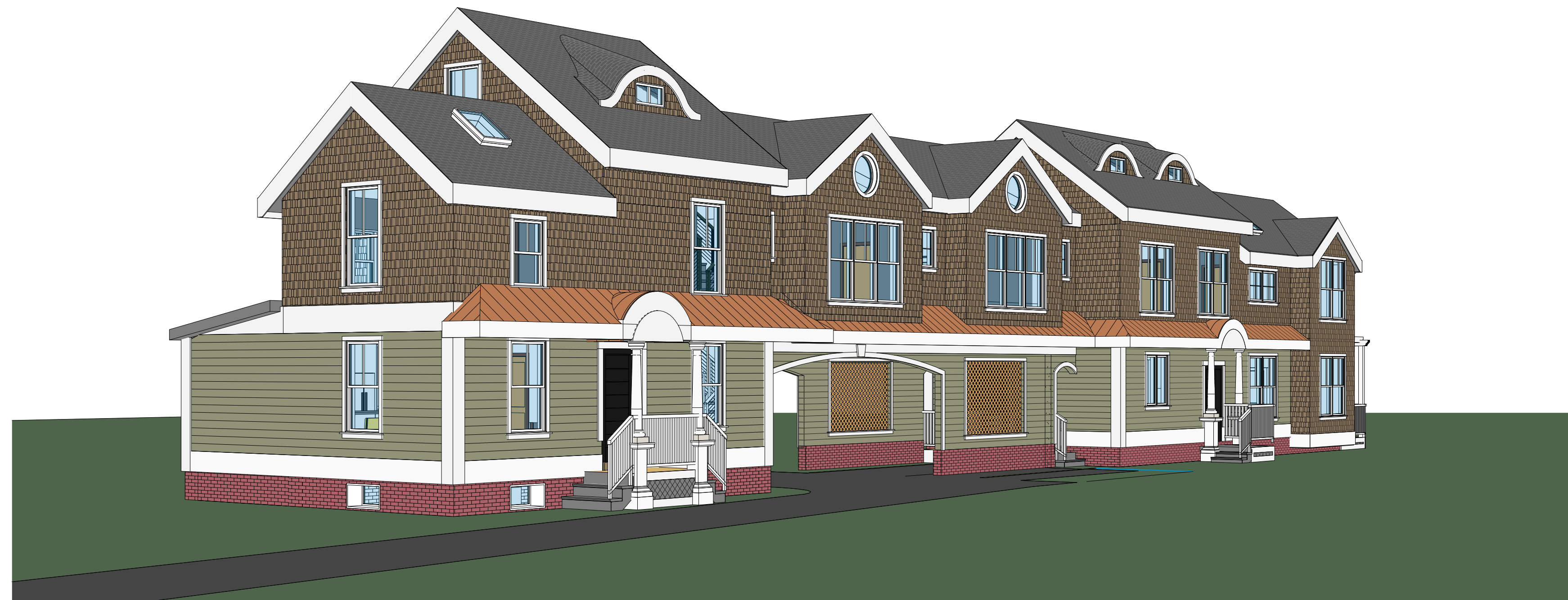


Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	03/29/2017
C 1	Proposed Civil Plot Plan	03/14/2019
C 2	Turning Exhibit Entrance	03/14/2019
C 3	Turning Exhibit Exit	03/14/2019
A-020	Architectural Site Plan	03/29/2017
EX-100	Existing Conditions	03/29/2017
A-100	Basement & First Floor Plans	03/29/2017
A-101	Second Floor & Attic Plans	03/29/2017
A-300	Elevations	03/29/2017
AV-1	Existing Building Photographs	03/29/2017
AV-2	Neighborhood Photographs	03/29/2017
AV-3	Perspectives	03/29/2017
AV-4	Perspectives W/ Existing Underlay	03/29/2017
AV-5	Front Rendering	03/29/2017
AV-6	Rear Rendering	03/29/2017




PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
10 PILLION CT LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

PROJECT: 10 Pillion Court Residences

PROJECT ADDRESS:
 10 PILLION COURT
 NEWTON MASSACHUSETTS

ARCHITECT
 KHALSA DESIGN INC.
ADDRESS:
 17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143

CLIENT
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 66 LONG WHARF
 BOSTON, MA 02210

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REGISTRATION

Project number	17001
Date	01/24/2019
Drawn by	ERS, NB
Checked by	JSK
Scale	

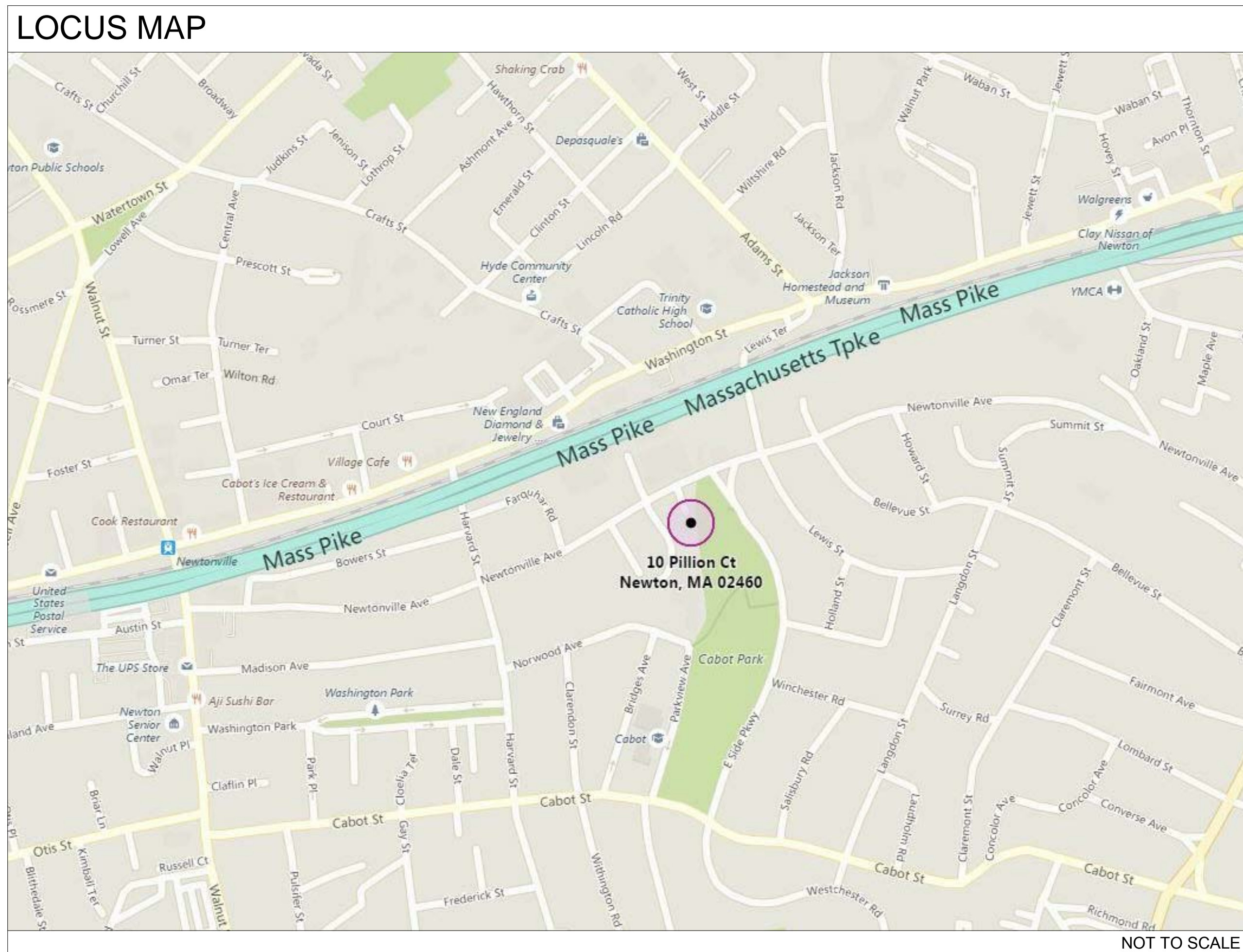
REVISIONS

No.	Description	Date

Cover Sheet

A-000

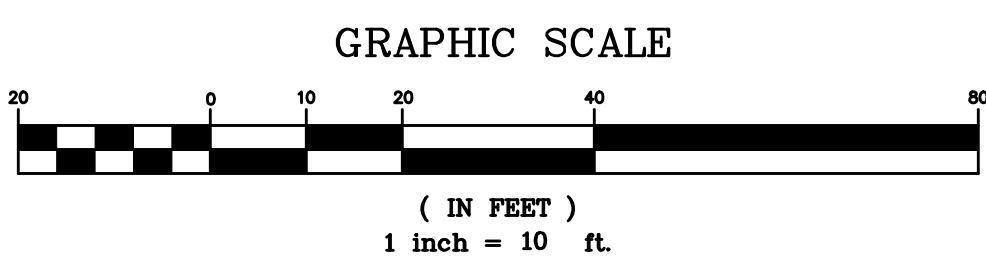
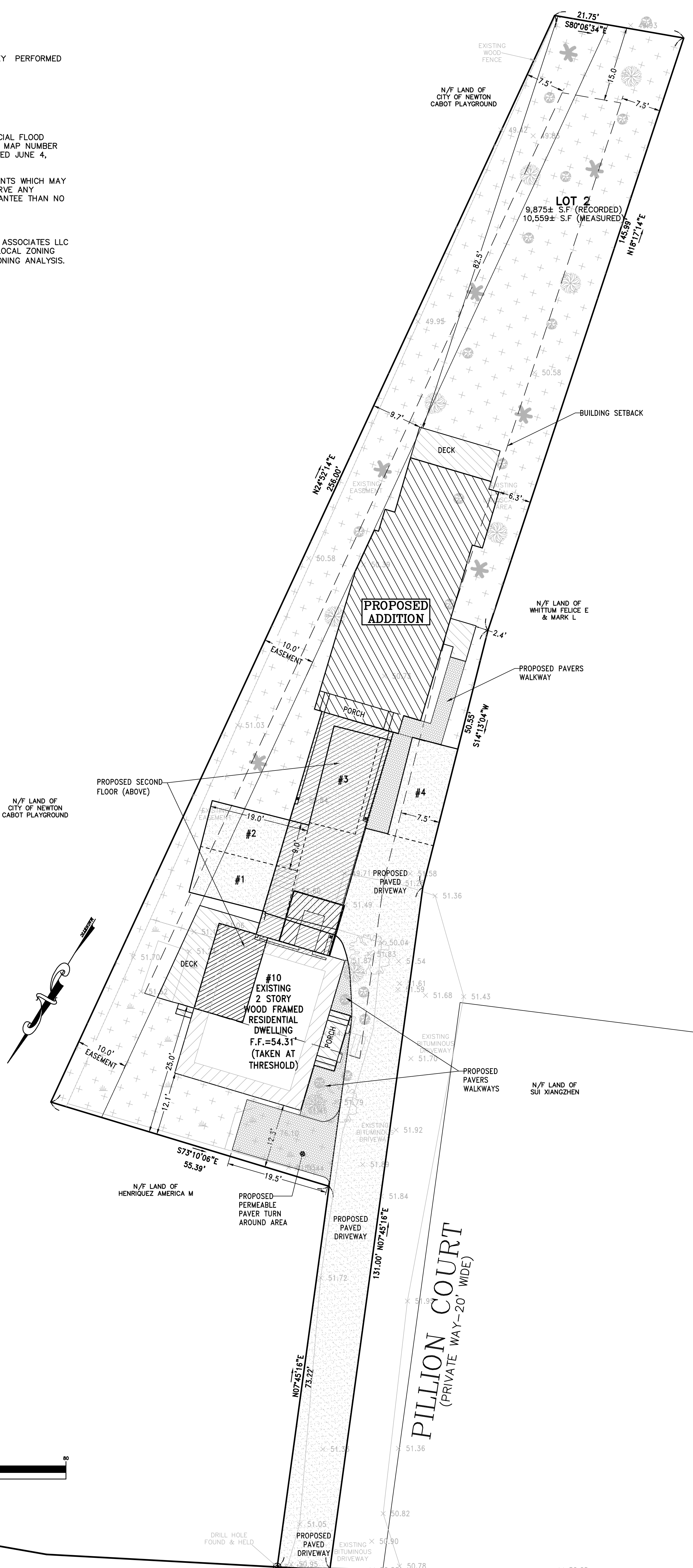
10 PILLION CT RESIDENCES



