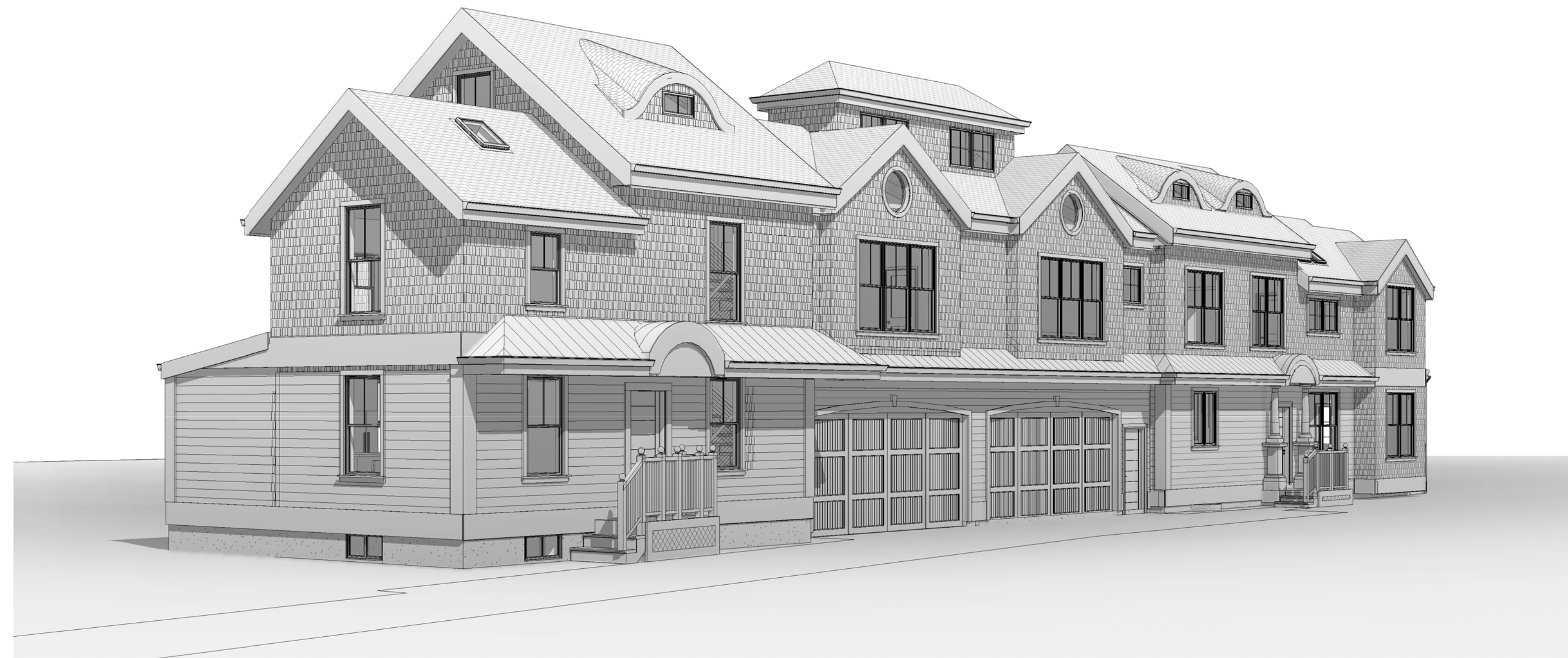


Architectural Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
0 - Cover Sheet			
A-000	Cover Sheet	06/30/2017	
1 - Civil			
1	Civil Plan	06/09/2017	
2	Details	06/09/2017	
3	Details	06/09/2017	
2 - Architecture			
A-001	General Notes & Abbreviations	06/30/2017	
A-002	Existing Conditions	06/30/2017	
A-010	Code Review & Egress Calculations	06/30/2017	
A-020	Architectural Site Plan	06/30/2017	06/05/2018
A-100	Basement & First Floor Plans	06/30/2017	06/05/2018
A-101	Second Floor & Attic Plans	06/30/2017	04/12/2018
A-300	Elevations	06/30/2017	02/05/2018
A-310	Perspectives	06/30/2017	
A-400	Building Longitudinal & Cross Sections	06/30/2017	04/12/2018
A-410	Wall Sections & Section Details	07/05/2017	04/05/2018
A-520	Typical Roof Details-Sloped	06/30/2017	
A-600	Typical Stair Details	06/30/2017	
A-700	Door & Window Schedules	06/30/2017	02/05/2018
A-710	Typical Door & Window Details	06/30/2017	
A-800	Partition Types	06/30/2017	02/05/2018
3-Structural			
S-001	Foundation Plan	06/29/2017	07/05/2017
S-002	First Floor Framing	06/29/2017	07/05/2017
S-003	Second Floor Framing	06/29/2017	
S-004	Third Floor & Roof Framing	06/29/2017	



PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
GFC DEVELOPMENT INC.

ARCHITECT

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

PROJECT: 10 Pillion Court Residences

**PROJECT ADDRESS:
 10 PILLION COURT
 NEWTON MASSACHUSETTS**

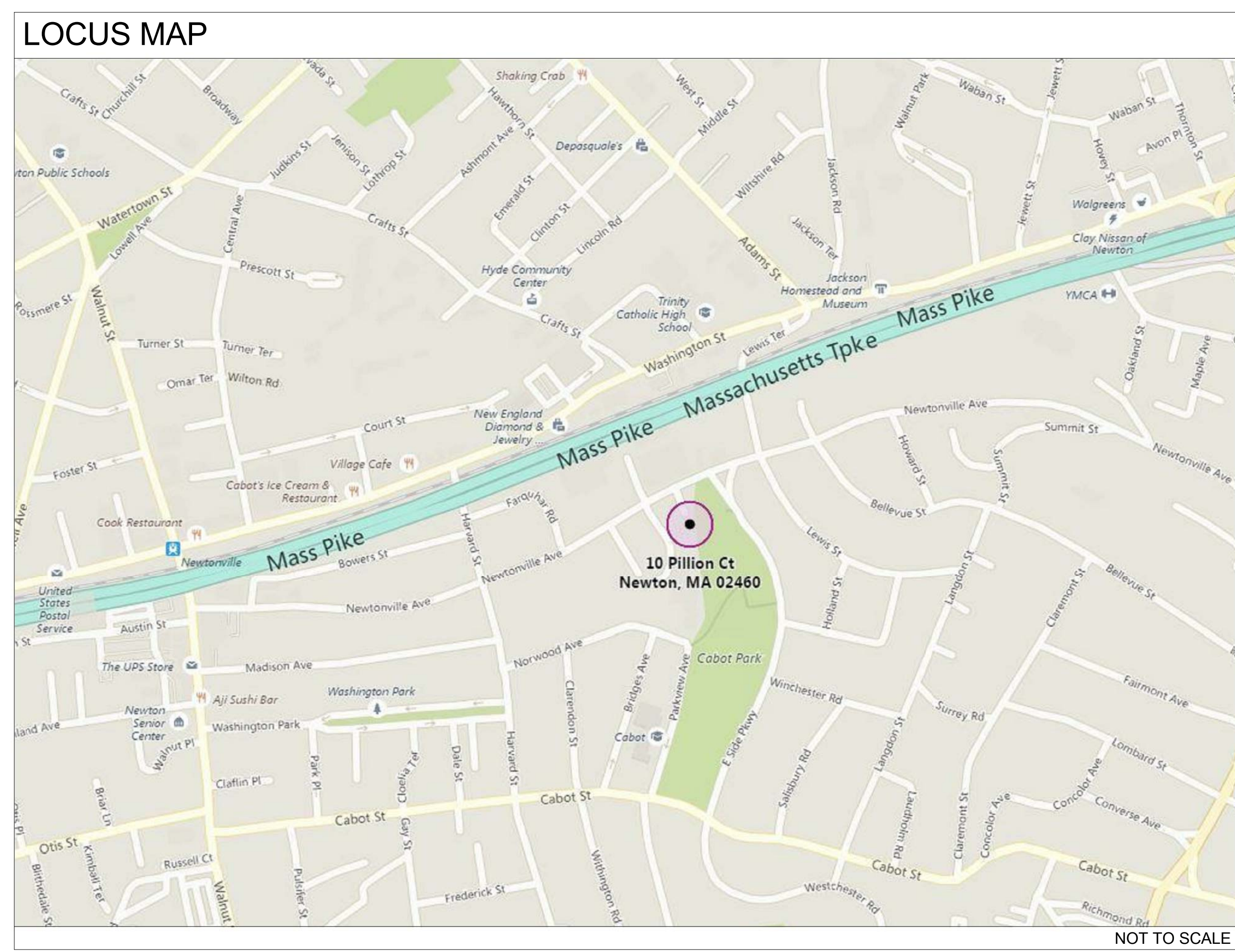
**ARCHITECT
 KHALSA DESIGN INC.
 ADDRESS:
 17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143**

**CLIENT
 GFC DEVELOPMENT INC.
 CHARLES AGGOURAS
 ADDRESS:
 1167 BROADWAY
 SOMERVILLE, MA 02144**

**STRUCTURAL ENGINEER
 EDMOND SPRUHAN
 ADDRESS:
 80 JEWETT ST., UNIT 1
 NEWTON, MA
 PHONE:
 617-816-0722**

**CIVIL ENGINEER
 PETER NOLAN & ASSOCIATES LLC
 ADDRESS:
 697 CAMBRIDGE STREET, SUITE 103
 BRIGHTON, MA 02135
 PHONE:
 857-891-7478/617-782-1533**

SPECIAL PERMIT SET
07.05.2017
REV. 4.5-2
6.5.2018



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 PROSECUTION UNDER LAW



Project number	17001
Date	07/05/2017
Drawn by	ERS, NB
Checked by	JSK
Scale	

REVISIONS		
No.	Description	Date

Cover Sheet

A-000

10 PILLION CT RESIDENCES

NOTES

- ELEVATIONS REFER TO CITY OF NEWTON DATUM.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL 800-SAFE AT 1-888-344-7229 IN ORDER TO COMPLY WITH STATE LAW.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S LATEST DESIGN DETAILS, LATEST EDITION, REPRODUCED AND ISSUED BY THE CITY OF NEWTON WATER & SEWER DEPARTMENT. SUCH NOTICES MAY BE OBTAINED FROM THE OFFICE OF THE CITY ENGINEER. REFER TO NOTE 29 FOR DETAILS. NOTE: A TRENCH PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION BEING CARRIED OUT.
- PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
- PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND MAY 24, 2017.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE. HE HAS SUBMITTED, BY REGISTERED MAIL, WRITTEN NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
 - CITY OF NEWTON WATER & SEWER DEPARTMENT
 - CITY OF NEWTON POLICE DEPARTMENT
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- THE ROOF RAINOFF FROM THE ROOF SERVICES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE STORM WATER DRAINAGE SYSTEM.
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADIES. TIES TO ALL GATES, VALVES, CLEAN-OUTS, CONNECTION POINTS AT MAINS, STRUCTURE ACCESS/MAINTENANCE COVERS, ANY EASEMENTS AND FINAL GRADIES.
- IF THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING & UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT AND A TRENCH PERMIT WITH THE DPW.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE DESIGN PERMITS FOR SIDEWALKS OR AS-BUILT GAS PERMITS. PETER NOLAN & ASSOCIATES, INC. WILL PROVIDE A DESIGN PERMIT FOR UNINSPECTED DOUBLEWALL UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
- ANY PROPOSED PVC PIPES UNDER PAVING OR CONCRETE WITH LESS THAN 30" OF COVER MUST BE ENCASED IN CONCRETE. (SEE PAGE 2).
- THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE COMPLETELY REMOVED FROM THE SITE. REPLACED AS SPECIFIED AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK. FAILURE TO HAVE THIS WORK INSPECTED MAY RESULT IN THE DEDUCT OF POINTS OF THE UTILITY CONNECTIONS. THE CONTRACTOR SHALL ADVISE THE CITY ENGINEER AS EARLY AS POSSIBLE TO HAVE THE ORDNANCE Satisfied. THE SYSTEM & UTILITIES MAY THEN BE BACKFILLED.
- THE EXISTING CONTOURS OF THE LAND ARE NOT TO BE ALTERED BY MORE THAN THREE (3) FEET AS A RESULT OF THE PLACEMENT OR REMOVAL OF SOIL, LOAM CLAY, GRAVEL OR STONE OR OTHER SPREAD MATERIALS. ALL EXISTING RETAINING WALL OR SWALE IS TO BE INSTALLED AFTER IT IS COMPLETELY BACKFILLED AND BEFORE THE REMAINING WORK TO ALL SITE WORK BEGINS. THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
- NO WORK IS ALLOWED WITHIN A CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH, IF AN EMERGENCY EXISTS OR THERE ARE OTHER SPECIAL CIRCUMSTANCES. THIS PROHIBITION DOES NOT APPLY TO THE INSTALLATION OF UTILITIES OR THE CONSTRUCTION OF SIDEWALKS OR BARRIERS. WORK SHALL BE COMPLETED AND AS SUCH IT IS RECOMMENDED THAT THE APPLICANT OR APPLICANT'S REPRESENTATIVE CONTACT THE CITY OF NEWTON ENGINEERING DIVISION PRIOR TO START OF WORK FOR CLARIFICATION.
- AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS. 28. DURING CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAIN. THE EROSION CONTROL MEASURES SHALL BE CLEANED, REPAIRED, AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.
- WITH EXCEPTION OF GAS UTILITIES SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE E (EXCAVATABLE CONTROL DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS).
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL OF CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- THE NEW SEWER SERVICE LINE MUST BE PRESSURE TESTED PRIOR TO USE. THE RESULT OF THE TEST MUST BE PROVIDED TO THE CITY OF NEWTON ENGINEERING DIVISION AND SOBBLE AN APPROXIMATE TO MAKE THE PRESSURE TEST WITNESSED BY A CITY OF NEWTON ENGINEERING DEPARTMENT REPRESENTATIVE.
- THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO MAKE THE DRAINAGE SYSTEM INSPECTED. THE SYSTEM MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM MAY BE RECOVERED AND SOBBLE AN APPROXIMATE TO MAKE THE PRESSURE TEST WITNESSED BY A CITY OF NEWTON ENGINEERING DEPARTMENT REPRESENTATIVE.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 26A, TRENCH EXCAVATION SAFETY REQUIREMENTS. TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED.
- APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATION AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF THE CITY ENGINEER'S OFFICE FOR APPROVAL PRIOR TO COMMENCEMENT.
- THE CONTRACTOR SHALL ASSUME ALL LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.

ZONING LEGEND

ZONING DISTRICT: MULTI RESIDENCE 1 (LOT CREATED BEFORE 12/07/1953)

	REQUIRED	PROPOSED
MIN. AREA	7,000 S.F.	10,559±S.F.
MIN. FRONTAGE	70'	10.0'
MIN. YARD FRONT	25'	25.0'
SIDE	7.5'	8.7'
REAR	15'	111.8'
MAX LOT COVERAGE	30%	25.9%
MIN OPEN SPACE	50%	55.3%
MAX. BLDG. HEIGHT	36'	33.84'±

LEGEND

- UTILITY POLE
- WATER GATE
- HYDRANT
- GAS GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- TREE
- LIGHT POLE
- SIGN
- TO BE REMOVED
- TO BE ABANDONED
- TOP OF WALL
- BOW BOTTOM OF WALL
- FG FINISHED GRADE
- SG SPOT GRADE
- THP DEEP TEST HOLE
- PIF PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- 71-X PROPOSED CONTOUR
- 71- EXISTING CONTOUR
- D DRAIN LINE
- W WATER LINE
- SS SEWER LINE
- G GAS LINE
- X FENCE

NOTES

- INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 5-24-2017.
- DEED REFERENCE BOOK 6862B PAGE 116, PLAN REFERENCE PLAN BOOK 77719 PAGE 118, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
- THIS PLAN IS NOT INTENDED TO BE RECORDED.
- I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 2507705552E, PANEL NUMBER 0552E, COMMUNITY NUMBER: 250208, DATED JUNE 4, 2010.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
- FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
- NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

PROPOSED SEWER THROUGH FOUNDATION INVERT=47.50' (VERIFY IN FIELD)

PROPOSED SEWER PROFILE
INVERT=47.50'
SLOPE = 1:20

PROPOSED SEWER CONNECTION INV IN=45.93'(V.I.F) CONTRACTOR TO VERIFY INVERTS & OVERALL CONDITION OF EXISTING SHH

PROPOSED SEWER CONNECTION
INV IN=45.93'(V.I.F)
CONTRACTOR TO VERIFY INVERTS & OVERALL CONDITION OF EXISTING SHH

EXISTING 10' EASEMENT

EXISTING 10' EASEMENT

PROPOSED ADDITION F.F. = 54.31'± G.F. = 52.00'± PROPOSED SEWER THROUGH FOUNDATION INVERT=47.50' (VERIFY IN FIELD)

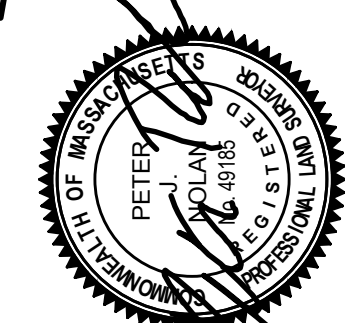
PROPOSED 2ND STORY ADDITION

PROPOSED 2ND STORY ADDITION

EXISTING 10' EASEMENT

EXISTING 10' EASEMENT

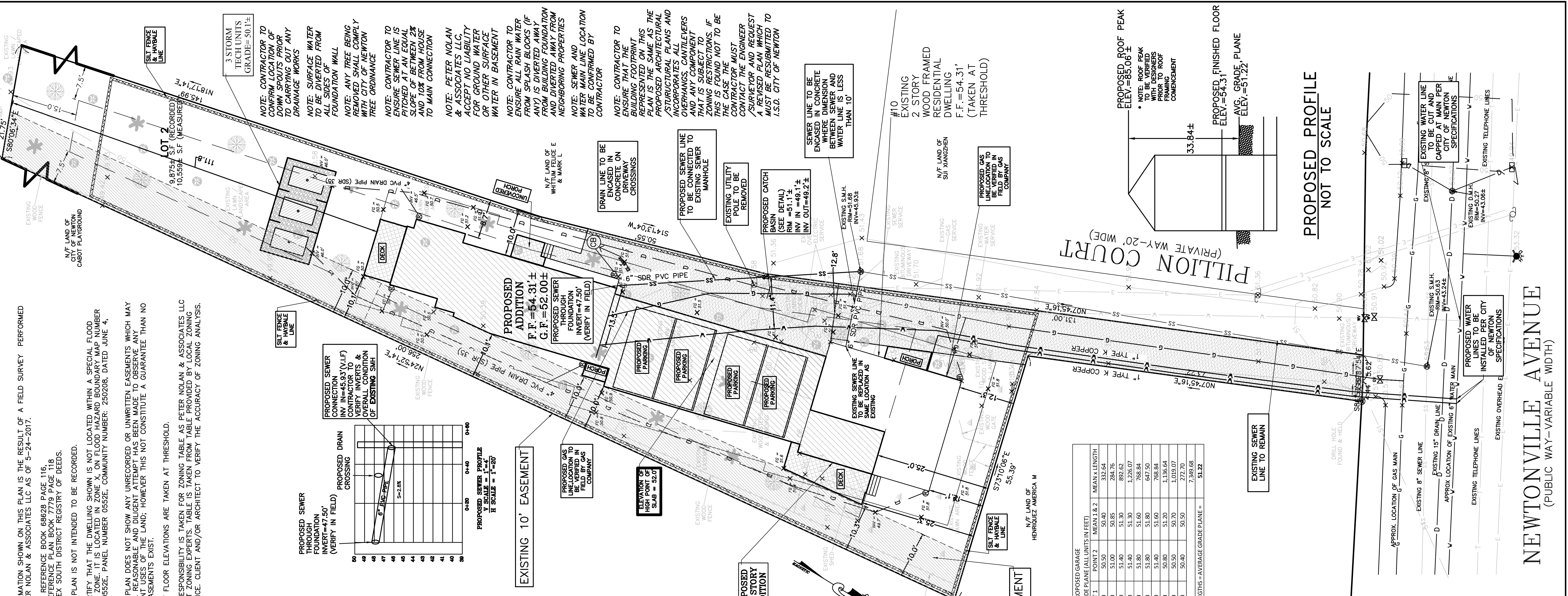
SEGMENT	PROPOSED GARAGE AVERAGE GRADE PLANE (ALL UNITS IN FEET)		MEAN 1 & 2	MEAN 1 & 2	LENGTH
	POINT 1	POINT 2			
1	50.30	50.40	50.40	332.64	6.60
2	50.70	51.00	50.85	294.76	5.60
3	51.20	51.40	51.30	897.63	17.40
4	51.20	51.40	51.30	1,236.07	23.90
5	51.40	51.80	51.60	769.84	14.90
6	51.80	51.90	51.85	647.50	12.50
7	51.80	51.60	51.70	769.84	14.90
8	50.80	50.80	50.80	1,136.64	22.20
9	50.90	50.70	50.80	1,019.07	20.10
10	50.60	50.50	50.55	272.70	5.40
SUM=				7,249.68	
				31.22	



SCALE	1"=10'
DATE	03/19/2018
REV DATE	6/9/17
SHEET	REVISED FOOT PRINT & UTILITIES
	BY REVISION
PLAN NO.	10 PILLON COURT
CLIENT:	NEWTON MASSACHUSETTS
DRAWN BY	CIVIL PLAN
CHKD BY	PETER NOLAN & ASSOCIATES LLC
ETS	LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
APPD BY	687 BRIDGE STREET, SUITE 103, BRIDGEWATER MA 02135
P.N.	PHONE: 857 891 7476/817 782 1533 FAX: 617 202 5691
	EMAIL: pnolan@pnasurveyors.com

SHEET NO.

