

JELLINEK/SPITZ RESIDENCE

132 PLEASANT STREET

NEWTON, MASSACHUSETTS 02459

District: SR2-old (Single Residence 2)
 Deed: C.O.T. # 176732 - Book 1013; Page 182
 Plan: L.C.C. # 1046-A
 Plan: L.C.C. # 9204-A

Minimum Lot Size: 10,000 SF
 Existing Lot Size: 7,560 SF (existing non-conforming)

Existing Gross Square Footage: 3,802 SF
 Proposed Gross Square Footage: 4,100 SF

Maximum Allowable FAR: 0.420 + .02 = .44
 Existing FAR: 0.502 (existing non-conforming)
 Proposed FAR: 0.542 (proposed non-conforming)

Maximum Lot Coverage: 30%
 Existing Lot Coverage: 25% (existing conforming)
 Proposed Lot Coverage: 28% (proposed conforming)

Minimum Open Space: 50%
 Existing Open Space: 59% (existing conforming)
 Proposed Open Space: 56% (proposed conforming)

Maximum # Stories: 2.5
 Existing # Stories: 2.5 (existing conforming)
 Proposed # Stories: 2.5 (no change)

Setbacks: (existing & proposed conforming)
 Front: 25'
 Side: 7.5'
 Rear: 15'

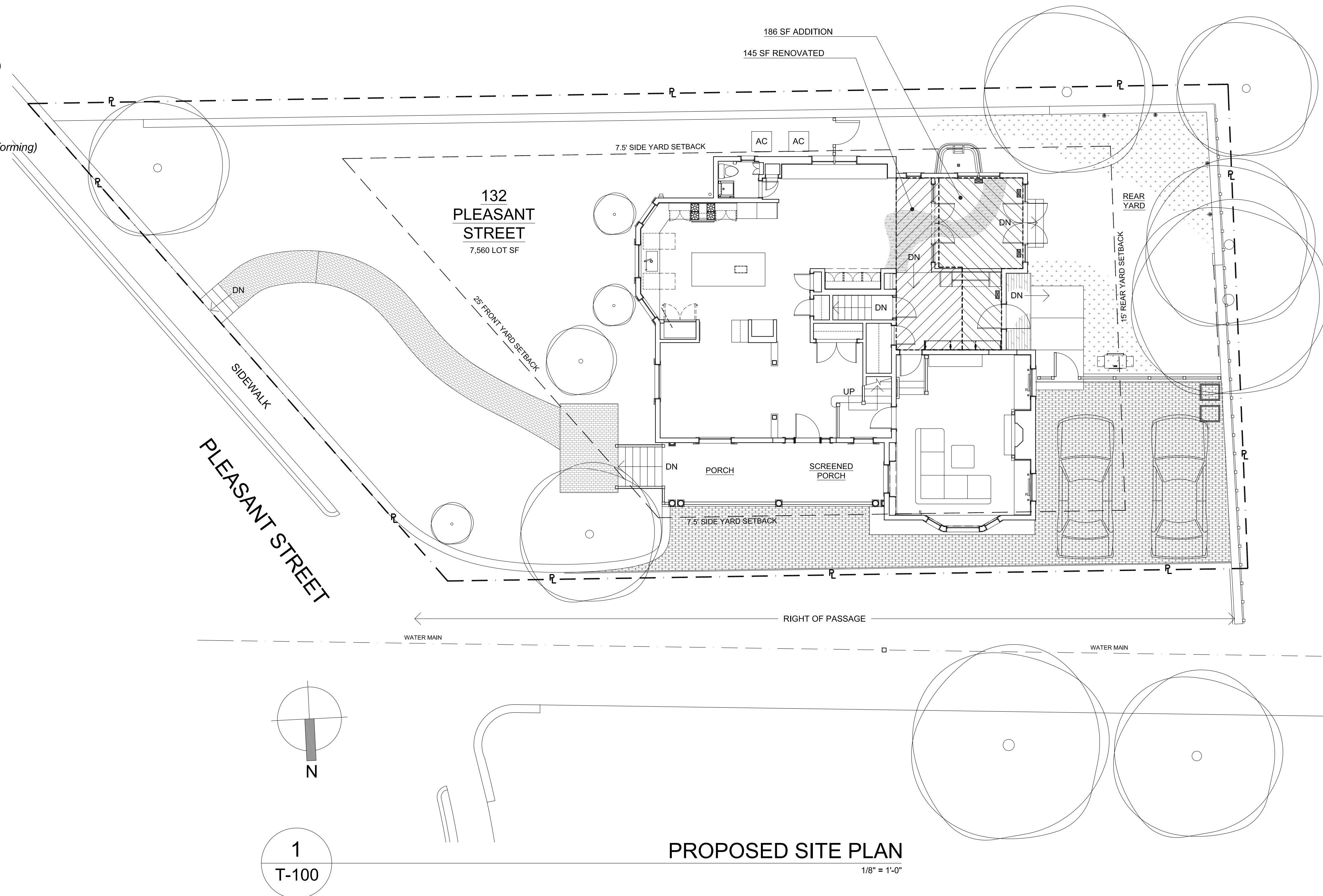
Minimum Frontage: 80'
 Existing Frontage: 79.45' (existing non-conforming)
 Proposed Frontage: 79.45' (no change)

Flood Plain Map #: 25017CO554E



SHEET	TITLE	DATE	REV DATE
T-100	TITLE SHEET AND SITE PLAN	04.27.2018	
EX-100	EXISTING / DEMO PLANS	04.27.2018	
A-100	PROPOSED BASEMENT PLAN	04.27.2018	
A-101	PROPOSED FIRST FLOOR PLAN	04.27.2018	
A-110	PROPOSED BASEMENT CEILING PLAN	04.27.2018	
A-111	PROPOSED FIRST FLOOR CEILING PLAN	04.27.2018	
A-200	PROPOSED EXTERIOR ELEVATIONS	04.27.2018	
A-210	PROPOSED INTERIOR MUDROOM ELEVATIONS	04.27.2018	
A-211	PROPOSED INTERIOR SITTING ROOM ELEVATIONS	04.27.2018	
A-212	PROPOSED NEW BASEMENT BATHROOM ELEVATIONS	04.27.2018	

DRAWING LIST



GENERAL NOTES

- DO NOT SCALE DRAWINGS
- FIELD VERIFY ALL DIMENSIONS
- SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DETAILS
- ALL HVAC, ELECTRIC, AUDIO/VISUAL, PLUMBING, SECURITY SYSTEM, & FIRE PROTECTION SYSTEM TO BE DESIGN/BUILD BY RESPECTIVE CONTRACTOR. IF SHOWN, SCHEMATIC DESIGN ONLY
- SAVE & REUSE WOOD DOORS THROUGHOUT; MATCH ANY NEW DOORS TO EXISTING STYLE
- INSULATE ALL EXTERIOR WALLS TO R-20 MIN
- INSULATE ALL EXTERIOR BASEMENT WALLS & CRAWL SPACES TO R-15 CONTINUOUS INSULATION MIN OR R-19 CAVITY INSULATION MIN
- INSULATE UNDER ALL CONCRETE SLABS TO R-10 MIN
- INSULATE ROOFS TO R-49 MIN
- INSULATE FLOORS OVER UNCONDITIONED SPACE TO R-30 MIN
- ALL TILE APPLICATIONS TO RECEIVE SCHLUTER DITRA, OR SIMILAR, UNCOUPLING MEMBRANE
- PROVIDE EJECTOR PUMP AS REQUIRED @ ALL NEW BASEMENT PLUMBING FIXTURES
- ADJUST EXISTING HVAC SYSTEMS TO ACCOMMODATE NEW CONFIGURATION; SUPPLEMENT W/ NEW ONLY IF REQUIRED
- PROPERLY FLASH & AIRSTOP ALL EXTERIOR PENETRATIONS
- PROVIDE ALL POWER & DATA CONNECTIONS & OUTLETS FOR ALL APPLIANCES, HVAC, AUDIO & VIDEO EQUIPMENT PER OWNER DIRECTION

LEGEND

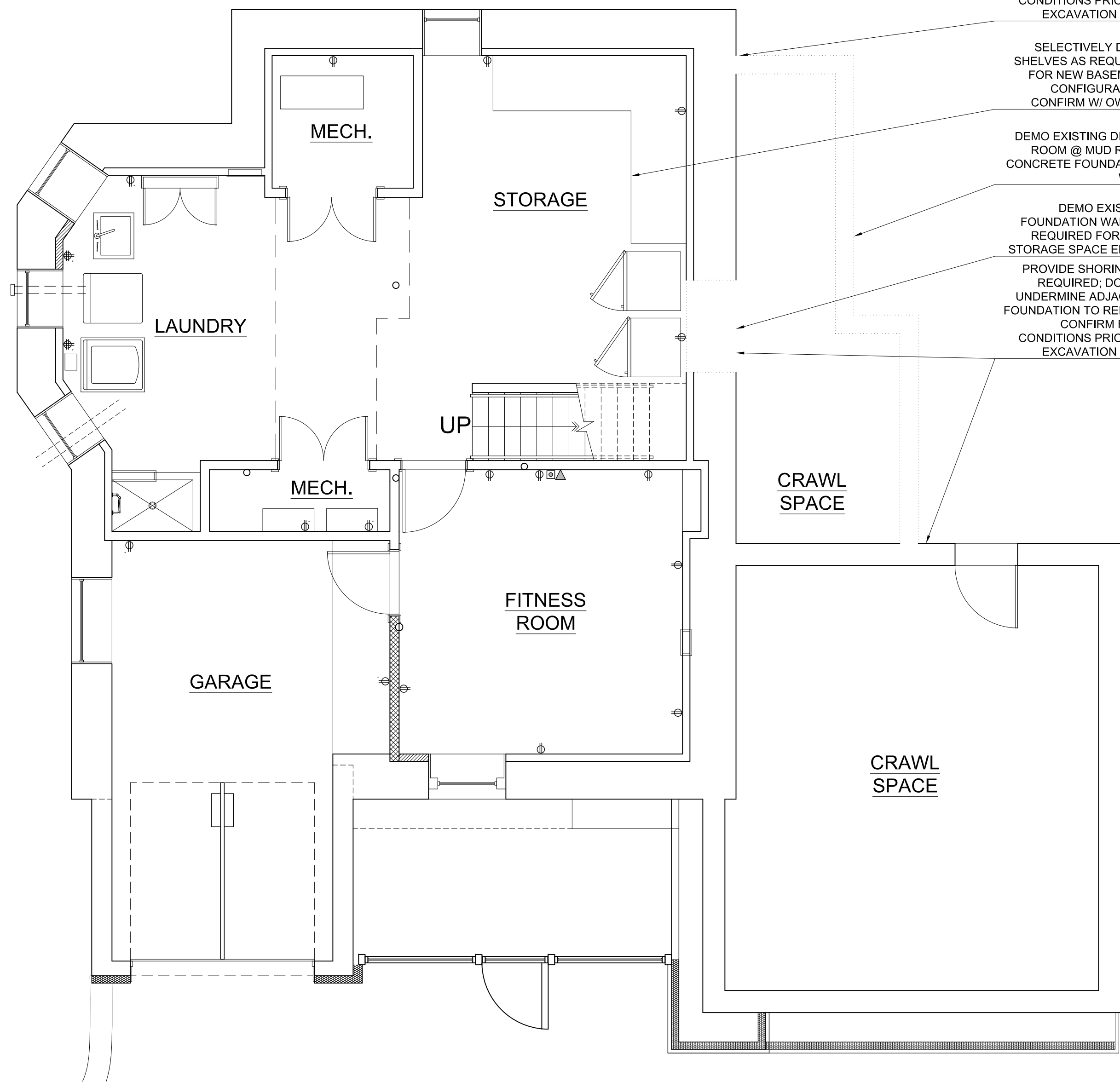
	NEW GWB PARTITION
	NEW 1HR RATED GWB PARTITION
	NEW GWB KNEE WALL
	PARTITION/COMPONENT TO BE DEMOLISHED
	ELECTRICAL SWITCH
	3-WAY ELECTRICAL SWITCH
	4-WAY ELECTRICAL SWITCH
	PLUNGER SWITCH
	GARAGE DOOR OPERATOR/KEYPAD
	DATA JACK
	TELEPHONE JACK
	DUPLEX OUTLET
	QUADPLEX OUTLET
	DUPLEX OUTLET W/ USB CHARGING
	COAXIAL CABLE JACK
	THERMOSTAT
	ALARM COMPONENT
	EXISTING FIXTURE, OUTLET OR ELECTRICAL COMPONENT
	ELECTRICAL CIRCUIT
	RECESSED CEILING LIGHT FIXTURE
	RECESSED CEILING WET LOCATION LIGHT FIXTURE
	RECESSED CEILING WALL WASH LIGHT FIXTURE
	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
	CEILING MOUNTED PENDANT LIGHT FIXTURE
	SURFACE MOUNTED WALL SCONCE
	CEILING MOUNTED CHANDELIER
	SURFACE MOUNTED CEILING LIGHT FIXTURE
	MULTI-HEAD TRACK LIGHTING
	EXTERIOR WALL MOUNT LIGHT FIXTURE
	SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	UNDER CABINET/SHELF LINEAR LIGHT FIXTURE
	PUCK LIGHT
	WALL MOUNTED PATH LIGHT
	MOTION SENSOR
	WIFI ROUTER
	SONOS PLAY-5 SPEAKER
	SONOS PLAY-3 SPEAKER
	SMOKE DETECTOR
	CO DETECTOR
	HEAT DETECTOR