SD SET
2019.01.24
REVISED 2019.03.14

NOTES:

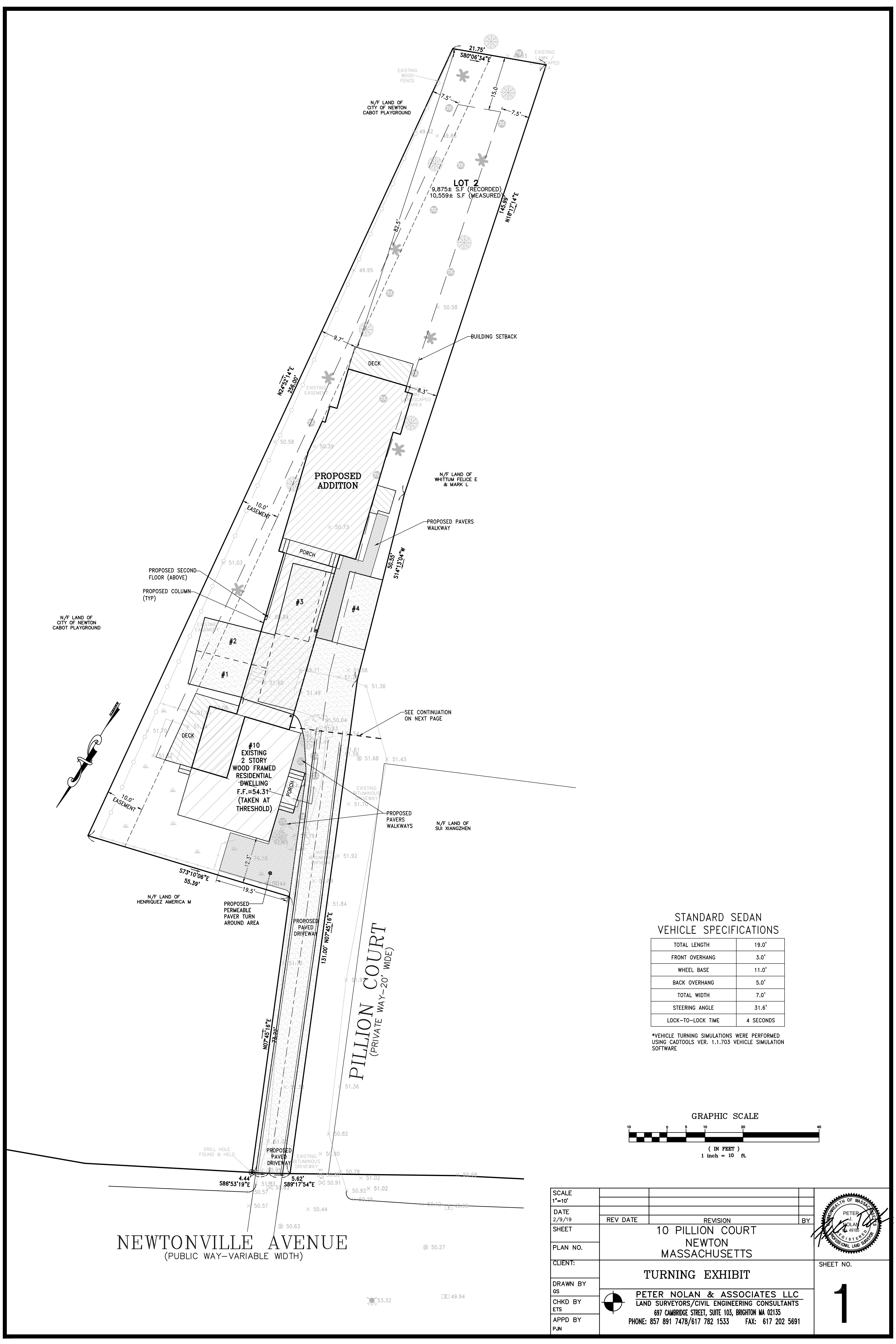
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 5-24-2017.
2. DEED REFERENCE BOOK 68628 PAGE 116, PLAN REFERENCE PLAN BOOK 7779 PAGE 118, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0552E, PANEL NUMBER 0552E, COMMUNITY NUMBER: 250208, DATED JUNE 4, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.



SCALE	1"=10'		
DATE	2/25/19		
SHEET	1 OF 1		
PLAN NO.	10 PILLION COURT NEWTON MASSACHUSETTS		
CLIENT:	PROPOSED PLOT PLAN		
DRAWN BY	PETER NOLAN & ASSOCIATES LLC		
CHKD BY	LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS		
APPD BY	697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
REV	DATE	REVISION	BY
SHEET NO.			1

NEWTONVILLE AVENUE
(PUBLIC WAY-VARIABLE WIDTH)

PILLION COURT
(PRIVATE WAY-20' WIDE)

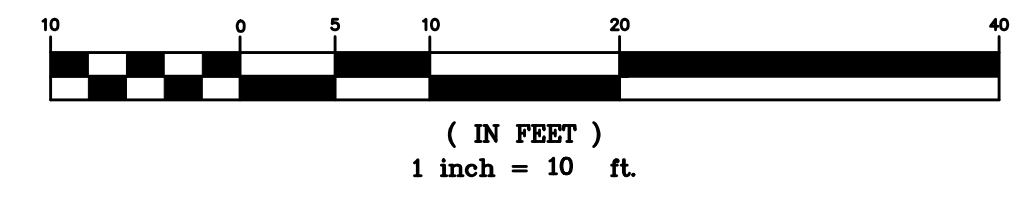


STANDARD SEDAN
VEHICLE SPECIFICATIONS

TOTAL LENGTH	19.0'
FRONT OVERHANG	3.0'
WHEEL BASE	11.0'
BACK OVERHANG	5.0'
TOTAL WIDTH	7.0'
STEERING ANGLE	31.6'
LOCK-TO-LOCK TIME	4 SECONDS

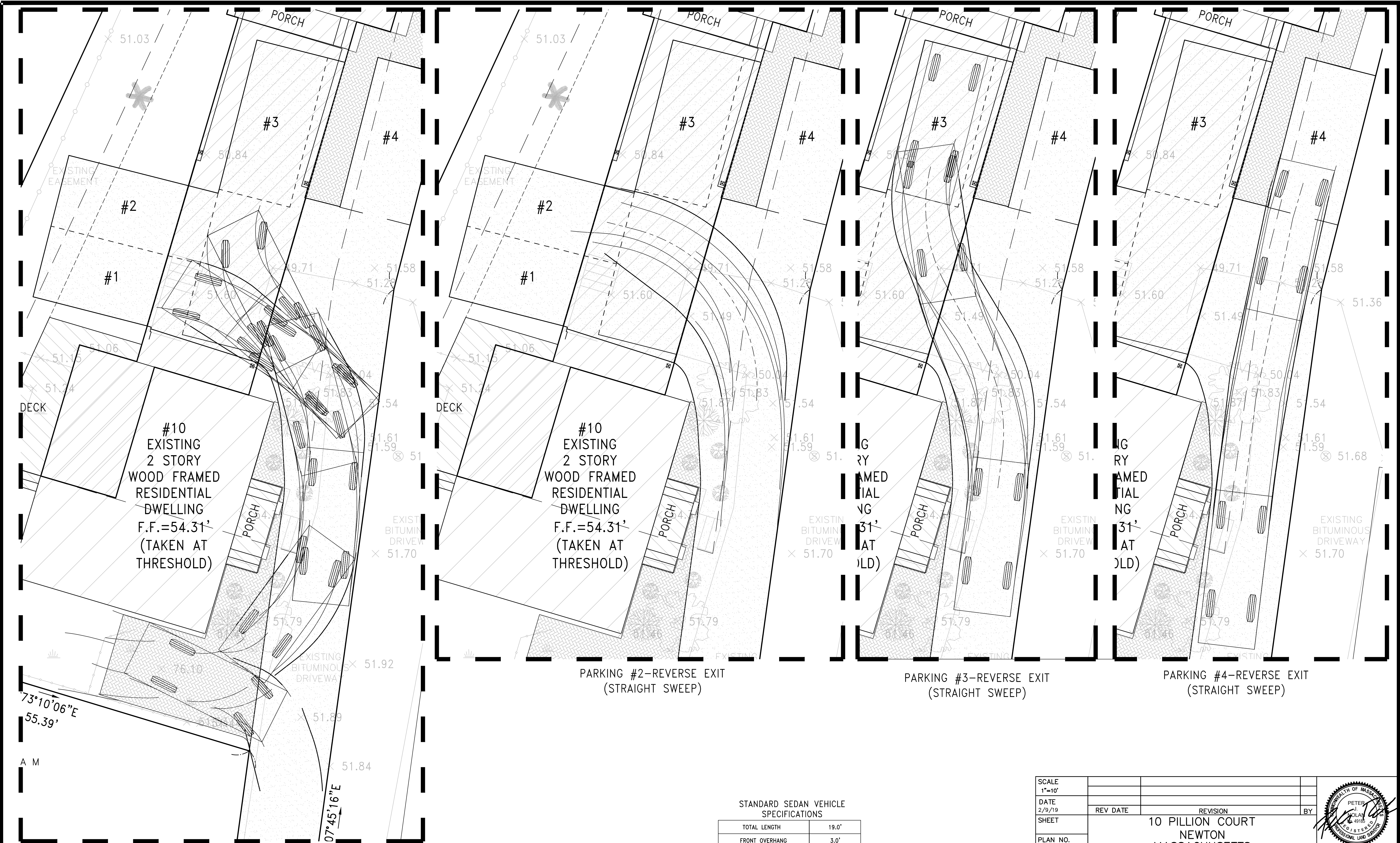
*VEHICLE TURNING SIMULATIONS WERE PERFORMED USING CADTOOLS VER. 1.1.703 VEHICLE SIMULATION SOFTWARE