1



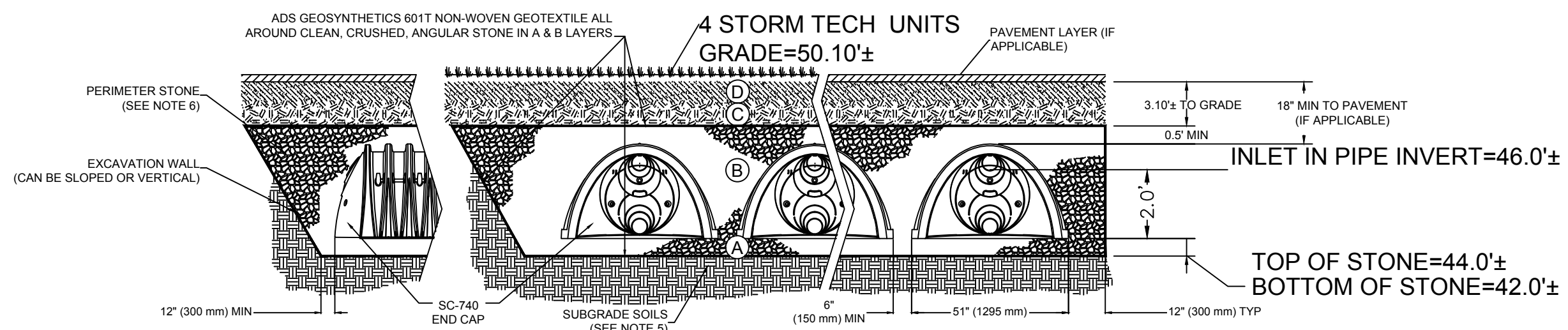
PROPOSED PROFILE
NOT TO SCALE

PROPOSED PROFILE
NOT TO SCALE

NEWTONVILLE AVENUE
(PUBLIC WAY-VARIABLE WIDTH)

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹

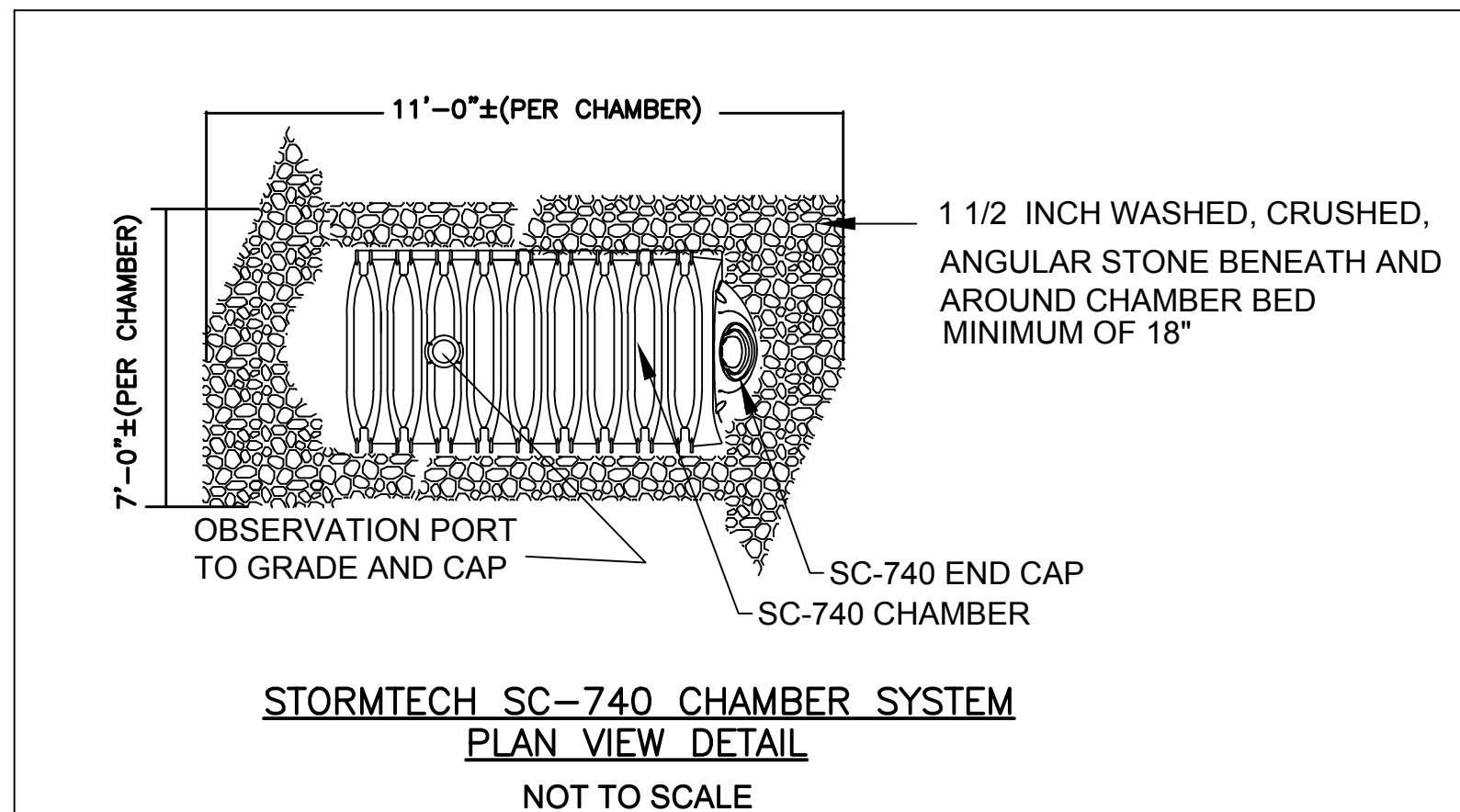
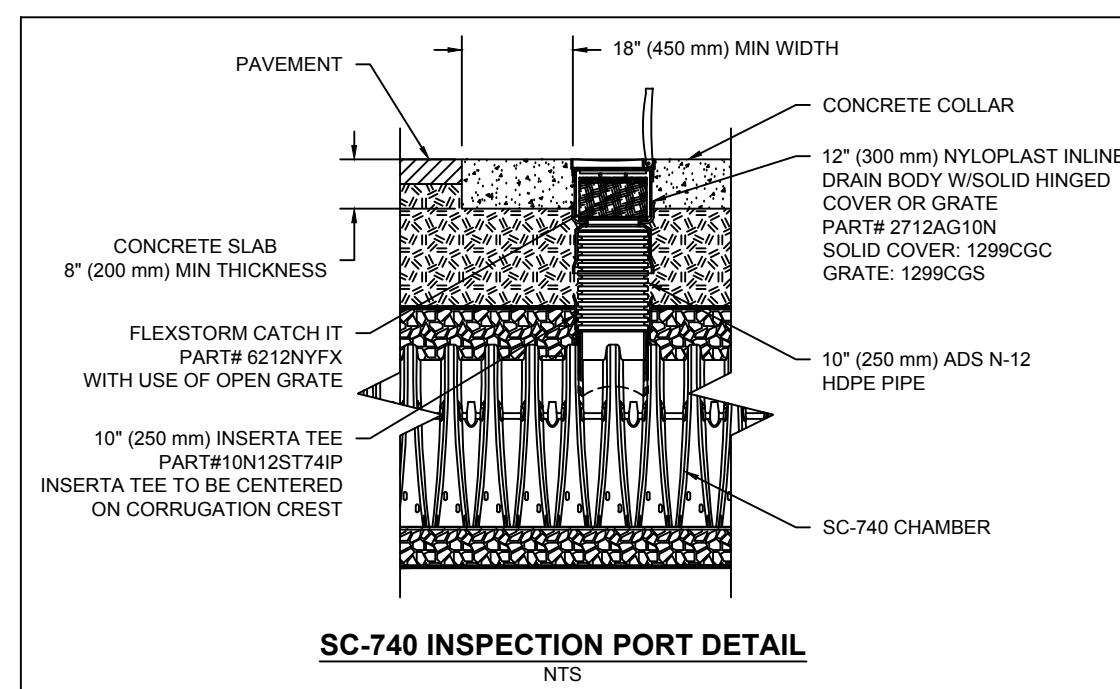
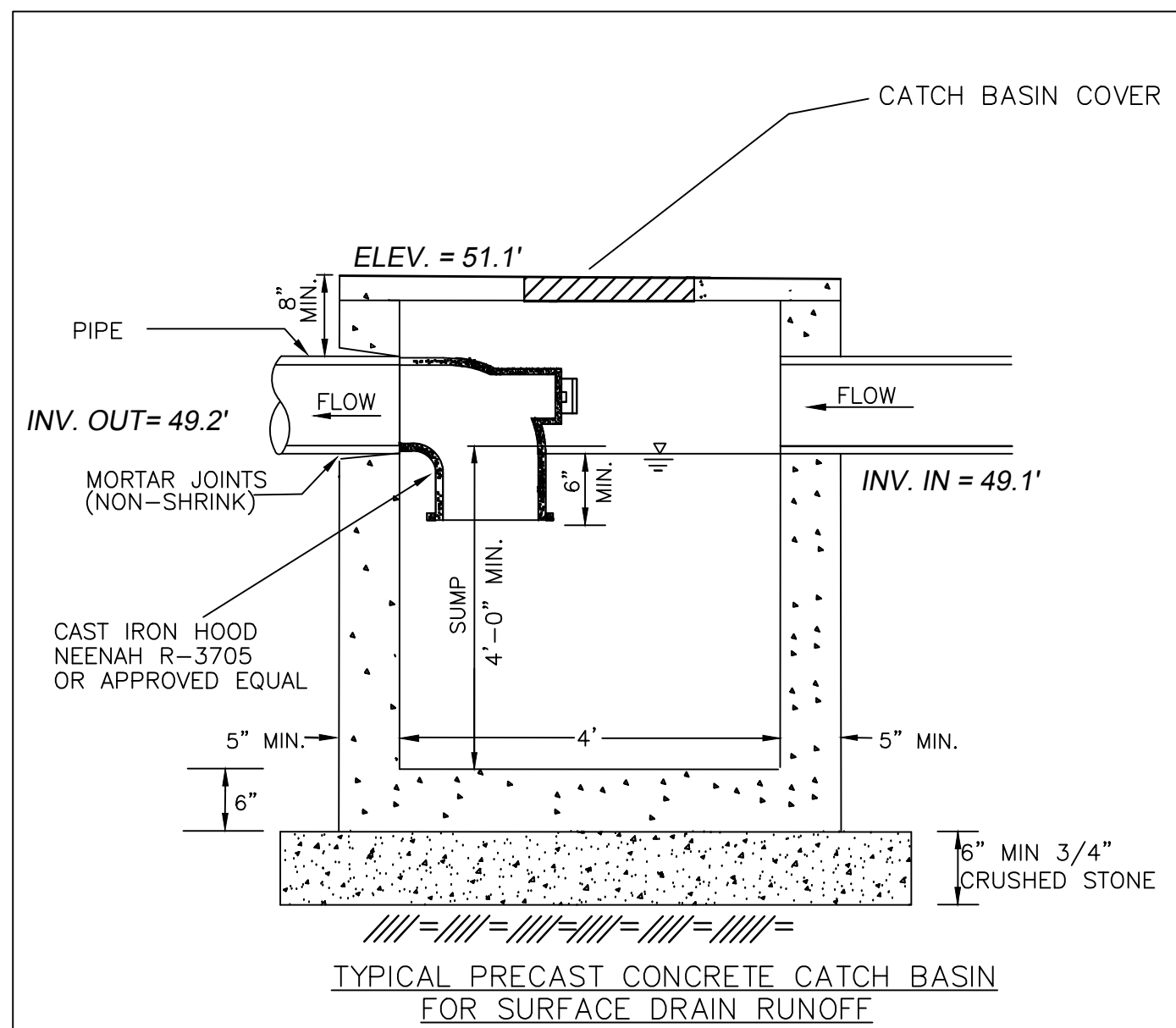


NOTES:

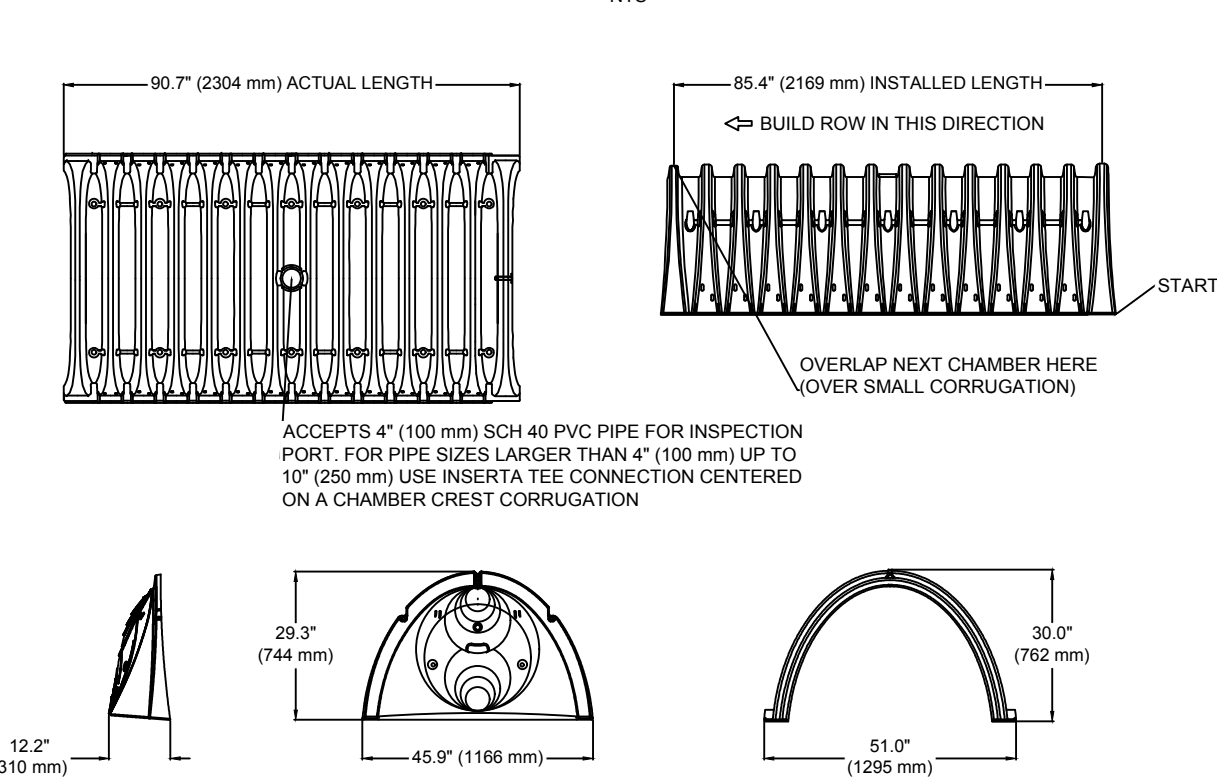
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH GENERAL NOTES

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 96 INCHES.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE. CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.



SC-740 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1,300 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2,122 m ³)
WEIGHT	75.0 lbs	(33.6 kg)

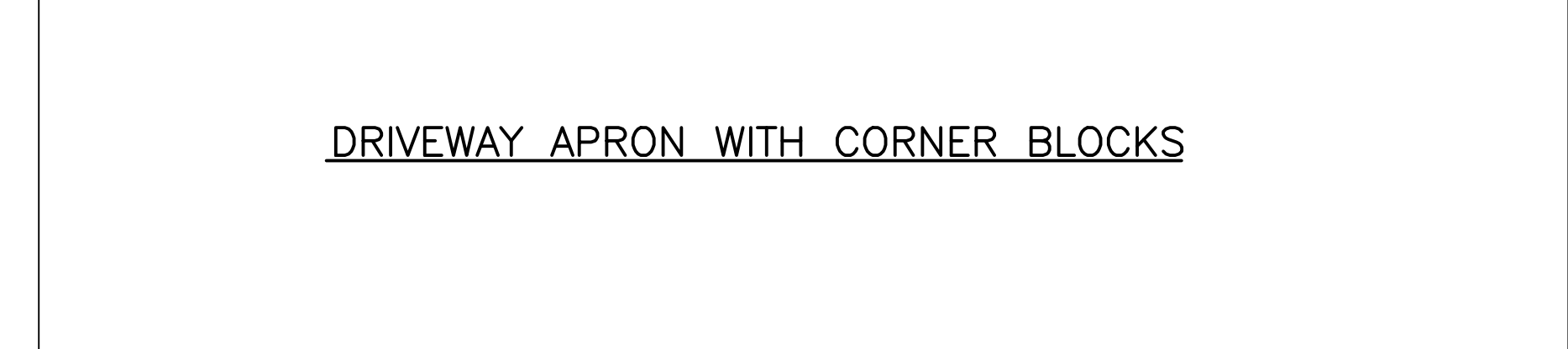
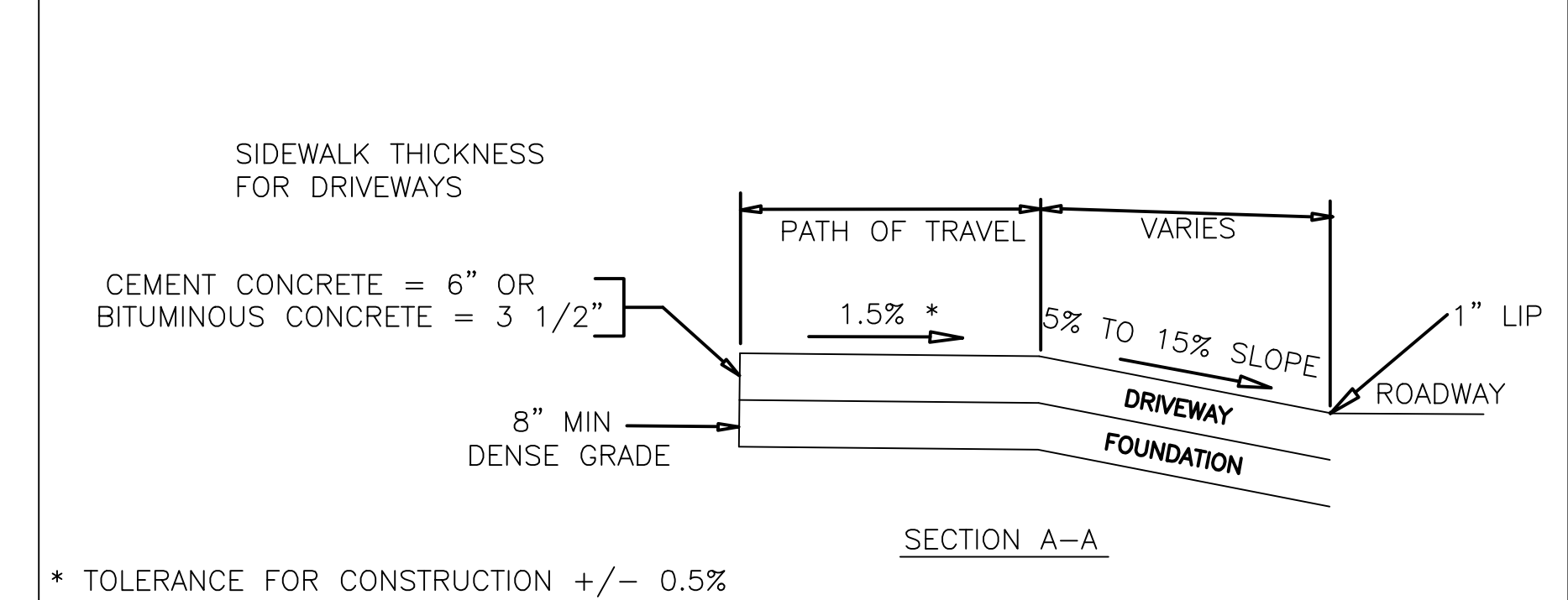
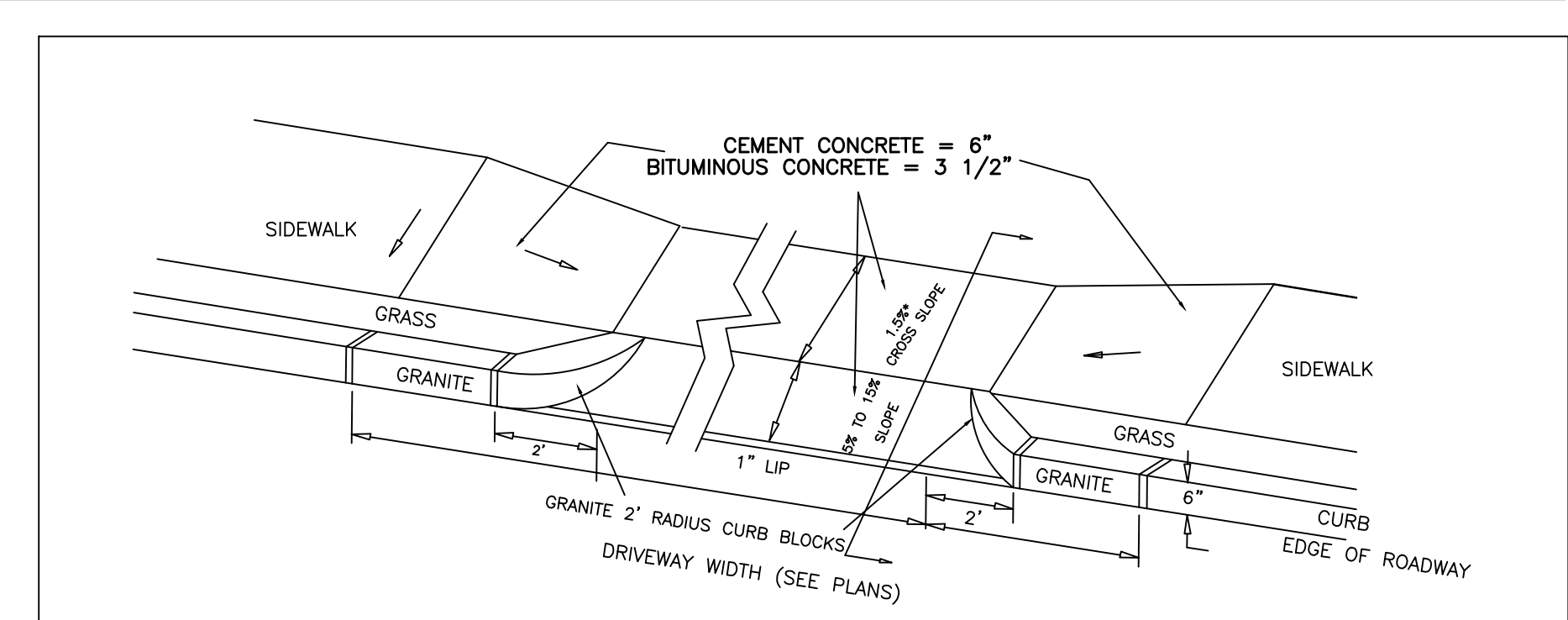
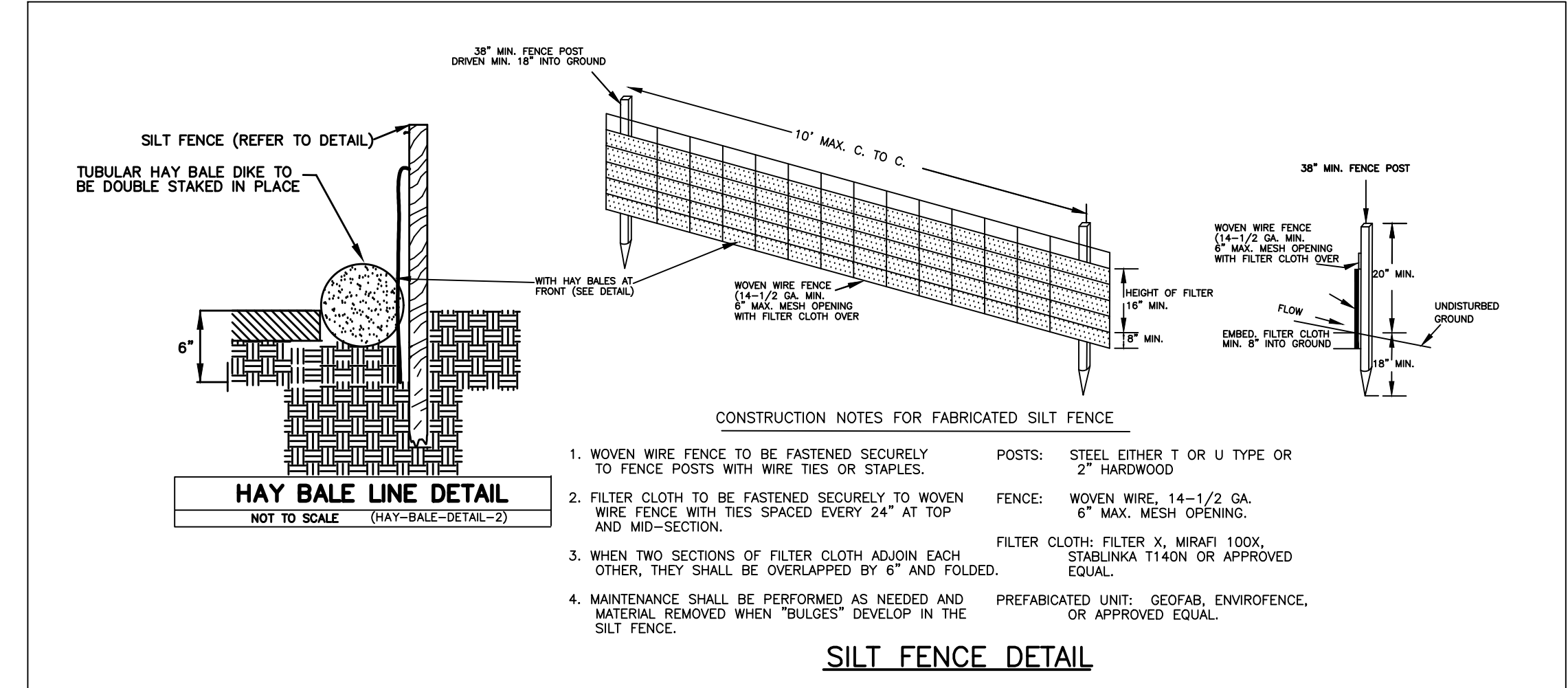
*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	A	B	C
SC740EPE06T / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EPE08B / SC740EPE08BPC	---	---	---	0.9" (13 mm)
SC740EPE08T / SC740EPE08TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EPE08B / SC740EPE08BPC	---	---	---	0.6" (15 mm)
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EPE10B / SC740EPE10BPC	---	---	---	0.7" (18 mm)
SC740EPE10T / SC740EPE10TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	---
SC740EPE12B / SC740EPE12BPC	---	---	---	1.2" (30 mm)
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740EPE15B / SC740EPE15BPC	---	---	---	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EPE18B / SC740EPE18BPC	---	---	---	1.6" (41 mm)
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

