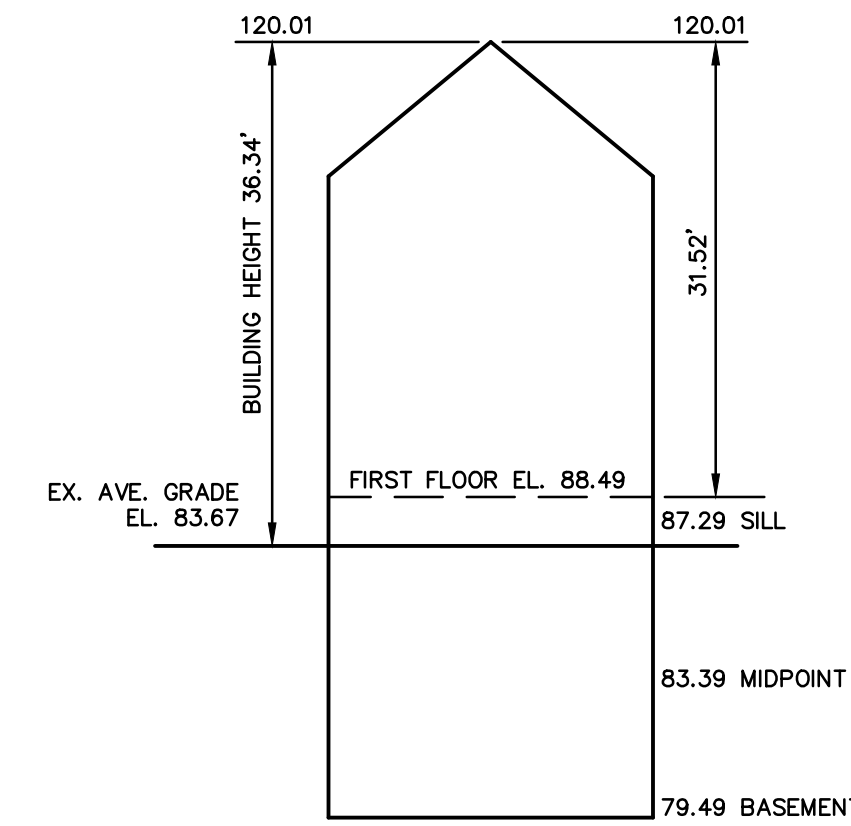
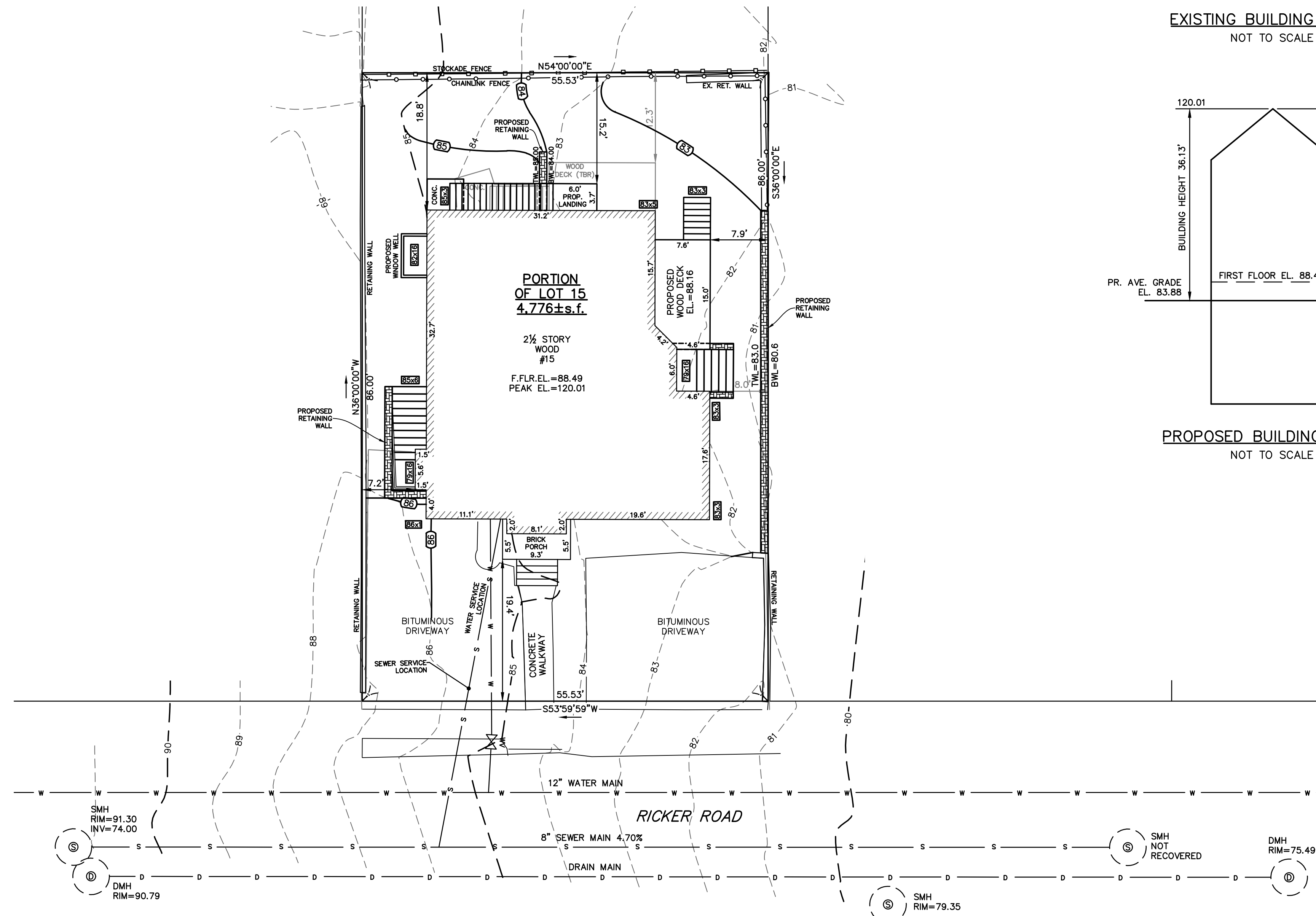


