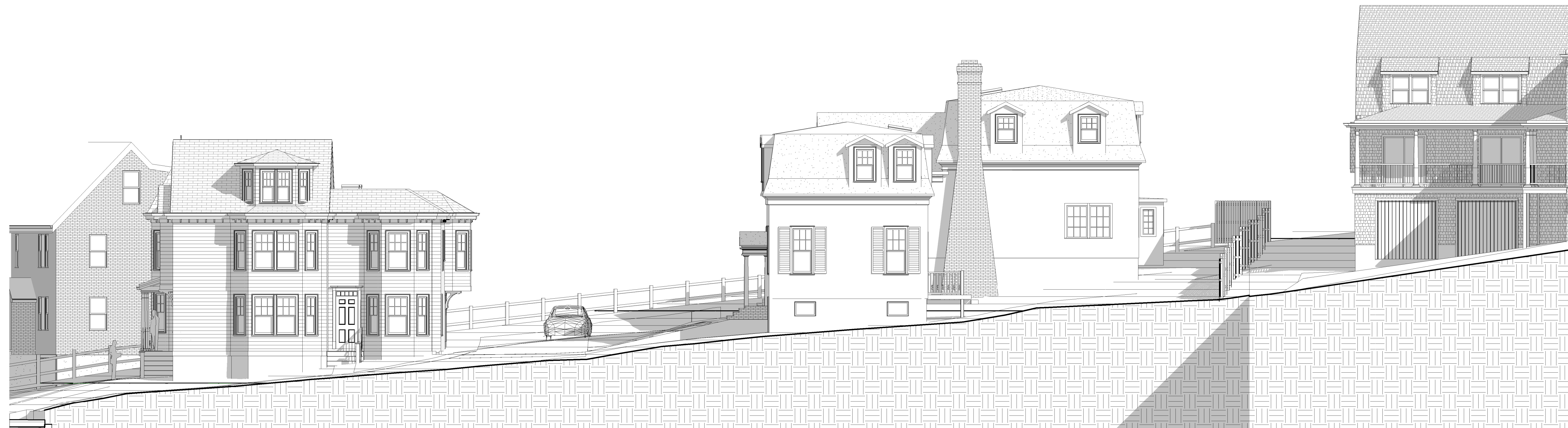
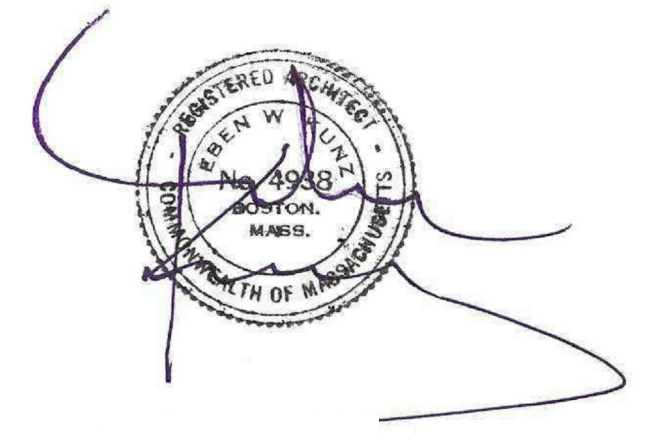
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NorthWest Elevation from Site Driveway



SouthEast Elevation from Adjacent Property

Scale: 1/8" = 12"

9 Ripley LLC
9 Ripley Street
Newton, MA
Building Elevations

Date 2/13/2013 10:34:38 AM

A106

KUNZ ASSOCIATES

38 Greenwich Park
Boston, MA 02118-3004
phone: 617 267 1482
e-mail: kunzarch@verizon.net

Eben Kunz, Registered Architect

February 13, 2013

Re: 9 Ripley St. , Newton, Massachusetts (Plans dated 10-30-2012)
Floor Area Ratio Calculations

Current scheme total area/unit	F.A.R.	0.47	Total area	9141
No. 1	area	2811	sq ft	
No. 2	area	2251	sq ft	
No. 3	area	1502	sq ft	
No. 4	area	2577	sq ft	

Proposal presented herein:

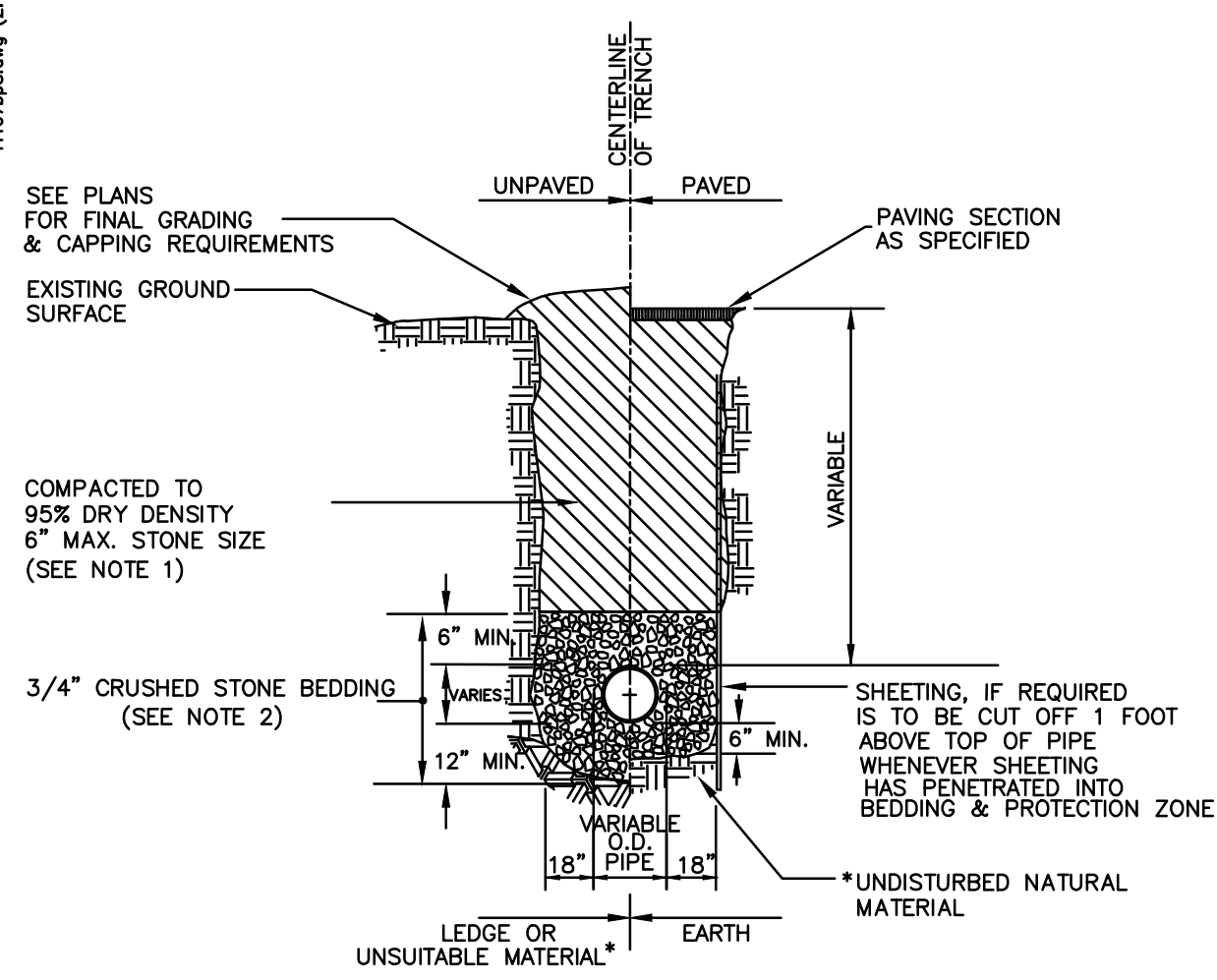
Project area/unit reduced to	F.A.R.	0.44	Total area	8520
No. 1	area	3,143	sq ft*	
No. 2	area	1,647	sq ft	
No. 3	area	1,224	sq ft	
No. 4	area	2,506	sq ft	

* area increased 332 sq ft from 10-30-12 by inclusion of existing basement area not previously calculated.

This reduction accomplished as follows:

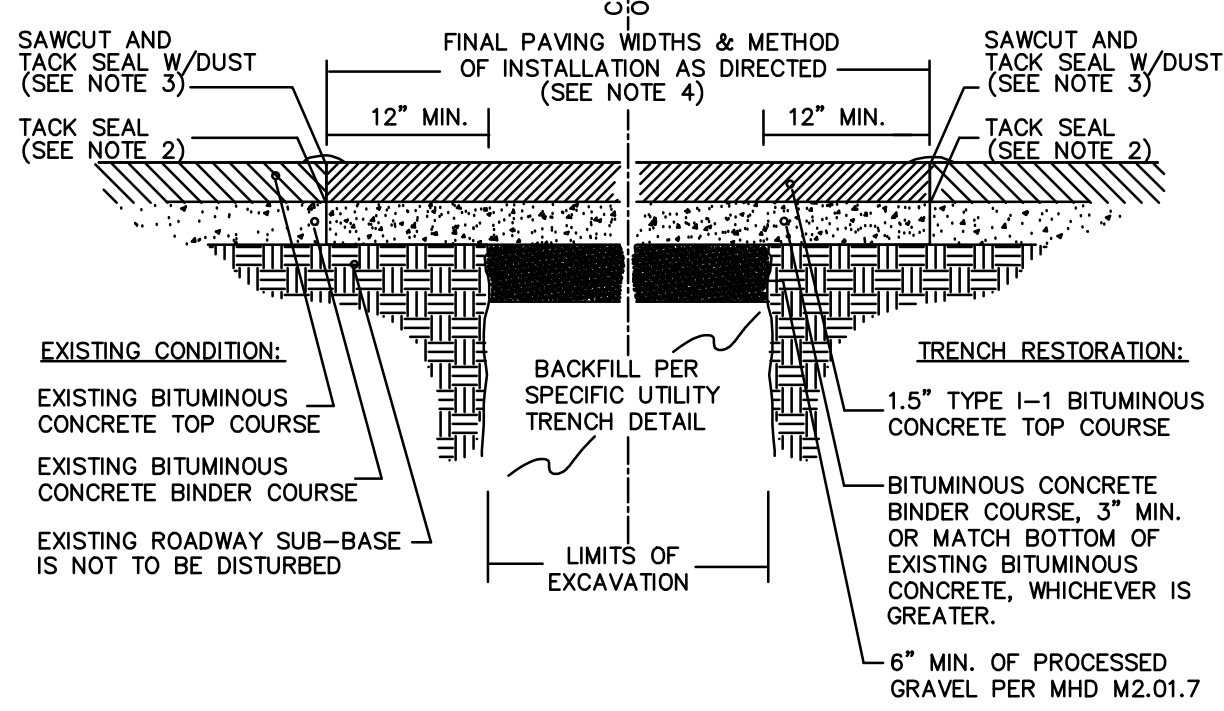
No. 2 Reduce footprint	604	sq ft
No. 3 Remove 3rd floor	278	sq ft
No. 4 Remove 4th bedroom/bath rear dormer	71	sq ft
Total reduction:	953	sq ft
	<u>-332</u>	<u>sq ft</u>
	621	sq ft