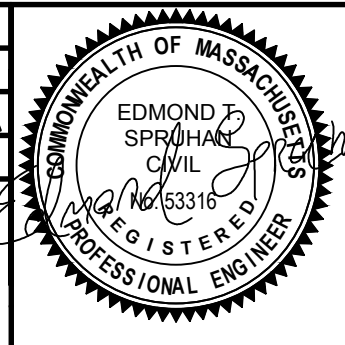
ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2594.

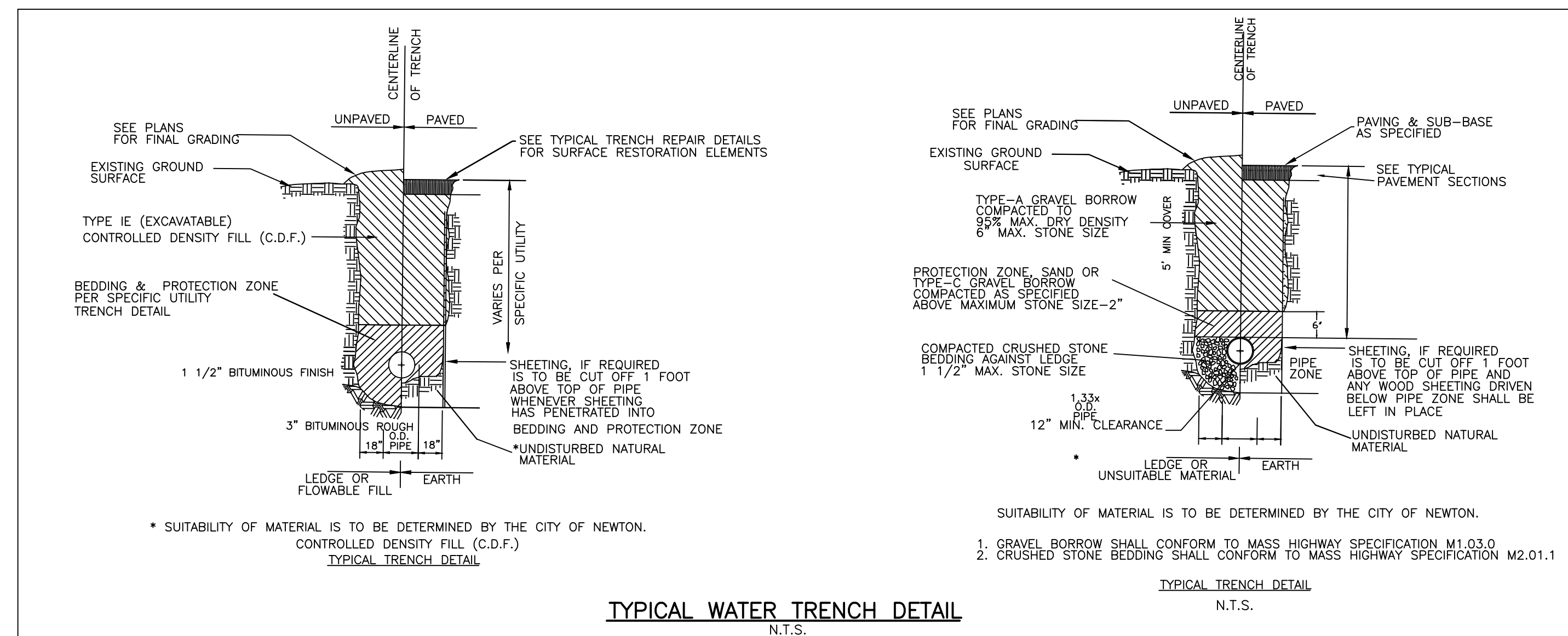
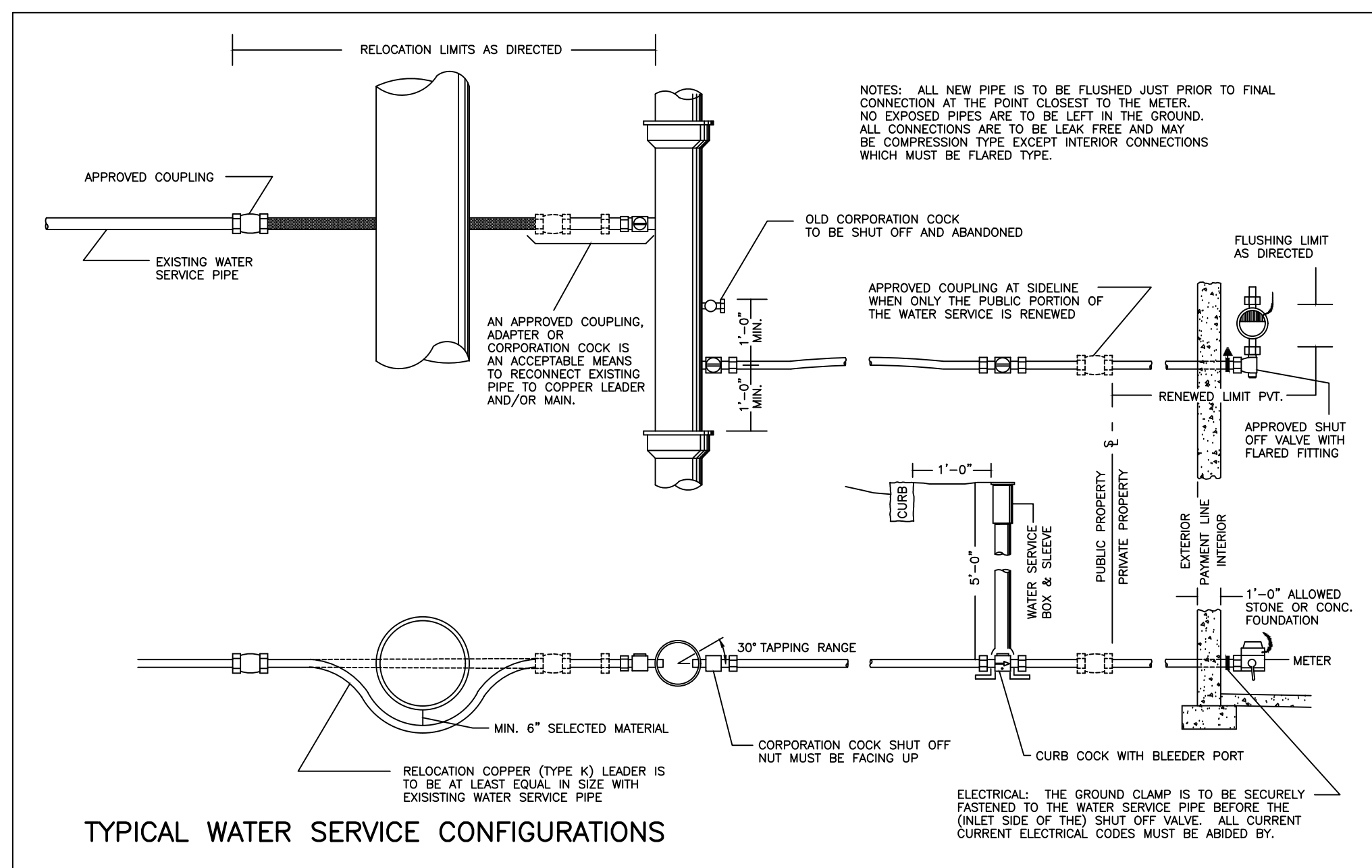
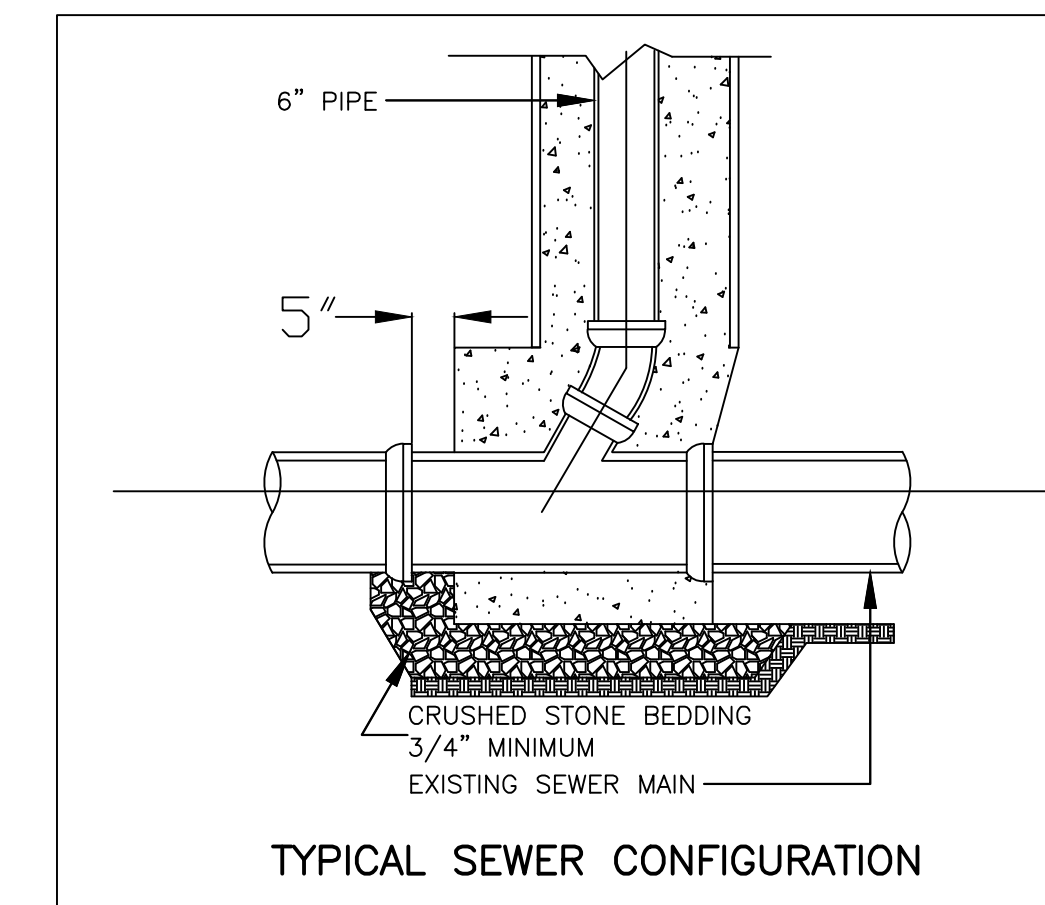
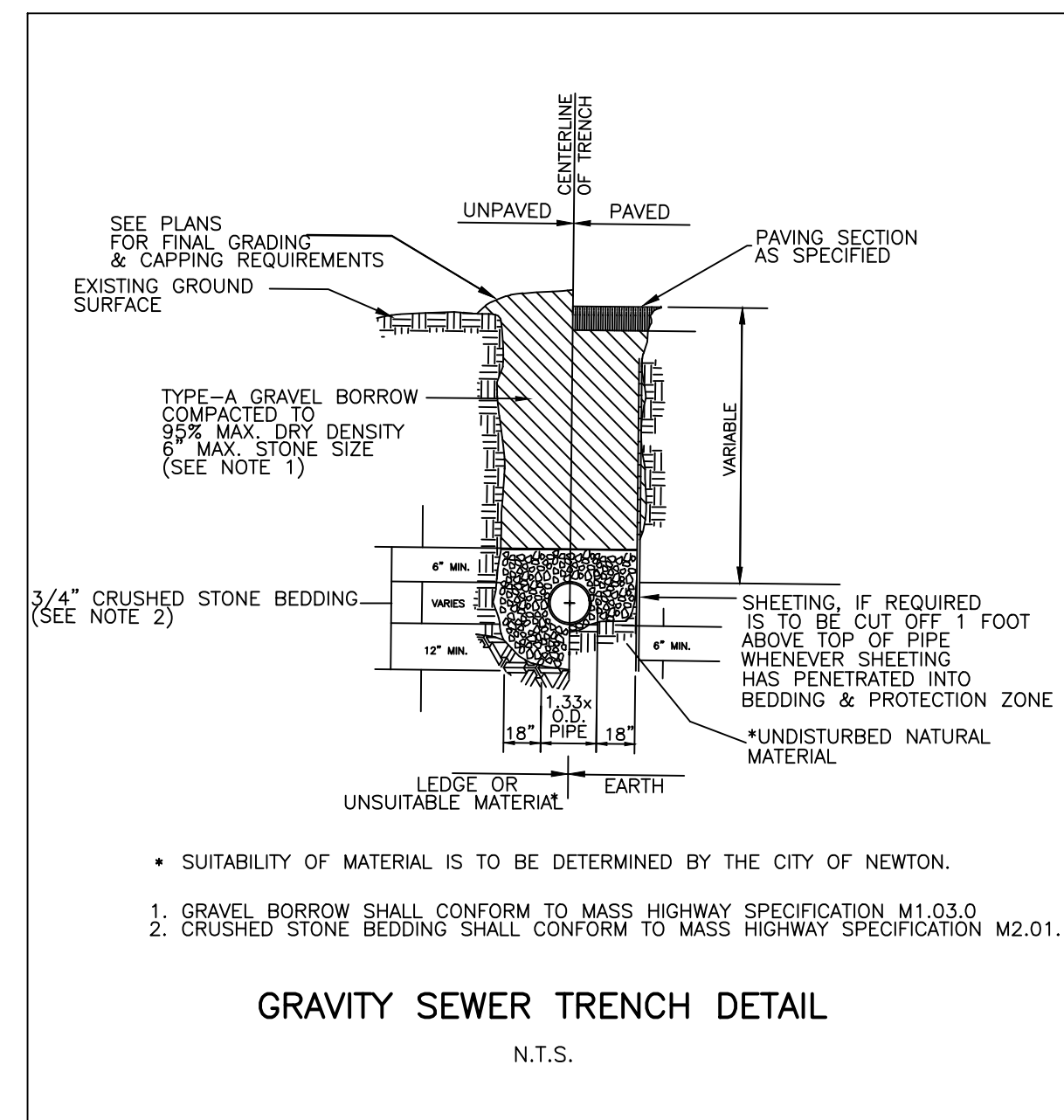
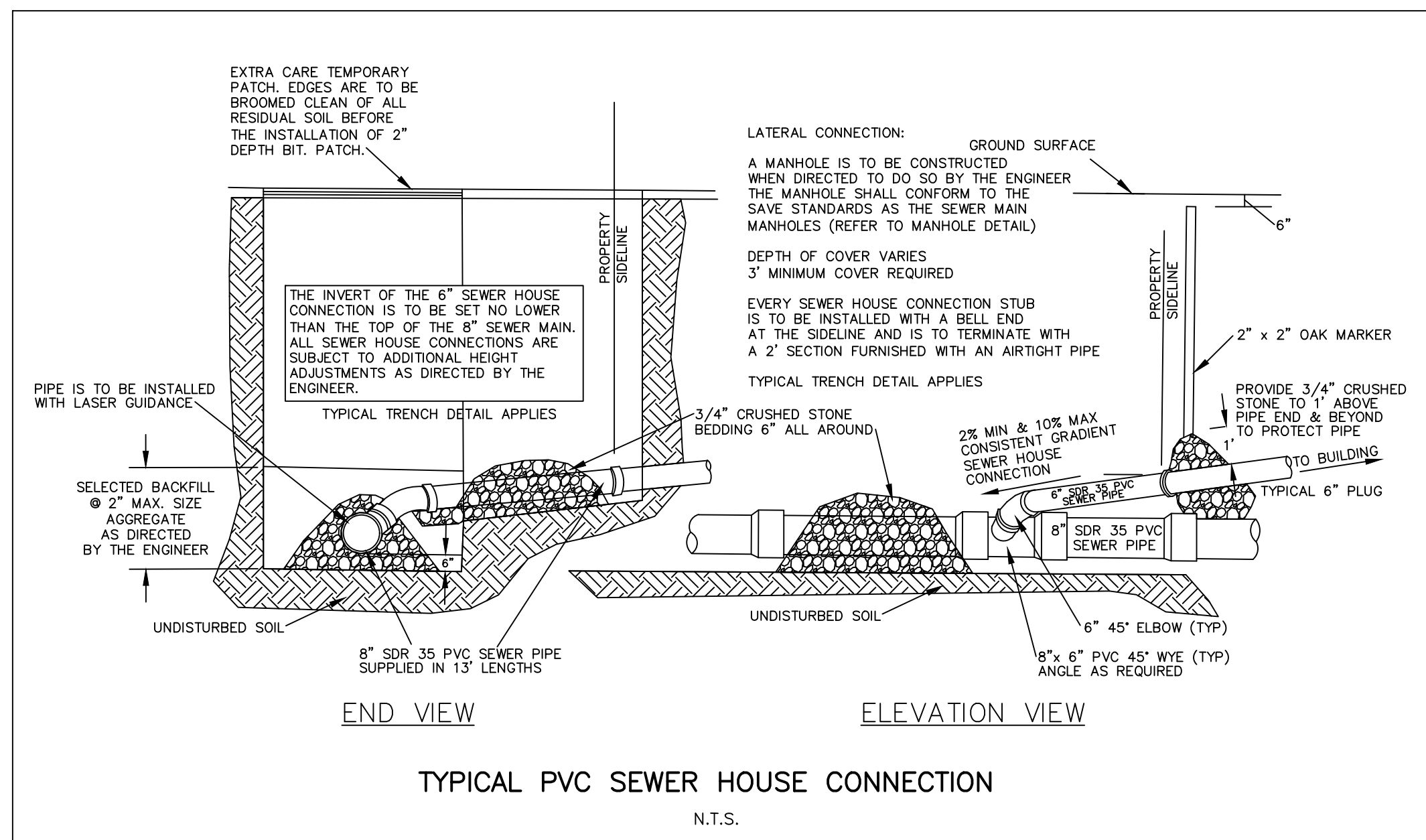
* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL



SCALE	NTS		
DATE	03/19/2018	REVISED FOOT PRINT & UTILITIES	YWA
SHEET	6/9/17	REVISION	BY
PLAN NO.	10 PILLON COURT NEWTON MASSACHUSETTS		
CLIENT:	DETAILS		
DRAWN BY	PETER NOLAN & ASSOCIATES LLC		
CHKD BY	LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS		
APPD BY	697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135		
	PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691		





DEEP OBSERVATION HOLE LOG

GENERAL SOIL CONDITIONS FOR THE AREA PERFORMED AT 10 PILLION CT BY PETER NOLAN & ASSOCIATES, LLC.

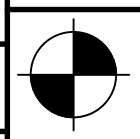
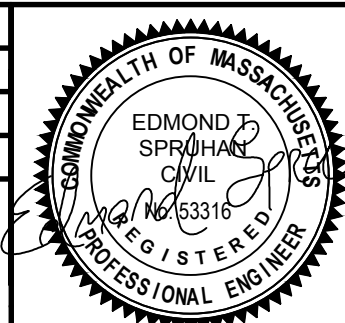
HOLE NUMBER: TP - 1 DATED: 6/8/17

GENERAL SITE CONDITIONS: GRASS AND TREES.