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PROPOSED RENOVATION
 JELLINEK / SPITZ RESIDENCE
 132 PLEASANT STREET
 NEWTON, MASSACHUSETTS 02459-1828



PROJECT NUMBER: 1145
 DRAWING NUMBER:
T-100
 SCALE: 1/8"=1'-0"
 DATE: 04.27.2018



PROVIDE SHORING AS REQUIRED; DO NOT UNDERMINE ADJACENT FOUNDATION TO REMAIN; CONFIRM FIELD CONDITIONS PRIOR TO EXCAVATION (TYP)

SELECTIVELY DEMO SHELVES AS REQUIRED FOR NEW BASEMENT CONFIGURATION; CONFIRM W/ OWNER

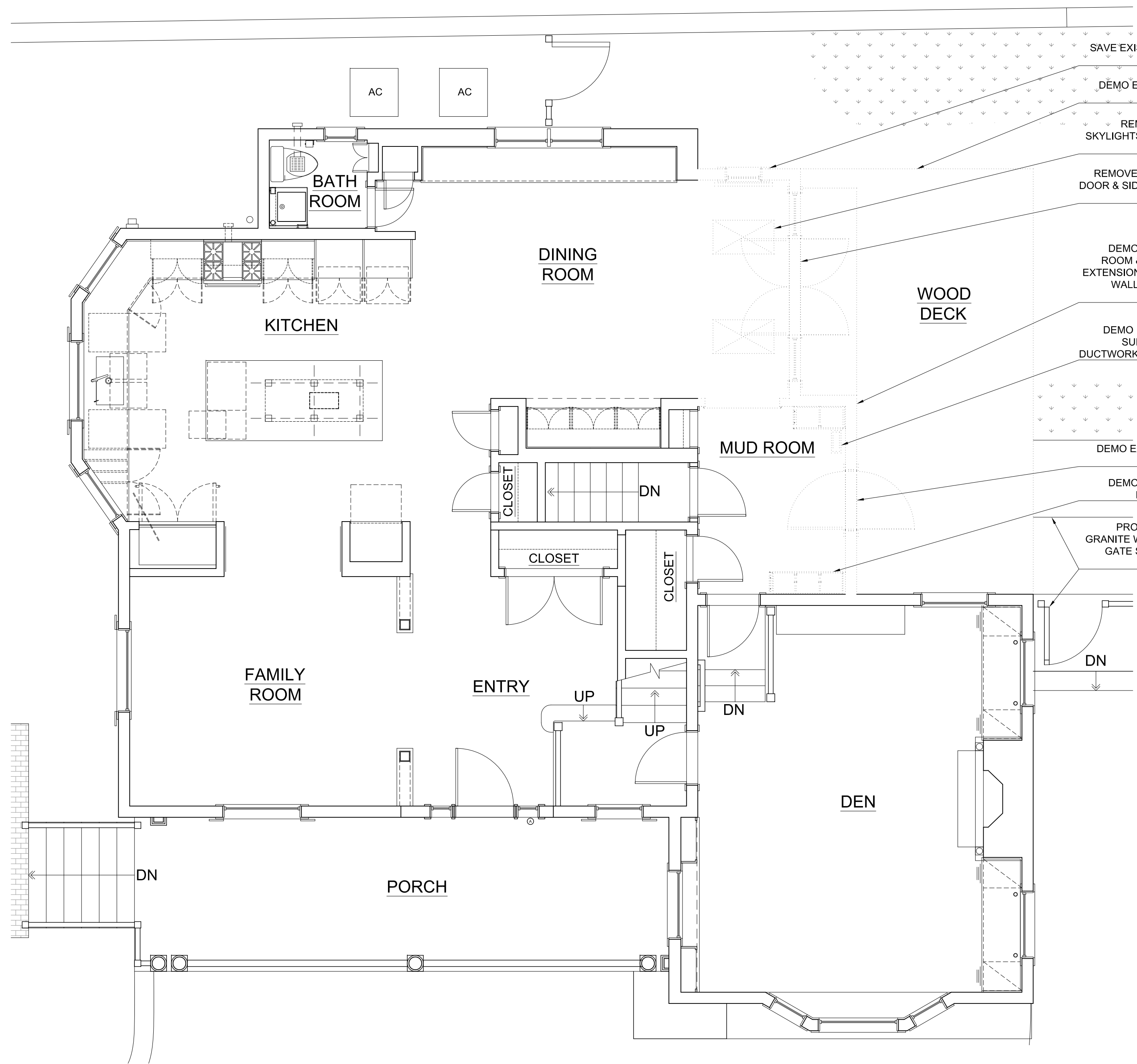
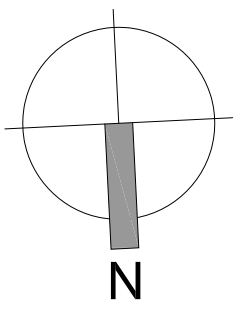
DEMO EXISTING DINING ROOM @ MUD ROOM CONCRETE FOUNDATION WALL

DEMO EXISTING FOUNDATION WALL AS REQUIRED FOR NEW STORAGE SPACE ENTRY

PROVIDE SHORING AS REQUIRED; DO NOT UNDERMINE ADJACENT FOUNDATION TO REMAIN; CONFIRM FIELD CONDITIONS PRIOR TO EXCAVATION (TYP)

1
EX-100

EXISTING / DEMO BASEMENT PLAN
1/2" = 1'-0"



SAVE EXISTING WINDOW FOR REUSE

DEMO EXISTING WOOD DECK

REMOVE EXISTING SKYLIGHTS (2); SAVE FOR REUSE

REMOVE EXISTING PAIR DOOR & SIDELIGHTS; SAVE FOR REUSE

DEMO EXISTING MUD ROOM & DINING ROOM EXTENSION WOOD FRAME WALLS & CONCRETE FOUNDATION

DEMO EXISTING HVAC SUPPLY; SALVAGE DUCTWORK AS PRACTICAL

DEMO EXISTING ENTRY DOOR

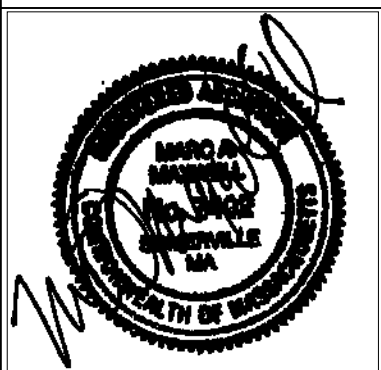
DEMO EXISTING MUD ROOM CUBBIES

PROTECT EXISTING GRANITE WALK & FENCE / GATE SCHEDULED TO REMAIN

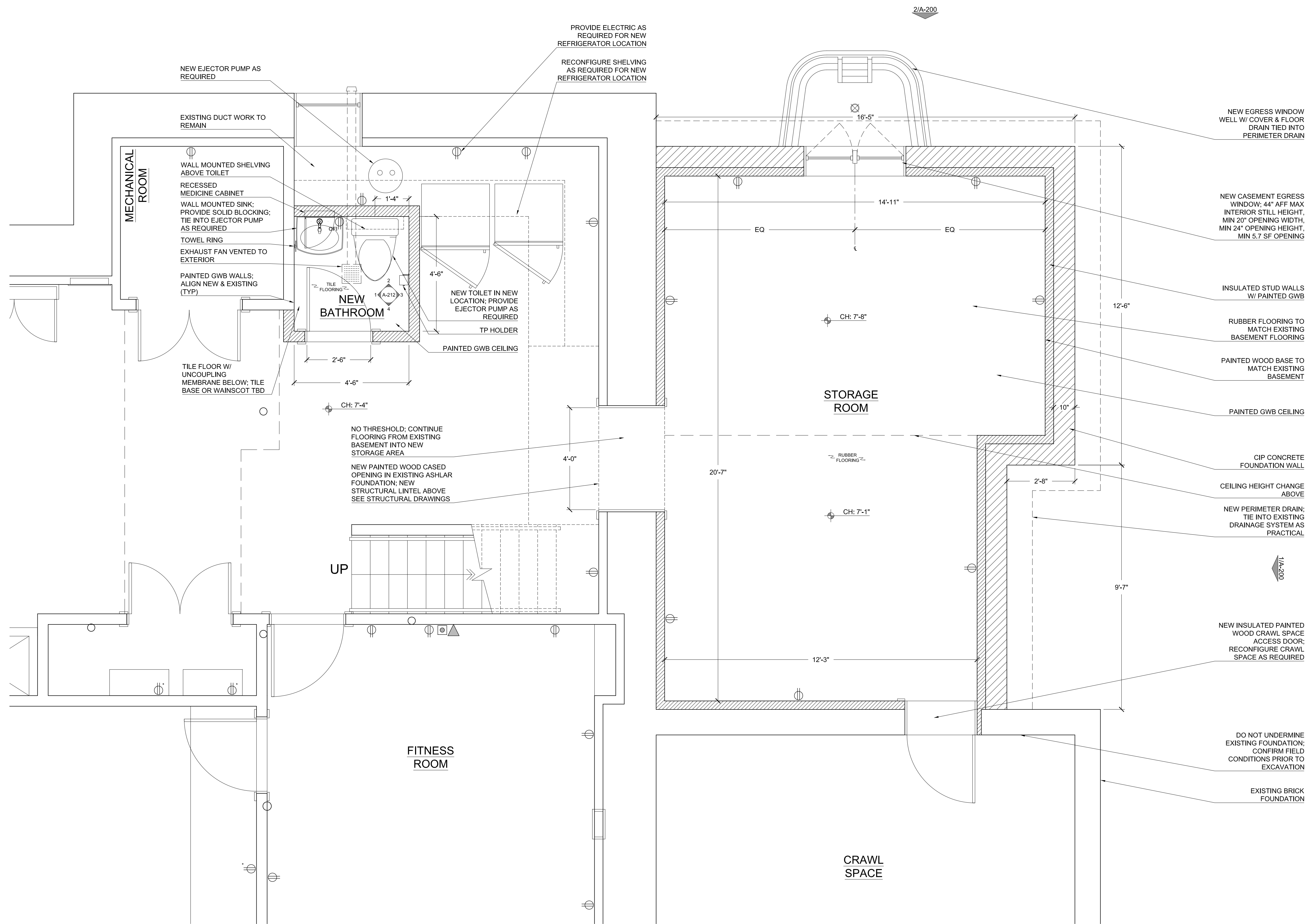
2
EX-100

EXISTING / DEMO BASEMENT PLAN
1/2" = 1'-0"