Eben Kunz



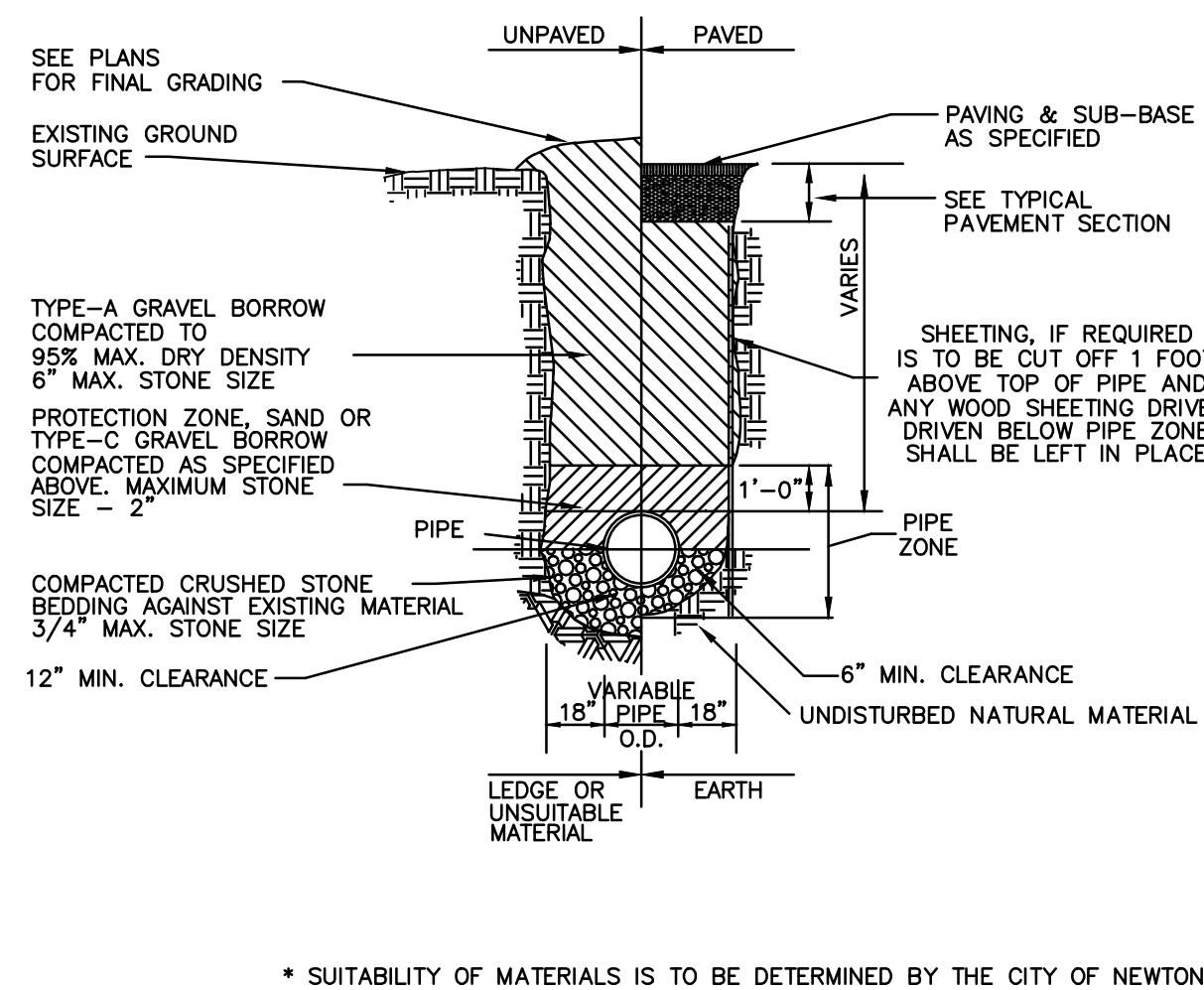
- * SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.
- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

GRAVITY SEWER TRENCH DETAIL
NOT TO SCALE



1. ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASS. HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 AS AMENDED.
2. ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MHD PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATION.
3. ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.
4. ANY TOP COURSE APPLIED AT A WIDTH OF 6\"/>

TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL (1/2)
NOT TO SCALE

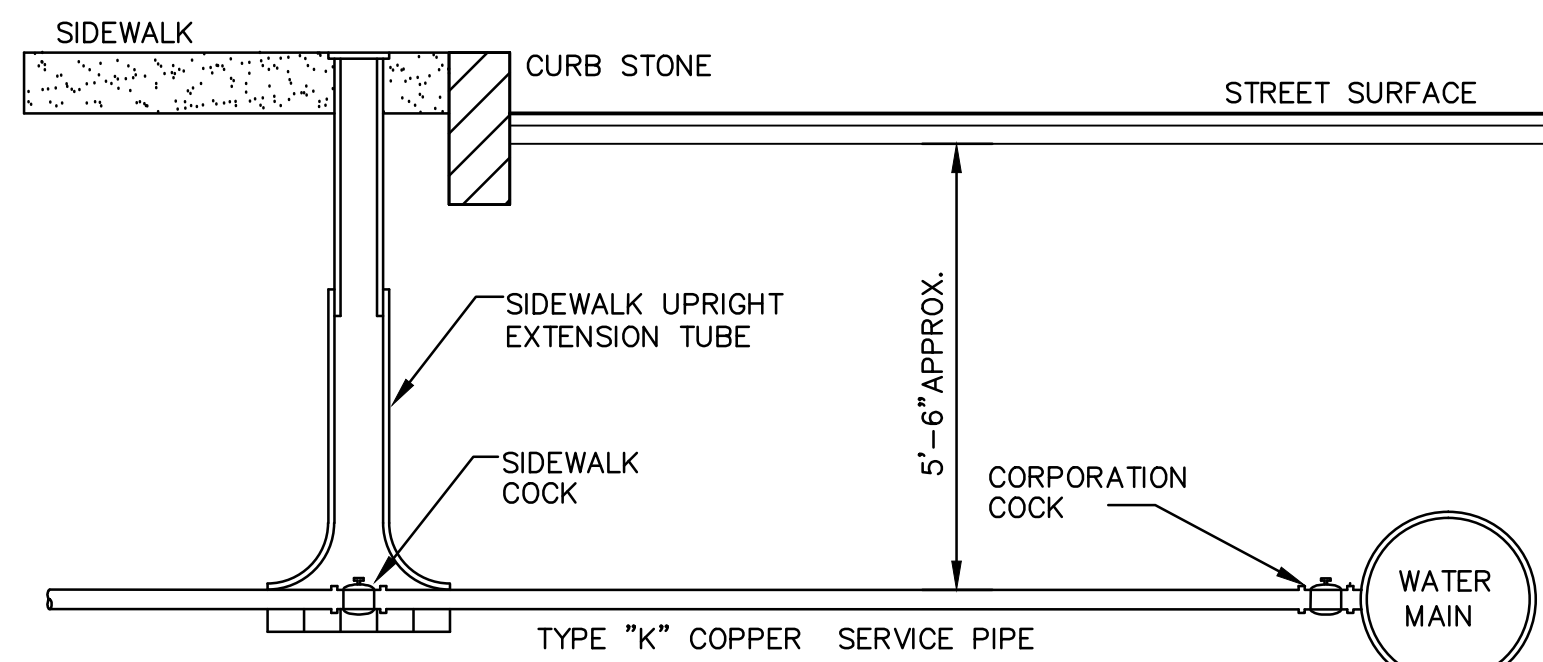


* SUITABILITY OF MATERIALS IS TO BE DETERMINED BY THE CITY OF NEWTON

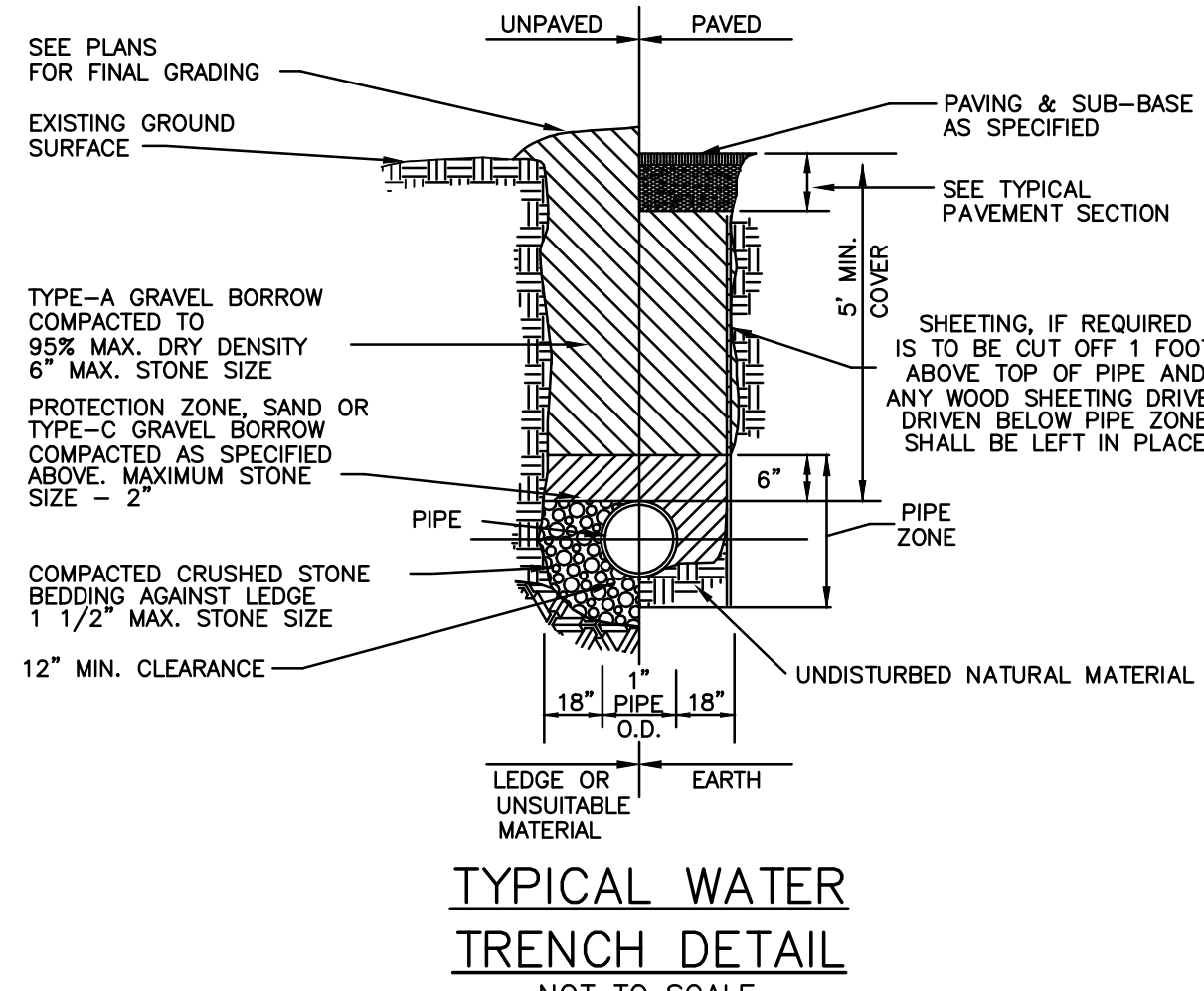
TYPICAL P.V.C. DRAIN TRENCH DETAIL
NOT TO SCALE

1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.