PERCOLATION TEST HOLE PT - 1

PERCOLATION RATE = 2 MIN/IN

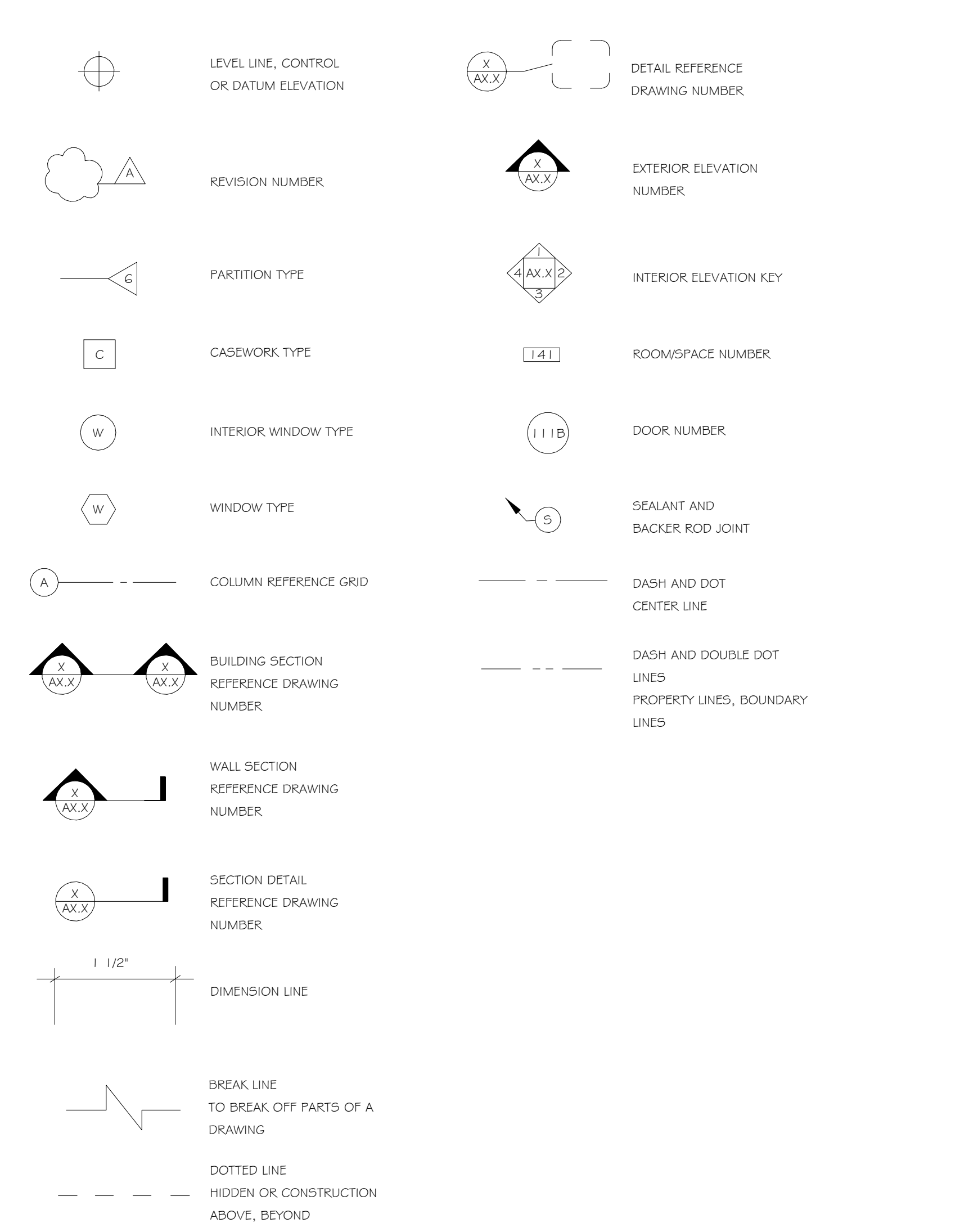
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING	OTHER
0" - 12"	A	L	10 YR 3/2	NO	NONE
12" - 36"	B	FILL	10 YR 6/6	NO	BRICKS
36" - 48"	C1	PEAT	10 YR 5/6	NO	NONE
48" - 120"	C2	LSnd	10 YR 5/6	NO	NONE

SCALE	NTS		
DATE	03/19/2018	REVISED FOOT PRINT & UTILITIES	YWA
	6/9/17	REV DATE	BY
SHEET	10 PILLION COURT NEWTON MASSACHUSETTS		
PLAN NO.	3 OF 3		
CLIENT:	DETAILS		
DRAWN BY	HM		
CHKD BY	PUN		
APPD BY	PUN		
DRAWN BY		 PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691	
SHEET NO.		 3	

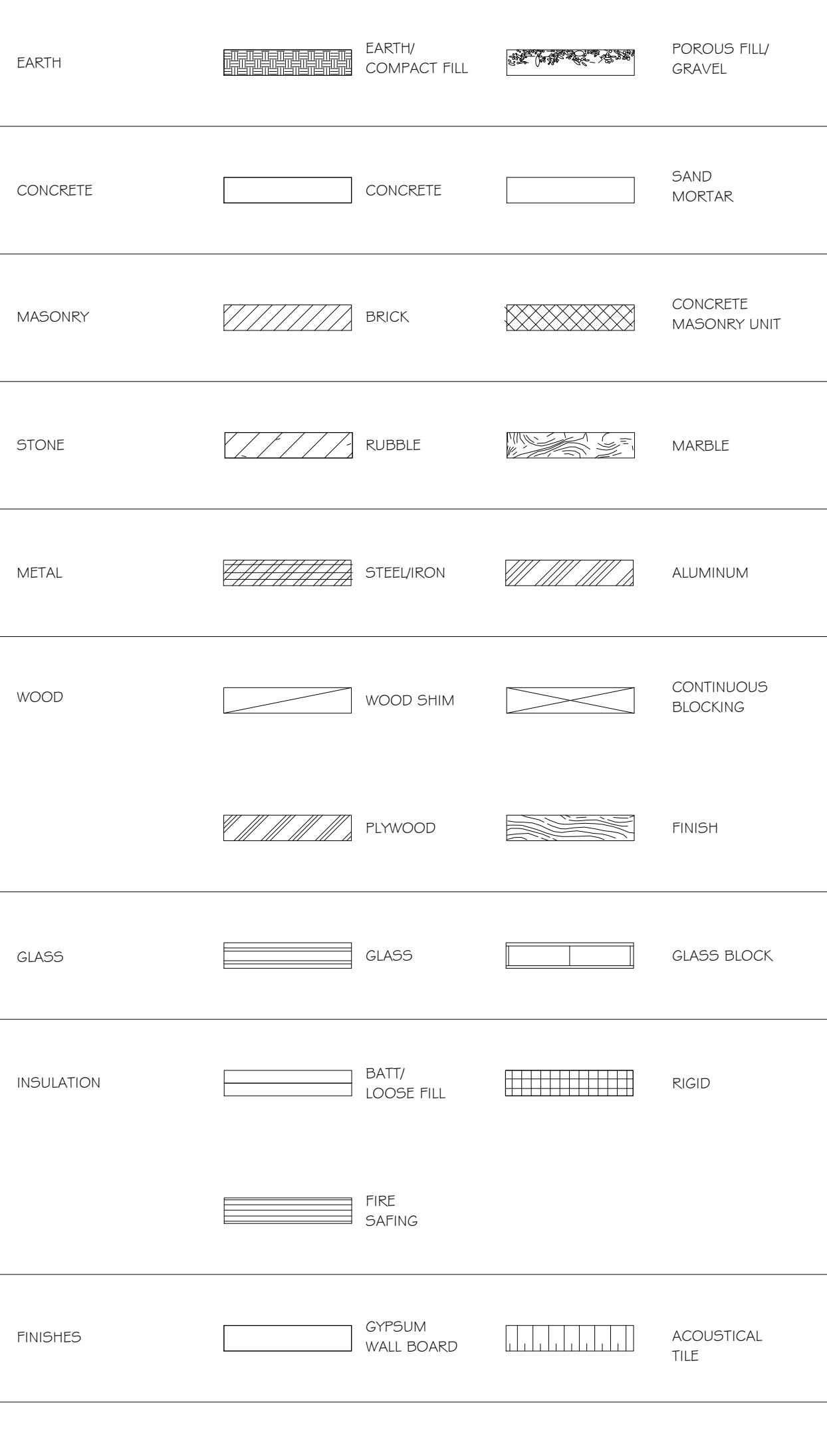
ARCHITECTURAL ABBREVIATIONS

A	AB ANCHOR BOLT ACFL ACCESS FLOOR ACOUS ACOUSTICAL ACT ACOUSTICAL CEILING TILE AD AREA DRAIN ADD ADDENDUM ADL ADDITIONAL ADJ ADJUSTABLE ADJ ADJACENT ADMIN ADMINISTRATION AFF ABOVE FINISH FLOOR AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM ANUN ANUNCIATOR AP ACCESS PANEL APC ARCHITECTURAL PRECAST CONCRETE APROX APPROXIMATE ARCH ARCHITECTURAL AUTO AUTOMATIC AWT ACOUSTICAL WALL TREATMENT	C CD COLING DOOR CG COLING GRILLE CL CENTER LINE CLS CLASS CLG CEILING CLR CLEAR CM CONSTRUCTION MANAGER CO CONCRETE MASONRY UNIT CO CLEANOUT CO CASED OPENING COL COLUMN COMB COMBINATION/ED CONC CONCRETE CONF CONFERENCE CONN CONNECT-ED/JON CONSTR CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR COORD COORDINATE CORR CORRIDOR CPT CARPET CT CERAMIC TILE CTR CENTER CTSK COUNTERSUNK CUH CABINET UNIT HEATER CW CURTAIN WALL CW COLD WATER CYL CYLINDER	E EJT EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EQ EQUAL EQIP EQUIPMENT ES END SECTION EWC ELECTRIC WATER COOLER EXA EXHAUST AIR EXCAVATE/ED/JON EXCAVATE/ED/JON EXH EXHAUST HOOD EXIST EXISTING EXP EXPANSION EXT EXTERIOR E EXISTING E GEN GENERAL CONTRACTOR E GENERATOR E EXHAUST FAN EIFS EXTERIOR INSULATION AND FINISH SYSTEM EJT EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EQ EQUAL EQIP EQUIPMENT ES END SECTION EWC ELECTRIC WATER COOLER EXA EXHAUST AIR EXCAVATE/ED/JON EXCAVATE/ED/JON EXH EXHAUST HOOD EXIST EXISTING EXP EXPANSION EXT EXTERIOR	F FRMG FRAMING FS FULL SIZE FS FLOOR SINK FSTOP FIRE STOPPING FT FOOT/FEET FTG FOOTING FTR FIN TUBE RADIATION FURR FURRING FUT FUTURE	G GA GAUGE GAL GALLONS GALV GALVANIZED GB GRAB BAR GB GRADE BEAM GC GENERAL CONTRACTOR GEN GENERAL GL GLASS GMU GLASS MASONRY UNIT GR GRADE GWB GYPSUM BOARD GWB/SK GYPSUM BLUE BOARD W/ PLASTER SKIM COAT GYP SHGT GYPSUM SHEATHING	J JAN JANITOR JB JOINT BOX JT JOIST JT JOINT	K KO KNOCK OUT	L L ANGLE LAV LAVATORY LAV LAVATORY LB FOUND LCD LINEAR CEILING DIFFUSER LF LINE FIGURED LNI LINEAR LKR LOCKER LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LMC LINEAR METAL CEILING LOC LOCATION OR LOCATE LPT LOW POINT LS LAWN SPRINKLING LT LIGHT LTG LIGHTING LVR LOUVER LWC LINEAR WOOD CEILING	M M MIDDLE MAN MANUAL MATL MATERIAL MAX MAXIMUM MBO MARKER BOARD MC MEDICINE CABINET MCU MODULAR COOLING UNIT MECH MECHANICAL MEMB MEMBRANE MET METAL MEZZ MEZZANINE MFR MANUFACTURER MNH MANDIBLE MIR MIRROR MISC MISCELLANEOUS MO MASONRY OPENING MONOL MONOLITHIC MPC METAL PAN CEILING MPD MULTI-PURPOSE UNIT MTD MOUNTED MTR MOTOR MULL MULLION	N NA NOT APPLICABLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NRC NOISE REDUCTION COEFFICIENT NT NOT NTS NOT TO SCALE	O OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHEAD OP OPERABLE PARTITION OPER OPERATOR OPNG OPENING OPP OPPOSITE ORD OVERFLOW ROOF DRAIN	P PART PARTITION PB PUSH BUTTON PC PRECAST CONCRETE PCD PAPER CUT DISPENSER PED PEDESTAL PL PLATE PLY PROPERTY LINE PLAM PLASTIC LAMINATE PLBG PLUMBING PL5 PLASTER PLW PLYWOOD PNL PANEL PR PAIR PRELIM PRELIMINARY PRES PRESSURE PRES5 PRESSURE PRIM PRIMARY PROJ PROJECTION PRV POWER ROOF VENTILATOR PT PAINT PTC PAPER TOWEL CABINET PTR PRINTER PVC POLYVINYL CHLORIDE	Q QT QUARRY TILE	R R RADIUS R RISER RA RETURN AIR RAD RADIATION RB RESILIENT BASE RD ROOF DRAIN RELOCATE EXISTING RELOCATE EXISTING REC RECESSED REF REFERENCE REFR REFRIGERATOR REG REGISTER REIN REINFORCE/ED/JON REM REMOVE REQD REQUIRED RET RETAINING REV REVERSE REV REVISE RF RESILIENT FLOOR RH ROOF HATCH RM ROOM RO ROUGH OPENING RS ROUGH SLAB RWC RAIN WATER CONDUCTOR	S STS STEEL STRUCTURE SUPV SUPERVISOR SUSP SUSPENDED SW STEEL WINDOWS SW SWITCH SWD SOFTWOOD SYM SYMMETRICAL	T T TOP TAN TANGENT TBD TACKBOARD TC TIME CLOCK TCAB TOWEL CABINET TDISP TISSUE DISPENSER TDR TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE TER TERRAZZO TG TONGUE & GROOVE THRES THRESHOLD TFG TEMPERED PLATE GLASS TPH TOILET PAPER HOLDER TR TREAD TRANSF TRANSFORMER TS TUBE SECTION TV TELEVISION TYP TYPICAL	U U URINAL UC UNDERCUT UFD UNDER FLOOR DUCT UG UNDERGROUND UH UNIT HEATER UNFIN UNFINISHED UNO UNLESS NOTED OTHERWISE US UTILITY SHELF UTIL UTILITY	V VC VALVE CABINET VENT VENTILATION VERT VERTICAL VEST VESTIBULE VR VAPOR RETARDER VTR VENT THROUGH ROOF	W W WIDTHWIDE WF WIDE FLANGE W/WO WITHOUT WC WATER CLOSET WC WALL COVERING WCO WOOD WDW WINDOW WG WALL GUARD WH WALL HYDRANT WHCH WHEELCHAIR WHTR WATER HEATER WF WATERPROOF WR WASTE RECEPTACLE WS WEATHERSTRIP WSCOT WAINSCOT WT WINDOW TREATMENT WT WEIGHT WW WOOD WINDOW WWF WELDED WIRE FABRIC
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SYMBOLS



INDICATION OF MATERIALS



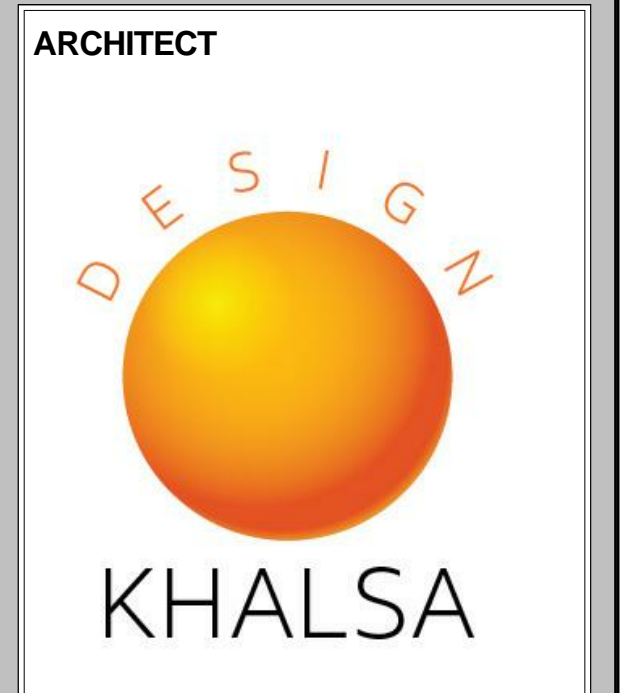
GENERAL NOTES

- GENERAL CONDITIONS : THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA DOCUMENT A201 (1987 EDITION) EXCEPT AS HEREIN AMENDED.
- SCOPE : WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
- CODES : ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY : WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
- COORDINATION OF THE WORK : THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
- MECHANICAL TRADES : THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF THE SITE AND DOCUMENTS : THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS : THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL : PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNER). AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS TO BE 5/8in FIRE CODE OR 1/2in GYPSUM BOARD, 5/8in MOISTURE RESISTANT TYPE X OR 5/8in CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, VVC, OR PANELING.
- STORAGE : THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E. TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.
- PROTECTION : THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
- TEMPORARY SERVICES : THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRIC LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- DAMAGE : THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
- THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING : LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- CARPET AND/OR TILE : CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HANDICAPPED REQUIREMENTS : THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION : REFER TO N.F.P.A. STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
- ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS 1 in WITH A FLAME SPREAD RATING OF 0 TO .25.
- SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.

PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
**10 PILLION COURT
 NEWTON, MA**

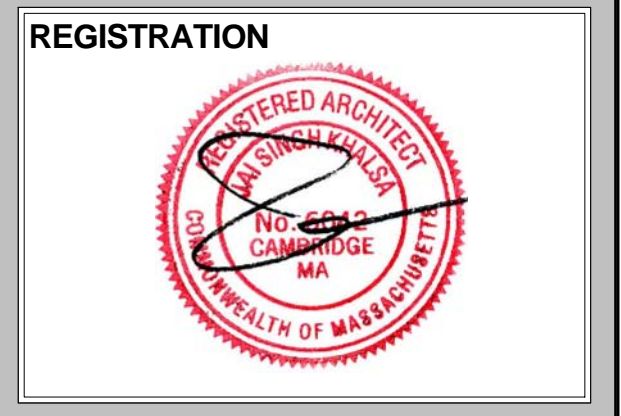
CLIENT
GFC DEVELOPMENT INC.



**17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143**
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number	17001
Date	07/05/2017
Drawn by	KDI
Checked by	JSK
Scale	1 : 1

REVISIONS		
No.	Description	Date

General Notes & Abbreviations

A-001

10 PILLION CT RESIDENCES

PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
GFC DEVELOPMENT INC.



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REGISTRATION



Project number 17001
 Date 07/05/2017
 Drawn by
 Checked by JSK
 Scale 1/8" = 1'-0"