EXISTING / DEMO BASEMENT PLAN
JELLINEK / SPITZ RESIDENCE
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NEW EGRESS WINDOW
WELL W/ COVER & FLOOR
DRAIN TIED INTO
PERIMETER DRAIN

NEW CASEMENT EGRESS
WINDOW; 44" AFF MAX
INTERIOR STILL HEIGHT,
MIN 20" OPENING WIDTH,
MIN 24" OPENING HEIGHT,
MIN 5.7 SF OPENING

INSULATED STUD WALLS
W/ PAINTED GWB

RUBBER FLOORING TO
MATCH EXISTING
BASEMENT FLOORING

PAINTED WOOD BASE TO
MATCH EXISTING
BASEMENT

PAINTED GWB CEILING

CIP CONCRETE
FOUNDATION WALL

CEILING HEIGHT CHANGE
ABOVE

NEW PERIMETER DRAIN;
TIE INTO EXISTING
DRAINAGE SYSTEM AS
PRACTICAL

NEW INSULATED PAINTED
WOOD CRAWL SPACE
ACCESS DOOR;
RECONFIGURE CRAWL
SPACE AS REQUIRED

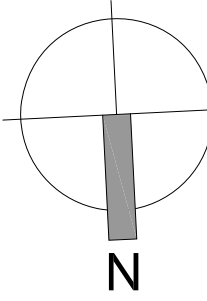
DO NOT UNDERMINE
EXISTING FOUNDATION;
CONFIRM FIELD
CONDITIONS PRIOR TO
EXCAVATION

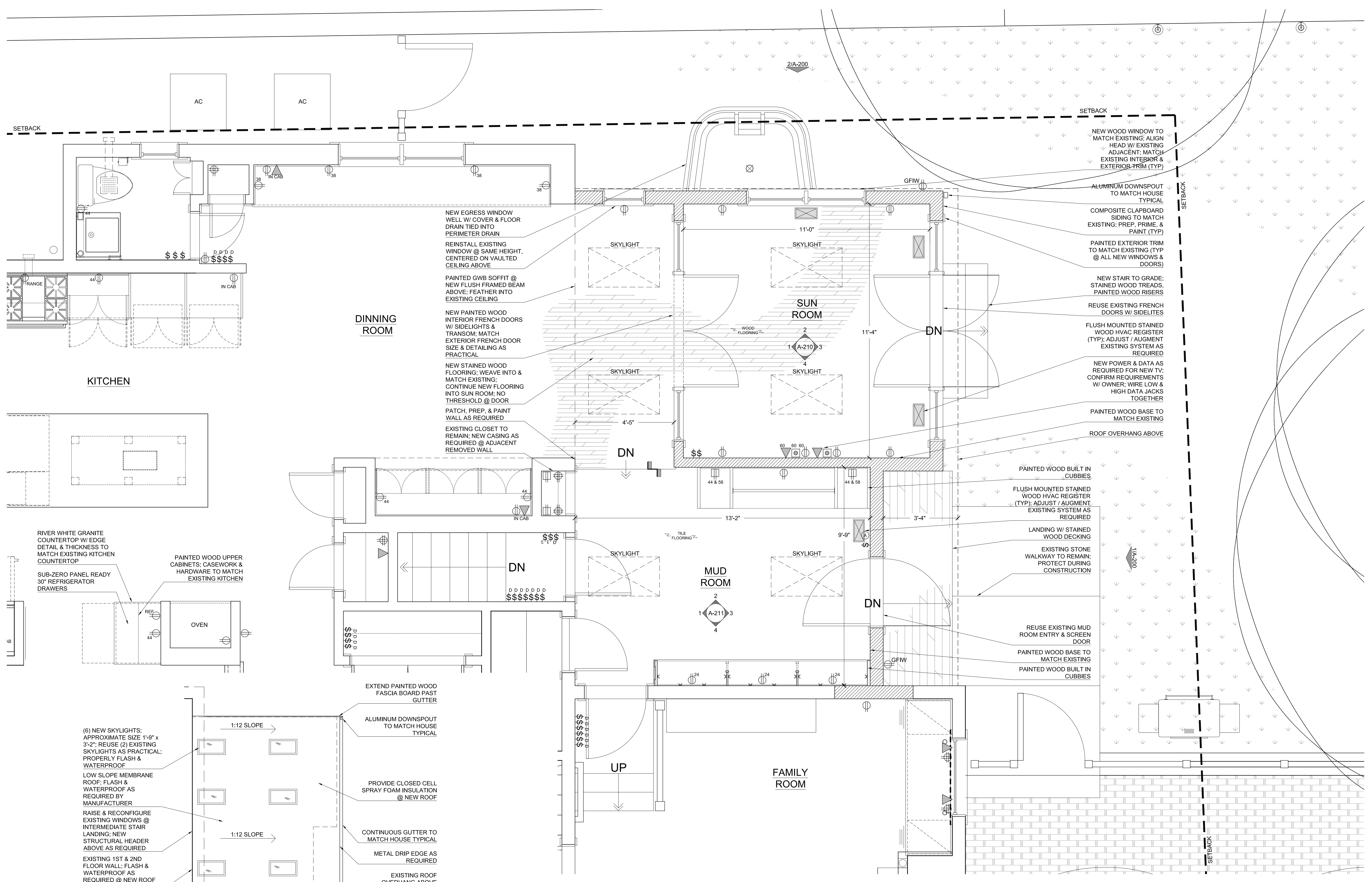
EXISTING BRICK
FOUNDATION

PROPOSED BASEMENT PLAN

1/2" = 1'-0"

1
A-100





(6) NEW SKYLIGHTS: APPROXIMATE SIZE 1'-9" x 3'-2"; REUSE (2) EXISTING SKYLIGHTS AS PRACTICAL; PROPERLY FLASH & WATERPROOF

LOW SLOPE MEMBRANE ROOF; FLASH & WATERPROOF AS REQUIRED BY MANUFACTURER

RAISE & RECONFIGURE EXISTING WINDOWS @ INTERMEDIATE STAIR LANDING; NEW STRUCTURAL HEADER ABOVE AS REQUIRED

EXISTING 1ST & 2ND FLOOR WALL; FLASH & WATERPROOF AS REQUIRED @ NEW ROOF INTERSECTION

EXTEND PAINTED WOOD FASCIA BOARD PAST GUTTER

ALUMINUM DOWNSPOUT TO MATCH HOUSE TYPICAL

PROVIDE CLOSED CELL SPRAY FOAM INSULATION @ NEW ROOF

CONTINUOUS GUTTER TO MATCH HOUSE TYPICAL

METAL DRIP EDGE AS REQUIRED

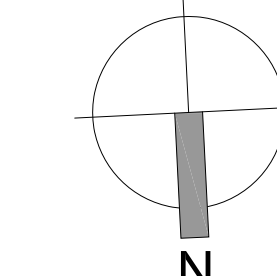
EXISTING ROOF OVERHANG ABOVE

1
A-101

PROPOSED ROOF PLAN
NTS

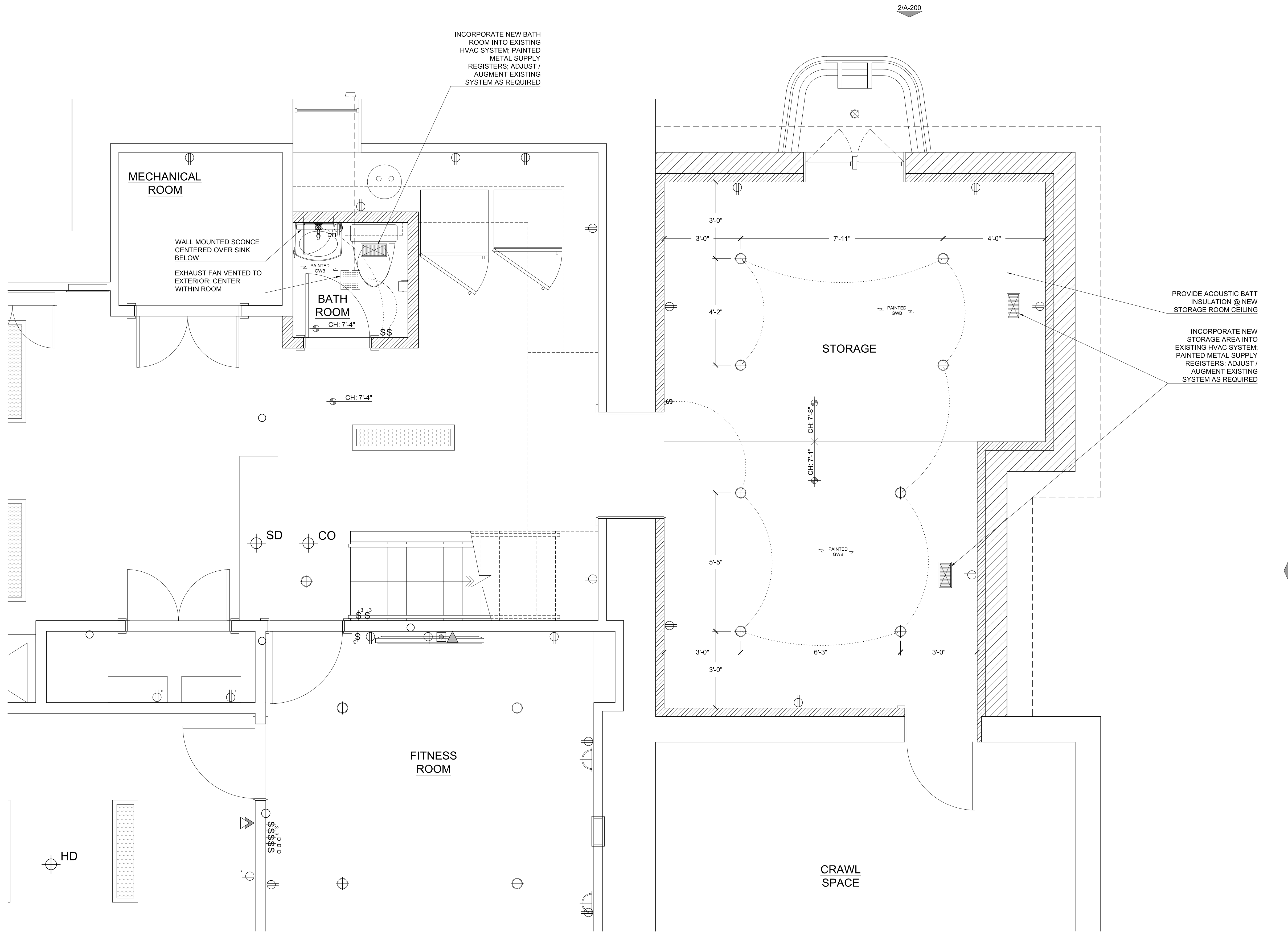
2
A-101

PROPOSED FIRST FLOOR PLAN
1/2" = 1'-0"