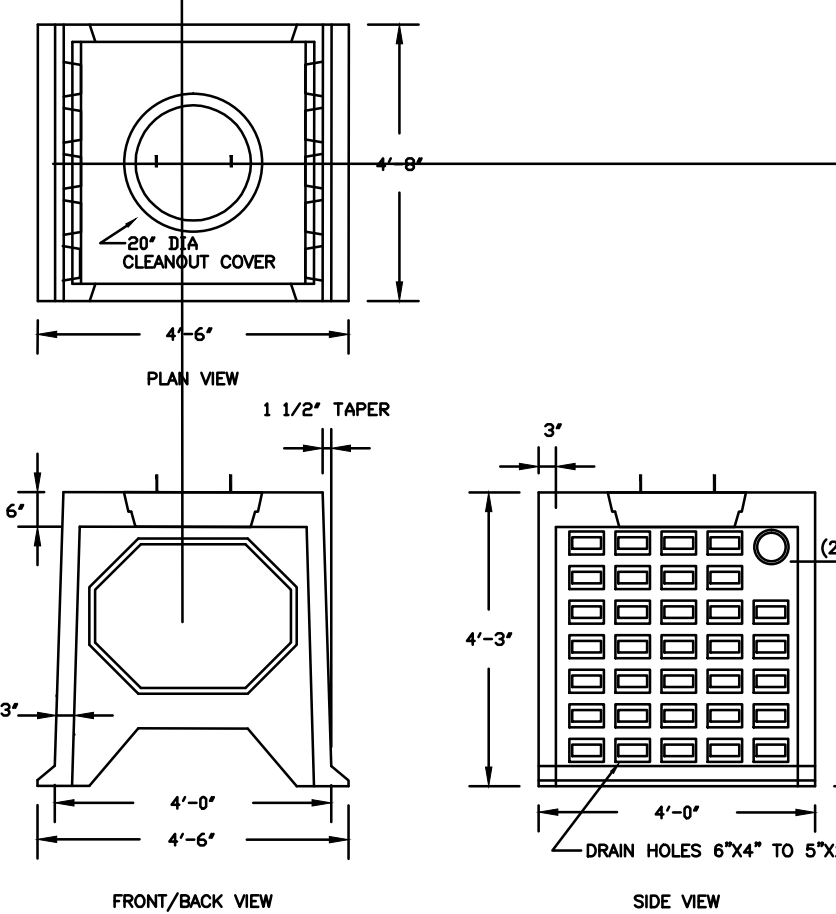
WATER CONNECTION 1\"/>



TYPICAL WATER TRENCH DETAIL
NOT TO SCALE

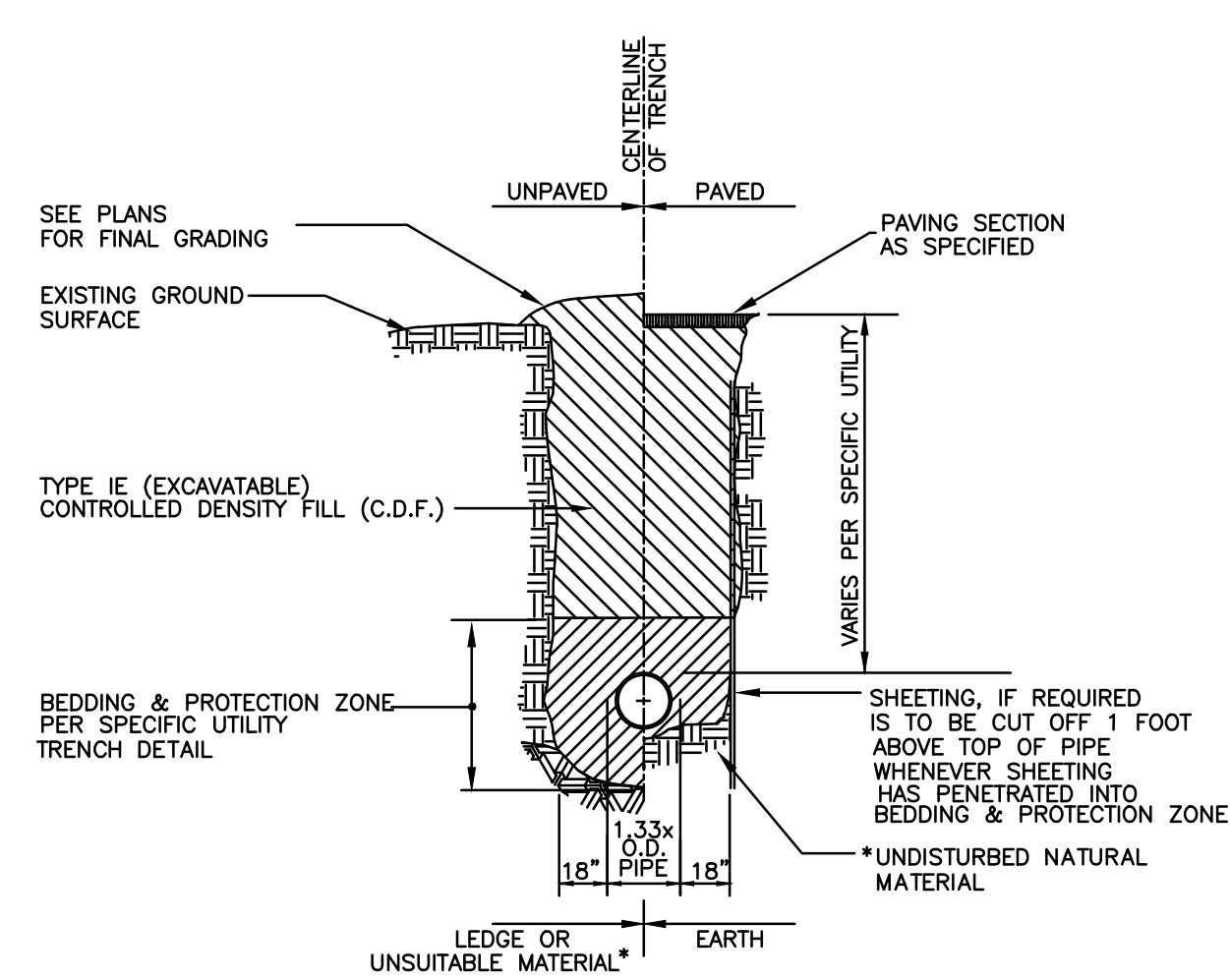
1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.



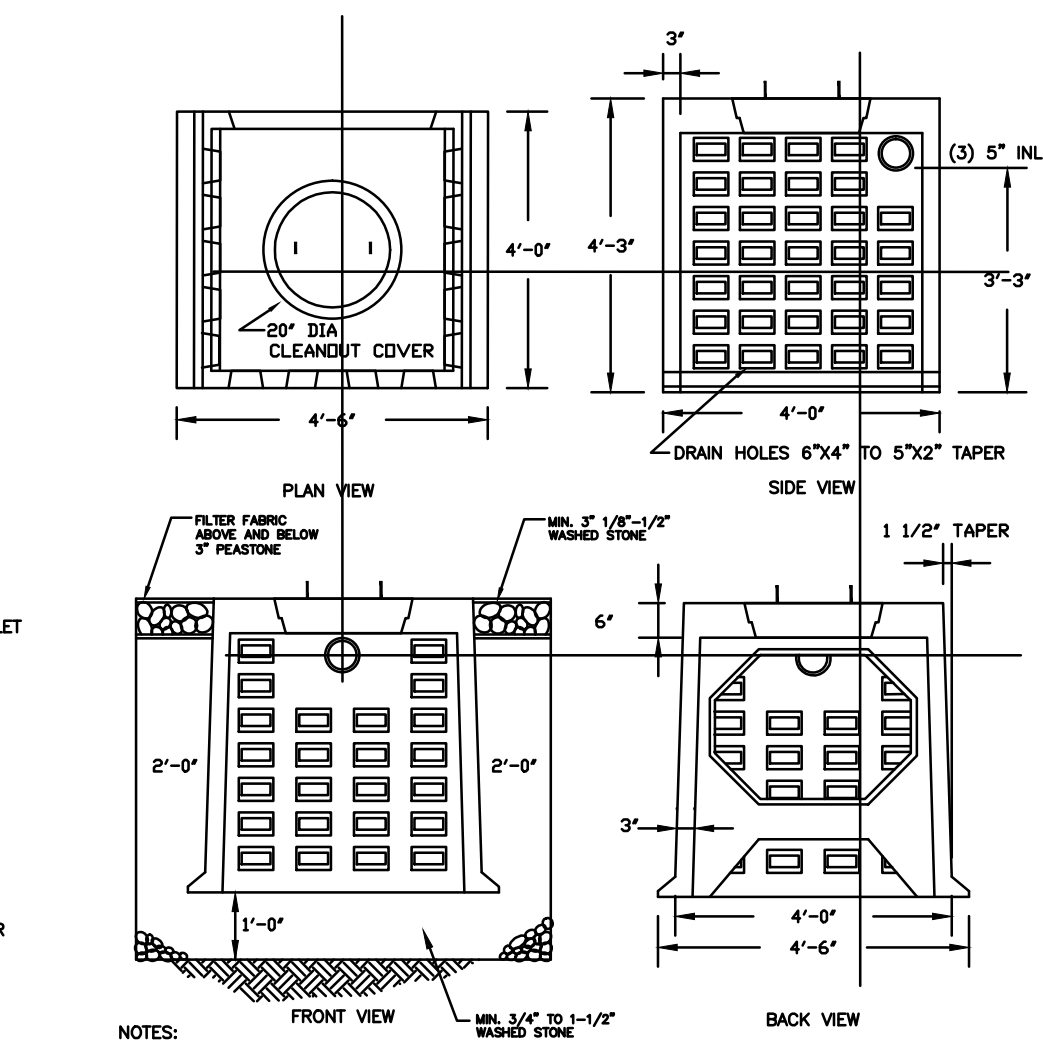
- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALSO AVAILABLE IN H-20 LOADING.
 3. SECTIONS AVAILABLE WITHOUT 20\"/>

GALLEY-CENTER SECTION



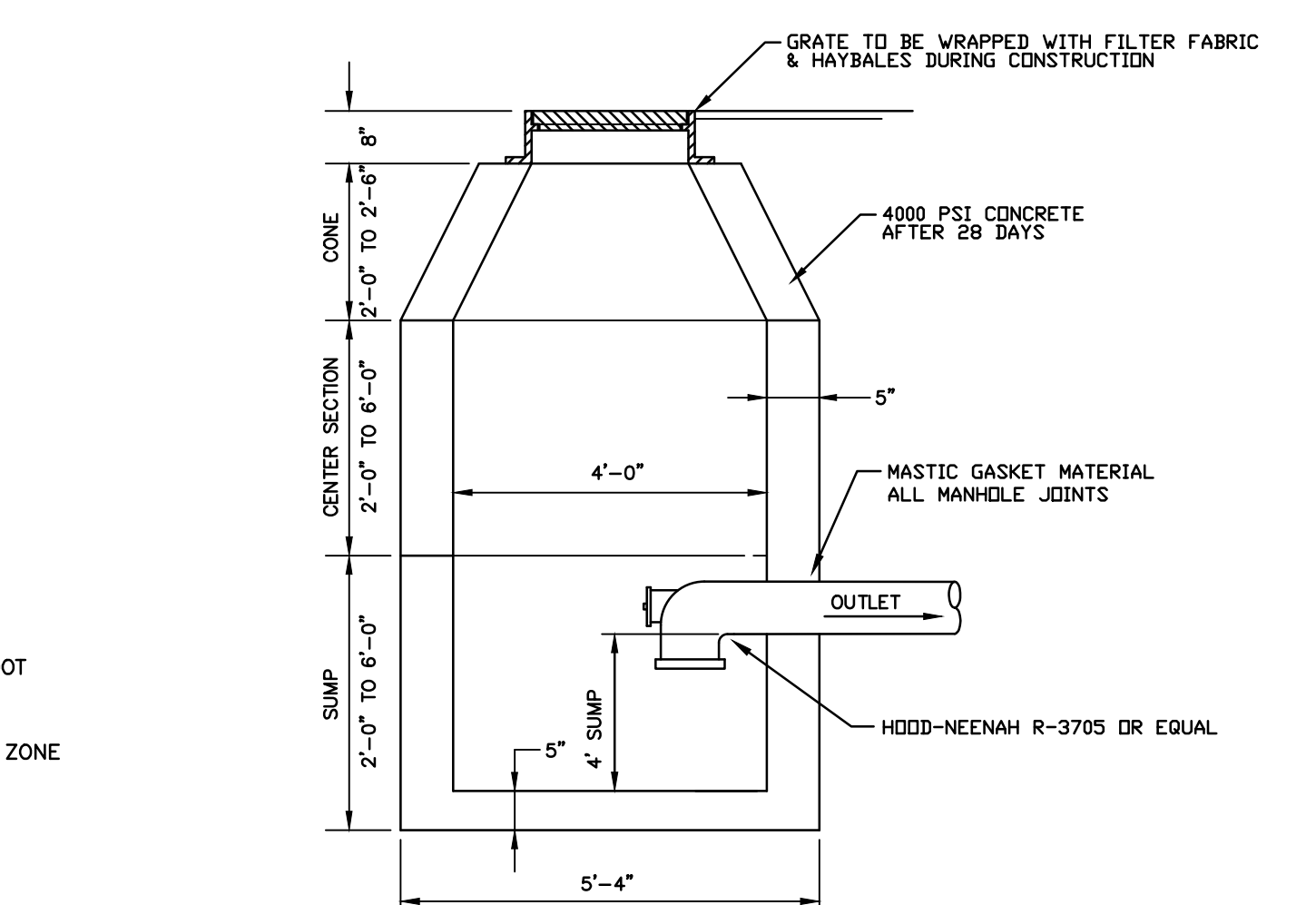
TYPICAL C.D.F. TRENCH DETAIL
NOT TO SCALE

* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

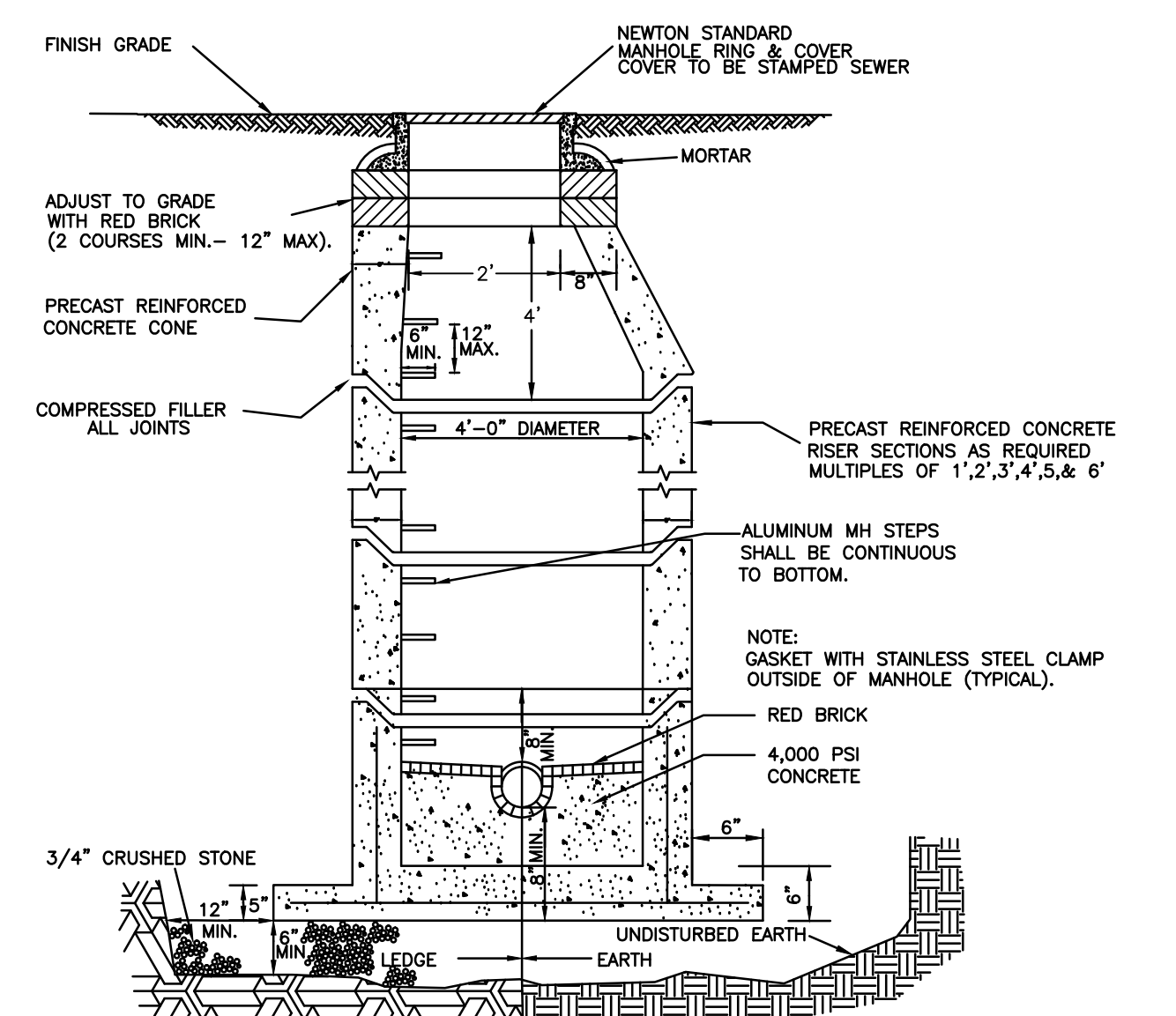


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALSO AVAILABLE IN H-20 LOADING.
 3. SECTIONS AVAILABLE WITHOUT 20\"/>