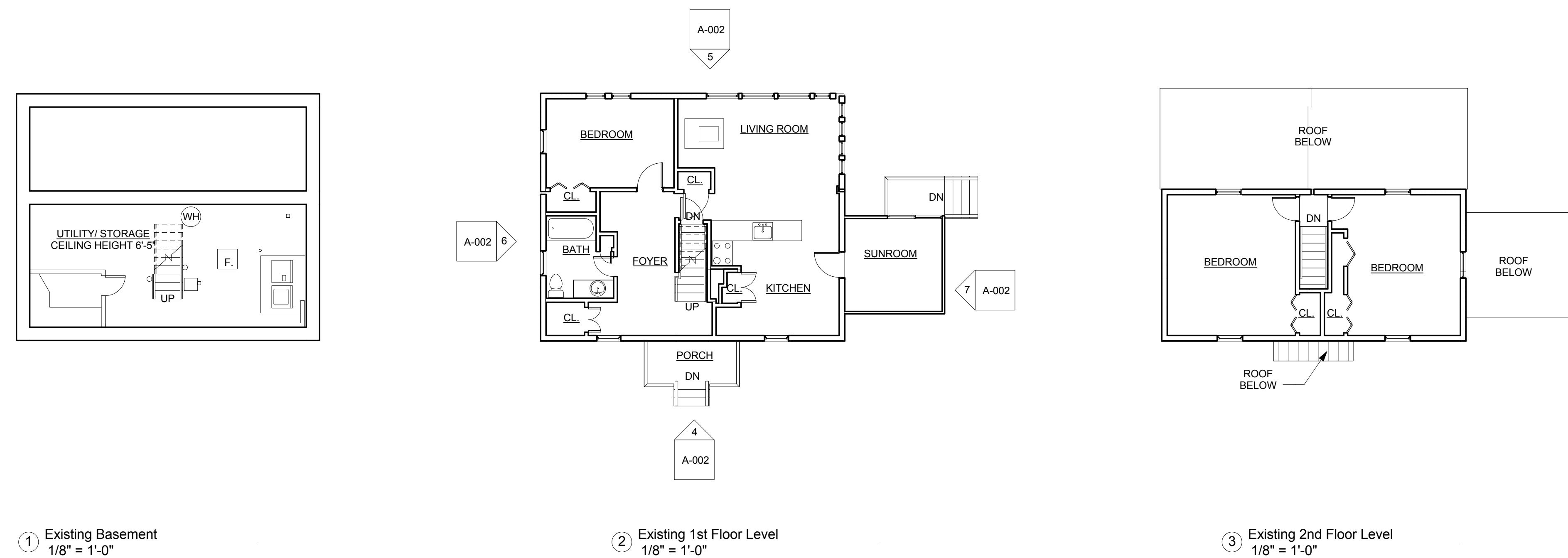
REVISIONS

No.	Description	Date

Existing Conditions

A-002

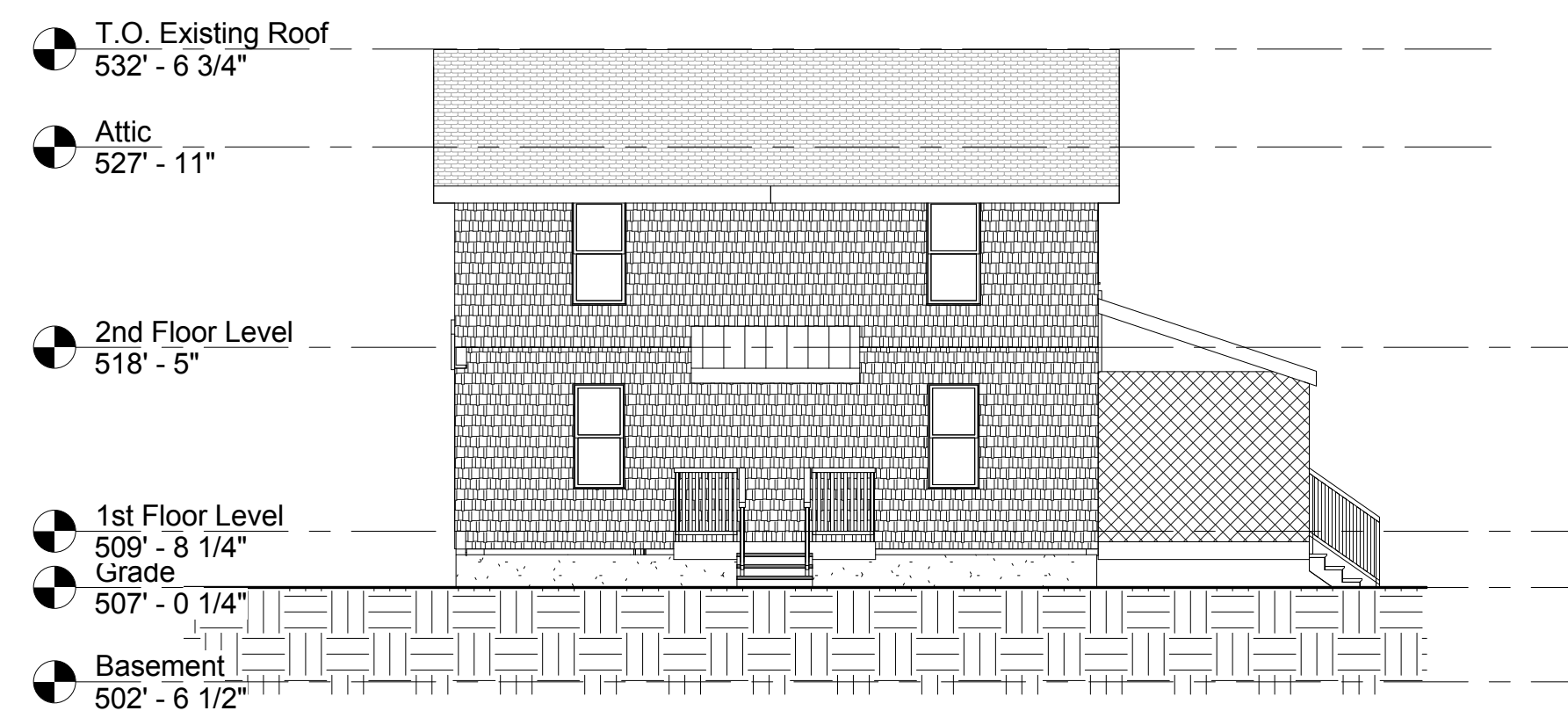
10 PILLION CT RESIDENCES



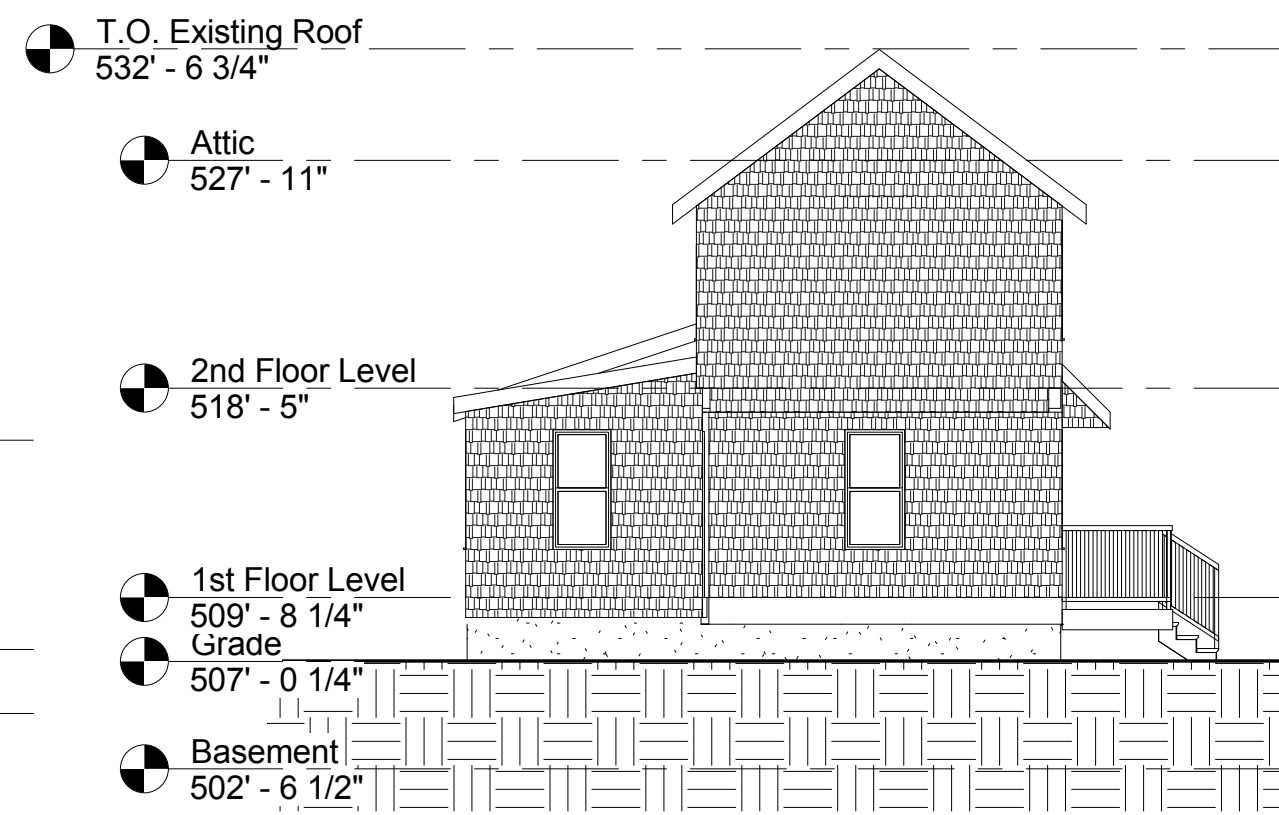
1 Existing Basement
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2 Existing 1st Floor Level
 1/8" = 1'-0"

3 Existing 2nd Floor Level
 1/8" = 1'-0"



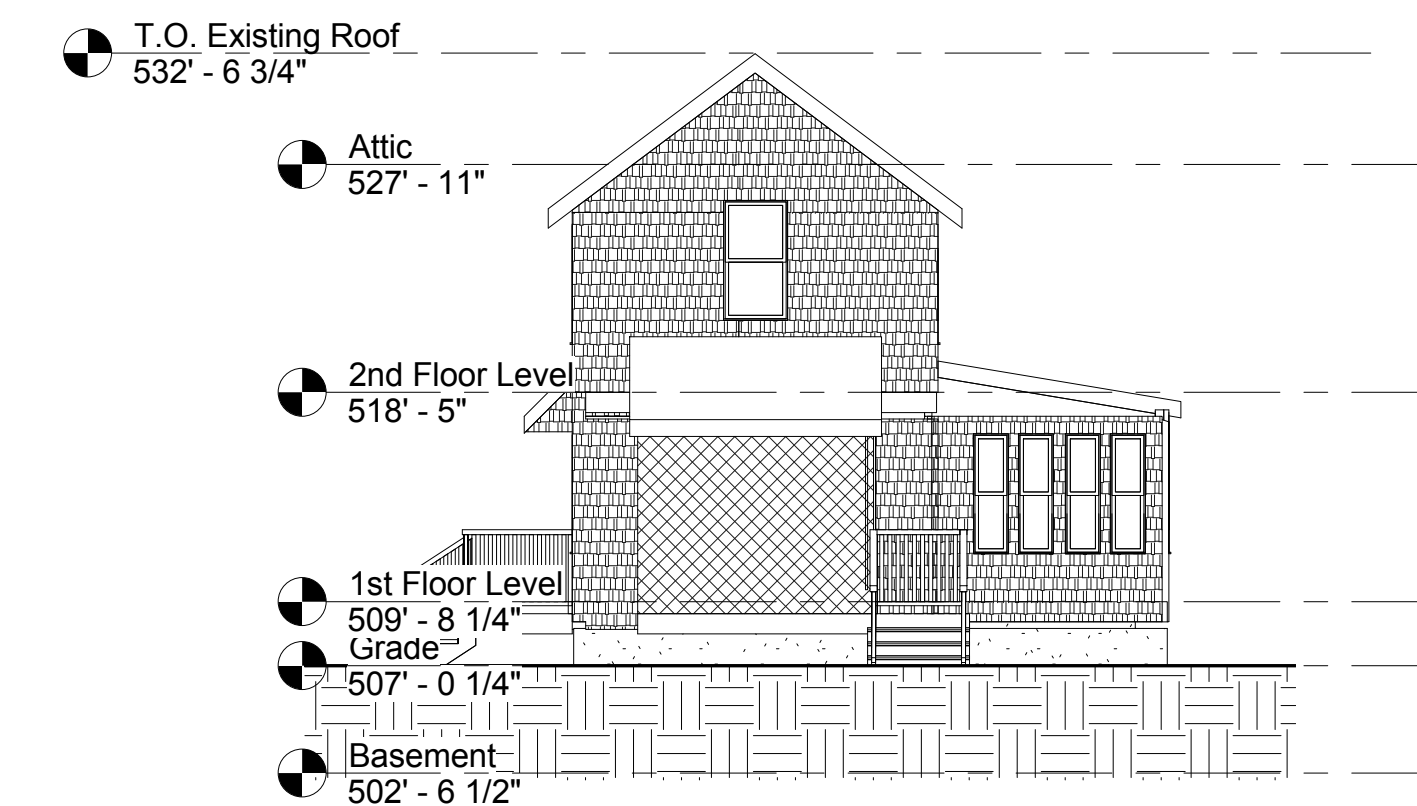
4 West Elevation- Existing
 1/8" = 1'-0"



6 North Elevation- Existing
 1/8" = 1'-0"



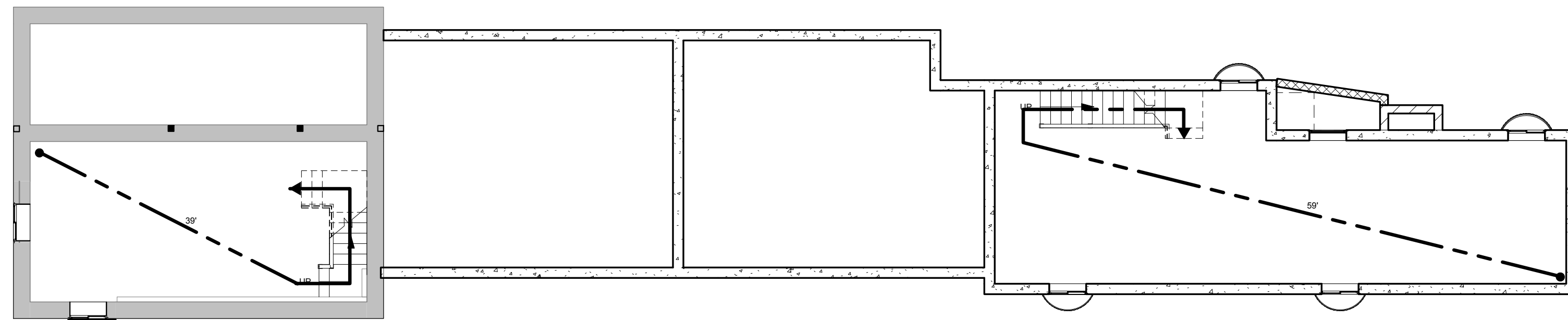
5 East Elevation- Existing
 1/8" = 1'-0"



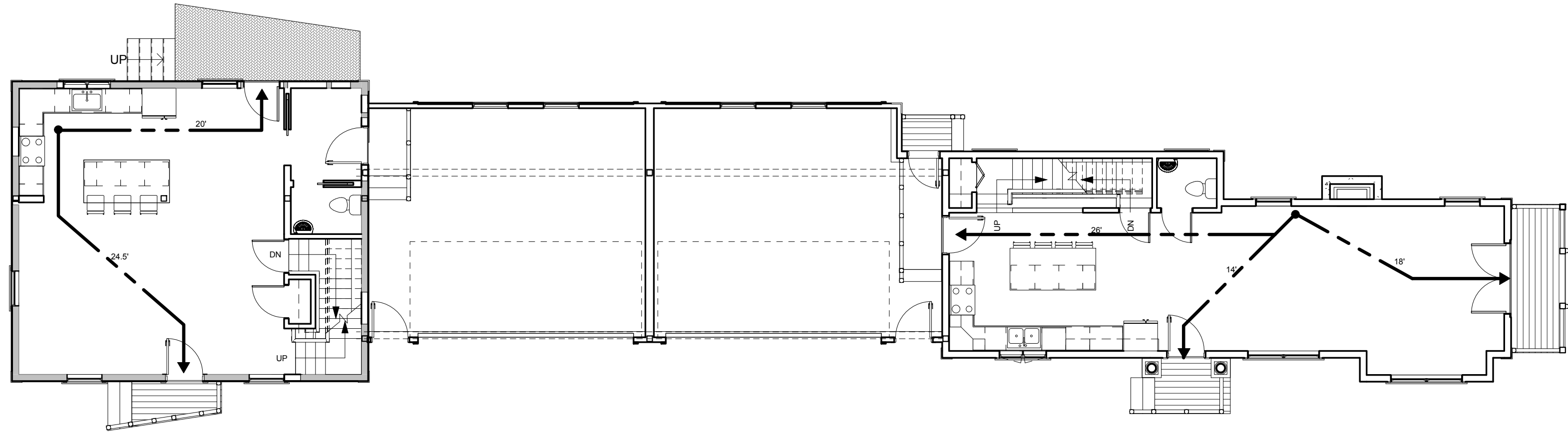
7 South Elevation- Existing
 1/8" = 1'-0"

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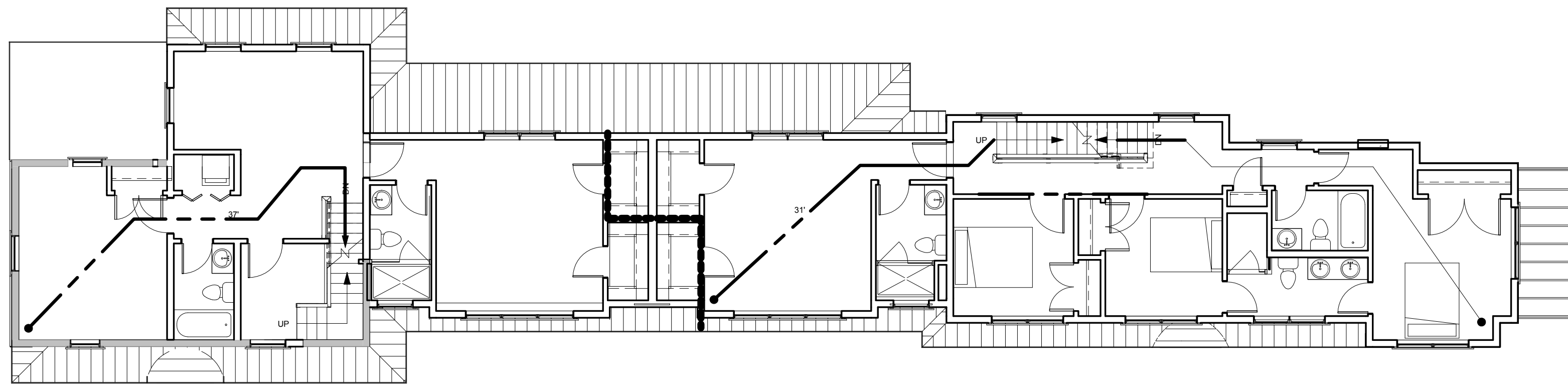
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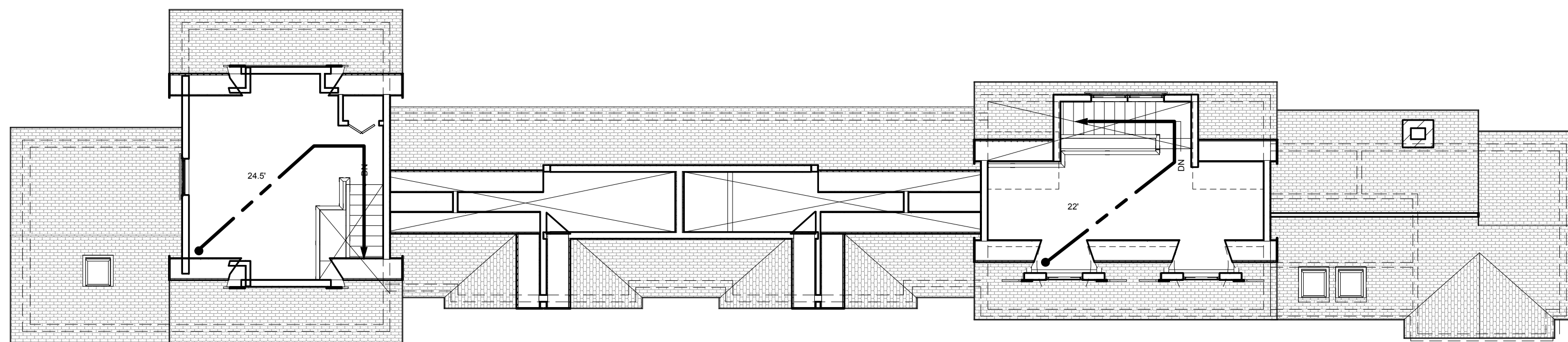
1 Code Review - Basement
1/8" = 1'-0"



2 Code Review - 1st Floor Level
1/8" = 1'-0"



3 Code Review - 2nd Floor Level
1/8" = 1'-0"



4 Code Review - 3rd Floor
1/8" = 1'-0"

FIRE PROTECTION LEGEND

- 2HR FIRE RATED WALL/ PARTITION
- 1HR FIRE RATED WALL/ PARTITION
- EXIT PATH
- 2HR FIRE RATED FLOOR CEILING ASSEMBLY

BUILDING CODE REVIEW MASSACHUSETTS STATE BUILDING CODE-6TH EDITION

USE GROUP R-3

TABLE 503:

NO	FLOOR	USE GROUP	TYPE OF CONSTRUCTION	ALLOWED		INCREASE		TOTAL		PROVIDED		REMARKS
				AREA S.F.	STORIES/ HEIGHT	AREA S.F.	STORIES	ALLOWED	AREA S.F.	STORIES/ HEIGHT		
0	BASEMENT	"R3" RESIDENTIAL TWO-FAMILY	"5B" UNPROTECTED WOOD FRAME	UL	2.5/36'	NOT USED	0	UL	1,302	0/32'-4"		
1	FIRST	"R3" RESIDENTIAL TWO-FAMILY	"5B" UNPROTECTED WOOD FRAME	UL	2.5/36'	NOT USED	0	UL	1,637	1/32'-4"		
2	SECOND	"R3" RESIDENTIAL TWO-FAMILY	"5B" UNPROTECTED WOOD FRAME	UL	2.5/36'	NOT USED	0	UL	2,244	1/32'-4"		
3	THIRD	"R3" RESIDENTIAL TWO-FAMILY	"5B" UNPROTECTED WOOD FRAME	UL	2.5/36'	NOT USED	0.5	UL	526	0.5/32'-4"		
TOTAL BUILDING AREA = 5,709 S.F.												

ADDITIONAL SECTION - N/A

FIRE RESISTANCE OF STRUCTURAL ELEMENTS:

TABLE 601:

STRUCTURAL ELEMENTS	TYPE OF CONSTRUCTION	FIRE RATING FILE #
1. EXTERIOR FRAME: INCLUDING COLUMNS, GIRDERS, TRUSSES	VB	
2. BEARING WALLS	0HR	
EXTERIOR	0HR	
INTERIOR	1HR	
3. NONBEARING WALLS AND PARTITIONS:		
EXTERIOR (table 602)	0HR	
INTERIOR	0HR	
4. NONBEARING WALLS AND PARTITIONS:		
INTERIOR	0HR	
5. FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0HR	
6. ROOF CONSTRUCTION: INCLUDING SUPPORTING BEAMS AND JOISTS	0HR	

Fire Resistance Rating Requirements for Exterior Walls

TABLE 602:

Fire Separation Distance = X (feet)	TYPE OF CONSTRUCTION	NOT USED	Occupancy R, S-2 & U Type VA,B
x < 5 (c)	VB		1
5 ≤ x < 10	VB		1
10 ≤ x < 30	VB		0
x ≥ 30	VB		0

Dwelling Unit Separations

Dwelling units must be separated from each other (horizontally and vertically) and the rest of the building by construction that provides at least a one half (1/2) hour FRR (780 CMR Sections 709.3 & 712.3). Corridors in Use Group R-3 are required to provide a 30 minute FRR per Table 1018.1.

Concealed Spaces

Fire-blocking and draft-stopping shall be installed in combustible concealed locations in accordance with 780 CMR 717.0

EGRESS CALCULATIONS:

TABLE 1008.1.2:
RESIDENTIAL 1/200 SF GROSS

#	FLOOR	USE GROUP	MERC-AREA/30 RES-AREA/200	OCCUPANT/ FLOOR
0	BASEMENT		1,302 / 200	7
1	FIRST / RESIDENTIAL		1,637 / 200	9
2	SECOND / RESIDENTIAL		2,244 / 200	12
3	THIRD / RESIDENTIAL		526 / 200	3
TOTAL # 0 TO 3				31

TABLE 1009.2

#	STAIR	EGRESS CAPACITY		WIDTH IN INCH ALLOWED	WIDTH PROVIDED
		0.2 * OCCUPANTS	3.1"		
	STAIR (TYP.)	3.1"	36"	36"	36"

TYP. ALL BLDGS.