PROPOSED FIRST FLOOR PLAN
JELLINEK / SPITZ RESIDENCE
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INCORPORATE NEW BATH ROOM INTO EXISTING HVAC SYSTEM; PAINTED METAL SUPPLY
 REGISTERS; ADJUST / AUGMENT EXISTING SYSTEM AS REQUIRED

MECHANICAL ROOM

WALL MOUNTED SCONCE CENTERED OVER SINK BELOW
 EXHAUST FAN VENTED TO EXTERIOR; CENTER WITHIN ROOM

BATH ROOM

STORAGE

FITNESS ROOM

CRAWL SPACE

PROVIDE ACOUSTIC BATT INSULATION @ NEW STORAGE ROOM CEILING

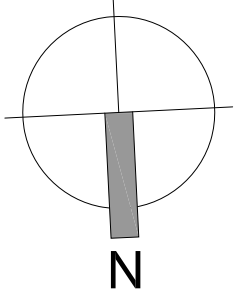
INCORPORATE NEW STORAGE AREA INTO EXISTING HVAC SYSTEM; PAINTED METAL SUPPLY REGISTERS; ADJUST / AUGMENT EXISTING SYSTEM AS REQUIRED

2/A-200

1/A-200

1
A-110

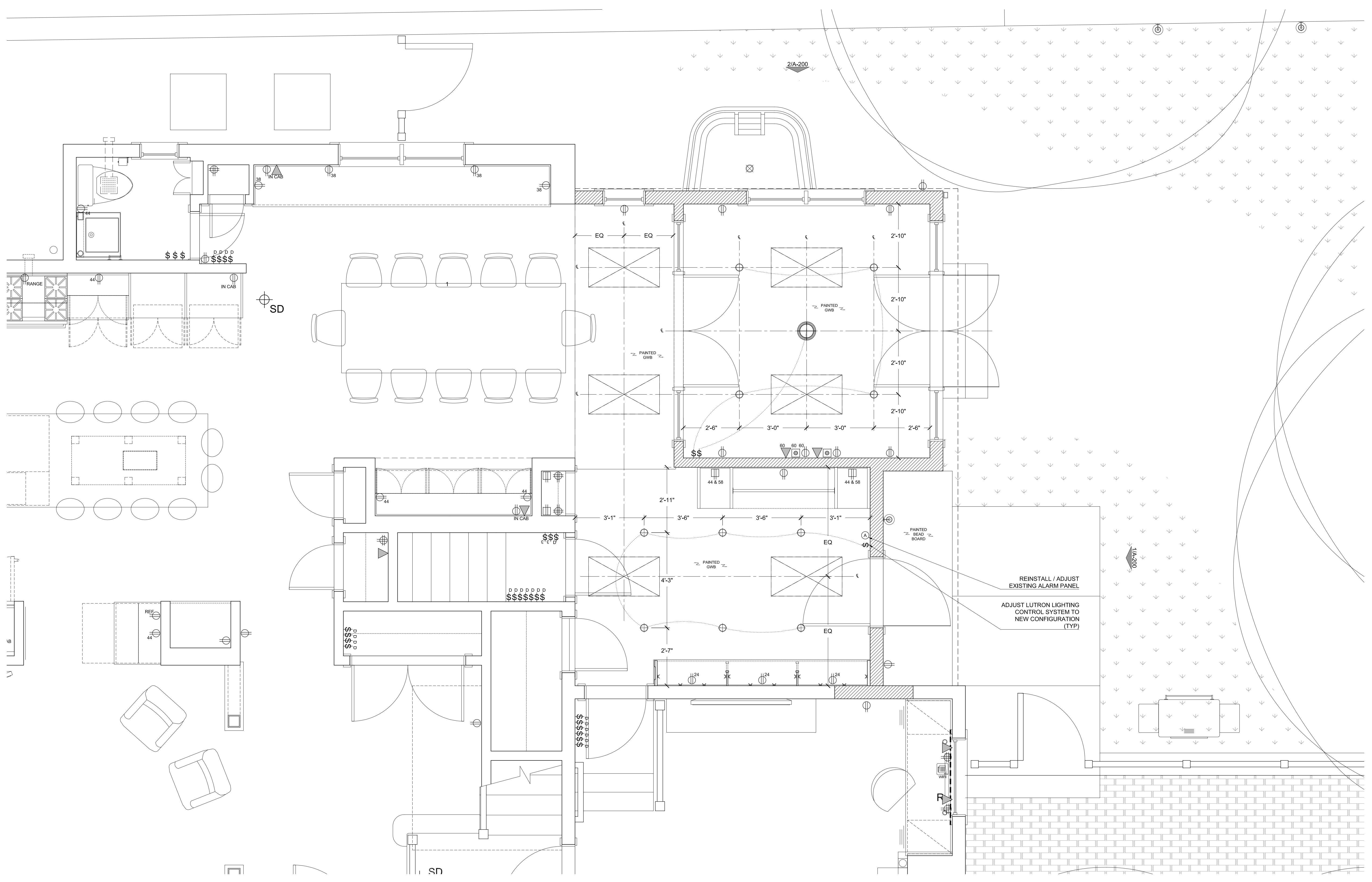
PROPOSED BASEMENT CEILING PLAN
 1/2" = 1'-0"



PROPOSED BASEMENT CEILING PLAN
 JELLINEK / SPITZ RESIDENCE
 132 PLEASANT STREET
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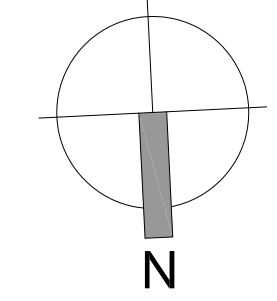


PROJECT NUMBER: 1145
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A-110
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1
A-111

PROPOSED FIRST FLOOR CEILING PLAN
1/2" = 1'-0"



PROPOSED FIRST FLOOR CEILING PLAN
JELLINEK / SPITZ RESIDENCE
132 PLEASANT STREET
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- RAISE & RECONFIGURE EXISTING WINDOWS; NEW STRUCTURAL HEADER ABOVE AS REQUIRED
- (6) NEW SKYLIGHTS; APPROXIMATE SIZE 1'-9" x 3'-2"; REUSE (2) EXISTING SKYLIGHTS AS PRACTICAL; PROPERLY FLASH & WATERPROOF
- FLASH & WATERPROOF AS REQUIRED @ NEW ROOF & EXISTING WALL INTERSECTION
- PROVIDE CLOSED CELL SPRAY FOAM INSULATION @ NEW ROOF
- LOW SLOPE MEMBRANE ROOF; FLASH & WATERPROOF AS REQUIRED BY MANUFACTURER
- ALUMINUM GUTTER & DOWNSPOUT TO MATCH HOUSE TYPICAL
- REUSE EXISTING FRENCH DOOR W/ SIDELIGHTS
- NEW STAIR TO GRADE; STAINED WOOD TREADS, PAINTED WOOD RISERS
- PAINTED BEAD BOARD CEILING
- RELOCATED EXISTING EXTERIOR SCONCE
- REUSE EXISTING MUD ROOM DOOR
- WEATHERPROOF GFI OUTLET



- REINSTALL EXISTING WINDOW; NEW PAINTED WOOD TRIM; ALIGN HEAD W/ EXISTING ADJACENT (TYP)
- EXTEND PAINTED WOOD FASCIA BOARD PAST GUTTER
- COMPOSITE CLAPBOARD SIDING TO MATCH EXISTING; PREP, PRIME, & PAINT (TYP)
- PAINTED EXTERIOR TRIM TO MATCH EXISTING (TYP @ ALL NEW WINDOWS & DOORS)
- NEW WOOD WINDOW TO MATCH EXISTING; ALIGN HEAD W/ EXISTING (TYP)
- WEATHERPROOF GFI OUTLET
- NEW WATER TABLE & TRIM TO MATCH EXISTING
- NEW EGRESS WINDOW WELL W/ COVER & FLOOR DRAIN TIED INTO PERIMETER DRAIN
- NEW CASEMENT EGRESS WINDOW; 44" AFF MAX INTERIOR STILL HEIGHT, MIN 24" OPENING WIDTH, MIN 24" OPENING HEIGHT, MIN 5.7 SF OPENING
- CIP CONCRETE FOUNDATION WALL & FOOTING W/ NEW PERIMETER DRAIN TIED INTO EXISTING; SEE STRUCTURAL DRAWINGS
- NEW EXHAUST VENT FROM NEW BASEMENT BATHROOM

1
A-200

PROPOSED WEST ELEVATION
1/4" = 1'-0"