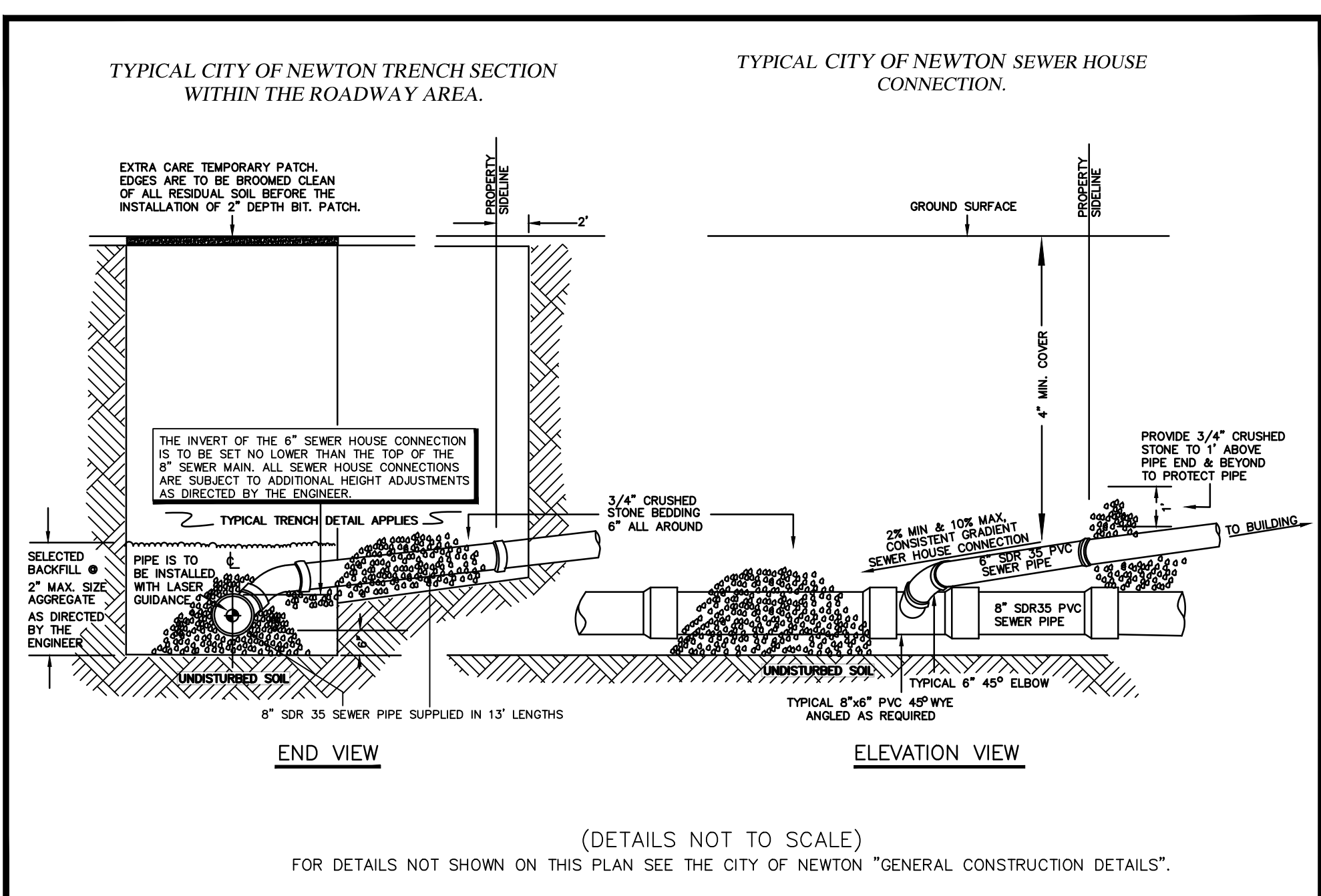
GALLEY-END SECTION



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE

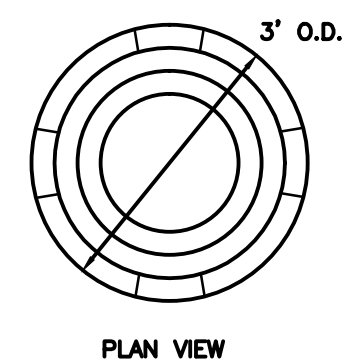


TYPICAL PRECAST CONCRETE SEWER MANHOLE
(NOT TO SCALE)

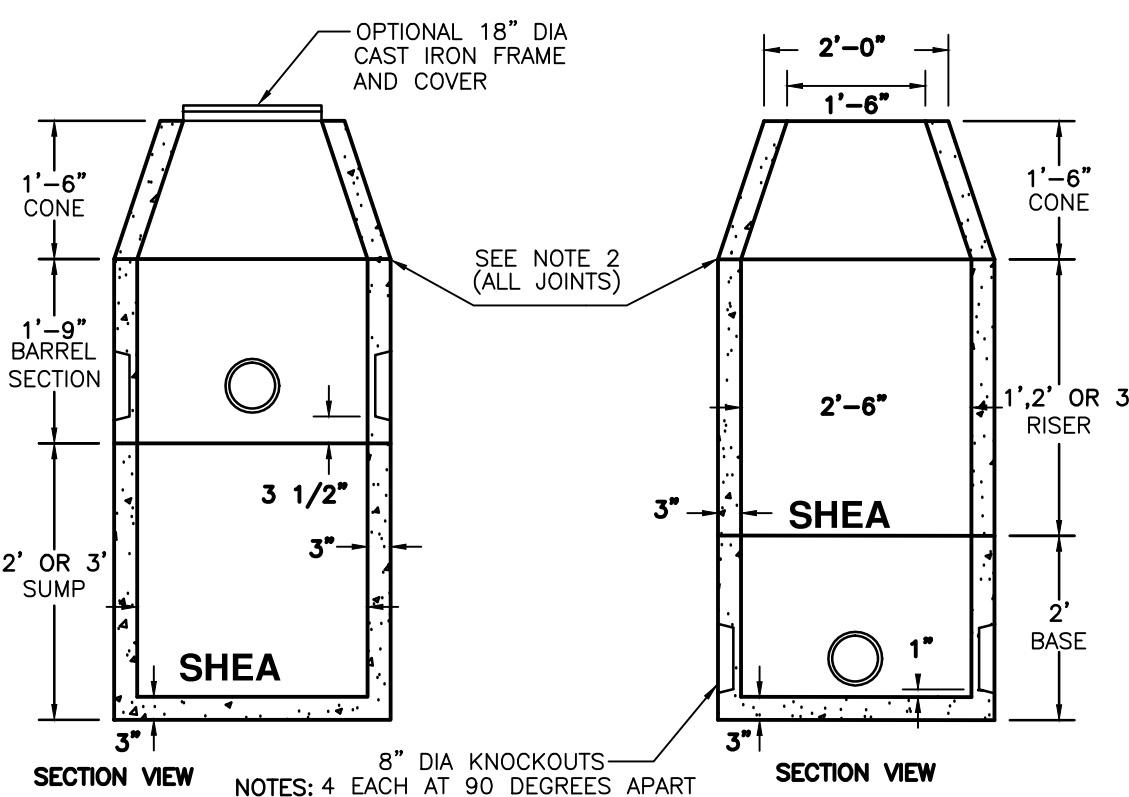


(DETAILS NOT TO SCALE)

FOR DETAILS NOT SHOWN ON THIS PLAN SEE THE CITY OF NEWTON \"GENERAL CONSTRUCTION DETAILS\".



SECTIONS	ITEM NO
1'-0" RISER	MC-MCB1R
2'-0" RISER	MC-MCB2R
3'-0" RISER	MC-MCB3R
2'-0" SLUMP	MC-MCB2S
3'-0" SLUMP	MC-MCB3S
2'-0" BASE	MC-MCB24B
1'-9" BARREL	MC-MCB24BS
18" CONE	MC-MCBC
24" ROUND COVER	MC-MCB24RC



8" DIA KNOCKOUTS - 4 EACH AT 90 DEGREES APART

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
3. FLAT COVER WITH CLEANOUT CAN BE USED IN PLACE OF CONE.
4. OPTIONAL ROUND COVER CAN BE USED IN PLACE OF CAST IRON COVER AND FRAME.

30" DIA MINI-MANHOLE (NOT TO SCALE)

UTILITY NOTES:

ALL NEW INSTALLATION OF SEWER CONNECTIONS AND STRUCTURES WILL HAVE TO BE PRESSURE TESTED PRIOR TO OCCUPANCY, IF PRESSURE TESTING SEWER LINE IS NOT FEASIBLE THEN A VIDEO OF THE LINE WILL BE NECESSARY. THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, FAILING TO HAVING THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW; BACK FILLING SHALL ONLY TAKE PLACE WHEN THE CITY INSPECTOR HAS GIVEN THEIR APPROVAL.

PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, THE APPLICANT'S ENGINEER SHALL SUBMIT TO THE ENGINEERING DIVISION AN AS BUILT DRAWING IN DIGITAL AND HARD COPY FORMAT.

IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.

No excavation is allowed within any City right-of-way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via the City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant's representative must contact the City of Newton Engineering Department prior to start of work for clarification.

The new water and sewer services must be in-place AND accepted by the Engineering Division prior to the issuance of the Certificate of Occupancy.

As of March 1, 2009, all trench excavation contractors shall comply with Massachusetts General Laws Chapter 82A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to unattended trenches. Trench Excavation Permit required. This applies to all trenches on public and private property.

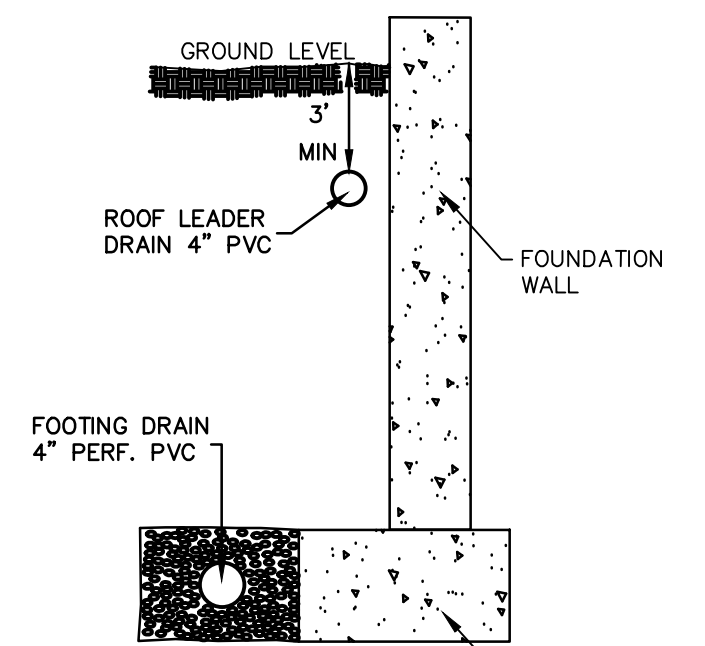
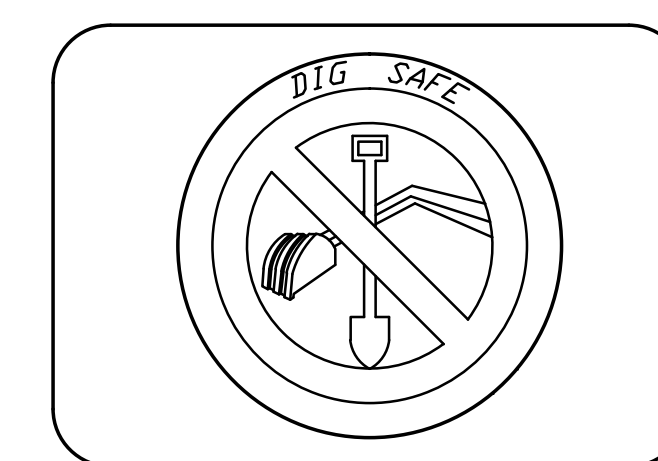
The Applicant will have to apply for Street Opening, Utility Connection and Trench Permits as well as an Install Curb & Sidewalk Permit with the DPW prior to start of work.