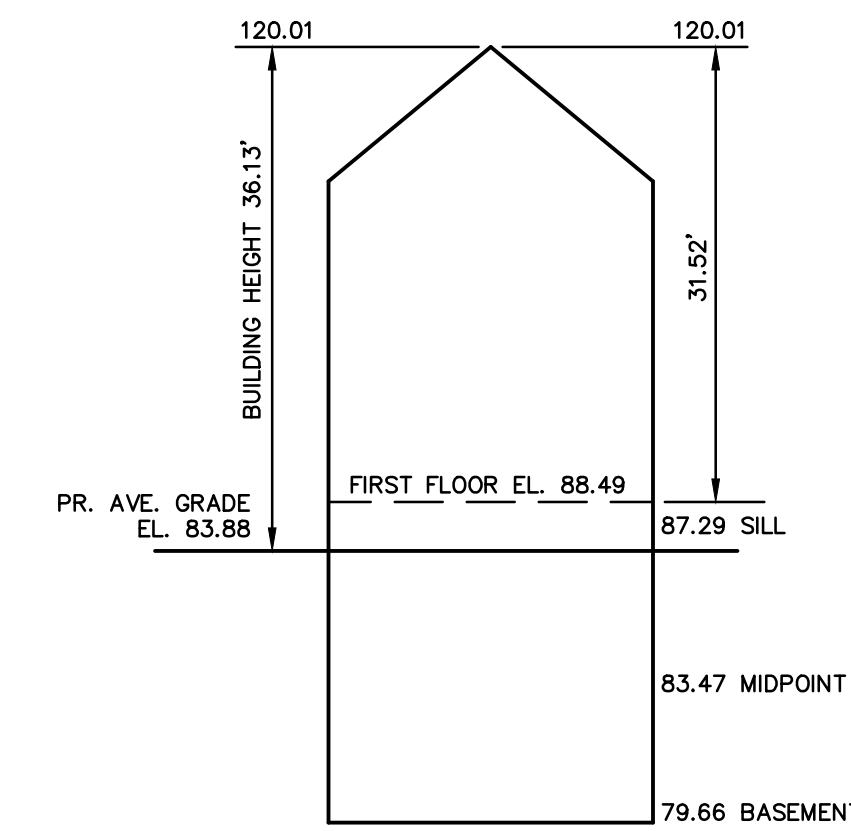
216212\_103.dwg (2/2017)