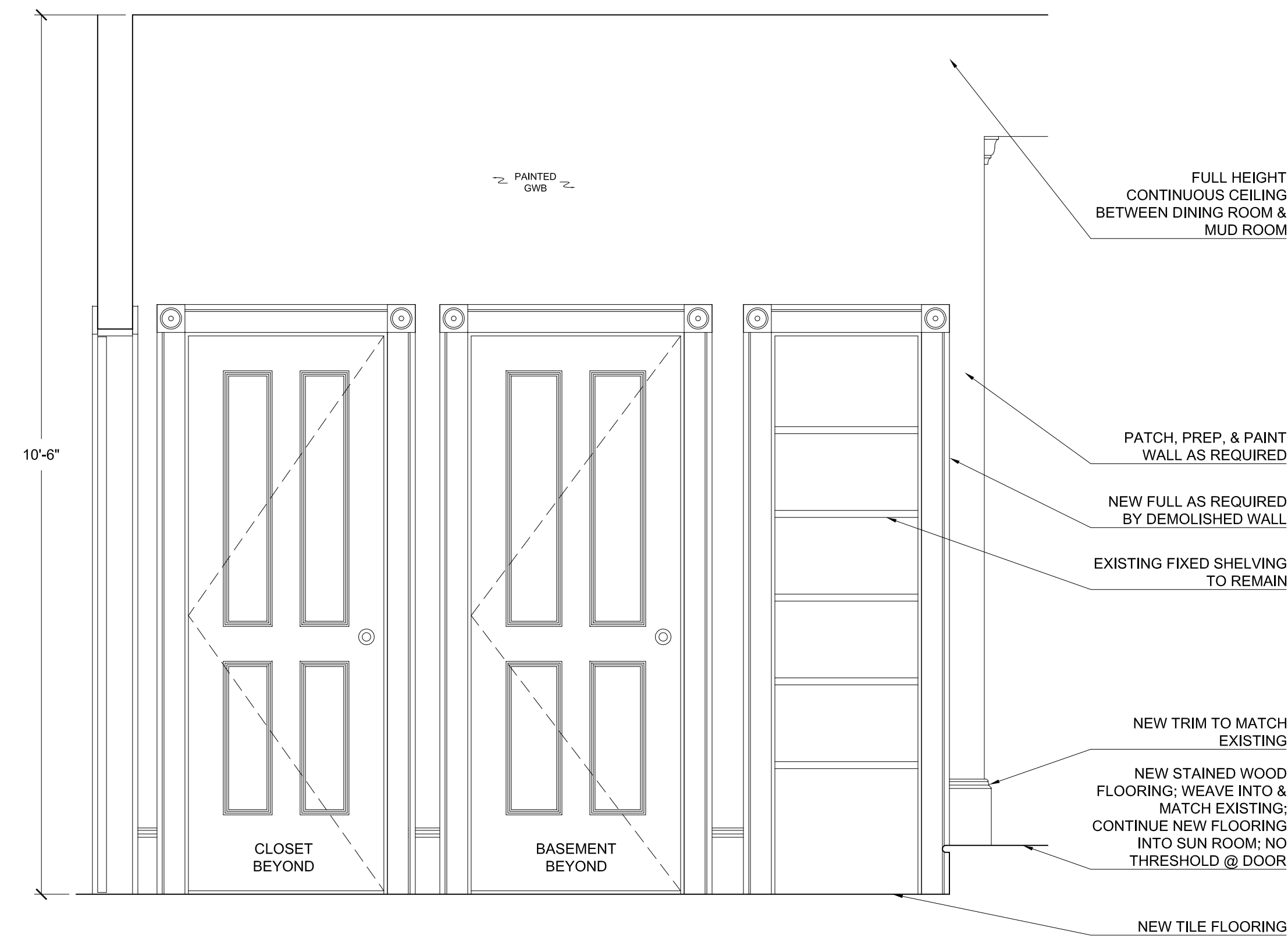
2
A-200

PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

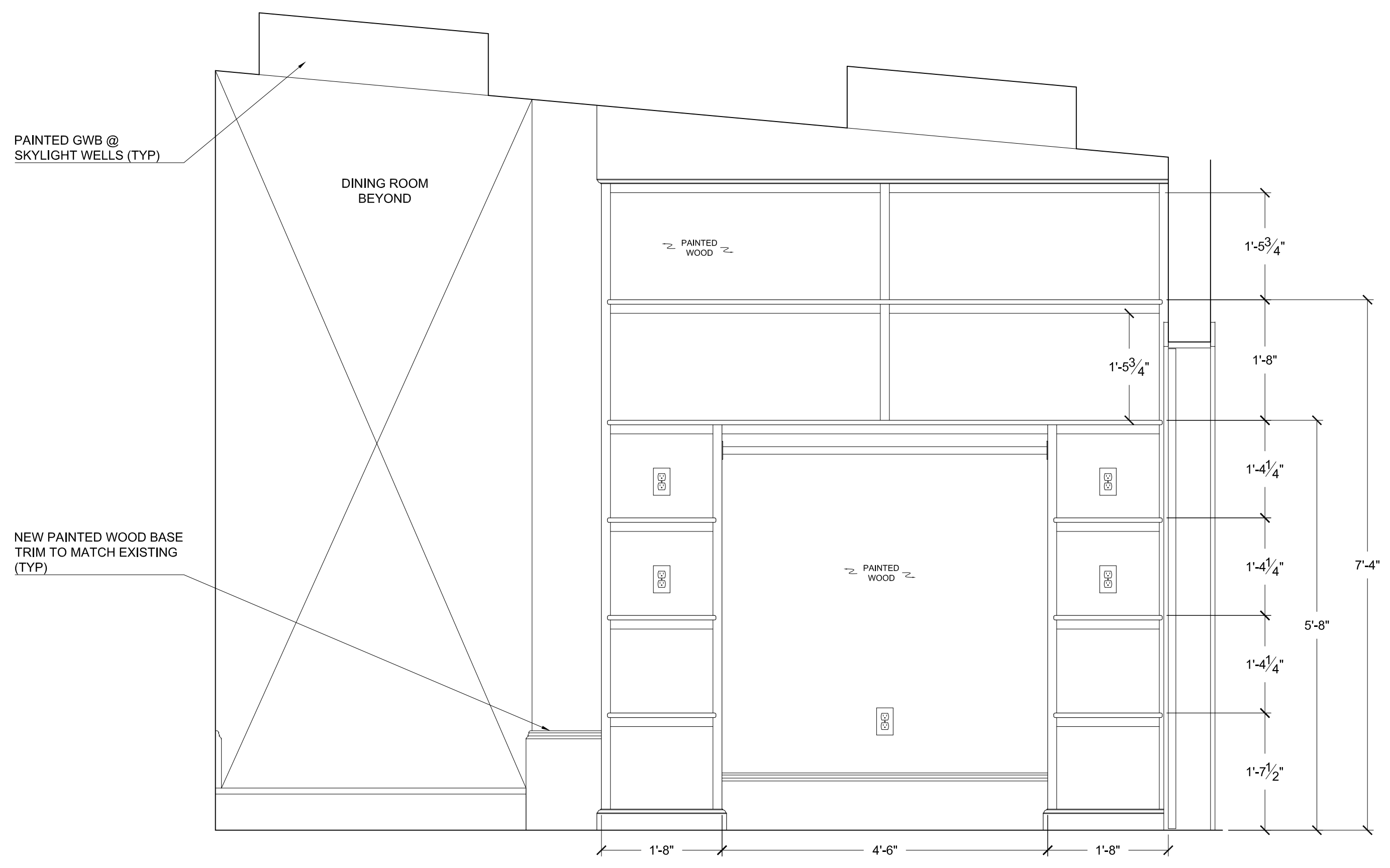
PROPOSED EXTERIOR ELEVATIONS
JELLINEK / SPITZ RESIDENCE
132 PLEASANT STREET
NEWTON, MASSACHUSETTS 02459-1828



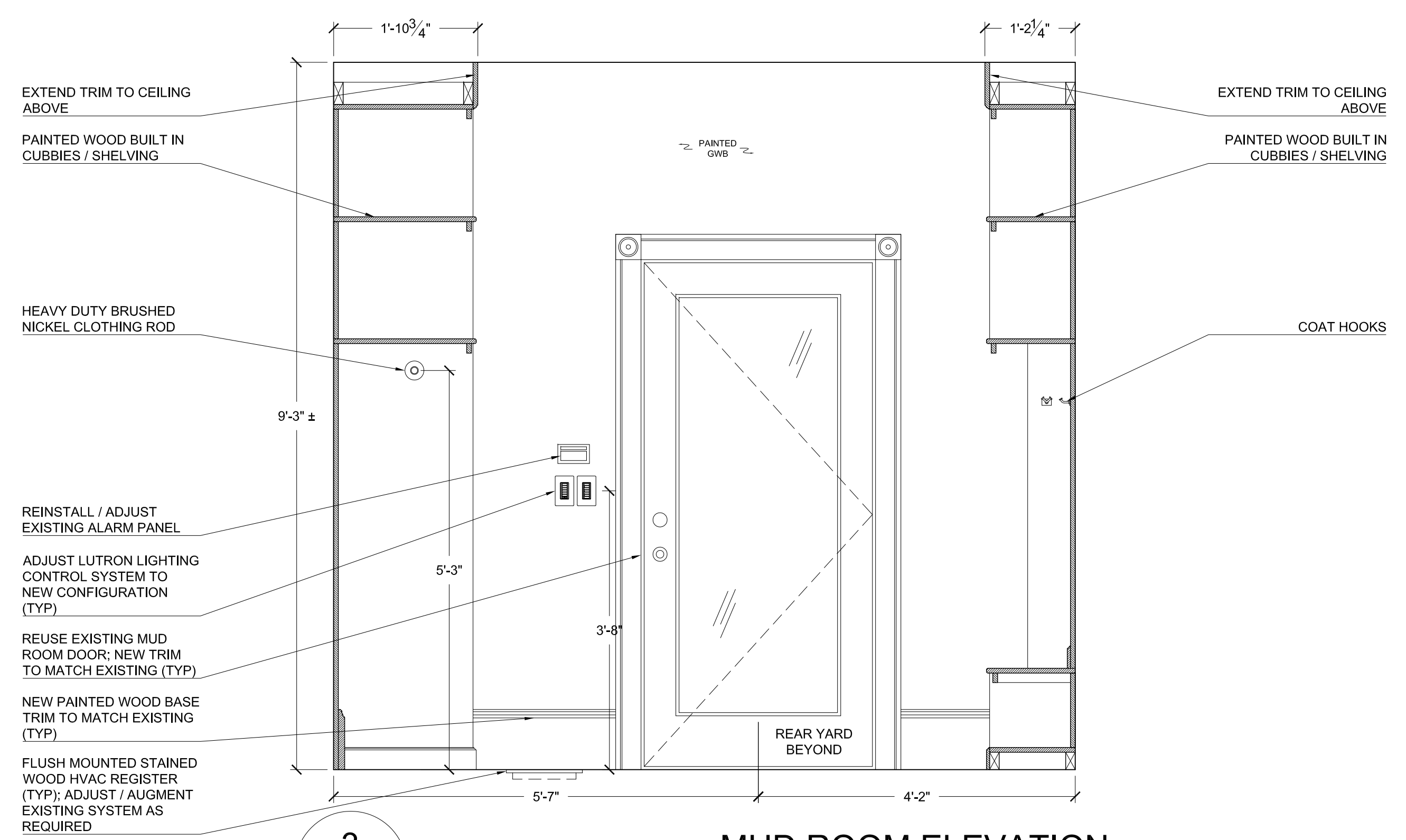
PROJECT NUMBER: 1145
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A-200
SCALE: 1/4"=1'-0"
DATE: 04.27.2018