With the exception of gas services, all utility trenches within the City of Newton right-of-way will be backfilled with Type IE (excavatable) controlled density fill, as specified by the City of Newton Engineering Specifications.

Approval of this plan by the City of Newton Engineering Division implies that the plan meets the minimal design standards of the City of Newton. However, the Engineering Division makes no representations and assumes no responsibility for the design(s) in terms of suitability for the particular site conditions or of the functionality or performance of any items constructed in accordance with the design(s). The City of Newton assumes no liabilities for design assumption, errors or omissions by the Engineer of Record.

DIG SAFE

EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES, CALL TOLL FREE 1-888-DIG-SAFE, MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



FOUNDATION DRAIN
NOT TO SCALE

DETAIL SHEET
NEWTON, MASSACHUSETTS
SHOWING DETAILS AT
#9 RIPLEY STREET
SCALE: 1in.=10ft. DATE: AUGUST 8, 2012

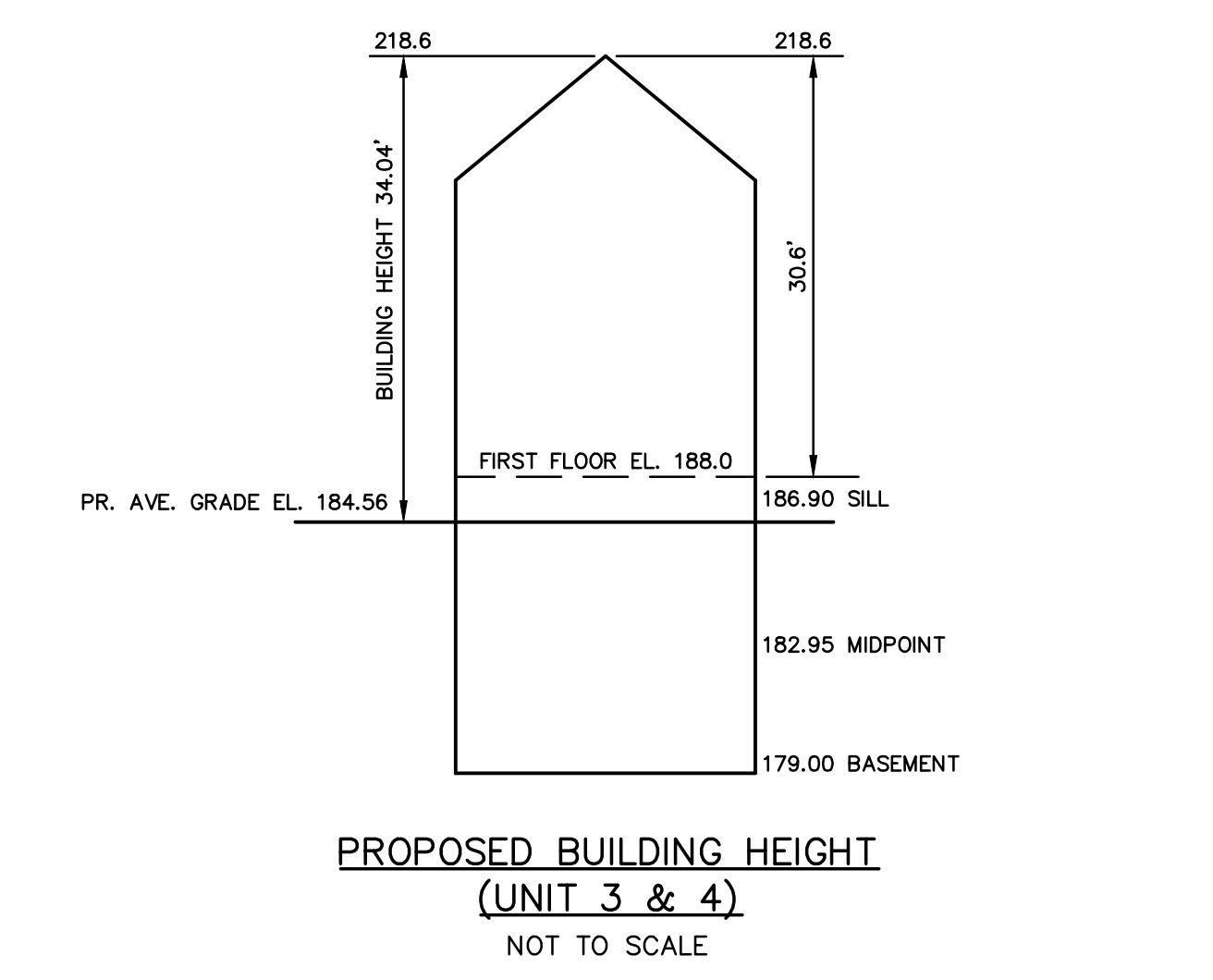
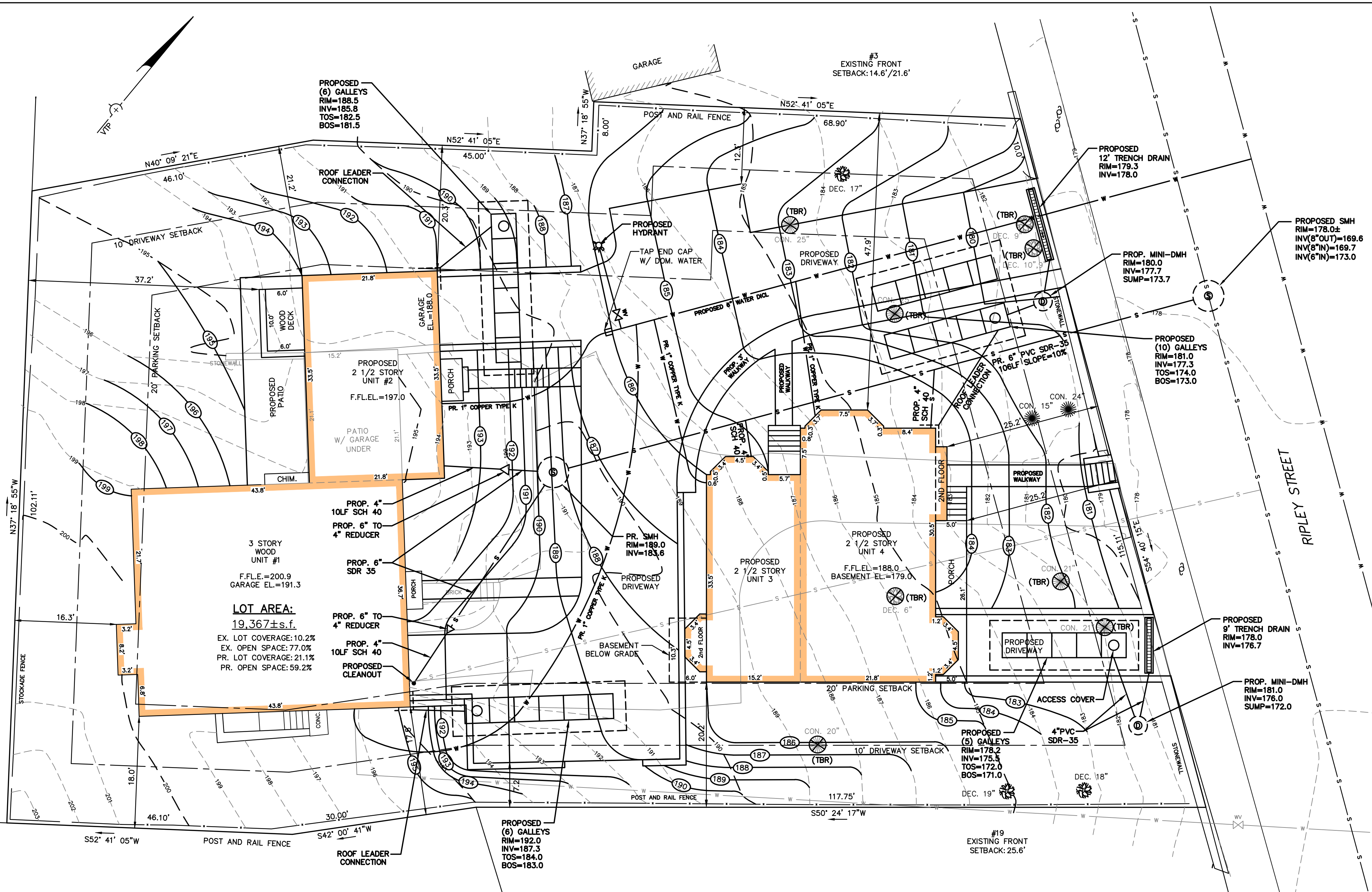
PROJECT: 11107
VTP
ASSOCIATES
INC.

LAND SURVEYORS - CIVIL ENGINEERS.
#132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

11/07/2012 (2:20:11)

LEGEND

- STORM SEWER D
- COMBINATION SEWER CS
- SANITARY SEWER S
- WATER MAIN W
- OVERHEAD ELECTRIC OE
- UNDER GROUND ELECTRIC UE
- GAS MAIN G
- CONTOUR 21
- BUILDING
- PICKET FENCE
- CHAINLINK FENCE
- PROPERTY LINE W/ BEARING DISTANCE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SIGN POST
- LIGHT POLE
- GAS VALVE
- WATER VALVE
- UTILITY POLE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- FIRE HYDRANT
- CATCH BASIN
- FIRE CALL BOX
- MAIL BOX
- MONITORING WELL
- ELECTRIC MANHOLE
- TOP OF STONE EL.
- BOTTOM OF STONE EL.
- TOP OF WALL EL.
- BOTTOM OF WALL EL.
- TO BE REMOVED (TBR)