#	DOOR	EGRESS CAPACITY		WIDTH IN INCH ALLOWED	WIDTH PROVIDED
		0.15 * OCCUPANTS	2.25"		
	EXIT	2.25"	32"	36"	72"

EXTERIOR EGRESS DOORS 2.25" 32" 36"

PROJECT NAME
**10 PILLION CT
RESIDENCES**

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
**GFC DEVELOPMENT
INC.**



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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Scale As indicated

REVISIONS

No.	Description	Date

Code Review &
Egress
Calculations

A-010

10 PILLION CT RESIDENCES

ZONING CHART				
ZONE MR1				
	REQUIRED (LOTS CREATED ON OR AFTER 12/7/1953)	EXISTING	PROPOSED	REMARKS
MIN. LOT SIZE	15,000 S.F.	10,559 +/- S.F.	10,559 +/- S.F.	PRE-EXIST. NON-CONFORMING
LOT AREA PER UNIT	4,000 S.F.	1DU= 10,559 S.F.	2DU= 5,279 S.F./DU	COMPLIES
LOT COVERAGE (MAX.)	25% / 2,640 SF	9.4% / 993 SF	25% / 2,624 SF	COMPLIES
FRONTAGE (MIN.)	80'	10' / 65'-6" (3.2.12.A)	10'	PRE-EXIST. NON-CONFORMING
OPEN SPACE (MIN.)	50% / 5,280 SF		55.7% / 5,886 SF	COMPLIES
MIN. YARD SETBACKS				
FRONT (MIN.)	25' (3.2.12.3A)	12.1'	12'-2"	PRE-EXIST. NON-CONFORMING
LEFT SIDE (MIN.)	7.5'	14.8'	10'-0"	COMPLIES
RIGHT SIDE (MIN.)	7.5'	12.8'	8'-9"	COMPLIES
REAR (MIN.)	15'	202'-5"	111'-7"	COMPLIES
BUILDING HEIGHT (MAX.)				
	36' SLOPED ROOF / 30' FLAT ROOF	25.6' (SLOPED ROOF)	32'-8" (SLOPED ROOF)	COMPLIES
NO. OF STORIES (MAX.)				
	2.5	1.5	2.5	COMPLIES
STORIES BY SPECIAL PERMIT (MAX.)				
	3			
FLOOR AREA RATIO MAX. (F.A.R.)				
	0.48 (5,068 S.F.)	0.13/ 1,324 SF	0.48/ 5,052 SF	COMPLIES
PARKING				
	2 PER DU	XX	4 SPACES	COMPLIES

3.2.11 FLOOR AREA RATIOS
 A. APPLICABILITY: FLOOR AREA RATIOS (FAR) SHALL APPLY TO ALL SINGLE- AND TWO-FAMILY STRUCTURES, WHETHER NEW OR EXISTING, EXCEPT ON REAR LOTS (SEE SEC. 3.2.12), ACCORDING TO THE FAR LIMITS CONTAINED IN THE TABLE BELOW. SEE SEC. 1.5.5 FOR RULES REGARDING FAR MEASUREMENT. THE FOLLOWING EXCEPTIONS SHALL APPLY:

1. FOR NEW CONSTRUCTION ON LOTS CREATED BEFORE 12/7/1953, AN ADDITIONAL INCREASE IN FAR OF .02 ABOVE THE AMOUNT SHOWN IN TABLE A SHALL BE ALLOWED, PROVIDED THAT NEW CONSTRUCTION PROPOSED USING ADDITION FAR GRANTED UNDER THIS PARAGRAPH SHALL COMPLY WITH SETBACK REQUIREMENTS FOR POST- 1953 LOTS. AN INCREASE IN FAR GRANTED THROUGH THIS PARAGRAPH MAY NOT BE USED IN CONJUNCTION WITH SEC. 7.8.2B.

2. AN INCREASED FAR MAY BE ALLOWED BY SPECIAL PERMIT IF THE PROPOSED STRUCTURE IS CONSISTENT WITH AND NOT IN DEROGATION OF THE SIZE, SCALE AND DESIGN OF OTHER STRUCTURES IN THE NEIGHBORHOOD.

3.2.12 REAR LOTS
 A. SPECIAL PERMIT REQUIRED. THE BOARD OF ALDERMEN MAY GRANT A SPECIAL PERMIT FOR A REAR LOT THAT SATISFIES THE MINIMUM FRONTAGE REQUIREMENT BY MEASURING LOT FRONTAGE ALONG THE REAR LINE OF THE LOT OR LOTS IN FRONT OF IT.

B. DIMENSIONAL STANDARDS
 1. VEHICULAR ACCESS: MAY BE PROVIDED IN FEE AS PART OF THE LOT WITH STREET FRONTAGE 20 FEET WIDE AS A LEGAL EASEMENT OR RIGHT-OF-WAY 20 FEET WIDE. IF PROVIDED IN FEE, THE AREA UTILIZED FOR VEHICULAR ACCESS (LOT STEM PORTION) MAY NOT BE COUNTED AS MORE THAN 20 PERCENT OF THE MINIMUM LOT AREA REQUIREMENT.

2. LOT FRONTAGE: REQUIRED FOR THE STREET LOT. ALSO REQUIRED FOR THE REAR LOT, BUT MEASURED ALONG THE REAR LOT LINE OF THE LOT IN FRONT.

3. SETBACKS:
 A. SUBJECT TO A SPECIAL PERMIT, A BUILDING ON A REAR LOT MAY BE LOCATED NO CLOSER THAN 25 FEET FROM THE REAR LINE OF THE LOT IN FRONT.

B. ALTERNATE SIDE BUILDING SEPARATION STANDARD (MEASURED ACROSS LOT LINE, TO BUILDING) MAY BE UTILIZED IN PLACE OF REQUIRED SIDE YARD. NOTE LINE.

C. ALTERNATE REAR BUILDING SEPARATION STANDARD (MEASURED ACROSS LOT LINE, TO BUILDING) MAY BE UTILIZED IN PLACE OF REQUIRED REAR YARD. NOTE DISTANCE TO LOT LINE..

4. HEIGHT: ALLOW THREE STORIES BY SPECIAL PERMIT WHERE IF THE PROPOSED STRUCTURE IS CONSISTENT WITH AND NOT IN DEROGATION OF THE SIZE, SCALE AND DESIGN OF OTHER STRUCTURES

Sec. 15. Rules of Measurement

15.1 Building Types

A. Single Family Detached A building or structure that contains only one dwelling unit.

B. Two-Family Detached A building that contains 2 dwelling units and is either divided vertically so that the dwelling units are side-by-side as measured by a horizontal wall extending the entire maximum height of one or both units, and/or a divided horizontal line that one dwelling unit is above another.

C. Single Family Attached A building or structure that either:

- Contains 3 or more dwelling units, attached to one another at the ground level and each having a separate primary and secondary entrance to the ground level; or
- Contains 2 dwelling units and is not a two-family detached dwelling.

D. Multi-Family 2-Story or Structure Containing 3 or More Dwelling Units

E. Dwelling Unit One or more rooms forming a habitable unit for 1 family, with facilities used or intended to be used, in whole or in part, for living, sleeping, cooking, eating and sanitation.

15.2 Dimensional Standards

3.2.3 Multi-Residence Districts

3.2.1 District Intent (Intention)

3.2.2 Dimensional Standards

A. Applicability

- The density and dimensional controls in Sec. 3.2.2 apply to all buildings, structures and uses in each of the listed districts.
- Lots created before December 7, 1963 (defined to be before 12/7/1963) use a different set of density and dimensional standards than lots created on or after December 7, 1963 (defined to be on or after 12/7/1963) as shown in the tables in Sec. 3.2.3.
- Where a density or dimensional control is not set forth in this Sec. 3.2.3 for a use permitted by special permit, the most restrictive density or dimensional control applicable to such use in any district within the use is allowed as of right, if all other dimensional standards required by the special permit by the City Council.
- Where a lot does not meet these standards it is nonconforming under Sec. 7.8.2.

Table 1: Density and Dimensional Standards

Use	MR1	MR2	MR3	MR4
Residential Building (Density)	10	12	15	18
Residential Building (Height)	30'	30'	30'	30'
Residential Building (Floor Area Ratio)	0.13	0.13	0.13	0.13
Residential Building (Frontage)	10'	10'	10'	10'
Residential Building (Side Yard)	7.5'	7.5'	7.5'	7.5'
Residential Building (Rear Yard)	15'	15'	15'	15'
Residential Building (Setback)	25'	25'	25'	25'

Table 2: Building Height

Use	MR1	MR2	MR3	MR4
Residential Building (Height)	30'	30'	30'	30'
Residential Building (Floor Area Ratio)	0.13	0.13	0.13	0.13
Residential Building (Frontage)	10'	10'	10'	10'
Residential Building (Side Yard)	7.5'	7.5'	7.5'	7.5'
Residential Building (Rear Yard)	15'	15'	15'	15'
Residential Building (Setback)	25'	25'	25'	25'

ALLOWABLE F.A.R. CALCULATION

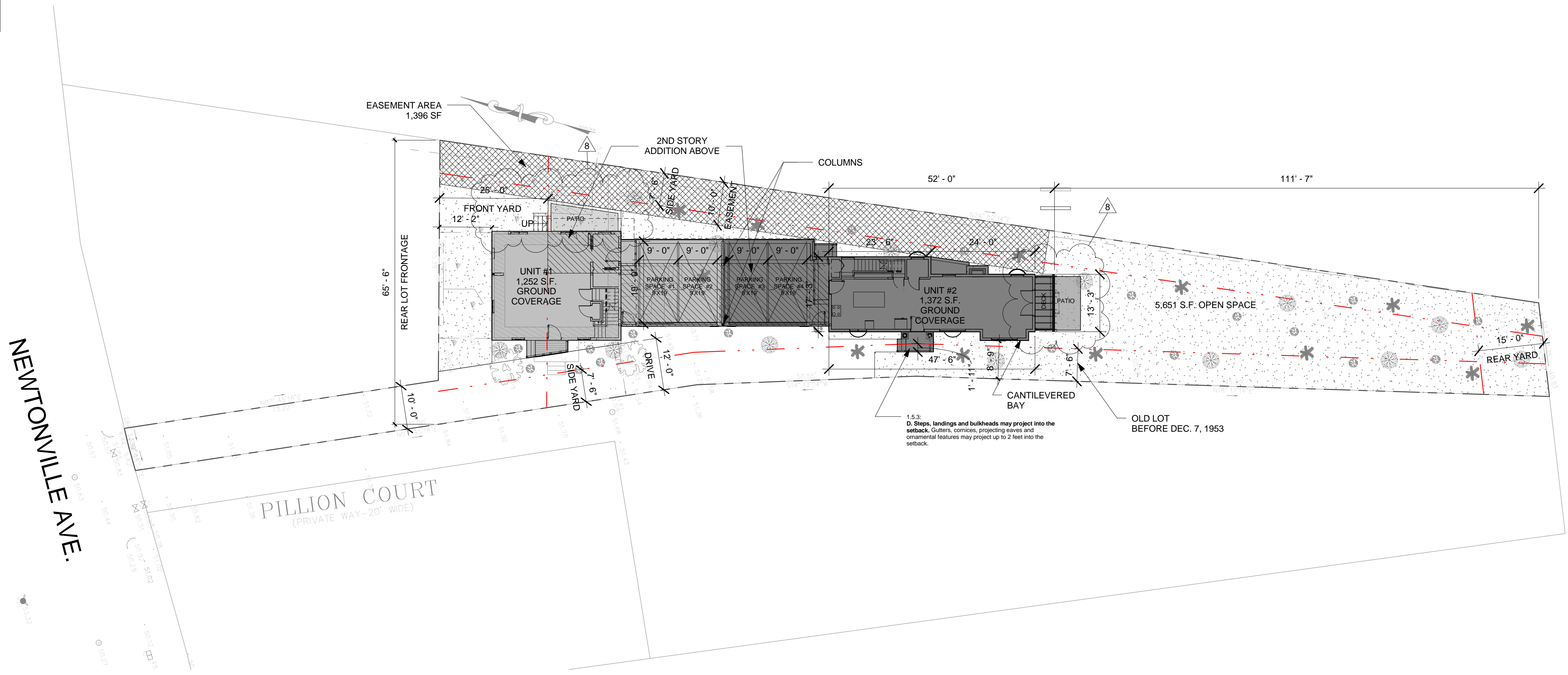
LOT AREA	10,559 SF
EASEMENT AREA	1,396 SF
ALLOWABLE FAR	10,559 SF X 0.48 = 5,068 SF PROPOSED FAR 5,052 SF (COMPLIES)

F.A.R Area Proposed

Level	Area
1st Floor Level	2435 SF
2nd Floor Level	2116 SF
Attic	501 SF
	5052 SF

EXISTING F.A.R.

Level	Area
BASEMENT LEVEL	0 SF
FIRST FLOOR	858 SF
SECOND FLOOR	466 SF
ATTIC	0 SF
TOTAL	1,324 SF



PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

CLIENT
GFC DEVELOPMENT INC.

ARCHITECT

DESIGN

KHALSA

17 WALDOO STREET SUITE 400
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REGISTRATION

Project number	17001
Date	07/05/2017
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REVISIONS

No.	Description	Date
1	Revision 1	07/05/2017
3	Revision 3	09/01/2017
4	Revision 4	02/05/2018
5	Revision 5	02/20/2018
8	Ground Coverage	06/05/2018

Architectural Site Plan

A-020

10 PILLION CT RESIDENCES

1 Site
 1/16" = 1'-0"

LEGEND

- NEW WALL
- EXISTING TO REMAIN
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

1. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
2. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
3. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
4. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "2"
5. SEE A-800 FOR PARTITION TYPES.
6. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
7. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB

9. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP., U.N.O.
10. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES
11. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
12. EXISTING WINDOWS TO BE REPLACED IN EXISTING OPENINGS UNLESS OTHERWISE NOTED.
13. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
14. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
15. UNLESS OTHERWISE NOTED ALL EXTERIOR WALLS SHALL BE TYPE "1"



Area Schedule (Units)		
Area	Level	Area
AREA	Basement	459 SF
AREA	Basement	715 SF
AREA		1174 SF
UNIT #1	1st Floor Level	746 SF
UNIT #1	2nd Floor Level	977 SF
UNIT #1	Attic	254 SF
UNIT #1		1977 SF
UNIT #2	1st Floor Level	746 SF
UNIT #2	2nd Floor Level	1139 SF
UNIT #2	Attic	247 SF
UNIT #2		2132 SF
Grand total:		5283 SF

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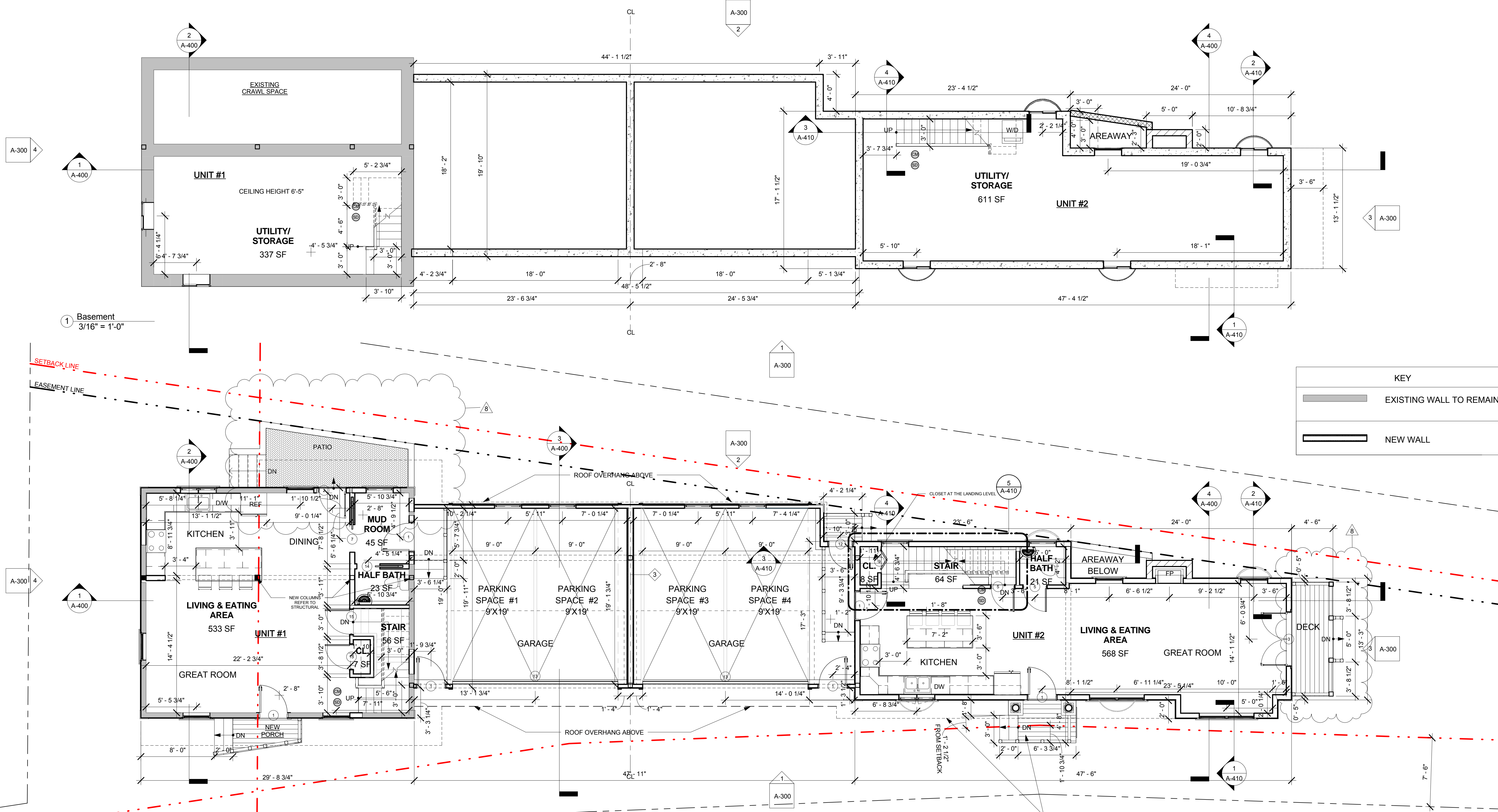
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Date	07/05/2017
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No.	Description	Date
1	Revision 1	07/05/2017
2	New Building Stair	07/21/2017
3	Revision 3	09/01/2017
4	Revision 4	02/05/2018
5	Revision 5	02/20/2018
7	City Revisions	04/12/2018
8	Ground Coverage	06/05/2018

Basement & First Floor Plans

A-100

10 PILLION CT RESIDENCES



KEY

- EXISTING WALL TO REMAIN
- NEW WALL

1.5.3:
 D. Steps, landings and bulkheads may project into the setback. Gutters, cornices, projecting eaves and ornamental features may project up to 2 feet into the setback.

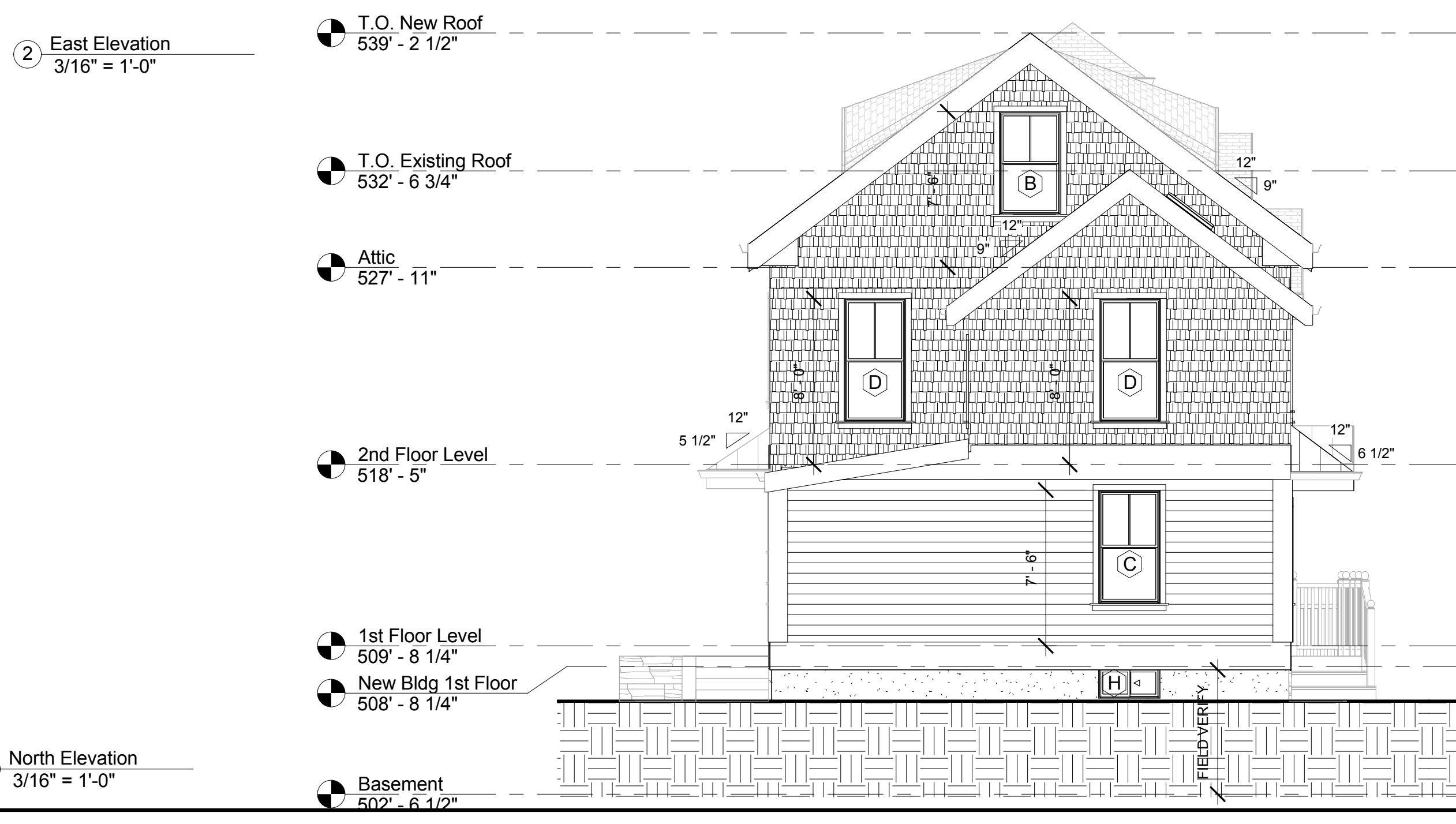
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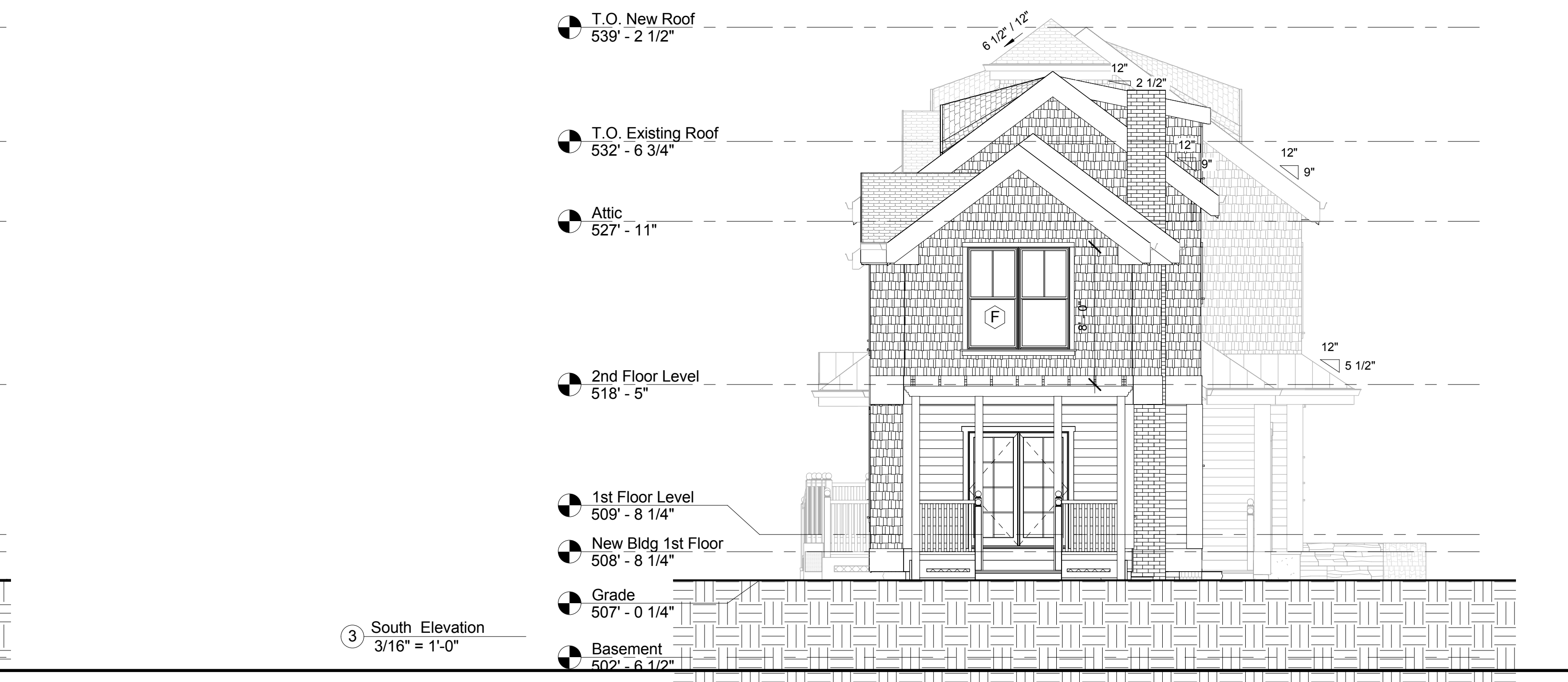
1 West Elevation
3/16" = 1'-0"