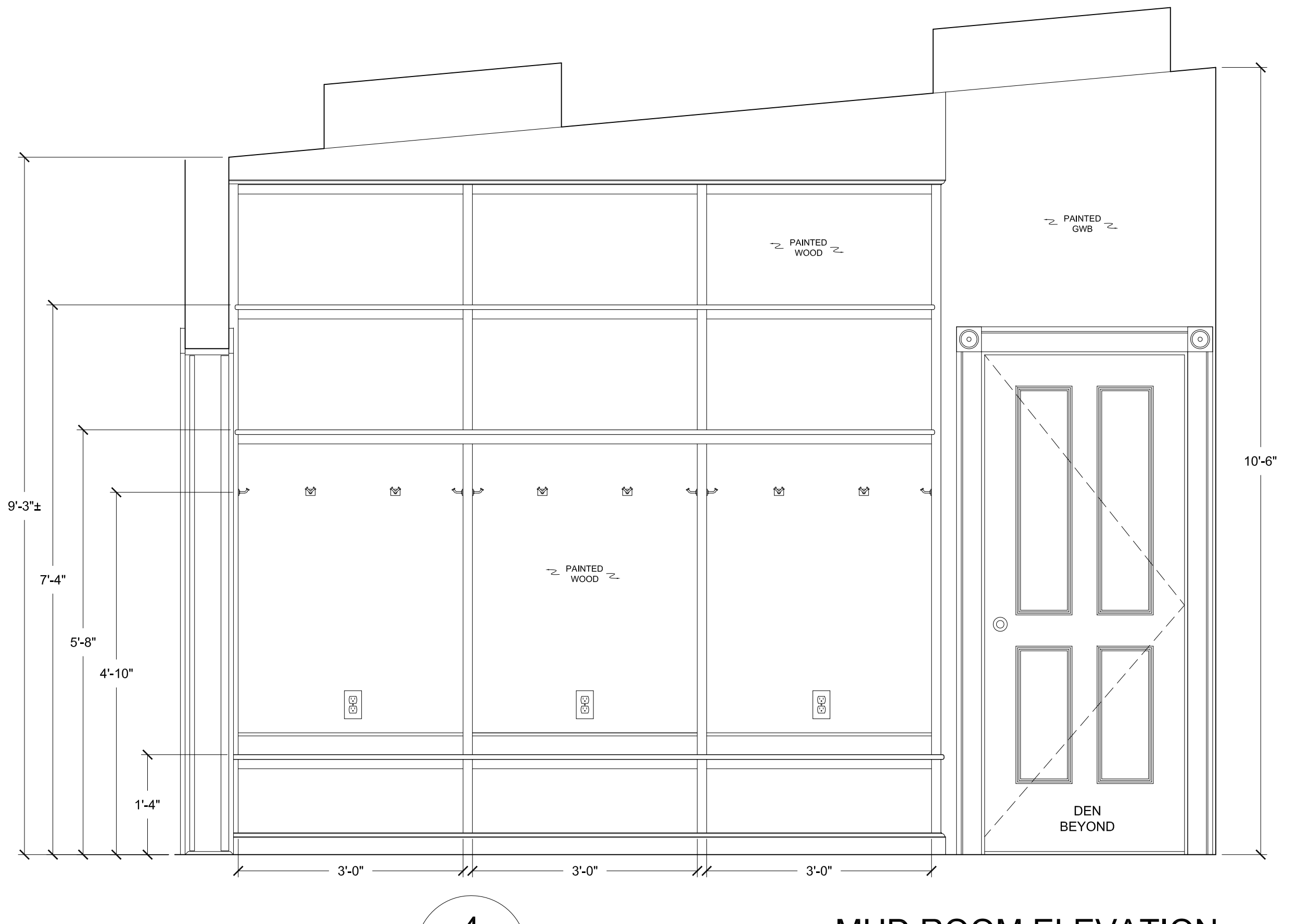
1
A-210
MUD ROOM ELEVATION
3/4" = 1'-0"



2
A-210
MUD ROOM ELEVATION
3/4" = 1'-0"

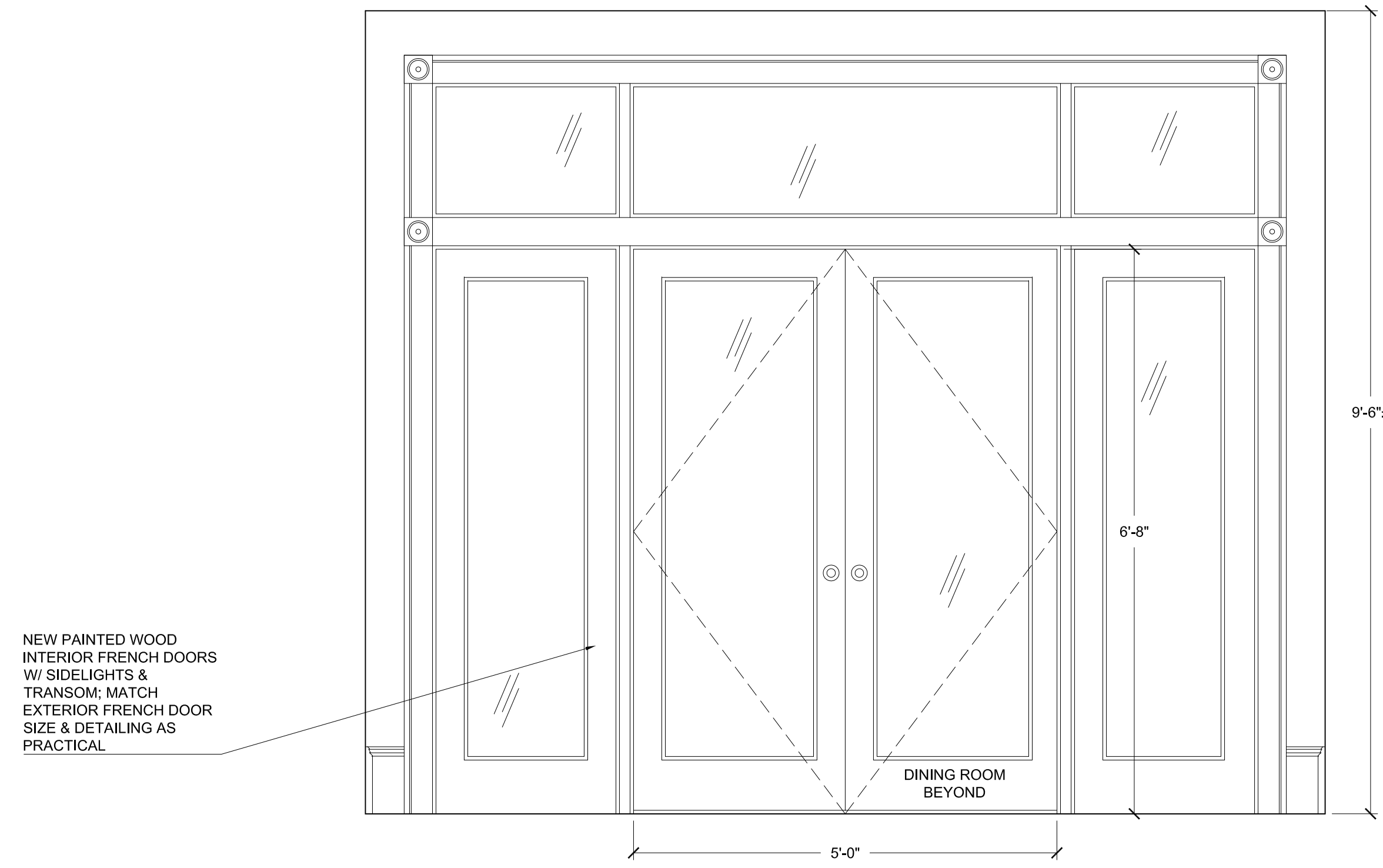


3
A-210
MUD ROOM ELEVATION
3/4" = 1'-0"



4
A-210
MUD ROOM ELEVATION
3/4" = 1'-0"





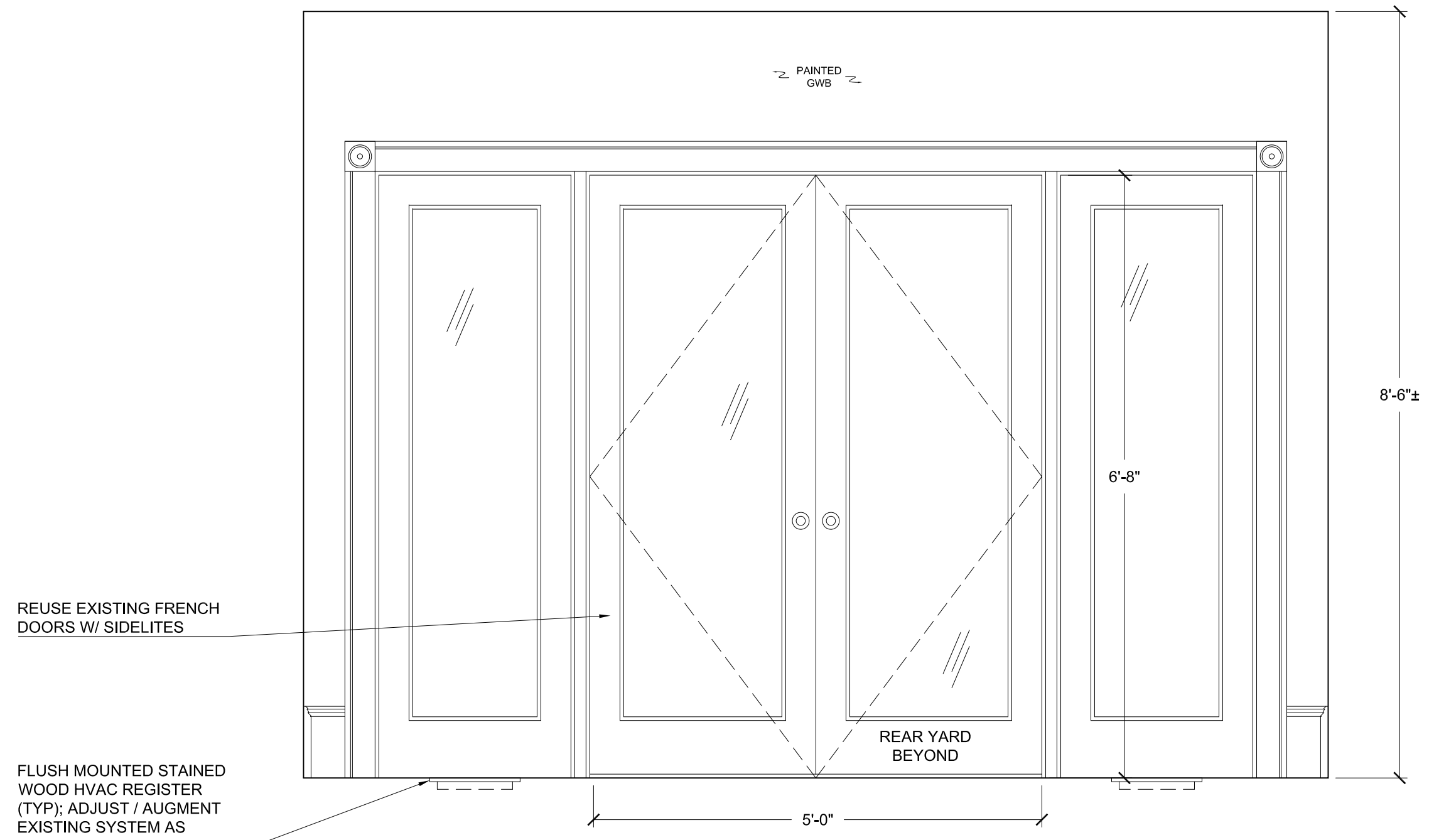
1
 A-211
SUN ROOM ELEVATION
 3/4" = 1'-0"