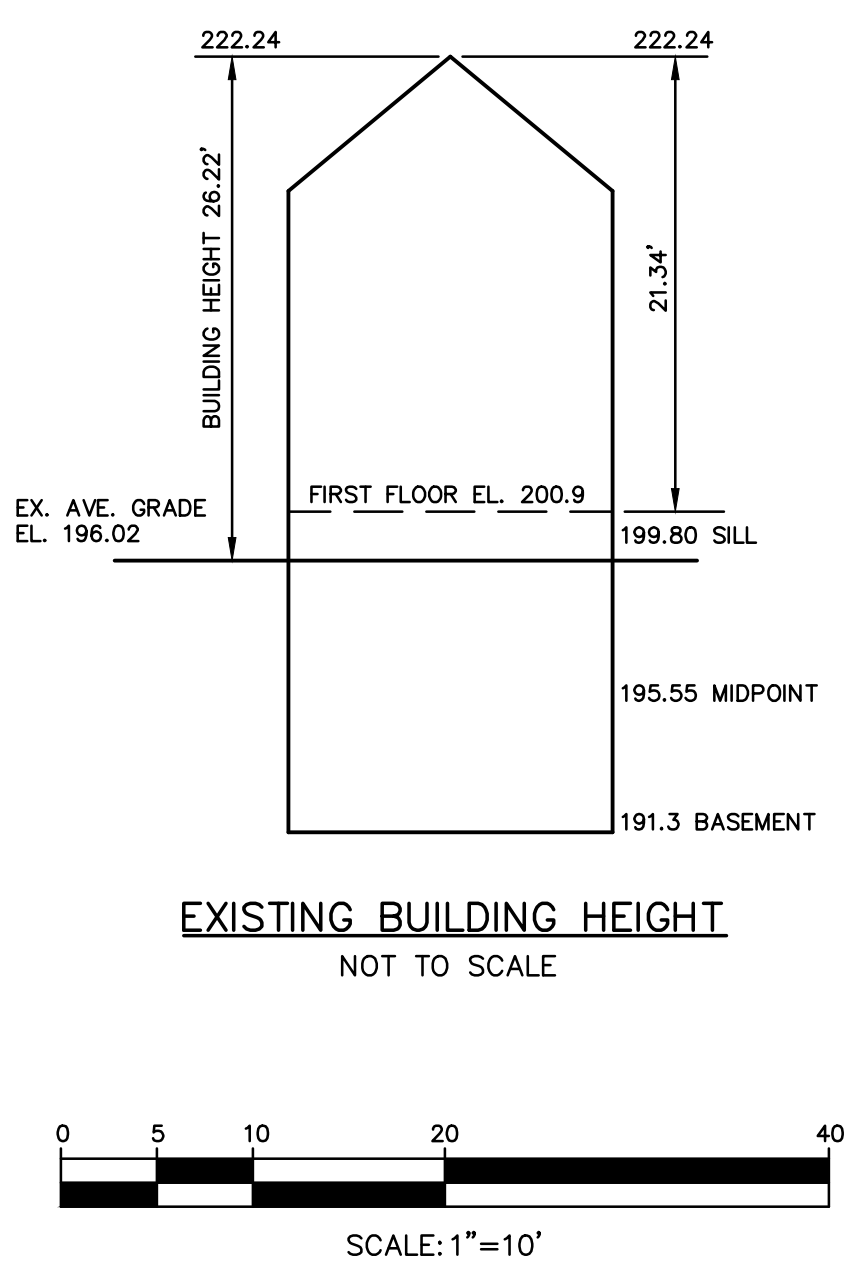
Address: #9 Ripley Street

Length Weighted Mean Proposed Average Grade Calculation

Unit 3 & 4

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	33.80	186.00	185.00	185.50	6269.90 Sq. Ft.
2	3.19	185.00	184.20	184.60	588.87 Sq. Ft.
3	1.00	184.20	184.20	184.20	184.20 Sq. Ft.
4	9.90	179.00	179.00	179.00	1772.10 Sq. Ft.
5	16.95	184.00	184.00	184.00	3118.80 Sq. Ft.
6	3.57	184.00	183.90	183.95	656.70 Sq. Ft.
7	8.40	184.20	184.00	184.10	1546.44 Sq. Ft.
8	7.50	184.20	184.10	184.15	1381.13 Sq. Ft.
9	7.50	184.80	184.70	184.75	1385.63 Sq. Ft.
10	5.17	185.00	184.80	184.90	955.93 Sq. Ft.
11	33.50	186.00	186.00	186.00	6231.00 Sq. Ft.
Total	140.06				25850.07 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 184.56'

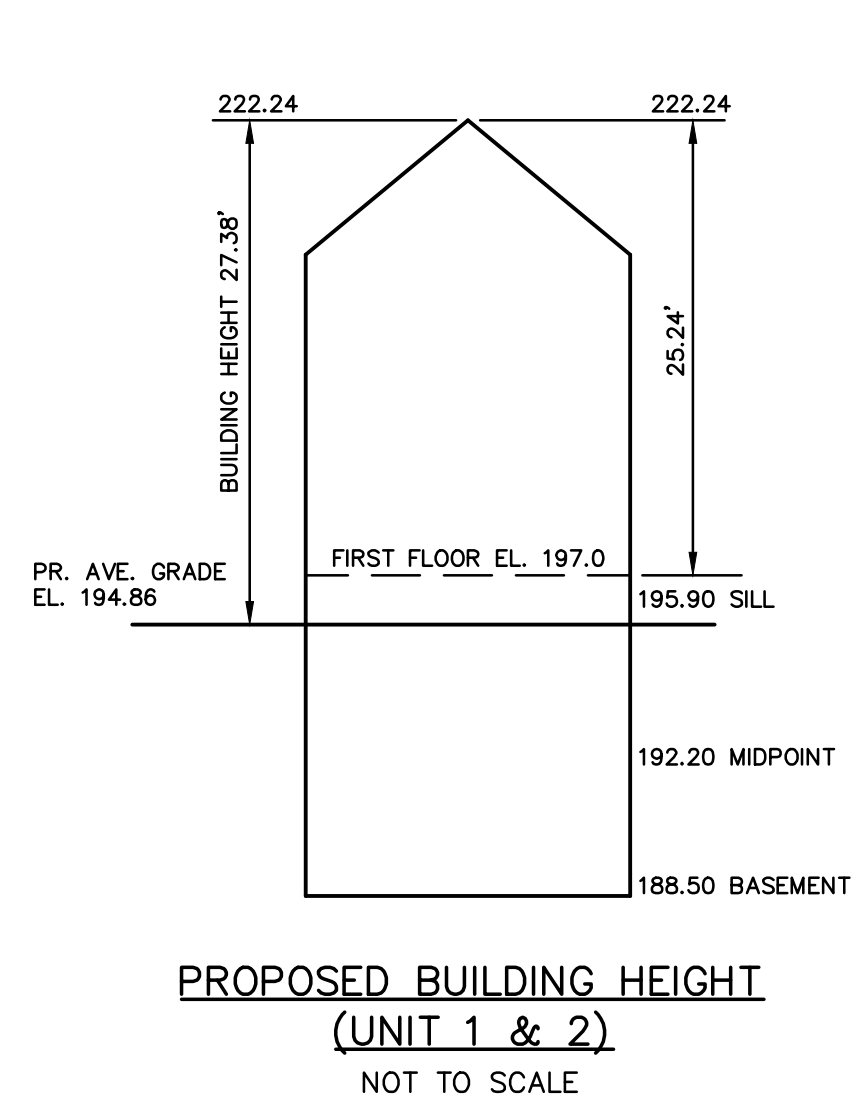


Address: #9 Ripley Street

Length Weighted Mean Existing Average Grade Calculation

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	13.46	200.10	198.50	199.30	2682.58 Sq. Ft.
2	9.83	196.10	196.10	196.10	1927.66 Sq. Ft.
3	4.00	196.80	196.10	196.45	785.80 Sq. Ft.
4	8.20	196.00	196.00	196.00	1610.48 Sq. Ft.
5	6.42	196.00	195.00	195.50	1255.11 Sq. Ft.
6	1.86	195.00	194.50	194.75	362.24 Sq. Ft.
7	0.58	193.40	193.00	193.20	106.26 Sq. Ft.
8	1.07	193.00	192.00	192.50	205.98 Sq. Ft.
9	12.41	192.00	192.00	192.00	2382.72 Sq. Ft.
10	2.81	193.00	192.00	192.50	540.93 Sq. Ft.
11	4.24	193.00	192.00	192.50	816.20 Sq. Ft.
12	12.79	194.00	193.00	193.50	2474.87 Sq. Ft.
13	15.81	194.00	194.00	194.00	3067.14 Sq. Ft.
14	5.27	194.00	193.00	193.50	1019.75 Sq. Ft.
15	2.82	193.00	192.50	192.75	543.56 Sq. Ft.
16	15.20	191.80	191.60	191.70	2913.84 Sq. Ft.
17	17.04	198.00	192.00	195.00	3322.80 Sq. Ft.
18	4.02	198.10	198.00	198.05	796.16 Sq. Ft.
19	10.70	198.00	197.80	197.90	2117.53 Sq. Ft.
20	17.87	198.60	198.00	198.30	3543.62 Sq. Ft.
21	16.55	200.00	199.00	199.50	3301.73 Sq. Ft.
22	5.18	200.00	200.00	200.00	1036.00 Sq. Ft.
23	8.19	200.00	200.00	200.00	1638.00 Sq. Ft.
24	6.78	199.90	199.80	199.85	1354.98 Sq. Ft.
Total	203.07				39805.91 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 196.02'



Address: #9 Ripley Street

Length Weighted Mean Proposed Average Grade Calculation

Unit 1 & 2

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	13.46	199.90	199.00	199.45	2684.60 Sq. Ft.
2	9.83	194.00	194.00	194.00	1907.02 Sq. Ft.
3	8.18	196.50	196.00	196.25	1605.33 Sq. Ft.
4	8.45	196.00	195.00	195.50	1280.98 Sq. Ft.
5	1.86	196.00	194.80	195.40	362.51 Sq. Ft.
6	11.47	191.00	191.00	191.00	2190.77 Sq. Ft.
7	6.20	192.00	191.00	191.50	1187.30 Sq. Ft.
8	3.33	193.00	192.00	192.50	641.03 Sq. Ft.
9	15.69	193.40	193.00	193.20	3031.31 Sq. Ft.
10	21.50	193.00	193.00	193.00	4149.50 Sq. Ft.
11	11.00	187.30	187.30	187.30	2060.30 Sq. Ft.
12	1.00	190.10	190.10	190.10	190.10 Sq. Ft.
13	8.10	192.00	191.00	191.50	1551.15 Sq. Ft.
14	9.04	193.00	192.00	192.50	1740.20 Sq. Ft.
15	4.69	194.00	193.00	193.50	907.52 Sq. Ft.
16	31.80	194.80	194.00	194.40	6181.92 Sq. Ft.
17	7.18	195.00	194.80	194.90	1399.38 Sq. Ft.
18	5.62	196.00	195.00	195.50	1088.71 Sq. Ft.
19	5.11	197.00	196.00	196.50	1004.12 Sq. Ft.
20	5.16	198.00	197.00	197.50	1019.10 Sq. Ft.
21	5.67	199.00	198.00	198.50	1128.05 Sq. Ft.
22	21.73	200.00	199.00	199.50	4335.14 Sq. Ft.
23	8.19	200.20	200.00	200.10	1638.82 Sq. Ft.
24	6.78	199.90	199.90	199.90	1355.32 Sq. Ft.
Total	229.04				44630.15 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 194.86'

ZONING CHART

NEWTON, MASSACHUSETTS

ZONE: MR-1 NEW SUBMISSION: PROPOSED

REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	15,000s.f.	19,367±s.f.	N/C
LOT FRONTAGE	80.0'	115.11'	N/C
FRONT SETBACK	25.0'	112.3'	25.2'
SIDE SETBACK	25.0'	17.5'	N/C
REAR SETBACK	25.0'	16.3'	N/C
BUILDING HEIGHT	36.0'	26.22'	27.38' / 34.04'
AVERAGE GRADE	-	196.03	194.86 / 184.56
LOT COVERAGE	25.0%	10.2%	21.1%
OPEN SPACE	50.0%	76.9%	60.5%

* NON CONFORMING.

DIG SAFE

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TOPOGRAPHIC SITE PLAN

NEWTON, MASSACHUSETTS

SHOWING PROPOSED CONDITIONS AT #9 RIPLEY STREET

SCALE: 1in.=10ft. DATE: AUGUST 8, 2012
REVISED: OCTOBER 23, 2012; DECEMBER 7, 2012
FEBRUARY 5, 2013

PROJECT: 11107

VTP ASSOCIATES INC.

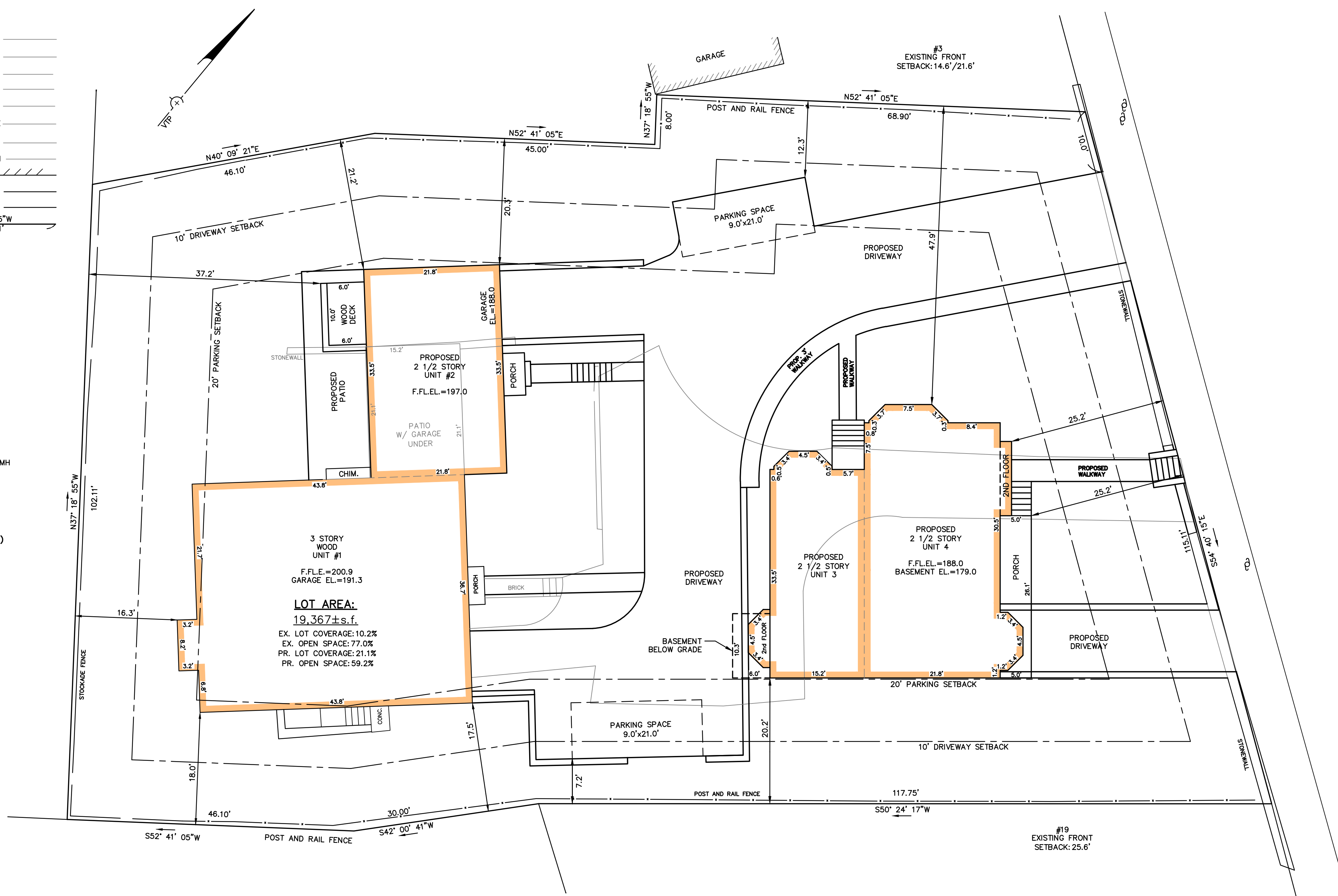
LAND SURVEYORS - CIVIL ENGINEERS.
#132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