GRAPHIC SCALE



NEWTONVILLE AVENUE
(PUBLIC WAY-VARIABLE WIDTH)

SCALE	1"=10'		
DATE	2/9/19	REV DATE	
SHEET		REVISION	BY
PLAN NO.	10 PILLION COURT NEWTON MASSACHUSETTS		
CLIENT:	TURNING EXHIBIT		
DRAWN BY	GS		
CHKD BY	ETS		
APPD BY	PJN		
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691		SHEET NO.	1



PARKING #1- REVERSE EXIT
(3-POINT TURN REQUIRED)
NOTE: ALL SPACES HAVE OPTION TO MAKE
TURN-AROUND MANEUVER ON PAVER AREA
SHOWN HERE

PARKING #2-REVERSE EXIT
(STRAIGHT SWEEP)

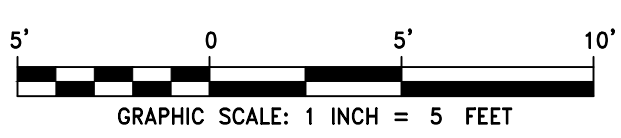
PARKING #3-REVERSE EXIT
(STRAIGHT SWEEP)

PARKING #4-REVERSE EXIT
(STRAIGHT SWEEP)

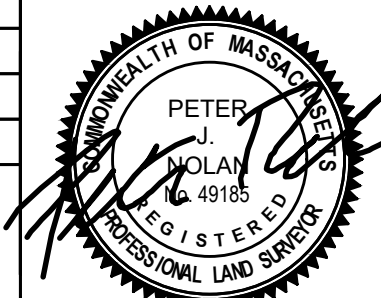
STANDARD SEDAN VEHICLE
SPECIFICATIONS

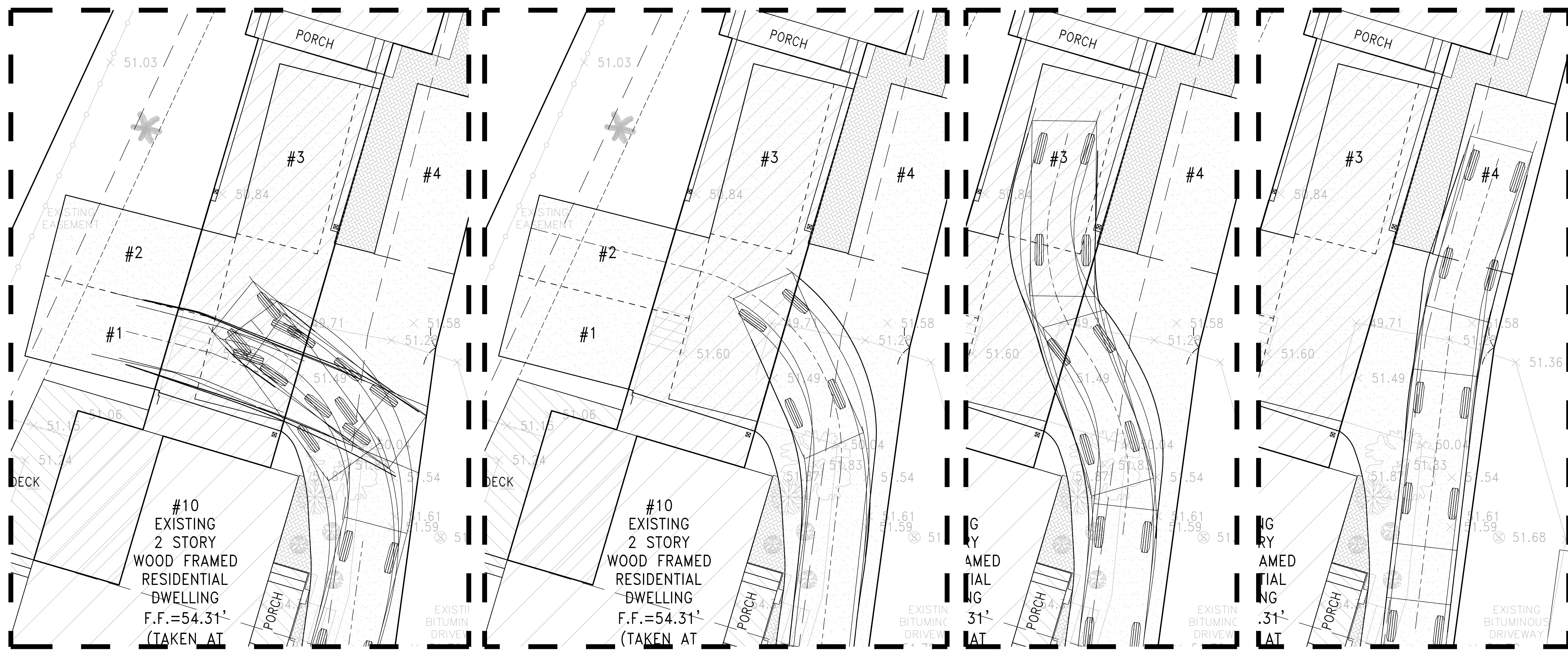
TOTAL LENGTH	19.0'
FRONT OVERHANG	3.0'
WHEEL BASE	11.0'
BACK OVERHANG	5.0'
TOTAL WIDTH	7.0'
STEERING ANGLE	31.6'
LOCK-TO-LOCK TIME	4 SECONDS

*VEHICLE TURNING SIMULATIONS WERE PERFORMED
USING CADTOOLS VER. 1.1.703 VEHICLE SIMULATION SOFTWARE



SCALE	1"=10'	
DATE	2/9/19	
SHEET		
PLAN NO.		
CLIENT:	10 PILLION COURT NEWTON MASSACHUSETTS	
DRAWN BY	GS	
CHKD BY	ETS	
APPD BY	PJN	
REV DATE	REVISION	BY
TURNING EXHIBIT EXIT		
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691		
SHEET NO. 3		



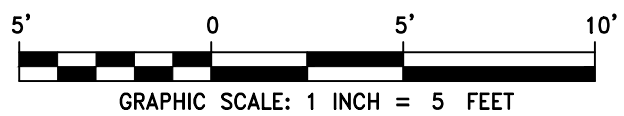


PARKING #1-FORWARD ENTRANCE
(3-POINT TURN REQUIRED)

PARKING #2-FORWARD ENTRANCE
(STRAIGHT SWEEP)

PARKING #3-FORWARD ENTRANCE
(STRAIGHT SWEEP)

PARKING #4-FORWARD ENTRANCE
(STRAIGHT SWEEP)



STANDARD SEDAN
VEHICLE SPECIFICATIONS

TOTAL LENGTH	19.0'
FRONT OVERHANG	3.0'
WHEEL BASE	11.0'
BACK OVERHANG	5.0'
TOTAL WIDTH	7.0'
STEERING ANGLE	31.6°
LOCK-TO-LOCK TIME	4 SECONDS

*VEHICLE TURNING SIMULATIONS WERE PERFORMED USING CADTOOLS VER. 1.1.703 VEHICLE SIMULATION SOFTWARE

SCALE 1"=5'		
DATE 2/9/19	REV DATE	REVISION
SHEET		BY
PLAN NO.	10 PILLION COURT NEWTON MASSACHUSETTS	
CLIENT:	TURNING EXHIBIT ENTRANCE	
DRAWN BY GS	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691	
CHKD BY ETS		
APPD BY PUN		
	SHEET NO. 2	

ZONING CHART

	REQUIRED (LOTS CREATED BEFORE 12/7/1953)	EXISTING	PROPOSED	REMARKS
MIN. LOT SIZE	7,000 S.F.	10,559 +/- S.F.	10,559 +/- S.F.	COMPLIES
LOT AREA PER UNIT	3,500 S.F.	1DU= 10,559 S.F.	2DU= 5,279 S.F./ DU	COMPLIES
LOT COVERAGE (MAX.)	30% / 3,168 SF	9.4% / 993 SF	19% / 2,008 SF	COMPLIES
FRONTAGE (MIN.)	70'	10' / 65'-6" (3.2.12.A.)	10'	PRE-EXIST. NON-CONFORMING
OPEN SPACE (MIN.)	50% / 5,280 SF		51.8% / 5,473 SF	COMPLIES
MIN. YARD SETBACKS				
FRONT (MIN.)	25' (3.2.12.3A)	12.3'	12.3'	PRE-EXIST. NON-CONFORMING
LEFT SIDE (MIN.)	7.5'	14.8'	10'	COMPLIES
RIGHT SIDE (MIN.)	7.5'	12.8'	7.5'	COMPLIES
REAR (MIN.)	15'	202'-5"	110.1'	COMPLIES
BUILDING HEIGHT (MAX.)				
	36' SLOPED ROOF / 30' FLAT ROOF	25.6' (SLOPED ROOF)	32'-2 1/4" (SLOPED ROOF)	COMPLIES
NO. OF STORIES (MAX.)				
	2.5	1.5	2.5	COMPLIES
STORIES BY SPECIAL PERMIT (MAX.)				
	3			
FLOOR AREA RATIO MAX. (F.A.R.)				
	0.48 (5,068 S.F.) (FT 1)	0.13 / 1,324 SF	0.42 / 4,401 SF	COMPLIES
PARKING				
	2 PER DU	-	4 SPACES	COMPLIES

3.2.11 FLOOR AREA RATIOS

A. APPLICABILITY: FLOOR AREA RATIOS (FAR) SHALL APPLY TO ALL SINGLE- AND TWO-FAMILY STRUCTURES, WHETHER NEW OR EXISTING, EXCEPT ON REAR LOTS (SEE SEC. 3.2.12). ACCORDING TO THE FAR LIMITS CONTAINED IN THE TABLE BELOW. SEE SEC. 1.5.5 FOR RULES REGARDING FAR MEASUREMENT. THE FOLLOWING EXCEPTIONS SHALL APPLY:

1. FOR NEW CONSTRUCTION ON LOTS CREATED BEFORE 12/7/1953, AN ADDITIONAL INCREASE IN FAR OF .02 ABOVE THE AMOUNT SHOWN IN TABLE A SHALL BE ALLOWED, PROVIDED THAT NEW CONSTRUCTION PROPOSED USING ADDITION FAR GRANTED UNDER THIS PARAGRAPH SHALL COMPLY WITH SETBACK REQUIREMENTS FOR POST- 1953 LOTS. AN INCREASE IN FAR GRANTED THROUGH THIS PARAGRAPH MAY NOT CREATE OR INCREASE NONCONFORMITIES WITH RESPECT TO LOT COVERAGE OR OPEN SPACE AND MAY NOT BE USED IN CONJUNCTION WITH SEC. 7.8.2B.