**LEGEND**

- BUILDING
- PROPERTY LINE W/ BEARING DISTANCE S81°56'34"E  
116.23'
- CONTOUR - 70 -
- STOCKADE FENCE
- CHAINLINK FENCE
- PICKET FENCE
- SEWER LINE S
- DRAIN LINE D
- WATER LINE W
- GAS LINE G
- GAS VALVE
- WATER VALVE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- LIGHT POLE
- DECIDUOUS TREE DEC. 22°
- CONIFEROUS TREE CON. 12°



EXISTING BUILDING HEIGHT  
NOT TO SCALE



PROPOSED BUILDING HEIGHT  
NOT TO SCALE

Address: 15 Ricker Road, Newton

Length Weighted Mean					
Existing Conditions Average Grade Calculation					
Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	19.01	84.05	82.61	83.33	1584.18 Sq. Ft.
2	9.30	85.15	84.18	84.66	787.38 Sq. Ft.
3	10.47	85.78	85.10	85.44	894.53 Sq. Ft.
4	42.26	85.78	84.99	85.38	3608.18 Sq. Ft.
5	8.60	84.69	83.49	84.09	723.16 Sq. Ft.
6	8.10	83.49	83.04	83.26	674.44 Sq. Ft.
7	14.53	83.04	82.40	82.72	1201.90 Sq. Ft.
8	15.71	82.30	82.07	82.19	1291.15 Sq. Ft.
9	5.96	81.70	81.52	81.61	486.38 Sq. Ft.
10	17.59	81.33	80.95	81.14	1427.21 Sq. Ft.
<b>Total</b>	<b>151.53</b>				<b>12678.50 Sq. Ft.</b>
Total Column F / Total Column B = Average Grade					
<b>Average Grade: 83.67'</b>					

Address: #15 Ricker Road

Length Weighted Mean					
Proposed Average Grade Calculation					
Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	10.48	86.10	85.10	85.60	897.09 Sq. Ft.
2	9.30	85.20	84.20	84.70	787.71 Sq. Ft.
3	0.48	84.10	84.00	84.05	40.34 Sq. Ft.
4	18.53	84.00	83.30	83.65	1550.03 Sq. Ft.
5	17.59	83.10	83.10	83.10	1461.73 Sq. Ft.
6	5.71	79.16	79.16	79.16	452.00 Sq. Ft.
7	4.49	83.30	83.20	83.25	373.79 Sq. Ft.
8	15.71	83.30	83.30	83.30	1308.64 Sq. Ft.
9	14.86	84.00	83.50	83.75	1244.53 Sq. Ft.
10	3.04	85.20	85.00	85.10	258.70 Sq. Ft.
11	13.33	85.20	85.20	85.20	1135.72 Sq. Ft.
12	24.18	85.60	85.30	85.45	2066.18 Sq. Ft.
13	10.00	85.60	79.16	82.38	823.80 Sq. Ft.
14	4.25	79.16	79.16	79.16	336.43 Sq. Ft.
15	3.83	86.10	85.90	86.00	329.38 Sq. Ft.
<b>Total</b>	<b>155.78</b>				<b>13066.08 Sq. Ft.</b>
Total Column F / Total Column B = Average Grade					
<b>Average Grade: 83.88'</b>					

ZONING CHART			
NEWTON, MASSACHUSETTS			
ZONE: MR-1 (OLD)	SUBMISSION: EXISTING		
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	7,000s.f.	4,776±s.f.	N/C
LOT FRONTAGE	70.0'	55.53'	N/C
FRONT SETBACK	25.0'	19.4'	N/C
SIDE SETBACK	7.5'	7.2'	N/C
REAR SETBACK	15.0'	12.3'	15.2'
BUILDING HEIGHT	36.0'	36.34'	36.13'
AVERAGE GRADE	-	83.67	83.88
LOT COVERAGE	30.0%	32.2%	32.1%*
OPEN SPACE	50.0%	44.0%	44.6%*

\*DOES NOT CONFORM WITH ZONING

**TOPOGRAPHIC SITE PLAN**  
**NEWTON, MASSACHUSETTS**

SHOWING PROPOSED CONDITIONS AT  
#15 RICKER ROAD

SCALE: 1in.=10ft. DATE: JANUARY 18, 2017  
REVISED: MARCH 3, 2017

PROJECT: 216212



LAND SURVEYORS - CIVIL ENGINEERS. 132  
ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
(617) 332-8271

SHEET 1 OF 1

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