SHEET 2 OF 3

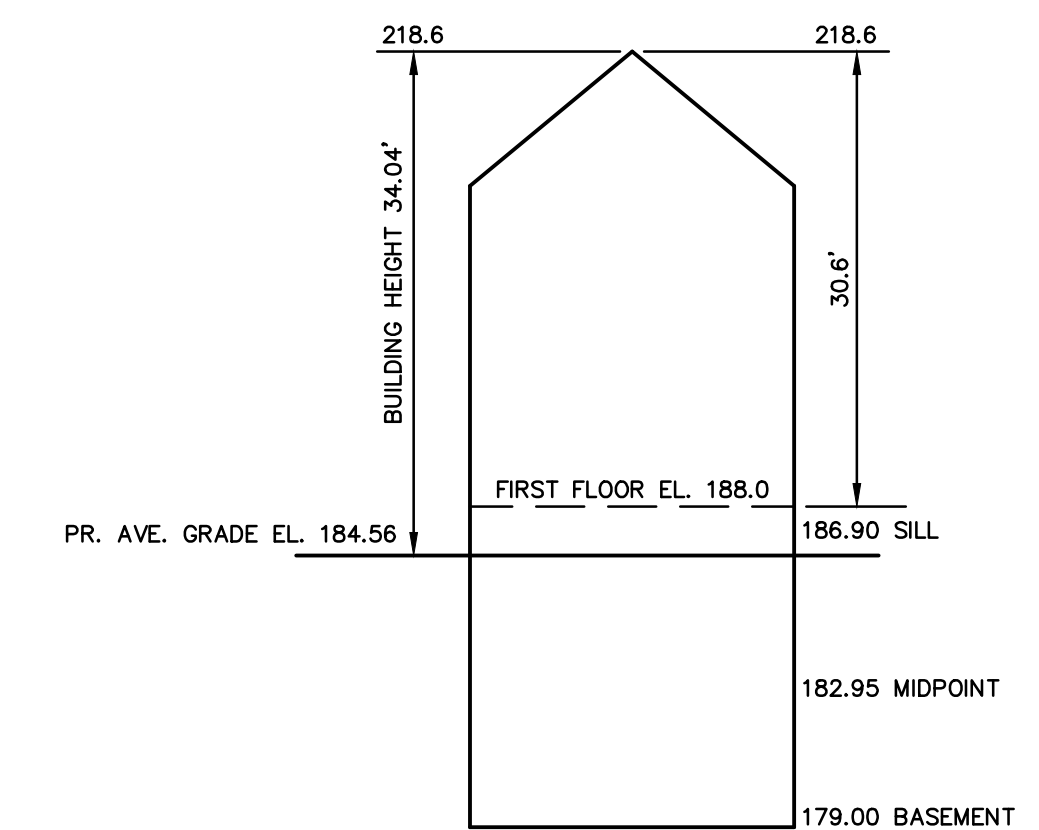
11/07/2012 (2:20:11)

LEGEND

- STORM SEWER D
- COMBINATION SEWER CS
- SANITARY SEWER S
- WATER MAIN W
- OVERHEAD ELECTRIC OE
- UNDER GROUND ELECTRIC UE
- GAS MAIN G
- CONTOUR 21
- BUILDING
- PICKET FENCE
- CHAINLINK FENCE
- PROPERTY LINE W/ BEARING DISTANCE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SIGN POST
- LIGHT POLE
- GAS VALVE
- WATER VALVE
- UTILITY POLE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- FIRE HYDRANT
- CATCH BASIN
- FIRE CALL BOX
- MAIL BOX
- MONITORING WELL
- ELECTRIC MANHOLE
- TOP OF STONE EL.
- BOTTOM OF STONE EL.
- TOP OF WALL EL.
- BOTTOM OF WALL EL.
- TO BE REMOVED



RIPLEY STREET



**PROPOSED BUILDING HEIGHT
(UNIT 3 & 4)**
NOT TO SCALE

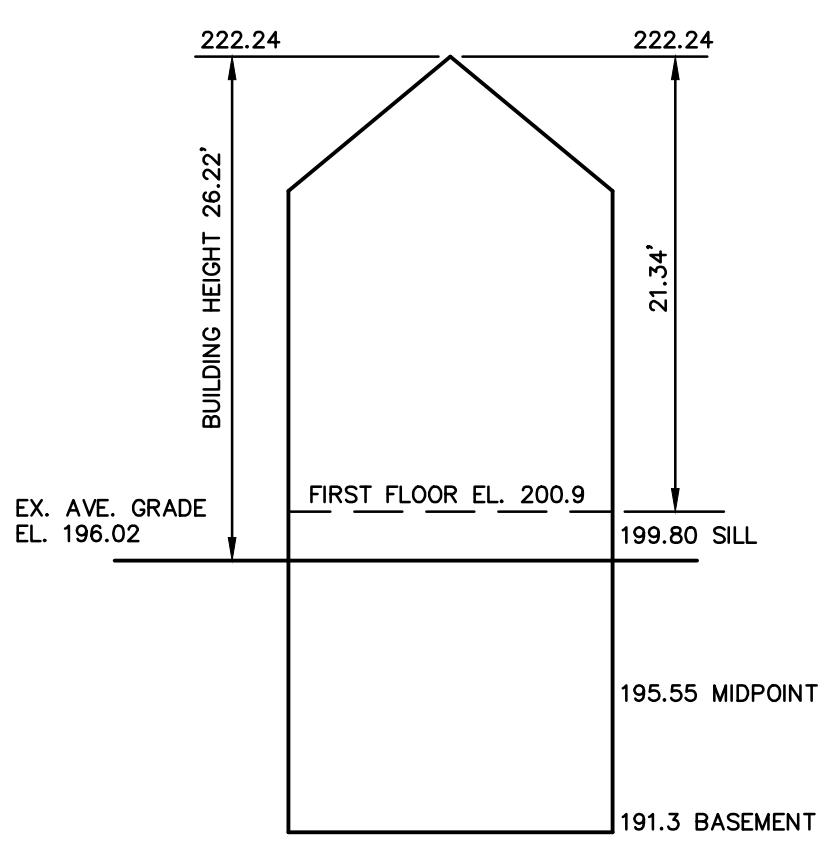
Address: #9 Ripley Street

**Length Weighted Mean
Proposed Average Grade Calculation
Unit 3 & 4**

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	33.80	186.00	185.00	185.50	6269.90 Sq. Ft.
2	3.19	185.00	184.20	184.60	588.87 Sq. Ft.
3	1.00	184.20	184.20	184.20	184.20 Sq. Ft.
4	9.90	179.00	179.00	179.00	1772.10 Sq. Ft.
5	9.59	184.00	183.30	183.65	1759.37 Sq. Ft.
6	16.95	184.00	184.00	184.00	3118.80 Sq. Ft.
7	3.57	184.00	183.90	183.95	656.70 Sq. Ft.
8	8.40	184.20	184.00	184.10	1546.44 Sq. Ft.
9	7.50	184.20	184.10	184.15	1381.13 Sq. Ft.
10	7.50	184.80	184.70	184.75	1385.83 Sq. Ft.
11	5.17	185.00	184.80	184.90	955.93 Sq. Ft.
12	33.50	186.00	186.00	186.00	6231.00 Sq. Ft.
Total	140.06				25850.07 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 184.56'

AVERAGE FRONT SETBACK
(25.6ft.+14.6ft.+21.6ft.)/3 = 20.6ft.



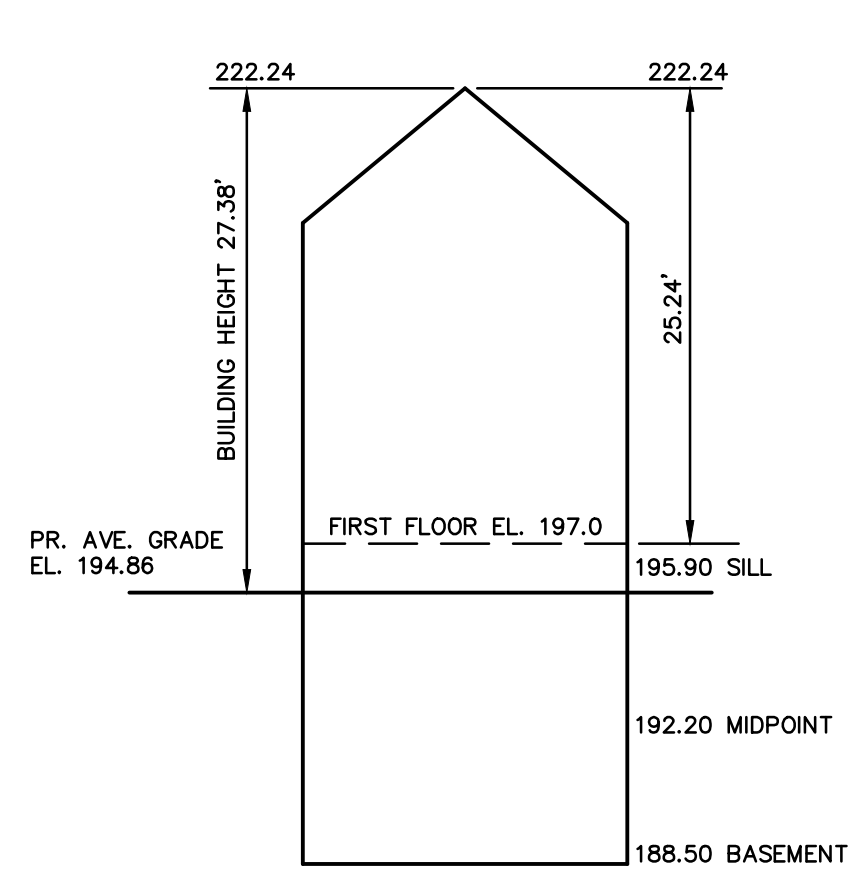
EXISTING BUILDING HEIGHT
NOT TO SCALE

Address: #9 Ripley Street

**Length Weighted Mean
Existing Average Grade Calculation**

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	13.46	200.10	198.50	199.30	2682.58 Sq. Ft.
2	9.83	196.10	196.10	196.10	1927.66 Sq. Ft.
3	4.00	196.80	196.10	196.45	785.80 Sq. Ft.
4	8.20	196.80	196.80	196.80	1610.48 Sq. Ft.
5	6.42	196.00	195.50	195.75	1255.11 Sq. Ft.
6	1.86	195.00	194.50	194.75	362.24 Sq. Ft.
7	0.55	193.40	193.00	193.20	106.26 Sq. Ft.
8	1.07	193.00	192.00	192.50	205.98 Sq. Ft.
9	12.41	192.00	192.00	192.00	2382.72 Sq. Ft.
10	2.81	193.00	192.00	192.50	540.93 Sq. Ft.
11	4.24	193.00	192.00	192.50	816.20 Sq. Ft.
12	12.79	194.00	193.00	193.50	2474.87 Sq. Ft.
13	15.81	194.00	194.00	194.00	3067.14 Sq. Ft.
14	5.27	194.00	193.00	193.50	1019.75 Sq. Ft.
15	2.82	193.00	192.50	192.75	543.56 Sq. Ft.
16	15.20	191.80	191.60	191.70	2913.84 Sq. Ft.
17	17.04	198.00	192.00	195.00	3322.80 Sq. Ft.
18	4.02	198.10	198.00	198.05	796.16 Sq. Ft.
19	10.70	198.00	197.80	197.90	2117.53 Sq. Ft.
20	17.87	198.60	198.00	198.30	3543.62 Sq. Ft.
21	16.55	200.00	199.00	199.50	3301.73 Sq. Ft.
22	5.18	200.00	200.00	200.00	1036.00 Sq. Ft.
23	8.19	200.00	200.00	200.00	1638.00 Sq. Ft.
24	6.78	199.90	199.80	199.85	1354.98 Sq. Ft.
Total	203.07				39805.91 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 196.02'