2. AN INCREASED FAR MAY BE ALLOWED BY SPECIAL PERMIT IF THE PROPOSED STRUCTURE IS CONSISTENT WITH AND NOT IN DEROGATION OF THE SIZE, SCALE AND DESIGN OF OTHER STRUCTURES IN THE NEIGHBORHOOD.

3.2.12 REAR LOTS

A. SPECIAL PERMIT REQUIRED. THE BOARD OF ALDERMEN MAY GRANT A SPECIAL PERMIT FOR A REAR LOT THAT SATISFIES THE MINIMUM FRONTAGE REQUIREMENT BY MEASURING LOT FRONTAGE ALONG THE REAR LINE OF THE LOT OR LOTS IN FRONT OF IT.

B. DIMENSIONAL STANDARDS

1. VEHICULAR ACCESS: MAY BE PROVIDED IN FEE AS PART OF THE LOT WITH STREET FRONTAGE 20 FEET WIDE AS A LEGAL EASEMENT OR RIGHT-OF-WAY 20 FEET WIDE. IF PROVIDED IN FEE, THE AREA UTILIZED FOR VEHICULAR ACCESS (LOT STEM PORTION) MAY NOT BE COUNTED AS MORE THAN 20 PERCENT OF THE MINIMUM LOT AREA REQUIREMENT.

2. LOT FRONTAGE: REQUIRED FOR THE STREET LOT. ALSO REQUIRED FOR THE REAR LOT, BUT MEASURED ALONG THE REAR LOT LINE OF THE LOT IN FRONT.

3. SETBACKS:

A. SUBJECT TO A SPECIAL PERMIT, A BUILDING ON A REAR LOT MAY BE LOCATED NO CLOSER THAN 25 FEET FROM THE REAR LINE OF THE LOT IN FRONT.

B. ALTERNATE SIDE BUILDING SEPARATION STANDARD (MEASURED ACROSS LOT LINE, BUILDING TO BUILDING) MAY BE UTILIZED IN PLACE OF REQUIRED SIDE YARD. NOTE MINIMUM DISTANCE TO LOT LINE.

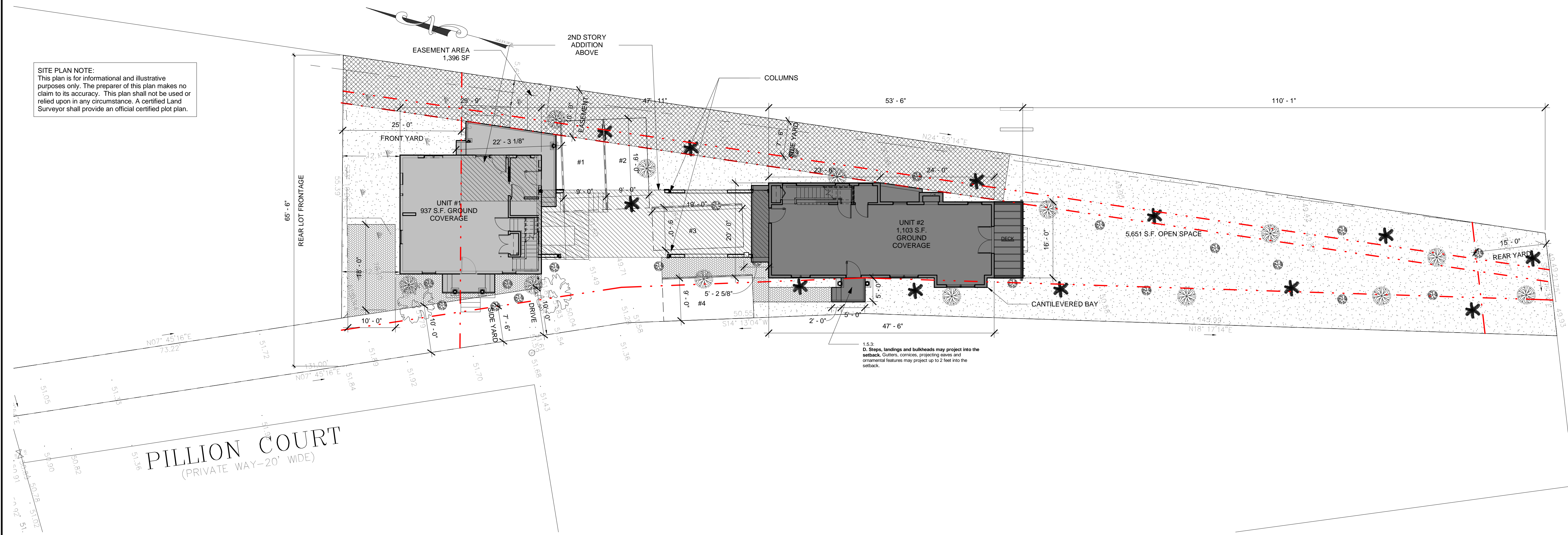
C. ALTERNATE REAR BUILDING SEPARATION STANDARD (MEASURED ACROSS LOT LINE, BUILDING TO BUILDING) MAY BE UTILIZED IN PLACE OF REQUIRED REAR YARD. NOTE MINIMUM DISTANCE TO LOT LINE.

4. HEIGHT: ALLOW THREE STORIES BY SPECIAL PERMIT WHERE IF THE PROPOSED STRUCTURE IS CONSISTENT WITH AND NOT IN DEROGATION OF THE SIZE, SCALE AND DESIGN OF OTHER STRUCTURES

FAR EXISTING	
	EXISTING
BASEMENT LEVEL	0 SF
FIRST FLOOR	858 SF
SECOND FLOOR	466 SF
ATTIC	0 SF
TOTAL	1,324 SF

PROPOSED FAR AREA	
Level	Area
1st Floor Level	1623 SF
2nd Floor Level	2235 SF
Attic	544 SF
Grand total	4401 SF
MAX FAR ALLOWED: 5068 SF	

SITE PLAN NOTE:
This plan is for informational and illustrative purposes only. The preparer of this plan makes no claim to its accuracy. This plan shall not be used or relied upon in any circumstance. A certified Land Surveyor shall provide an official certified plot plan.



1.5.3
D. Steps, landings and bulkheads may project into the setback. Gutters, cornices, projecting eaves and ornamental features may project up to 2 feet into the setback.

PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
10 PILLION CT LLC

ARCHITECT

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2066

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Project number	17001
Date	01/24/2019
Drawn by	ERS, NB
Checked by	JSK
Scale	As indicated

REVISIONS

No.	Description	Date

Architectural Site Plan

A-020

10 PILLION CT RESIDENCES

PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
GFC DEVELOPMENT INC.



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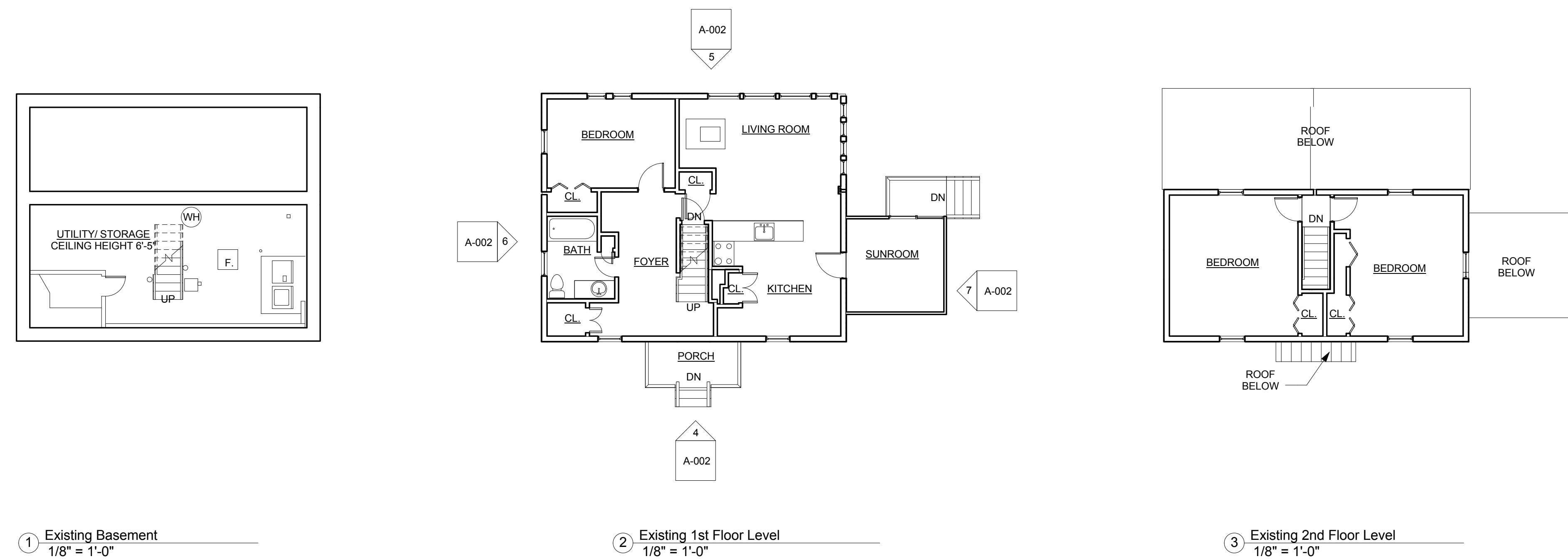
REVISIONS