2 East Elevation
3/16" = 1'-0"



4 North Elevation
3/16" = 1'-0"



3 South Elevation
3/16" = 1'-0"

PROJECT NAME
10 PILLION CT RESIDENCES

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REVISIONS

No.	Description	Date
4	Revision 4	02/05/2018

Elevations

A-300


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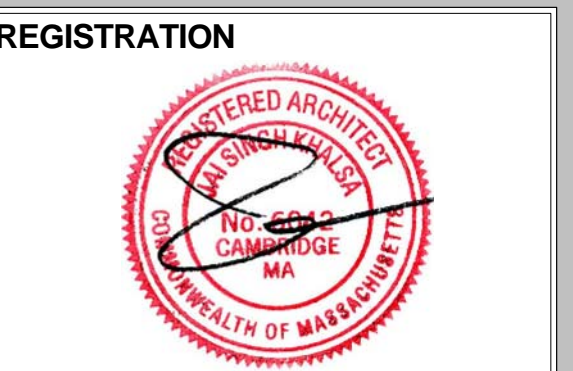
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No.	Description	Date

Perspectives
A-310
 10 PILLION CT RESIDENCES



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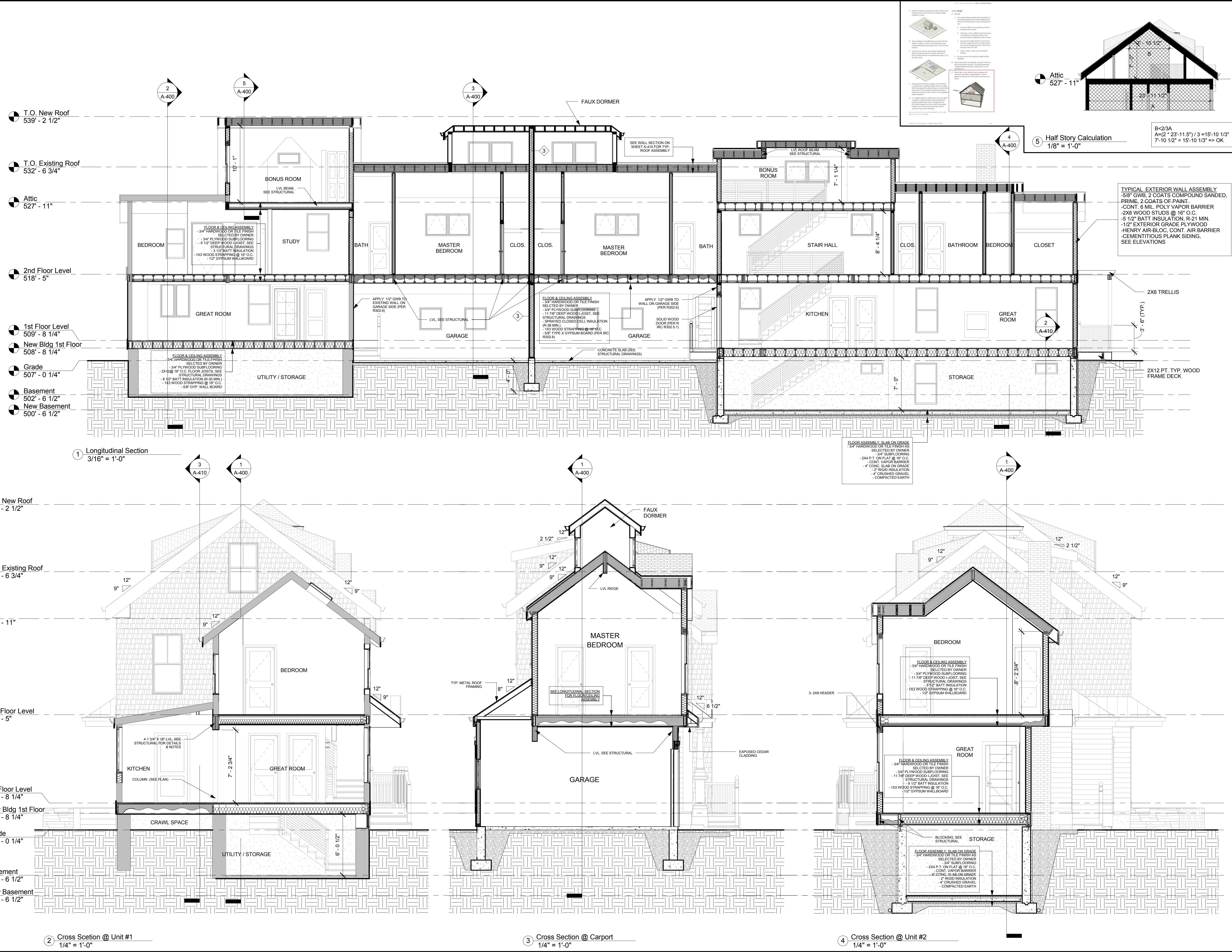
REVISIONS

No.	Description	Date
4	Revision 4	02/05/2018
7	City Revisions	04/12/2018

Building
 Longitudinal &
 Cross Sections

A-400

10 PILLION CT RESIDENCES



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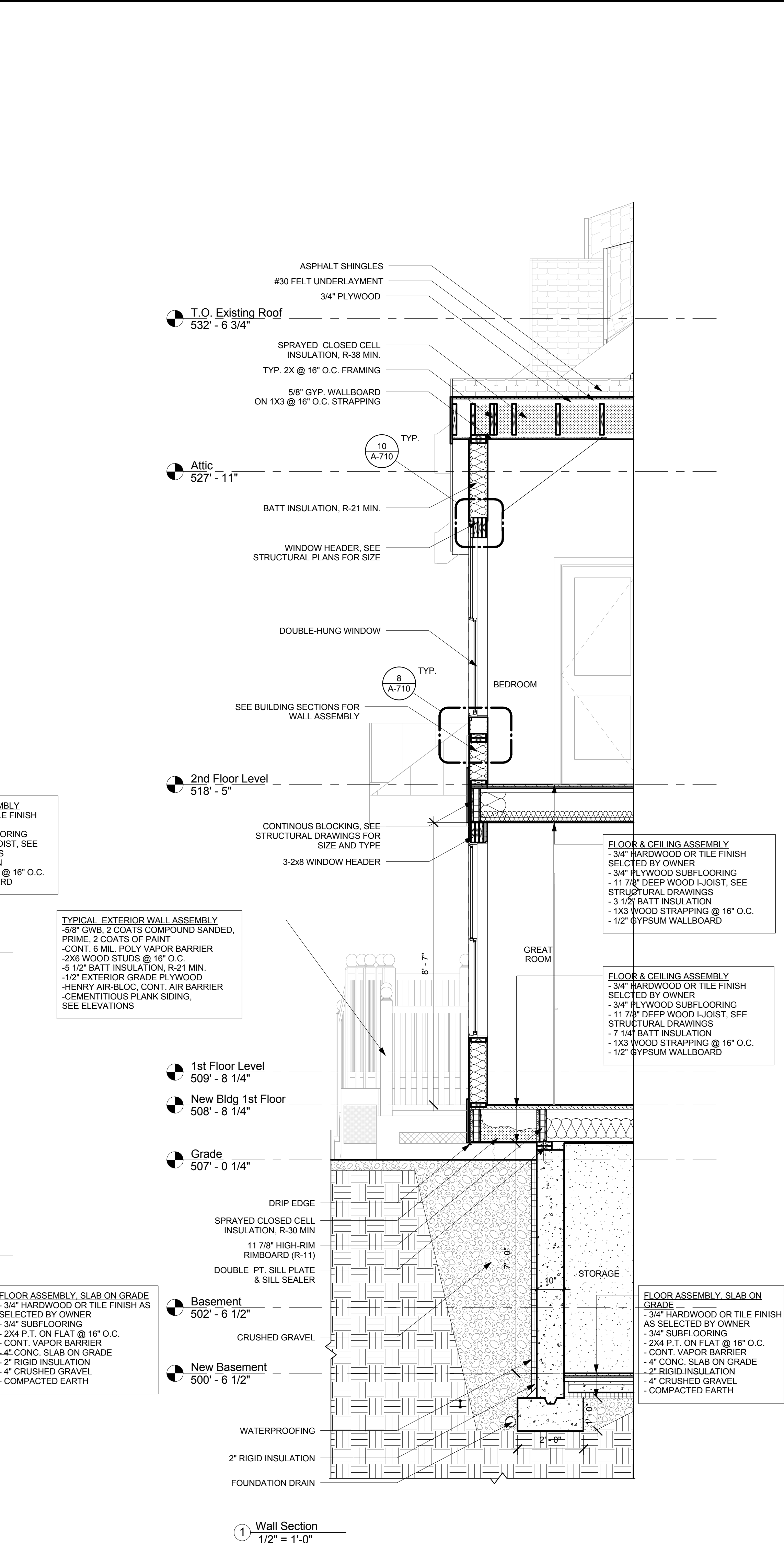
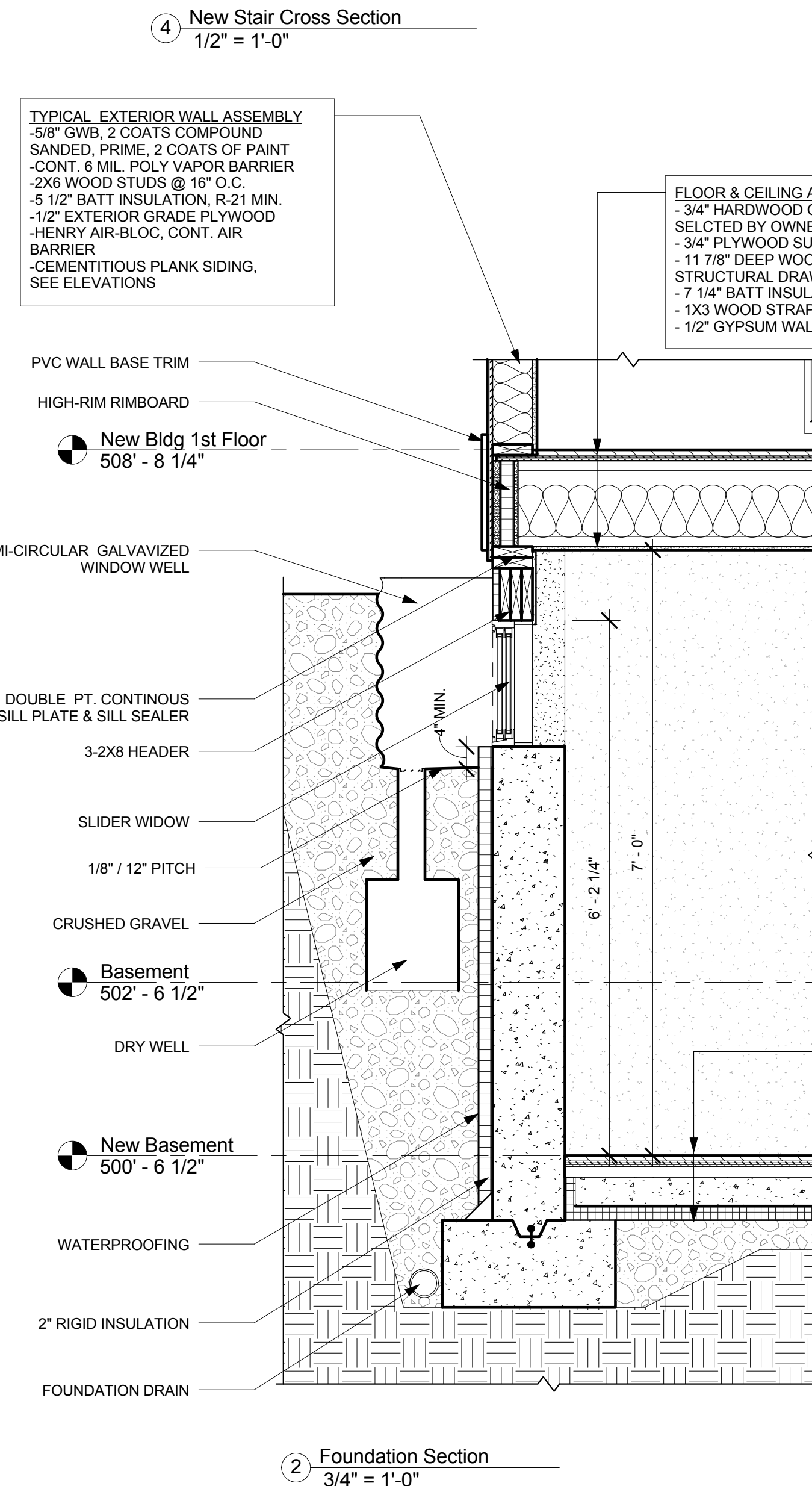
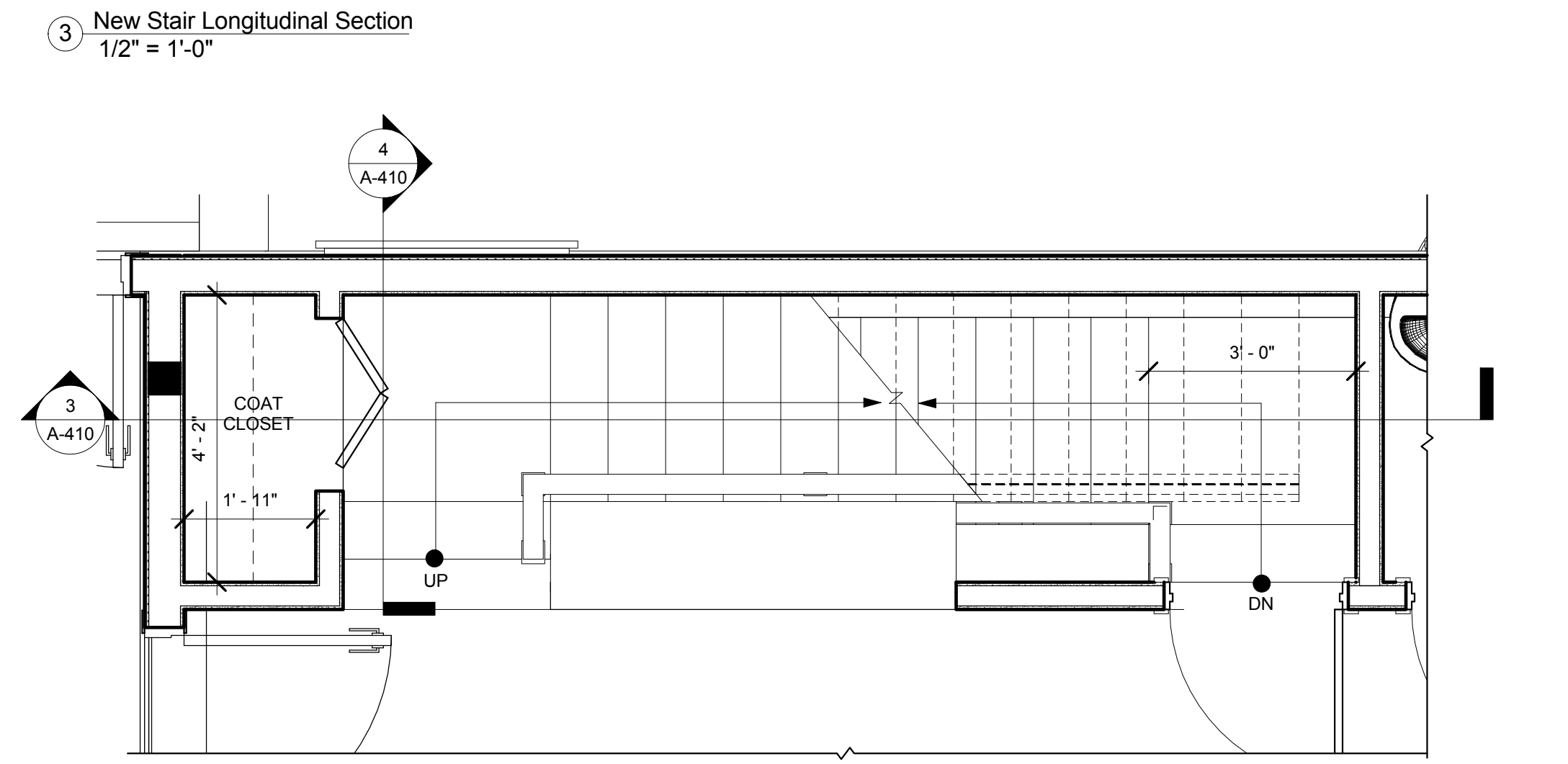
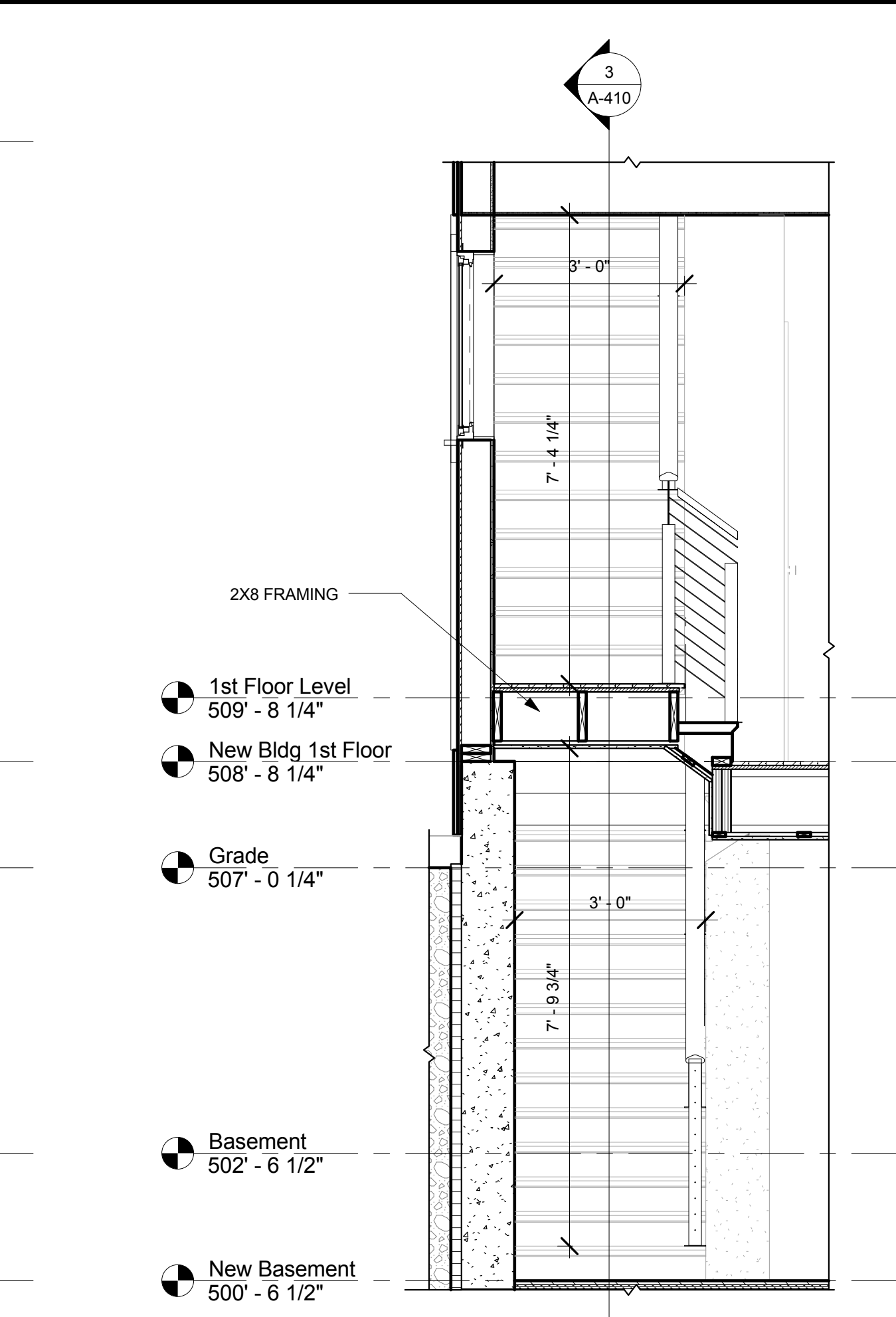
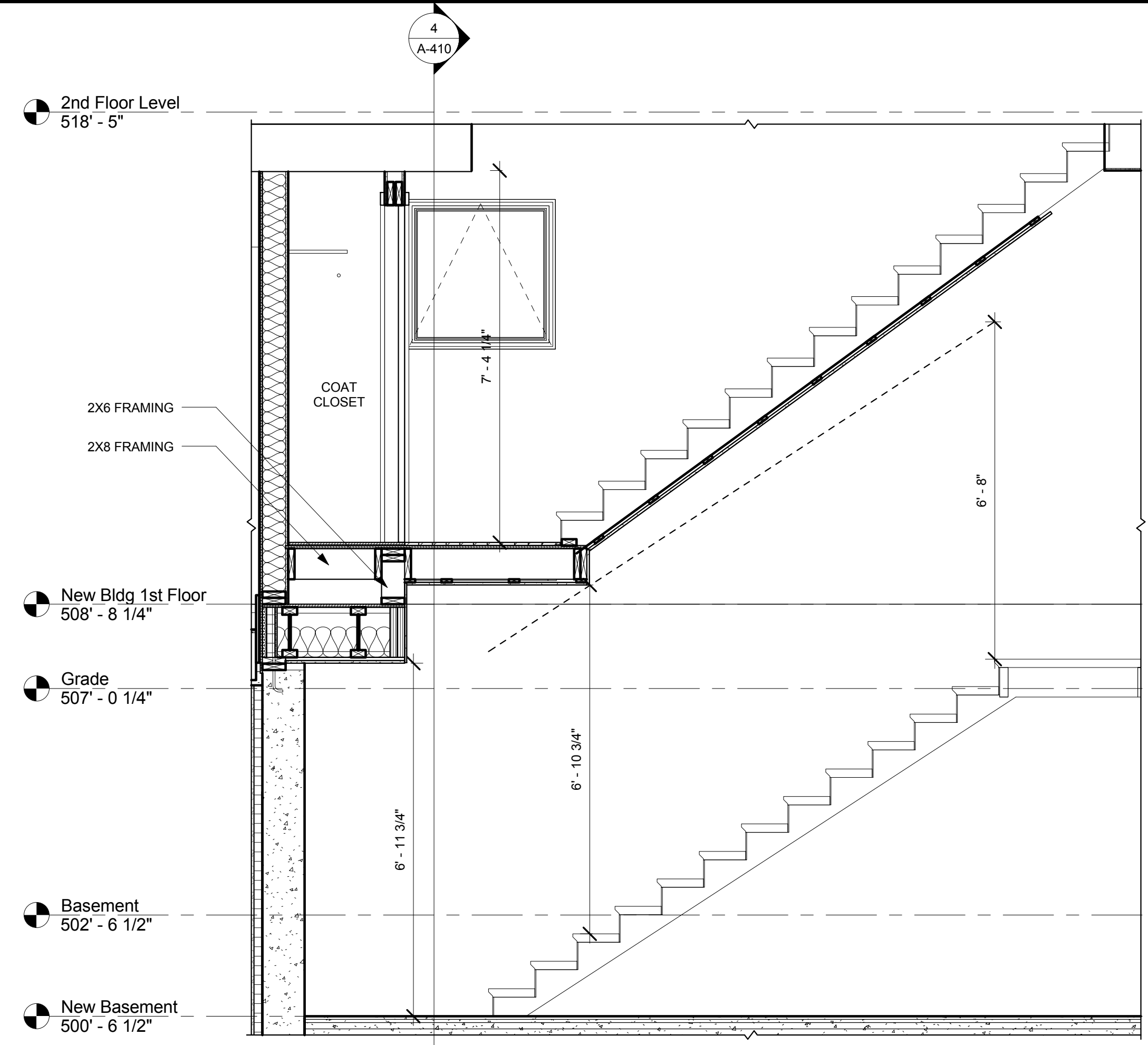
REVISIONS