NEW PAINTED WOOD
 INTERIOR FRENCH DOORS
 W/ SIDELIGHTS &
 TRANSOM; MATCH
 EXTERIOR FRENCH DOOR
 SIZE & DETAILING AS
 PRACTICAL

- PAINTED GWB @ SKYLIGHT WELLS (TYP)
- PAINTED GWB SOFFIT @ NEW FLUSH FRAMED BEAM ABOVE; FEATHER INTO EXISTING CEILING
- REINSTALL EXISTING WINDOW; ALIGN HEAD W/ EXISTING ADJACENT. CENTERED ON VAULTED CEILING ABOVE
- ALL NEW WINDOW & DOOR TRIM TO MATCH EXISTING
- NEW PAINTED WOOD INTERIOR FRENCH DOORS W/ SIDELIGHTS & TRANSOM; MATCH EXTERIOR FRENCH DOOR SIZE & DETAILING AS PRACTICAL
- NEW WOOD WINDOW TO MATCH EXISTING; ALIGN HEAD W/ EXISTING ADJACENT; MATCH EXISTING INTERIOR & EXTERIOR TRIM (TYP)
- FLUSH MOUNTED STAINED WOOD HVAC REGISTER (TYP); ADJUST / AUGMENT EXISTING SYSTEM AS REQUIRED
- NEW PAINTED WOOD BASE TRIM TO MATCH EXISTING (TYP)
- NEW STAINED WOOD FLOORING; WEAVE INTO & MATCH EXISTING; CONTINUE NEW FLOORING INTO SUN ROOM; NO THRESHOLD @ DOOR



2
 A-211
SUN ROOM ELEVATION
 3/4" = 1'-0"

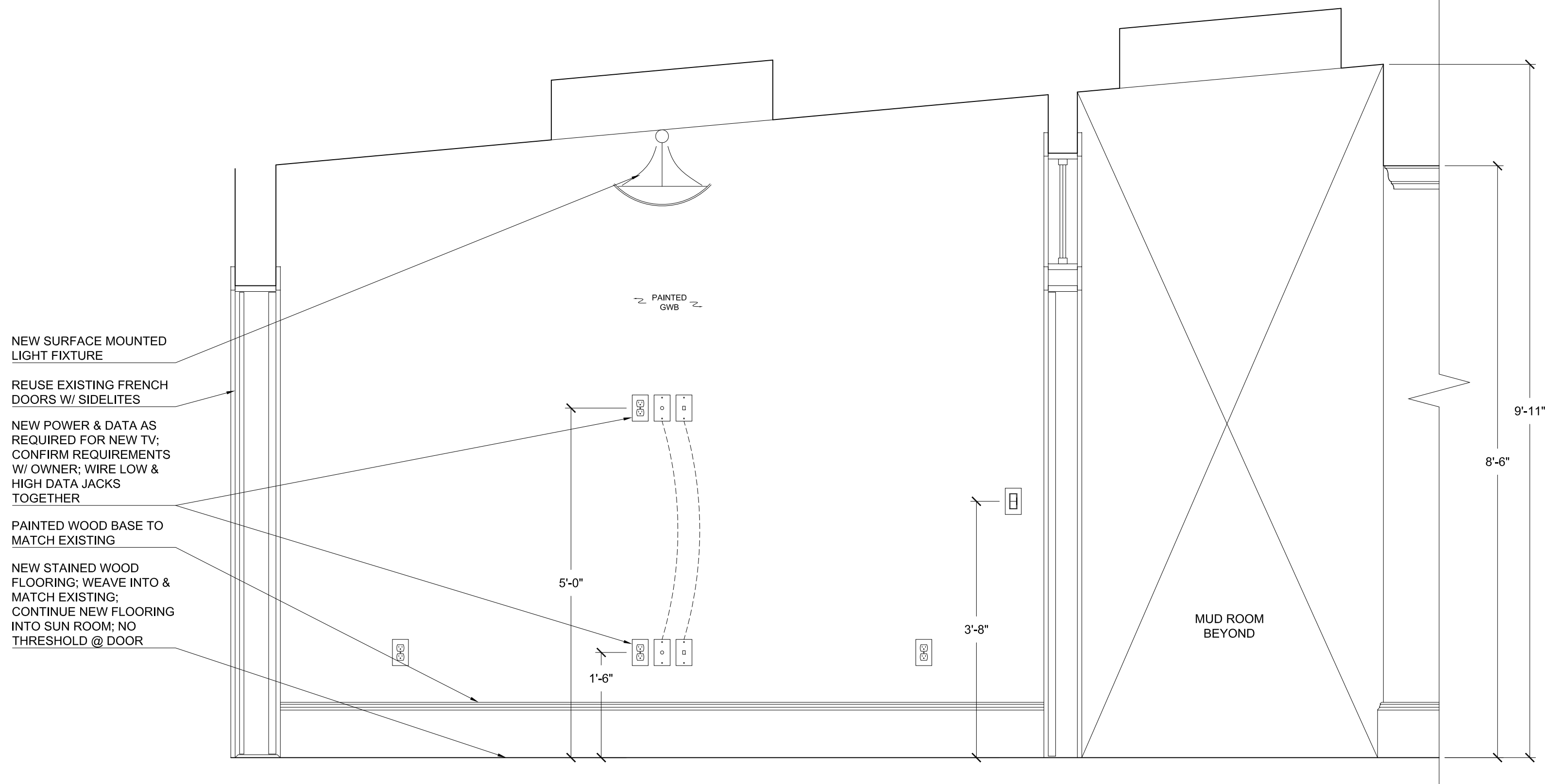


3
 A-211
SUN ROOM ELEVATION
 3/4" = 1'-0"

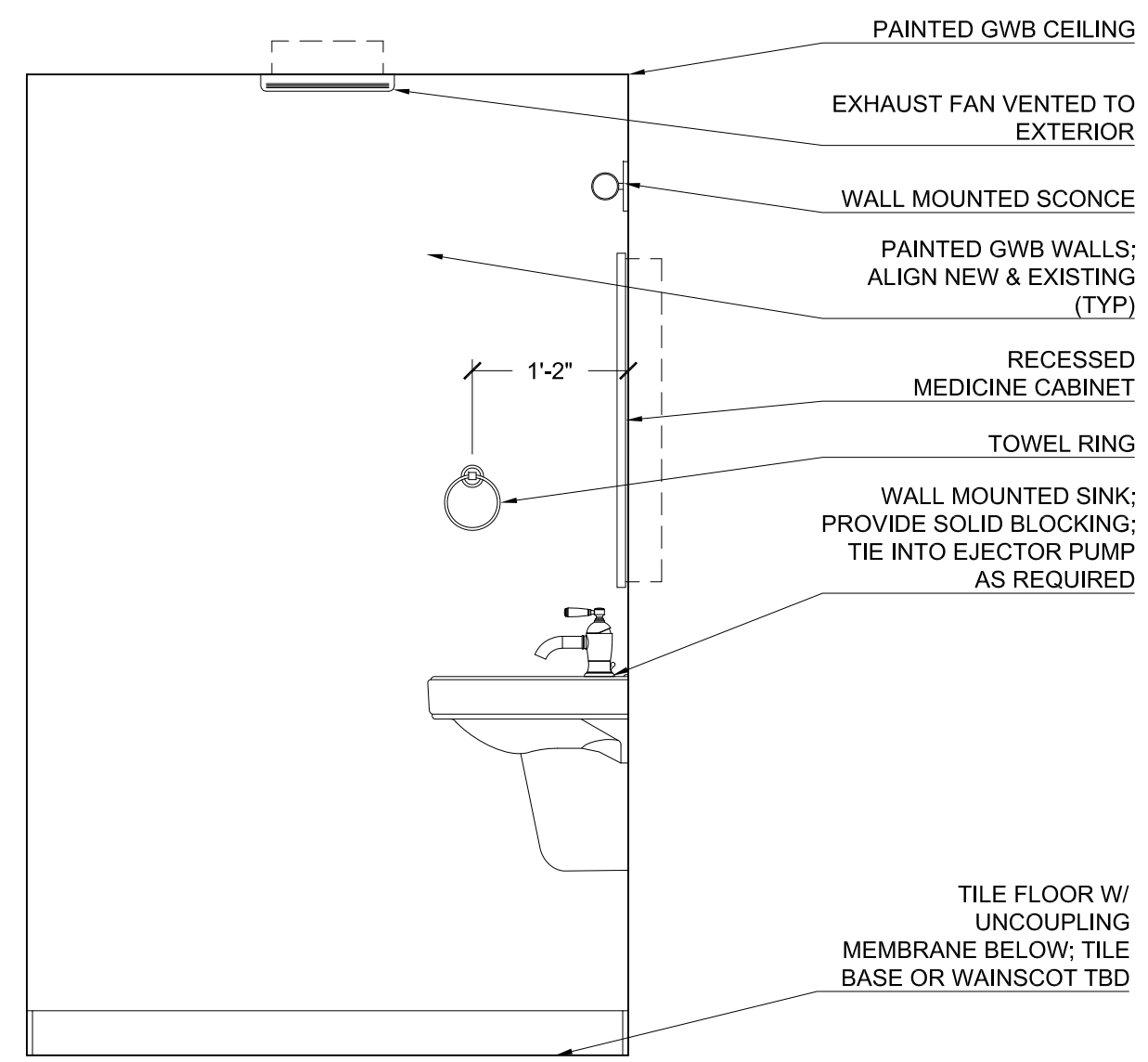
REUSE EXISTING FRENCH
 DOORS W/ SIDELITES

FLUSH MOUNTED STAINED
 WOOD HVAC REGISTER
 (TYP); ADJUST / AUGMENT
 EXISTING SYSTEM AS
 REQUIRED

- NEW SURFACE MOUNTED LIGHT FIXTURE
- REUSE EXISTING FRENCH DOORS W/ SIDELITES
- NEW POWER & DATA AS REQUIRED FOR NEW TV; CONFIRM REQUIREMENTS W/ OWNER; WIRE LOW & HIGH DATA JACKS TOGETHER
- PAINTED WOOD BASE TO MATCH EXISTING
- NEW STAINED WOOD FLOORING; WEAVE INTO & MATCH EXISTING; CONTINUE NEW FLOORING INTO SUN ROOM; NO THRESHOLD @ DOOR