No.	Description	Date

Existing Conditions

A-002

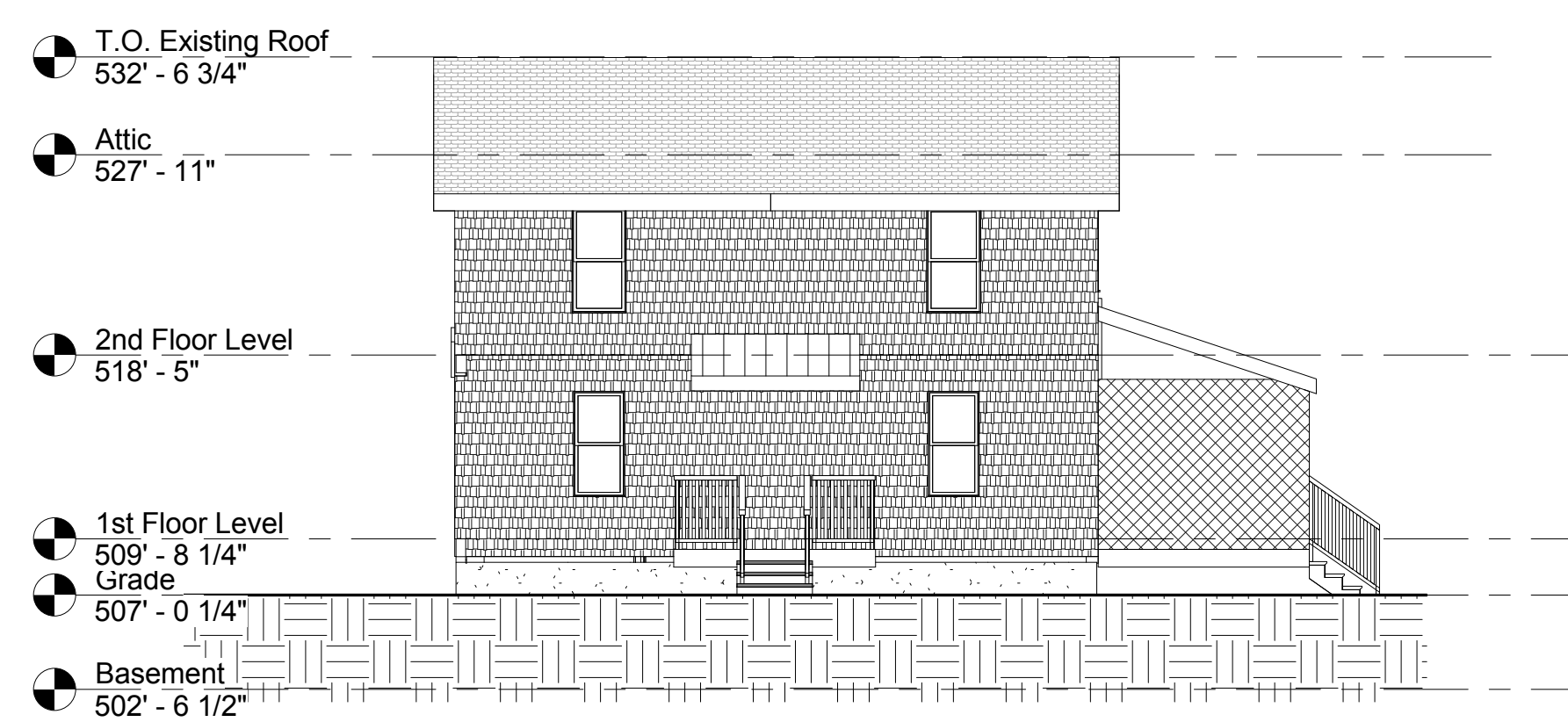
10 PILLION CT RESIDENCES



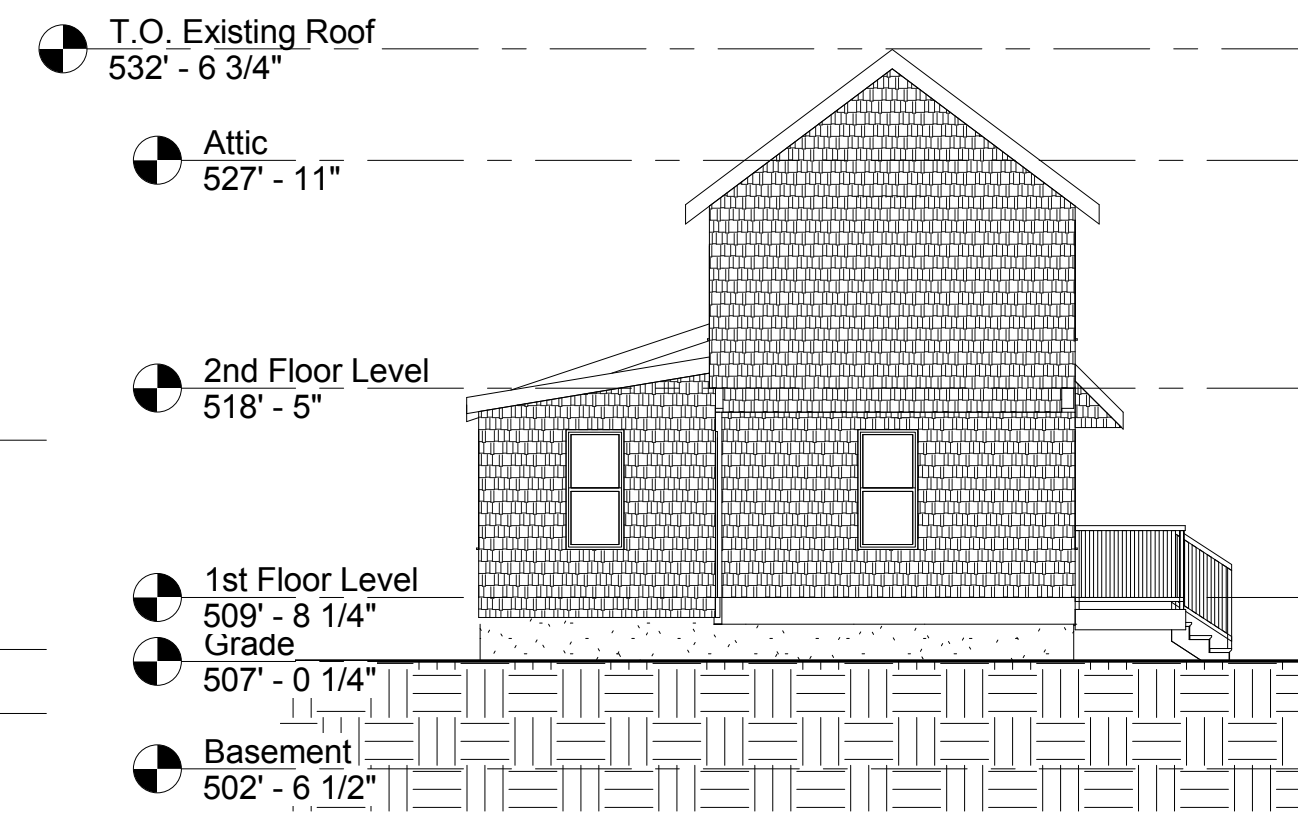
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2 Existing 1st Floor Level
1/8" = 1'-0"

3 Existing 2nd Floor Level
1/8" = 1'-0"



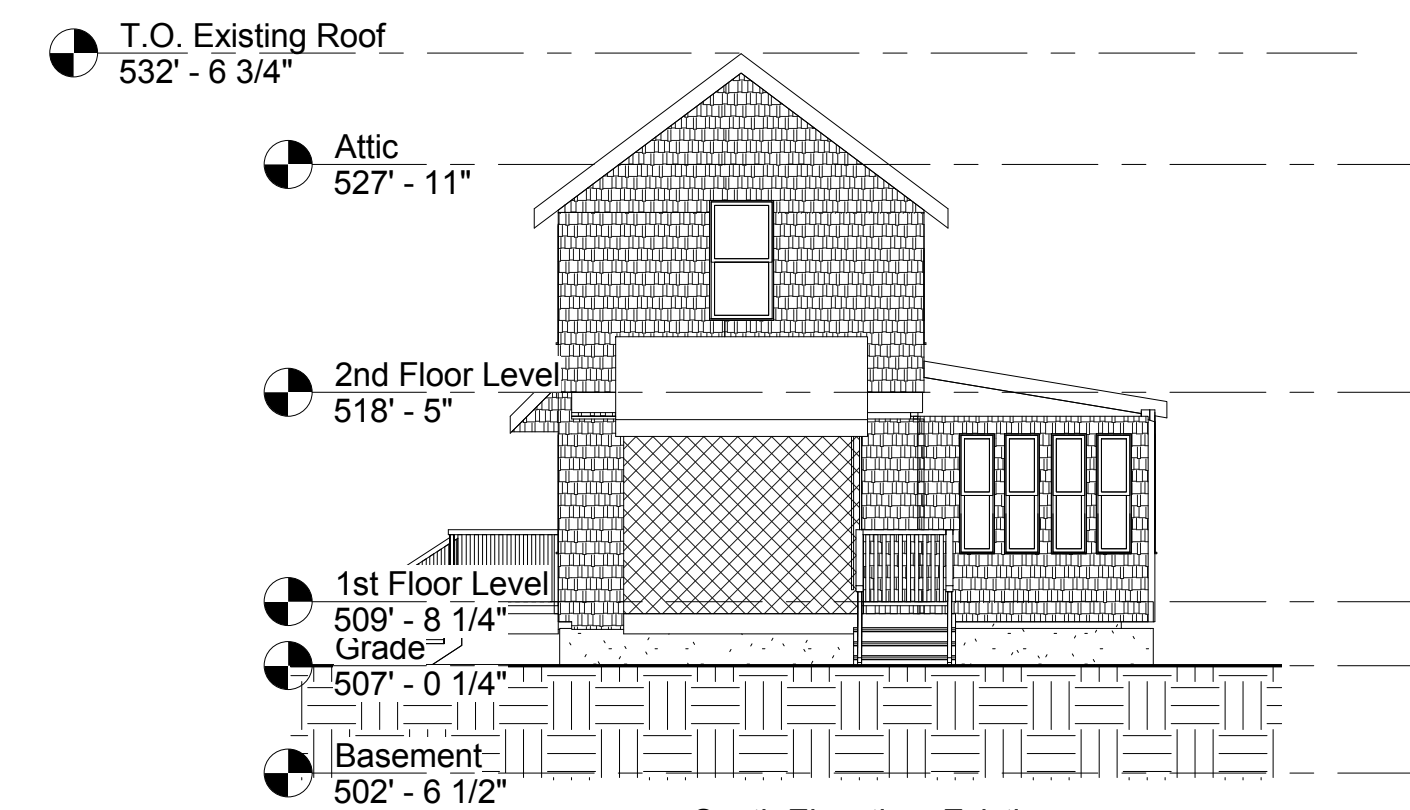
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1/8" = 1'-0"