**PROPOSED BUILDING HEIGHT
(UNIT 1 & 2)**
NOT TO SCALE

Address: #9 Ripley Street

**Length Weighted Mean
Proposed Average Grade Calculation
Unit 1 & 2**

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	13.46	199.90	199.00	199.45	2684.60 Sq. Ft.
2	9.83	194.00	194.00	194.00	1907.02 Sq. Ft.
3	8.18	196.50	196.00	196.25	1605.33 Sq. Ft.
4	8.45	196.00	195.50	195.75	1280.98 Sq. Ft.
5	1.86	196.00	194.80	195.40	362.51 Sq. Ft.
6	11.47	191.00	191.00	191.00	2180.77 Sq. Ft.
7	6.20	192.00	191.00	191.50	1187.30 Sq. Ft.
8	3.33	193.00	192.00	192.50	641.03 Sq. Ft.
9	15.69	193.40	193.00	193.20	3031.31 Sq. Ft.
10	21.50	193.00	193.00	193.00	4149.50 Sq. Ft.
11	11.00	187.30	187.30	187.30	2060.30 Sq. Ft.
12	1.00	190.10	190.10	190.10	190.10 Sq. Ft.
13	8.10	192.00	191.00	191.50	1551.15 Sq. Ft.
14	9.04	193.00	192.00	192.50	1740.20 Sq. Ft.
15	4.69	194.00	193.00	193.50	907.52 Sq. Ft.
16	31.80	194.80	194.00	194.40	6181.92 Sq. Ft.
17	7.18	195.00	194.80	194.90	1399.38 Sq. Ft.
18	5.62	196.00	195.00	195.50	1088.71 Sq. Ft.
19	5.11	197.00	196.00	196.50	1004.12 Sq. Ft.
20	5.16	198.00	197.00	197.50	1019.10 Sq. Ft.
21	5.67	199.90	199.00	199.45	1128.05 Sq. Ft.
22	21.73	200.00	199.00	199.50	4335.14 Sq. Ft.
23	8.19	200.20	200.00	200.10	1638.82 Sq. Ft.
24	6.78	199.90	199.90	199.90	1355.32 Sq. Ft.
Total	229.04				44630.15 Sq. Ft.

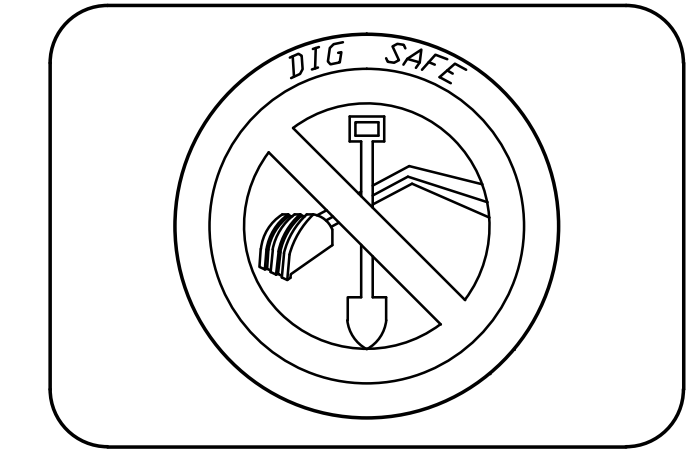
Total Column F / Total Column B = Average Grade
Average Grade: 194.86'

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE:	MR-1 NEW	SUBMISSION:	PROPOSED
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	15,000 s.f.	19,367 s.f.	N/C
LOT FRONTAGE	80.0'	115.11'	N/C
FRONT SETBACK	25.0'	112.3'	25.2'
SIDE SETBACK	25.0'	17.5'	N/C
REAR SETBACK	25.0'	16.3'	N/C
BUILDING HEIGHT	36.0'	26.22'	27.38' / 34.04'
AVERAGE GRADE	-	196.03	194.86 / 184.56
LOT COVERAGE	25.0%	10.2%	21.1%
OPEN SPACE	50.0%	76.9%	60.5%

* NON CONFORMING.

DIG SAFE
BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES, CALL TOLL FREE 1-888-DIG-SAFE. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY.



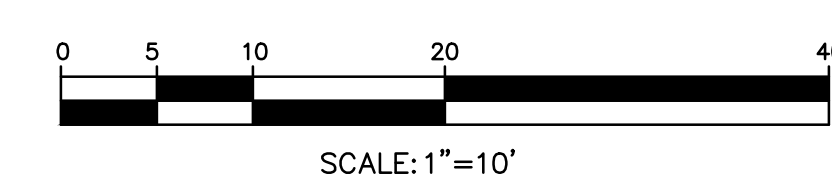
ZONING PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
#9 RIPLEY STREET

SCALE: 1in.=10ft. DATE: AUGUST 8, 2012
REVISED: OCTOBER 23, 2012; DECEMBER 7, 2012
FEBRUARY 5, 2013

PROJECT: 11107

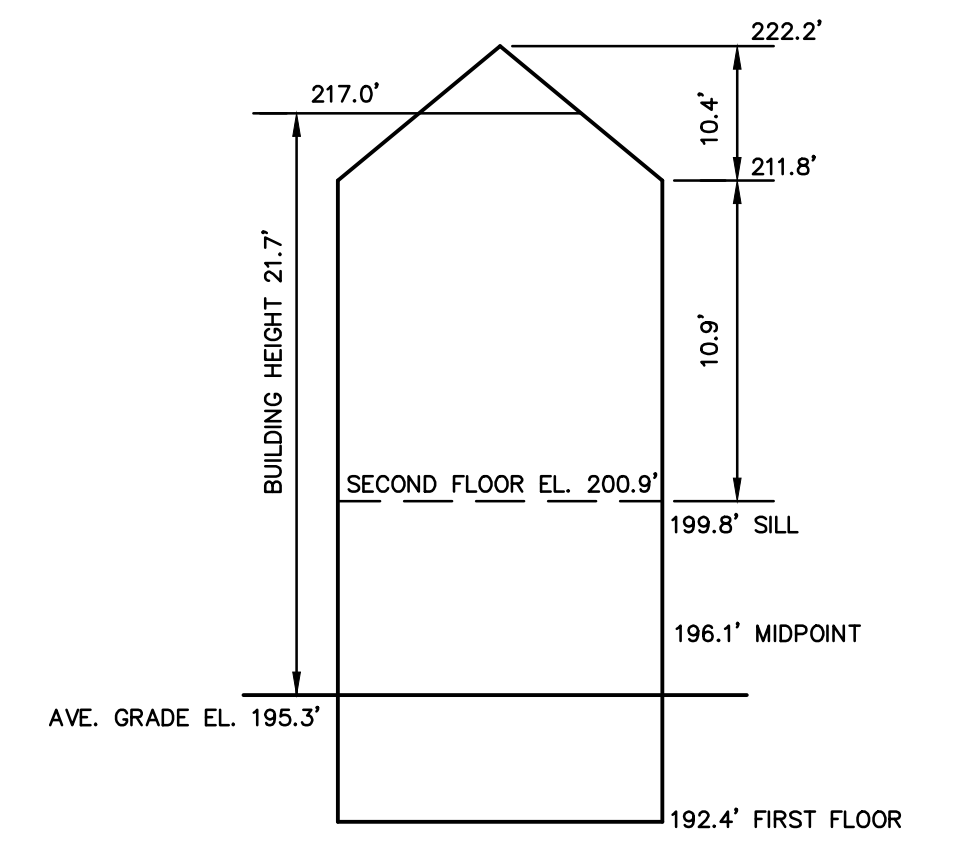
VTP ASSOCIATES INC.
LAND SURVEYORS - CIVIL ENGINEERS.
#132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

SHEET 1 OF 3



LEGEND

- STORM SEWER ——— D ———
- COMBINATION SEWER ——— CS ———
- SANITARY SEWER ——— S ———
- WATER MAIN ——— W ———
- OVERHEAD ELECTRIC ——— OE ———
- UNDER GROUND ELECTRIC ——— UE ———
- GAS MAIN ——— G ———
- CONTOUR ——— 21 ———
- BUILDING ——— [Hatched Area] ———
- PICKET FENCE ——— [Dashed Line] ———
- CHAINLINK FENCE ——— [Cross-hatched Line] ———
- PROPERTY LINE W/ BEARING DISTANCE ——— [Line with Arrow] ———
- CONFEROUS TREE ——— [Starburst Symbol] ———
- DECIDUOUS TREE ——— [Circle with Dots Symbol] ———
- SIGN POST ——— [Circle with X Symbol] ———
- LIGHT POLE ——— [Circle with T Symbol] ———
- GAS VALVE ——— [Circle with V Symbol] ———
- WATER VALVE ——— [Circle with W Symbol] ———
- UTILITY POLE ——— [Circle with U Symbol] ———
- DRAINAGE MANHOLE ——— [Circle with DMH Symbol] ———
- SEWER MANHOLE ——— [Circle with SMH Symbol] ———
- FIRE HYDRANT ——— [Circle with H Symbol] ———
- CATCH BASIN ——— [Circle with CB Symbol] ———
- FIRE CALL BOX ——— [Circle with FCB Symbol] ———
- MAIL BOX ——— [Circle with MB Symbol] ———
- MONITORING WELL ——— [Circle with MW Symbol] ———
- ELECTRIC MANHOLE ——— [Circle with EMH Symbol] ———
- TOP OF STONE EL. ——— [Circle with TOS Symbol] ———
- BOTTOM OF STONE EL. ——— [Circle with BOS Symbol] ———
- TOP OF WALL EL. ——— [Circle with TWL Symbol] ———
- BOTTOM OF WALL EL. ——— [Circle with BWL Symbol] ———



BUILDING HEIGHT

NOT TO SCALE
 AVERAGE GRADE:
 194.5+200.0+198.7+197.8
 +191.9+191.5+192.9/7=195.3'
 NOTE: BASEMENT DOES NOT MEET CITY
 OF DEFINITION.

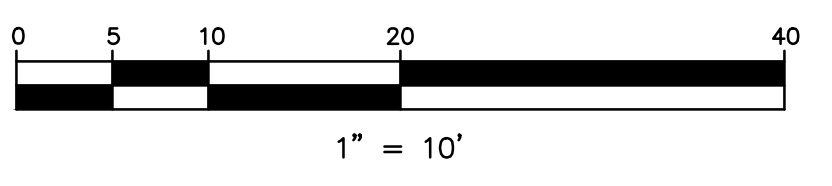
ZONING CHART			
NEWTON, MASSACHUSETTS			
ZONE:	MR-1 NEW	SUBMISSION: EXISTING	
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	19,367±s.f.	—
LOT FRONTAGE	80.0'	115.11'	—
FRONT SETBACK	30.0'	112.3'	—
SIDE SETBACK	10.0'	17.5%	—
REAR SETBACK	15.0'	16.3'	—
BUILD HEIGHT	30.0'	21.7'	—
AVERAGE GRADE	N/A	195.3'	—
LOT COVERAGE	30.0%	10.2%	—
OPEN SPACE	50.0%	76.9%	—

**TOPOGRAPHIC SITE PLAN
 NEWTON, MASSACHUSETTS**

SHOWING EXISTING CONDITIONS AT
 #9 RIPLEY STREET
 SCALE: 1in.=10ft. DATE: MARCH 8, 2011
 PROJECT: 11107



LAND SURVEYORS - CIVIL ENGINEERS.
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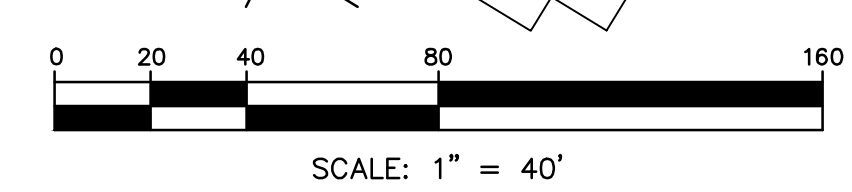


SMH
 RM 176.6
 INV 168.20



SECTION: 65 BLOCK: 19 LOT: 20
 OPEN SPACE: 59.2% LOT COVERAGE: 21.1%
 ZONING DISTRICT: MR-1

21107mm_4.dwg (2/2013)



AREA PLAN OF LAND
 NEWTON, MASSACHUSETTS
 AT
 #9 RIPLEY STREET
 SCALE: 1in.=40ft. DATE: FEBRUARY 5, 2013
 PROJECT: 11107

VTP
 ASSOCIATES
 INC.

LAND SURVEYORS - CIVIL ENGINEERS.
 #132 ADAMS STREET 2ND FLOOR SUITE 3
 NEWTON, MA 02458



SECTION: 65 BLOCK: 19 LOT: 20
 OPEN SPACE: 59.2% LOT COVERAGE: 21.1%
 ZONING DISTRICT: MR-1

21107mm_4.dwg (2/2013)



AREA PLAN OF LAND
 NEWTON, MASSACHUSETTS
 AT
 #9 RIPLEY STREET
 SCALE: 1in.=40ft. DATE: FEBRUARY 5, 2013
 PROJECT: 11107

VTP
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