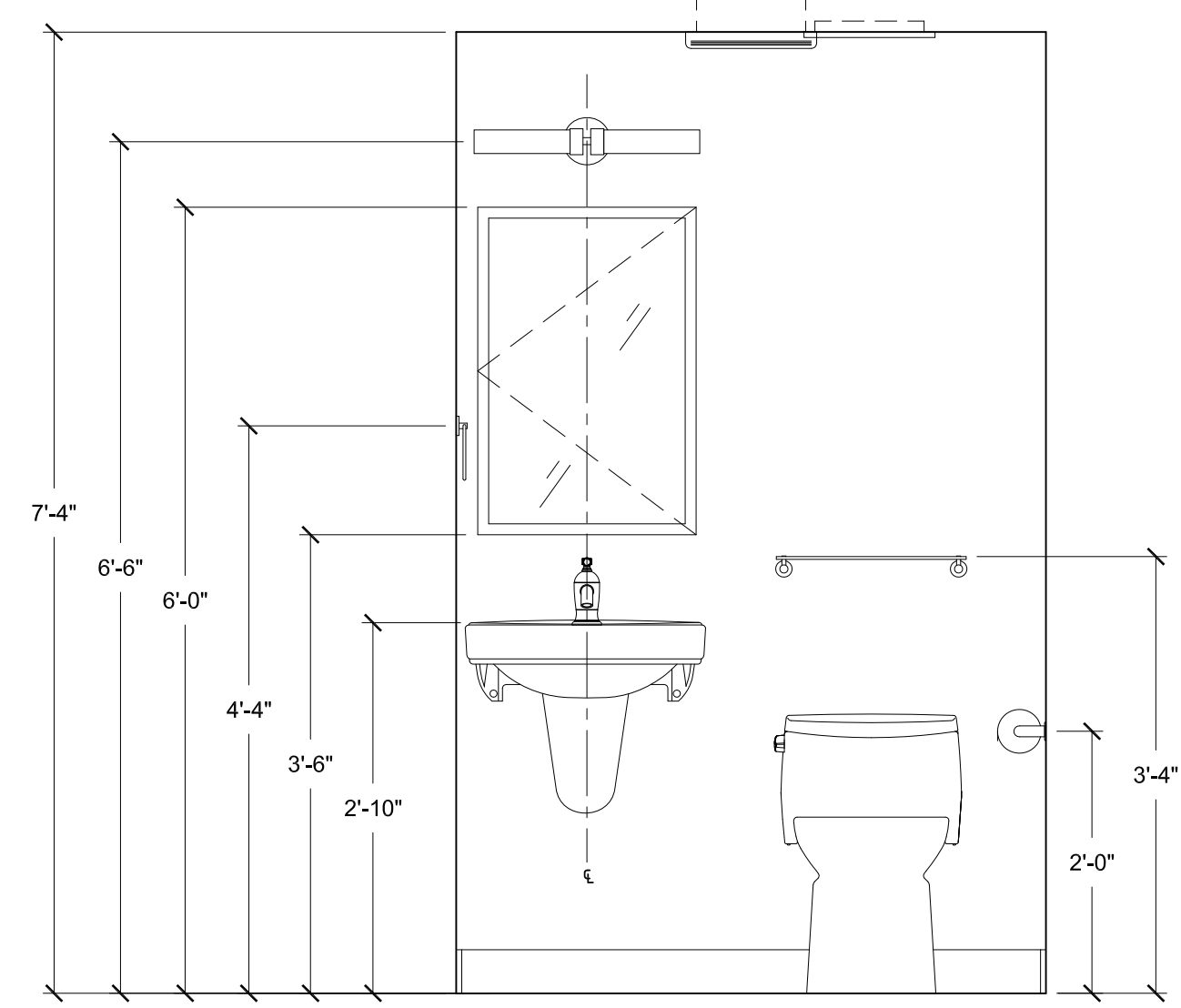
4
 A-211
SUN ROOM ELEVATION
 3/4" = 1'-0"



1
A-212

BATH ROOM ELEVATION

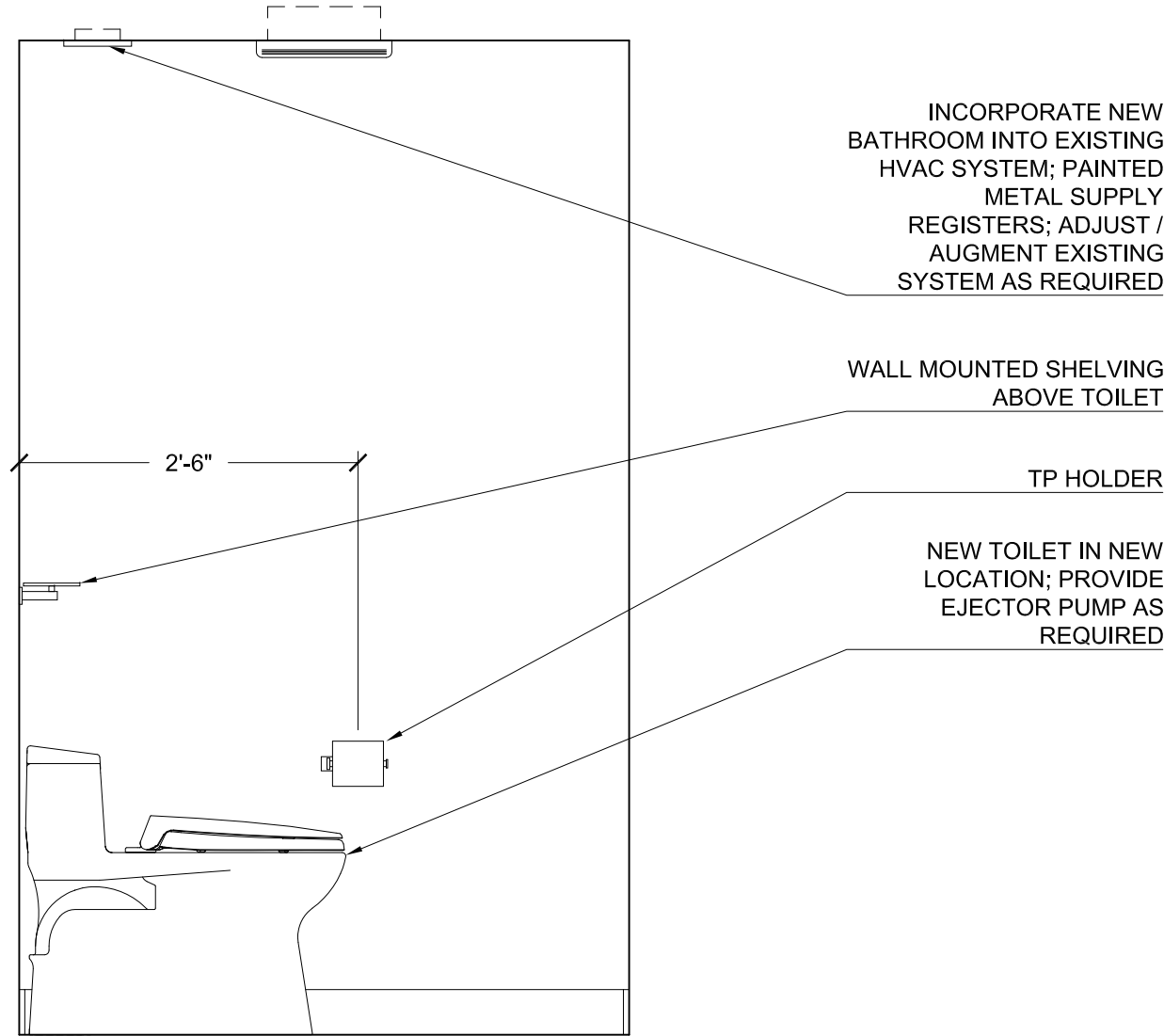
3/4" = 1'-0"



2
A-212

BATH ROOM ELEVATION

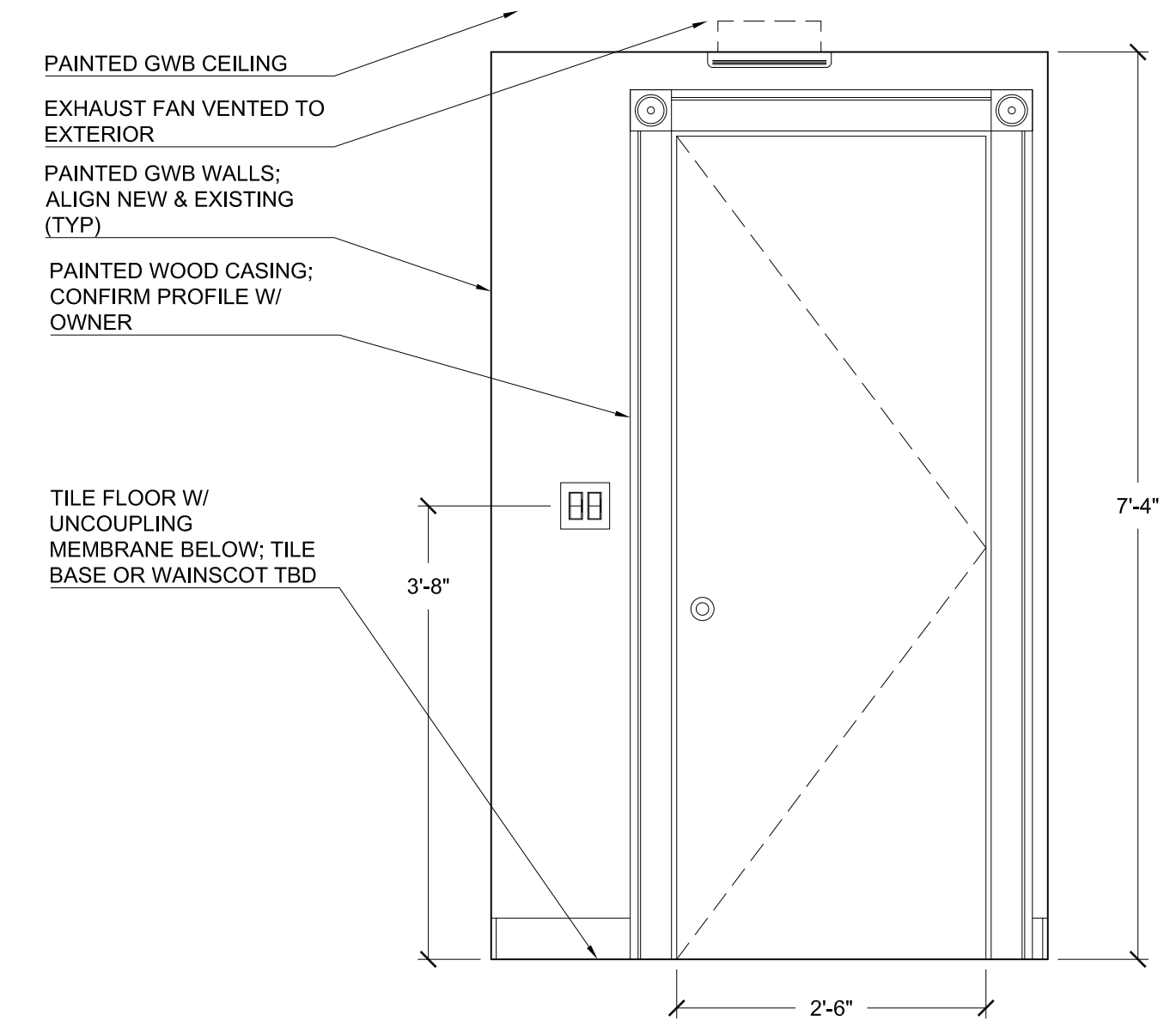
3/4" = 1'-0"



3
A-212

BATH ROOM ELEVATION

3/4" = 1'-0"



4
A-212

BATH ROOM ELEVATION

3/4" = 1'-0"

PROPOSED NEW BASEMENT BATHROOM INTERIOR ELEVATIONS
 JELLINEK / SPITZ RESIDENCE
 132 PLEASANT STREET
 NEWTON, MASSACHUSETTS 02459-1828



PROJECT NUMBER: 1145
 DRAWING NUMBER:
 A-212

SCALE: 3/4"=1'-0"
 DATE: 04.27.2018