6 North Elevation- Existing
1/8" = 1'-0"

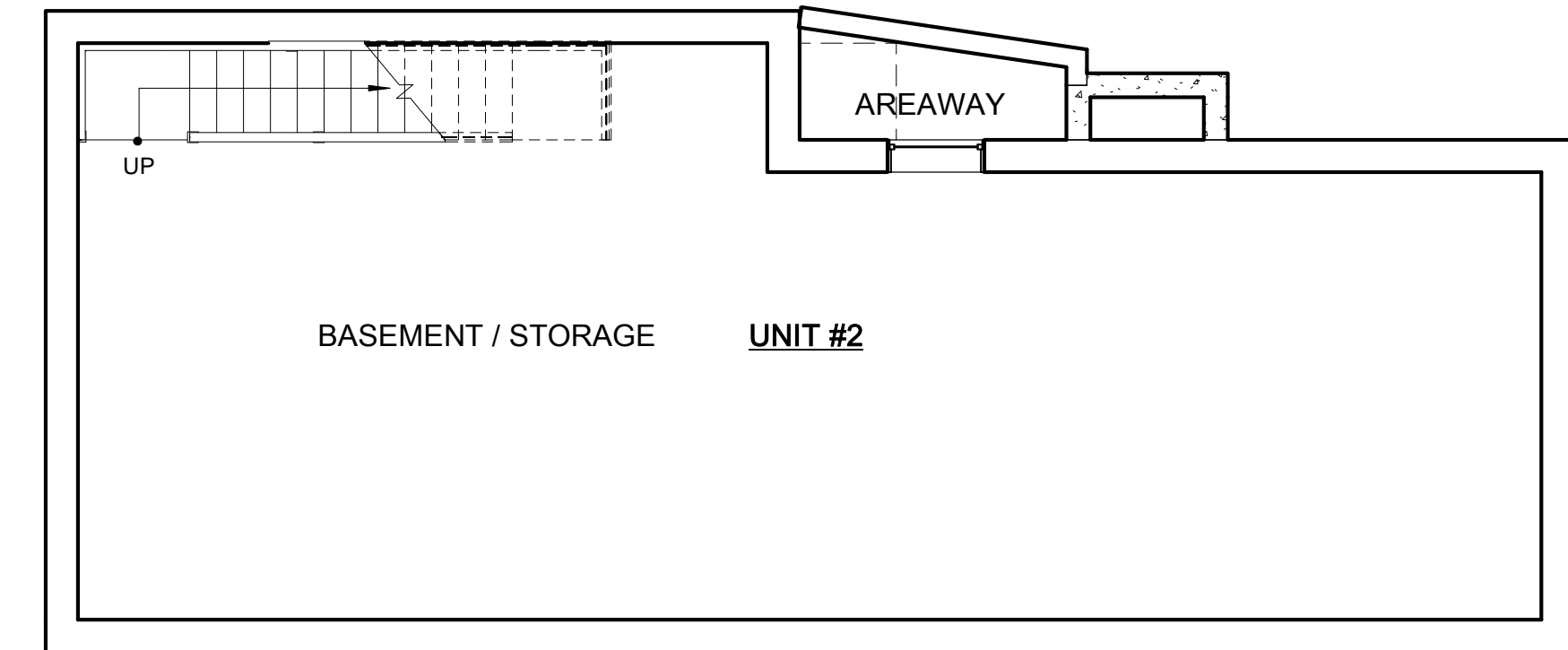
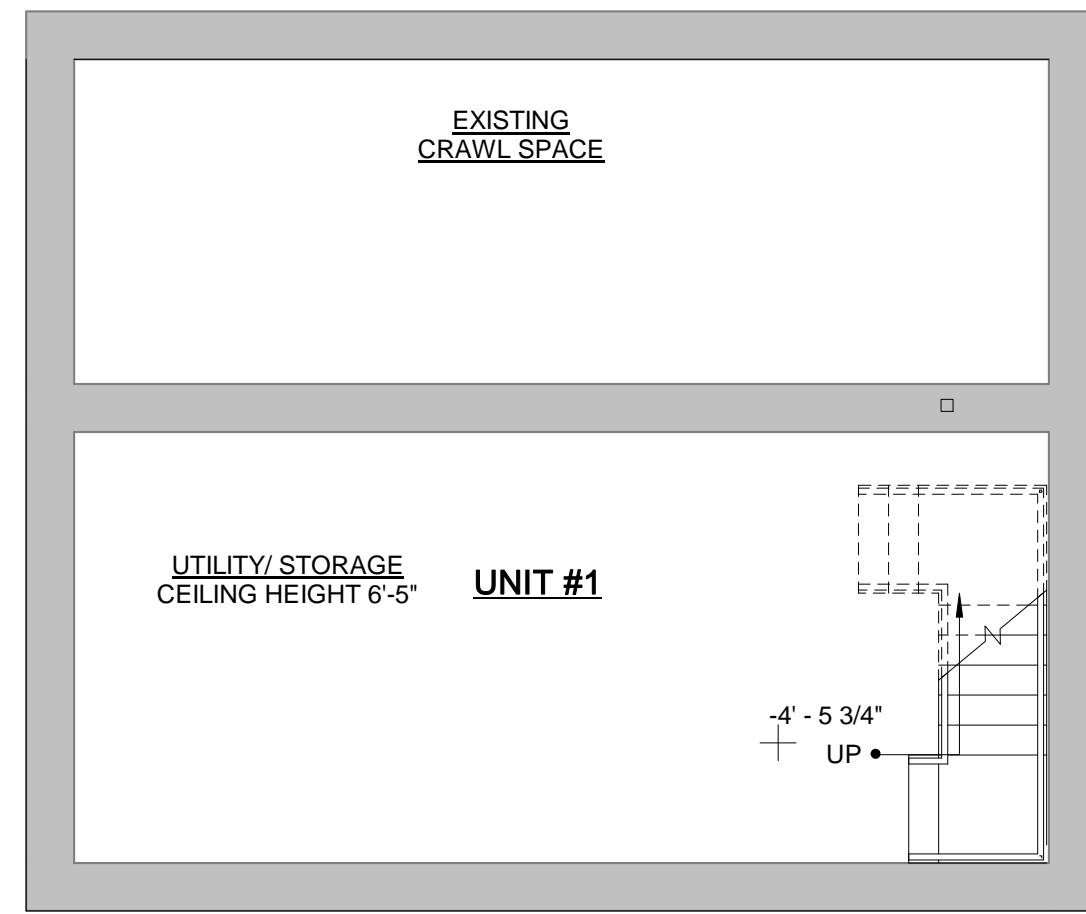


5 East Elevation- Existing
1/8" = 1'-0"



7 South Elevation- Existing
1/8" = 1'-0"

Area Schedule (Units)		
Name	Level	Area
UNIT #1	1st Floor Level	746 SF
UNIT #1	2nd Floor Level	990 SF
UNIT #1	Attic	248 SF
UNIT #1		1984 SF
UNIT #2	1st Floor Level	877 SF
UNIT #2	2nd Floor Level	1245 SF
UNIT #2	Attic	296 SF
UNIT #2		2417 SF
Grand total: 6		4401 SF



PROJECT NAME
10 PILLION CT RESIDENCES

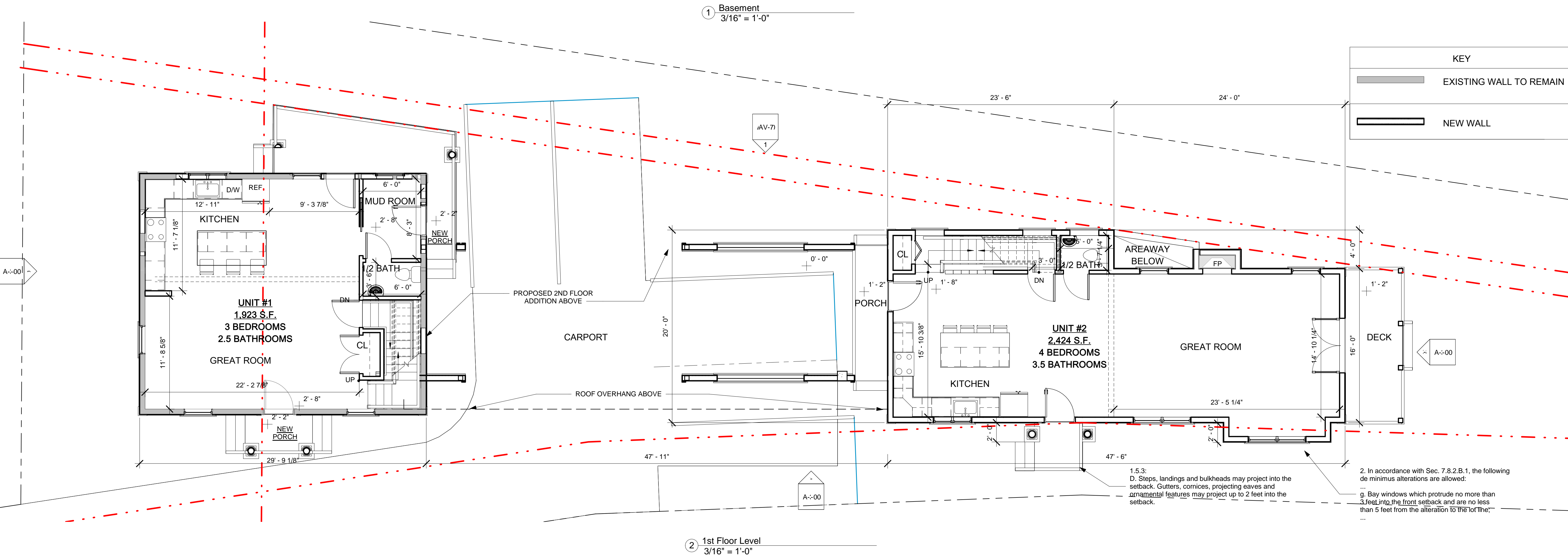
PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
 10 PILLION CT LLC



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 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



① Basement
 3/16" = 1'-0"

② 1st Floor Level
 3/16" = 1'-0"

KEY

	EXISTING WALL TO REMAIN
	NEW WALL

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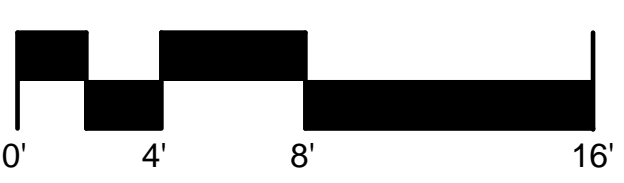
Project number	17001
Date	01/24/2019
Drawn by	ERS
Checked by	JSK
Scale	3/16" = 1'-0"

REVISIONS

No.	Description	Date

1.5.3: D. Steps, landings and bulkheads may project into the setback. Gutters, cornices, projecting eaves and ornamental features may project up to 2 feet into the setback.

2. In accordance with Sec. 7.8.2.B.1, the following de minimus alterations are allowed:
 ...
 g. Bay windows which protrude no more than 3 feet into the front setback and are no less than 5 feet from the alteration to the lot line.



Basement & First Floor Plans

A-100
 10 PILLION CT RESIDENCES

\\TKG-Server\Drawings\1717001_gfc-10 Pillion Ct Newton\03 Drawings\00_ARCH_SD_DD17001_10 Pillion Ct SD req_2.12.rvt
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PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
10 PILLION CT LLC



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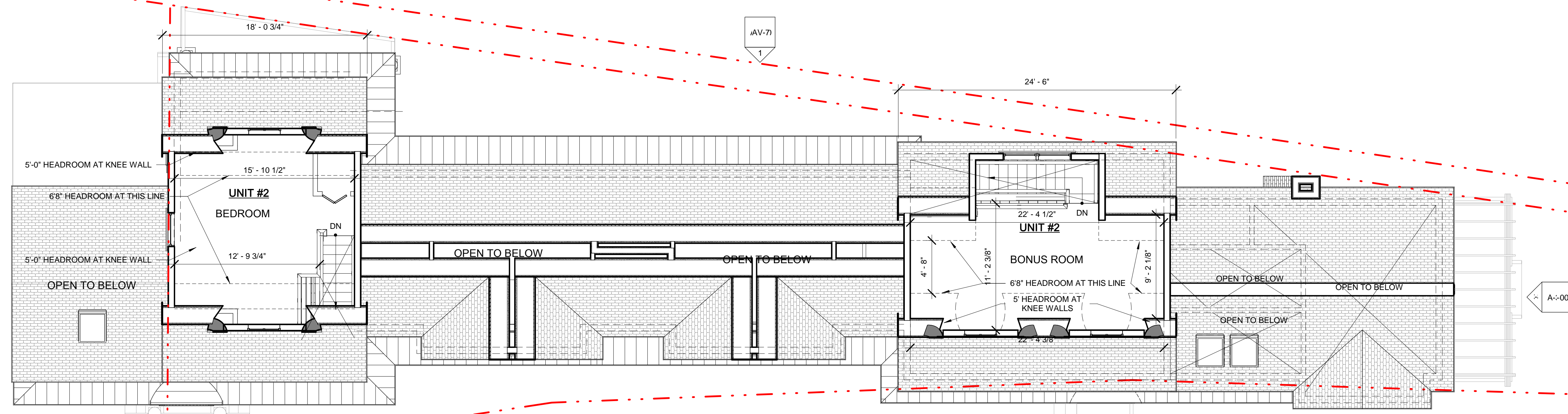
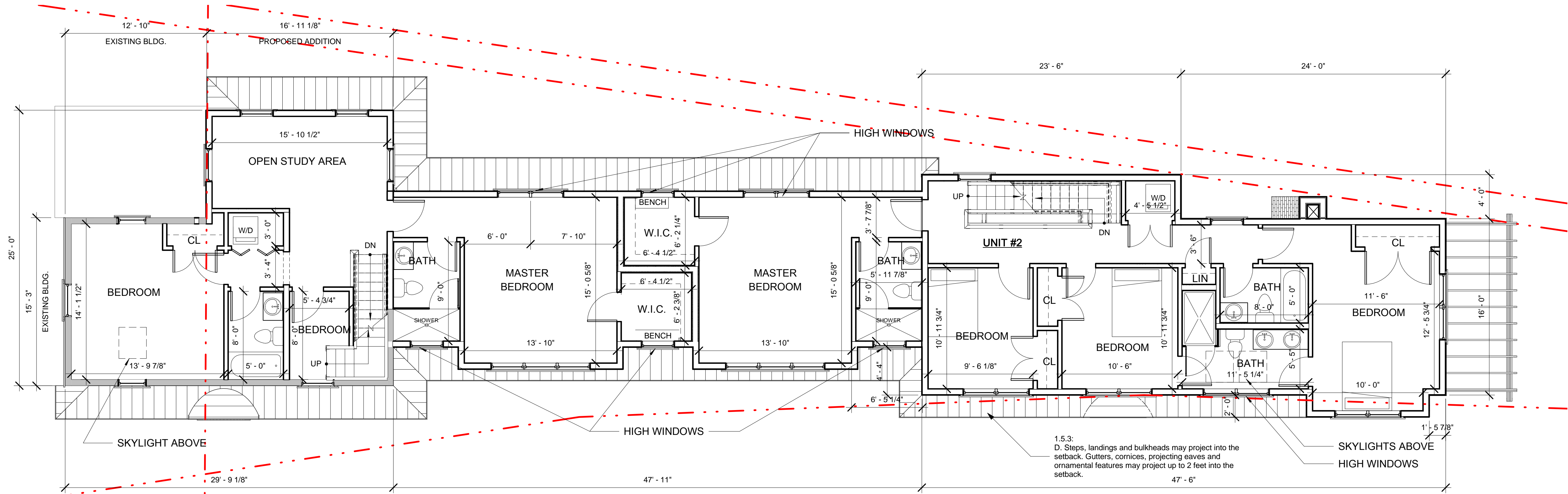
Project number 17001
Date 01/24/2019
Drawn by ERS
Checked by JSK
Scale 3/16" = 1'-0"

REVISIONS

No.	Description	Date

Second Floor &
Attic Plans

A-101
10 PILLION CT RESIDENCES



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PROJECT NAME
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PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

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10 PILLION CT LLC



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Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

Elevations

A-300

10 PILLION CT RESIDENCES



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3/6/2019 10:10:51 AM

EXISTING BUILDING- FROM STREET



SITE

EXISTING BUILDING- FRONT



EXISTING BUILDING- LEFT SIDE



EXISTING BUILDING- RIGHT SIDE

EXISTING BUILDING- REAR



PROJECT NAME
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PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
10 PILLION CT LLC

ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

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REGISTRATION

Project number 17001
 Date 01/24/2019
 Drawn by ERS
 Checked by JSK
 Scale

REVISIONS

No.	Description	Date

Existing Building
 Photographs

AV-1
 10 PILLION CT RESIDENCES

VIEW TOWARDS SITE FROM
NEWTONVILLE AVE.

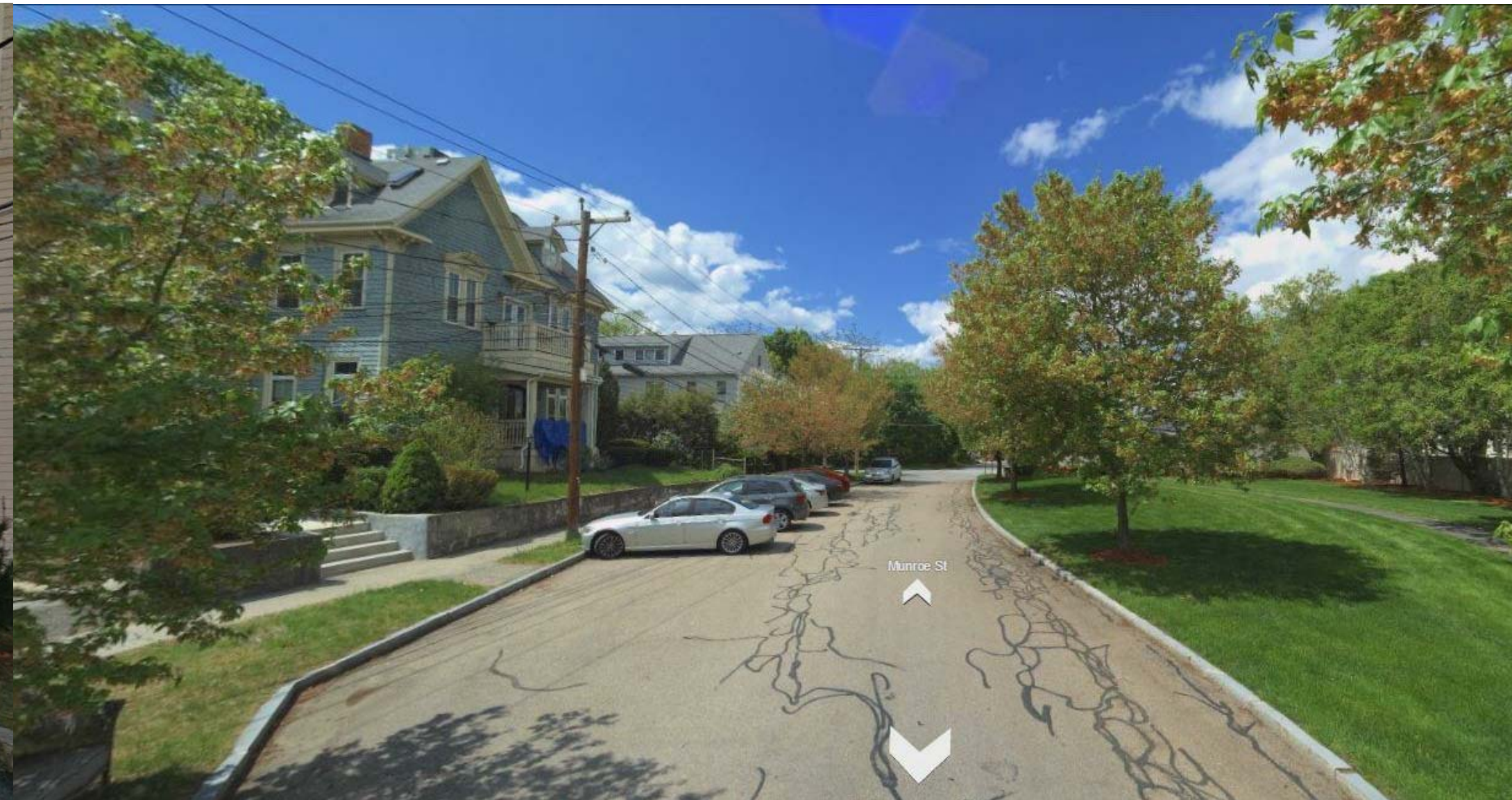


SITE: 10 PILLION COURT



SITE

VIEW DOWN MUNROE AVE.
TOWARDS NEWTONVILLE AVE.



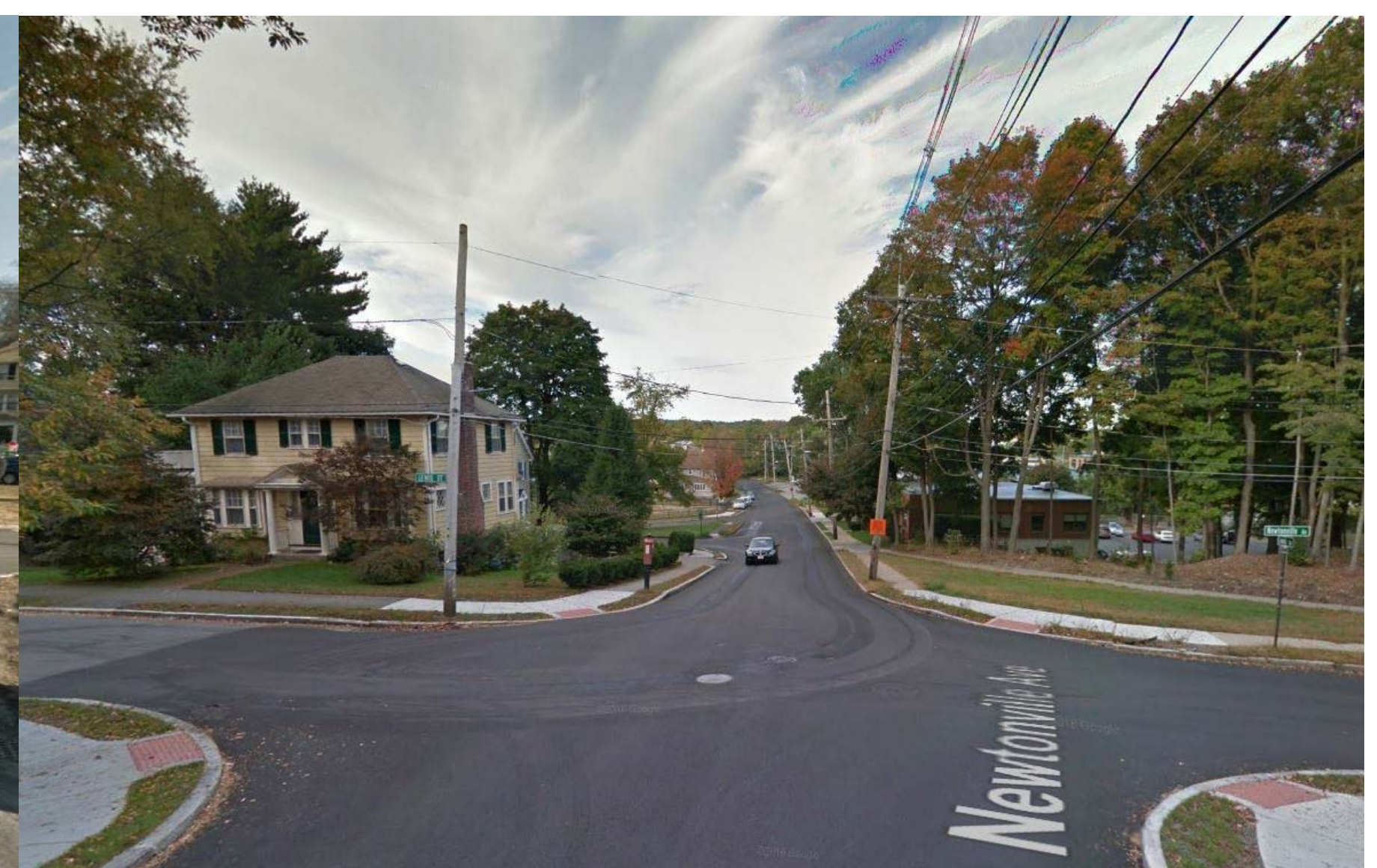
OPPOSITE LEFT OF SITE



OPPOSITE RIGHT OF SITE



VIEW UP NEWTONVILLE AVE.



VIEW FROM EAST SIDE PARKWAY
TOWARDS NEWTONVILLE AVE.



VIEW TOWARDS SITE FROM EAST
SIDE PARKWAY



VIEW DOWN NEWTONVILLE AVE.



PROJECT NAME
**10 PILLION CT
RESIDENCES**

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
10 PILLION CT LLC

ARCHITECT
**DESIGN
KHALSA**

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REGISTRATION

Project number	17001
Date	01/24/2019
Drawn by	ERS
Checked by	JSK
Scale	

REVISIONS

No.	Description	Date

Neighborhood
Photographs

AV-2
10 PILLION CT RESIDENCES



PROJECT NAME

10 PILLION CT RESIDENCES

PROJECT ADDRESS

10 PILLION COURT
NEWTON, MA

CLIENT

10 PILLION CT LLC

ARCHITECT



KHALSA

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REVISIONS

No.	Description	Date

Perspectives

AV-3
10 PILLION CT RESIDENCES



PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
10 PILLION CT LLC

ARCHITECT

KHALSA

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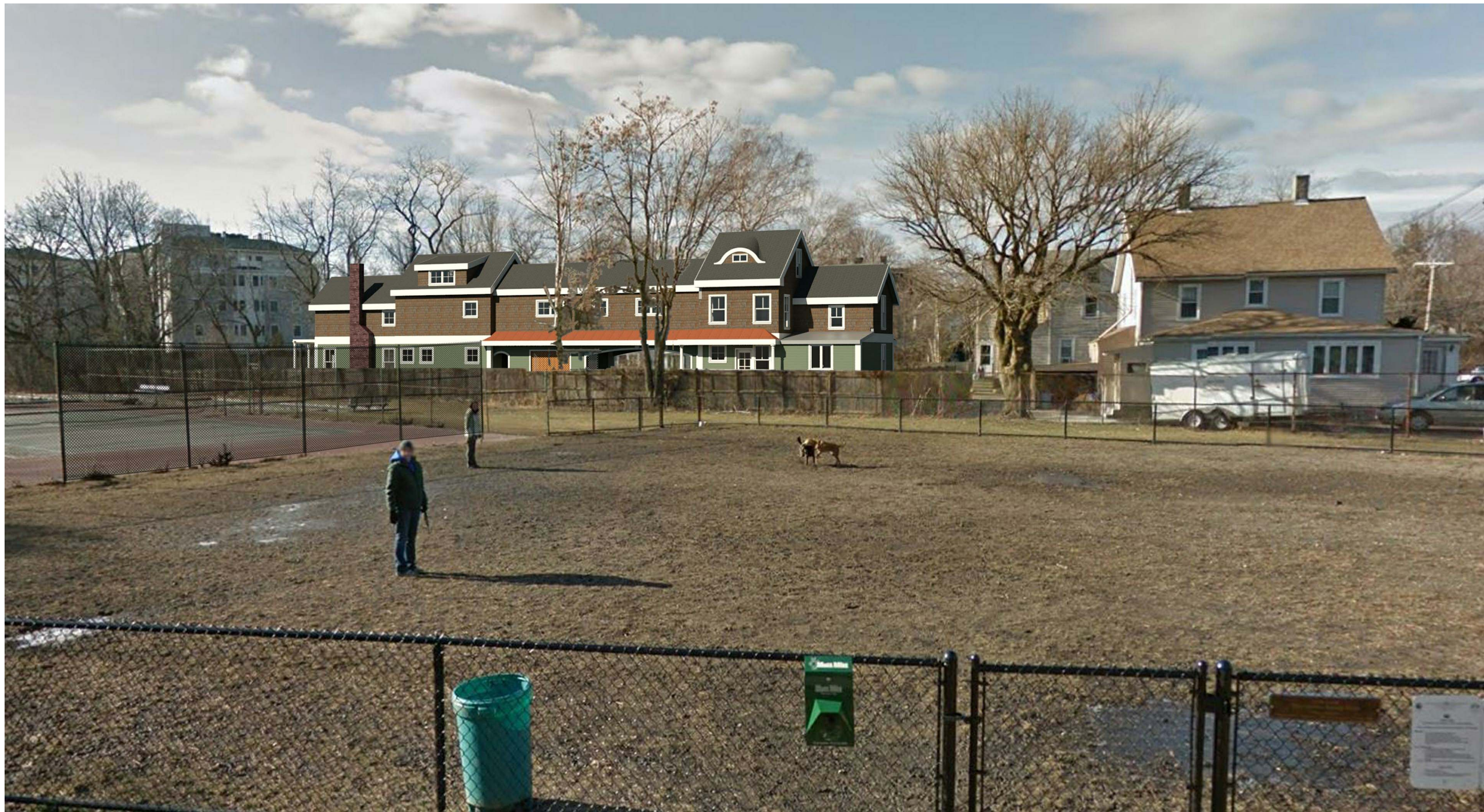
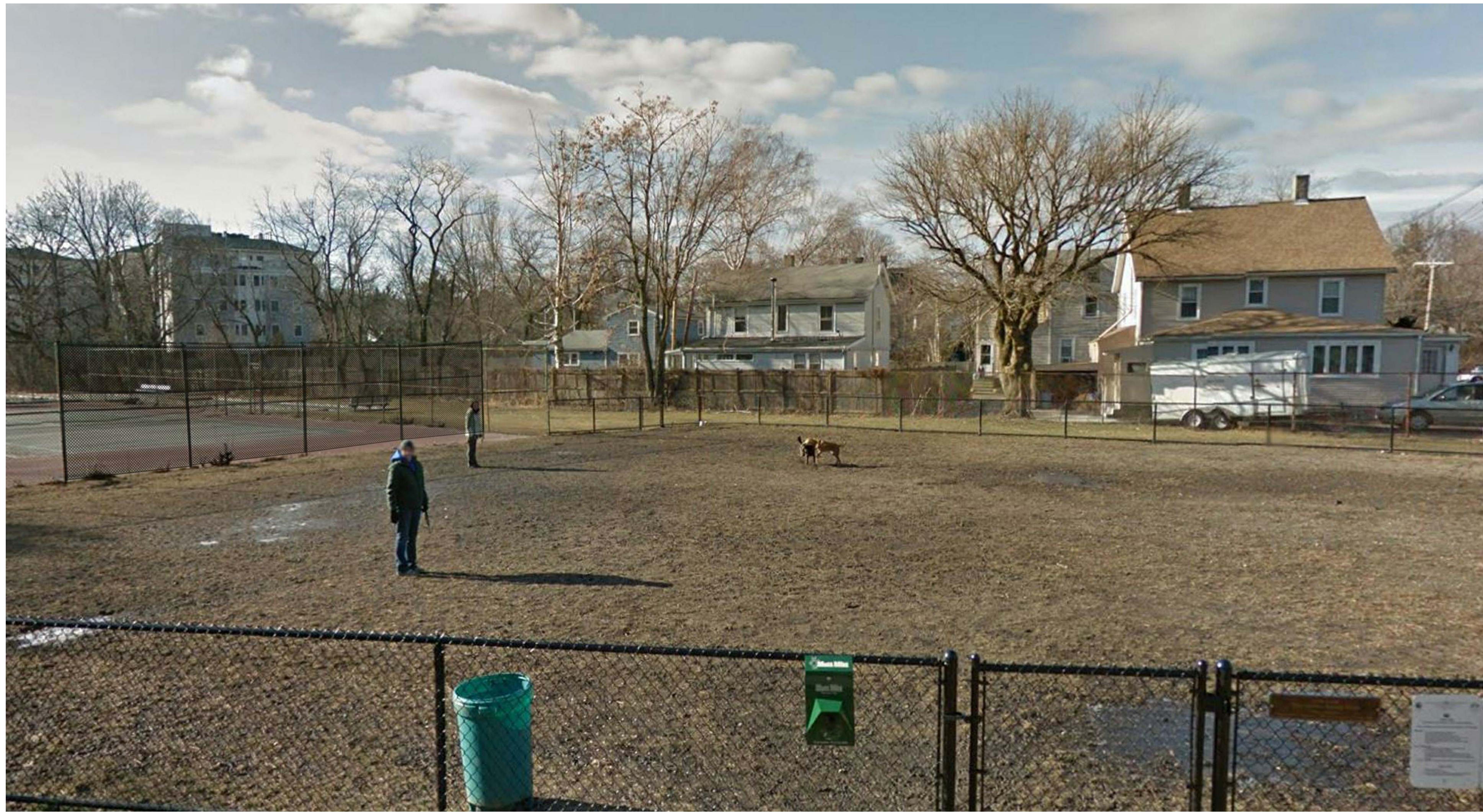
REVISIONS

No.	Description	Date

Front Rendering

AV-5

10 PILLION CT RESIDENCES



PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
10 PILLION CT LLC

ARCHITECT



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REVISIONS

No.	Description	Date

Rear Rendering

AV-6

10 PILLION CT RESIDENCES