No.	Description	Date
1	Revision 1	07/05/2017
2	New Building Stair	07/21/2017
6	Structural Changes Applied	04/05/2018

Wall Sections &
 Section Details

A-410

10 PILLION CT RESIDENCES

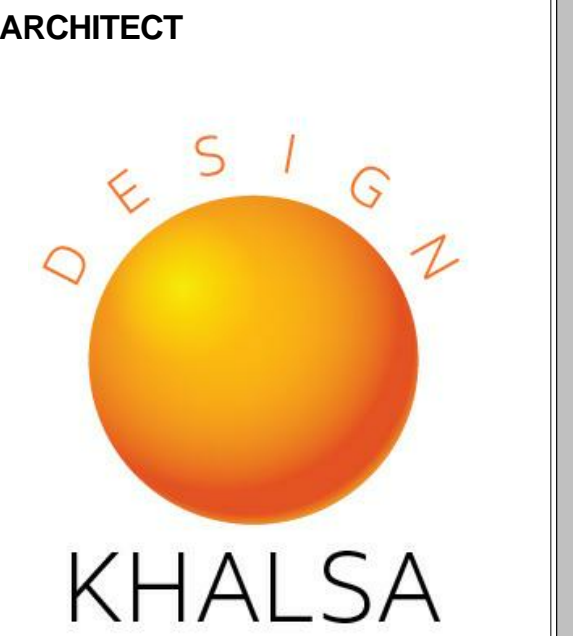


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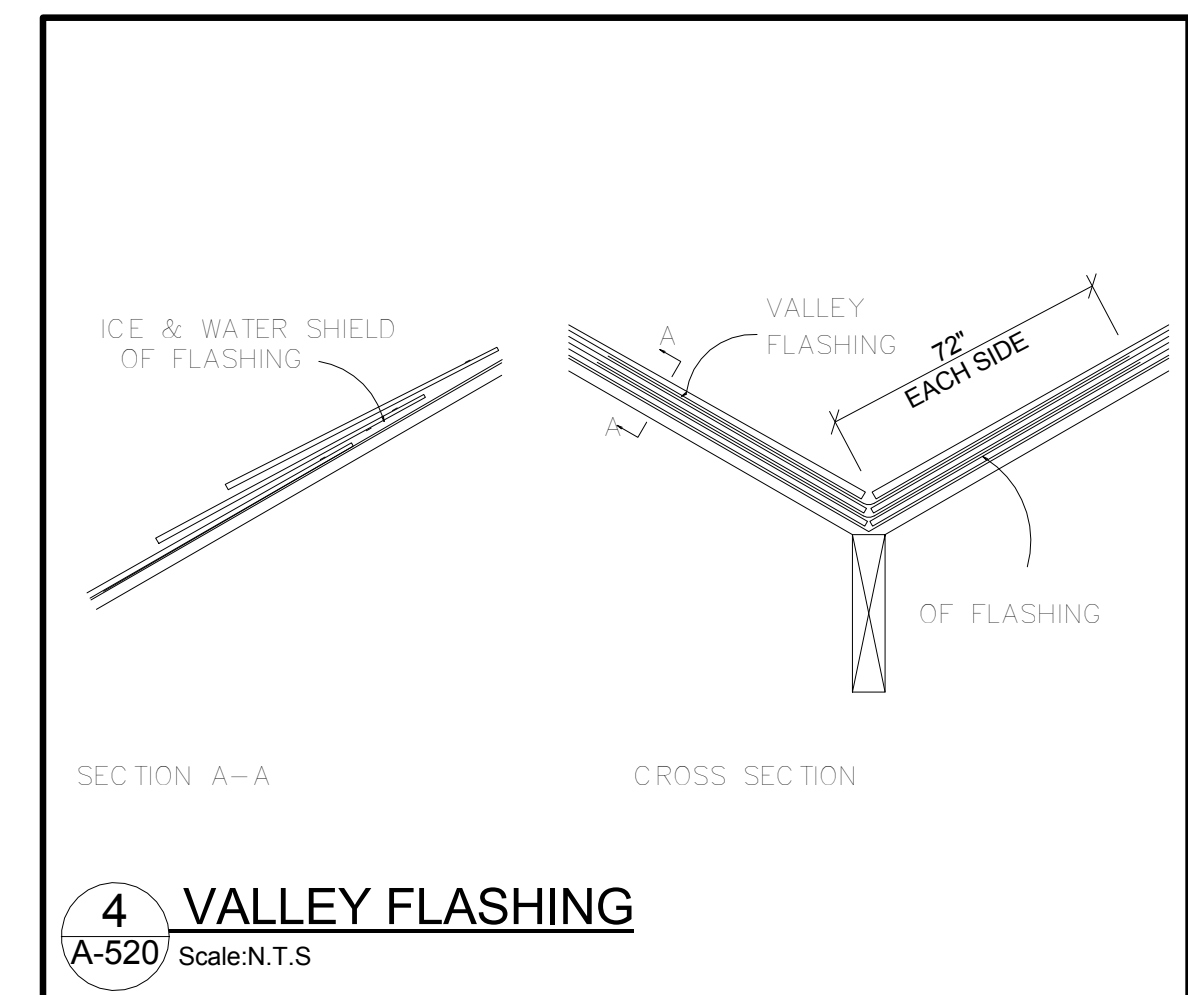
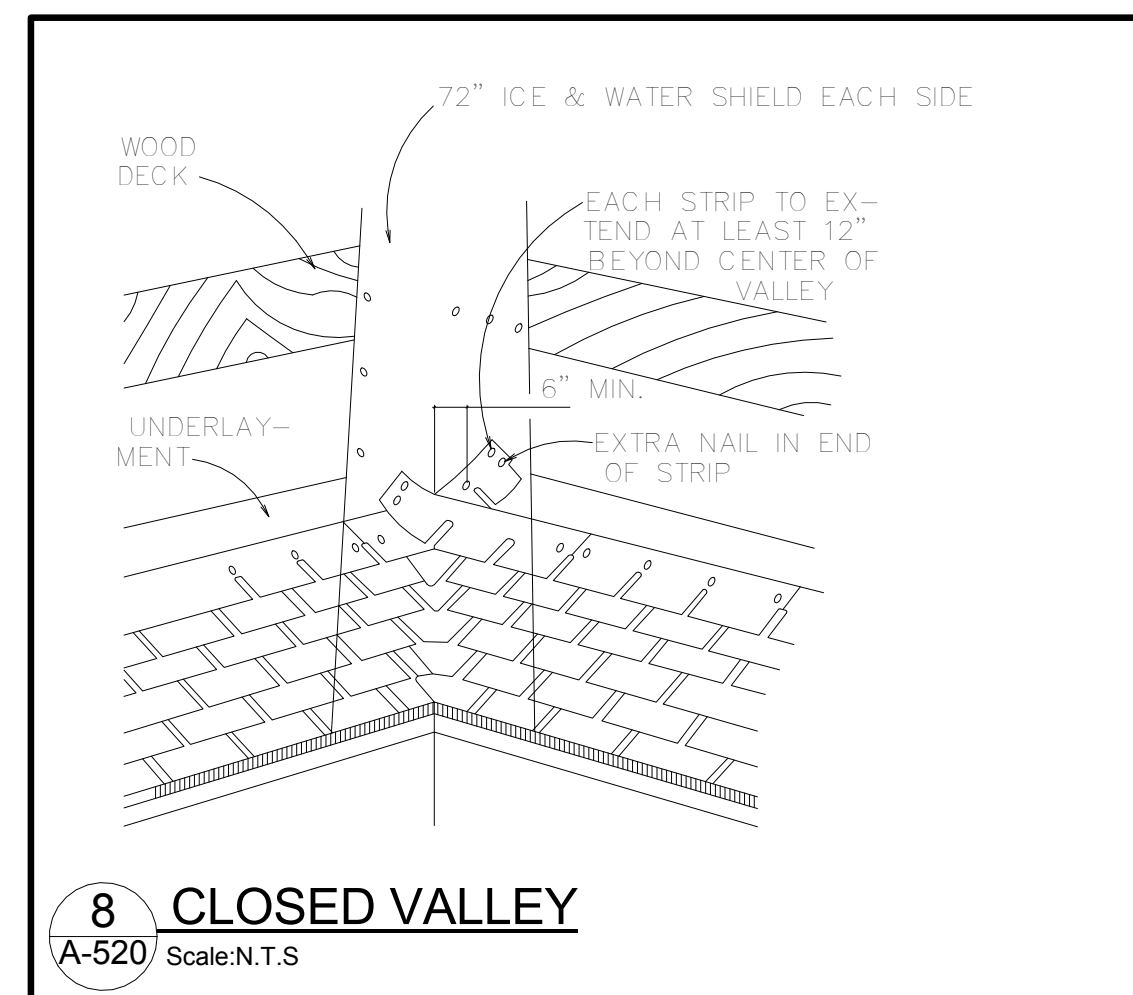
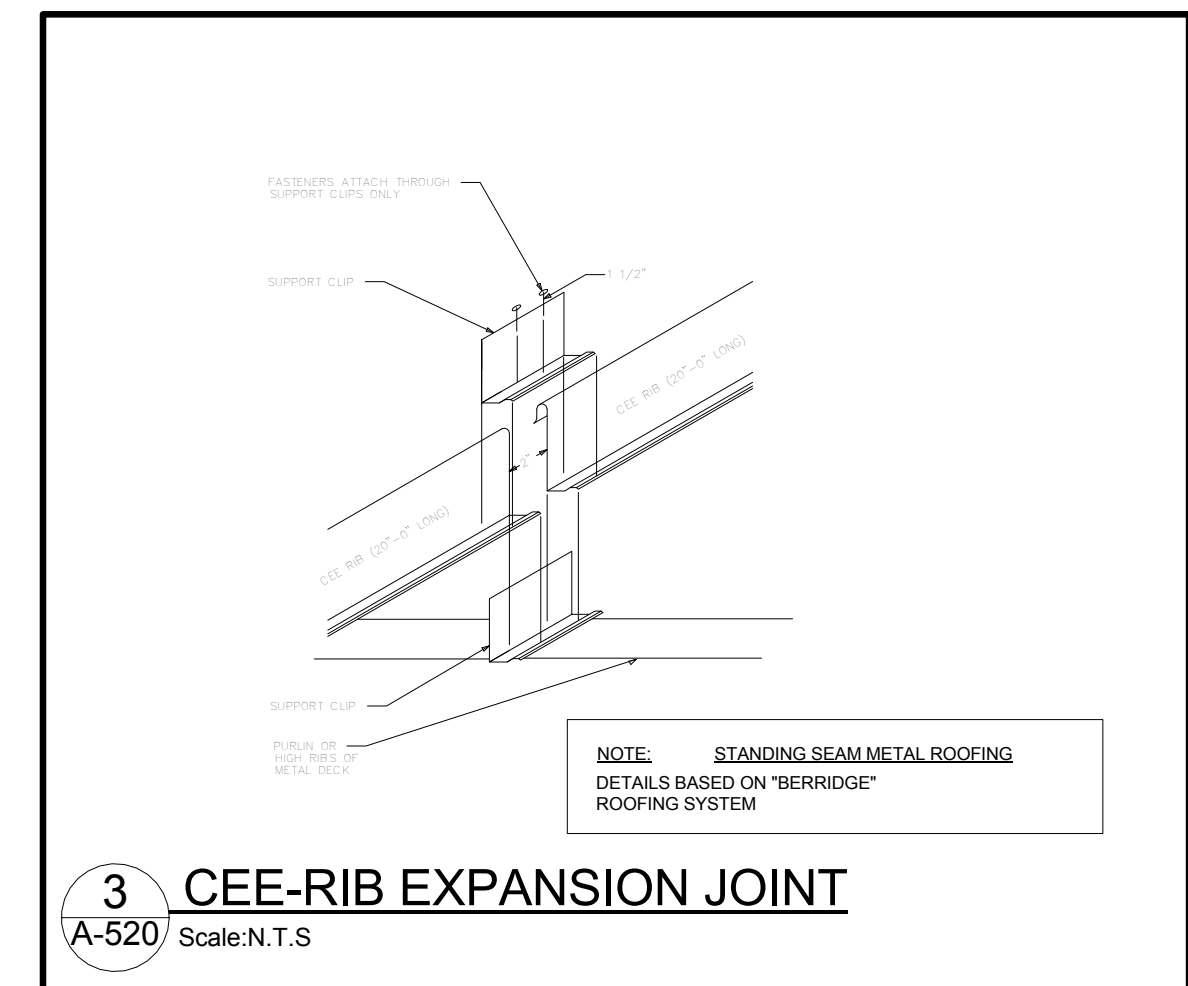
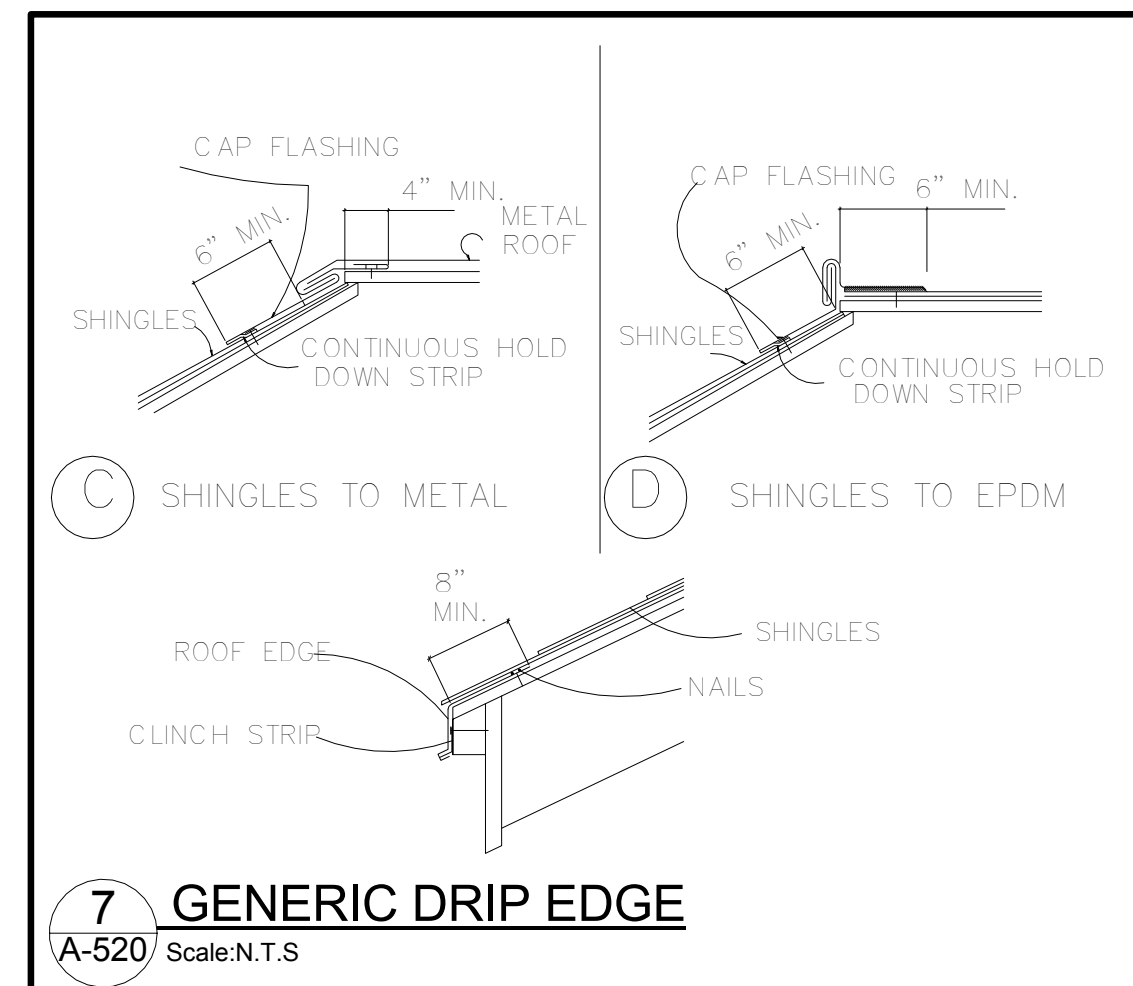
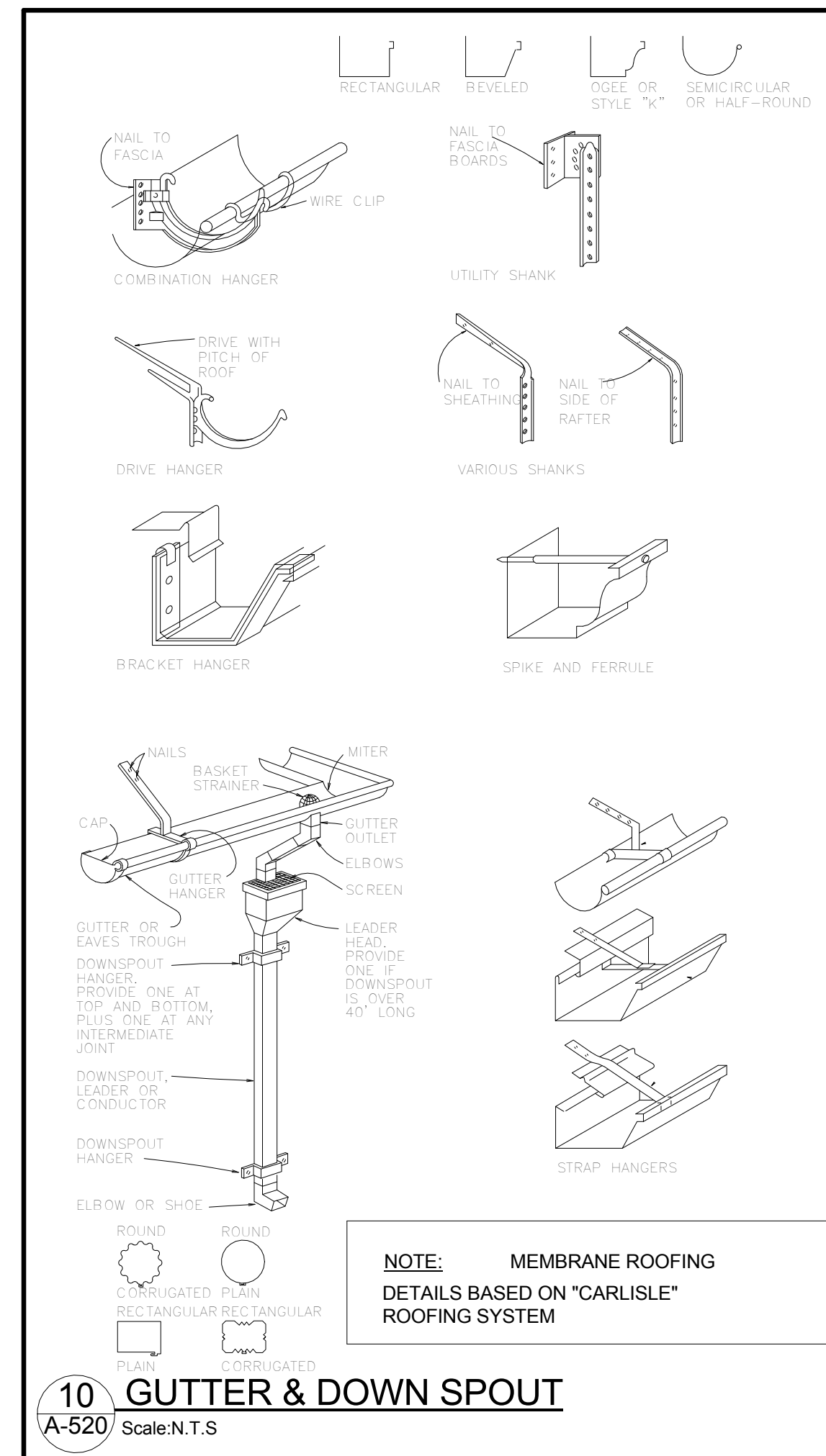
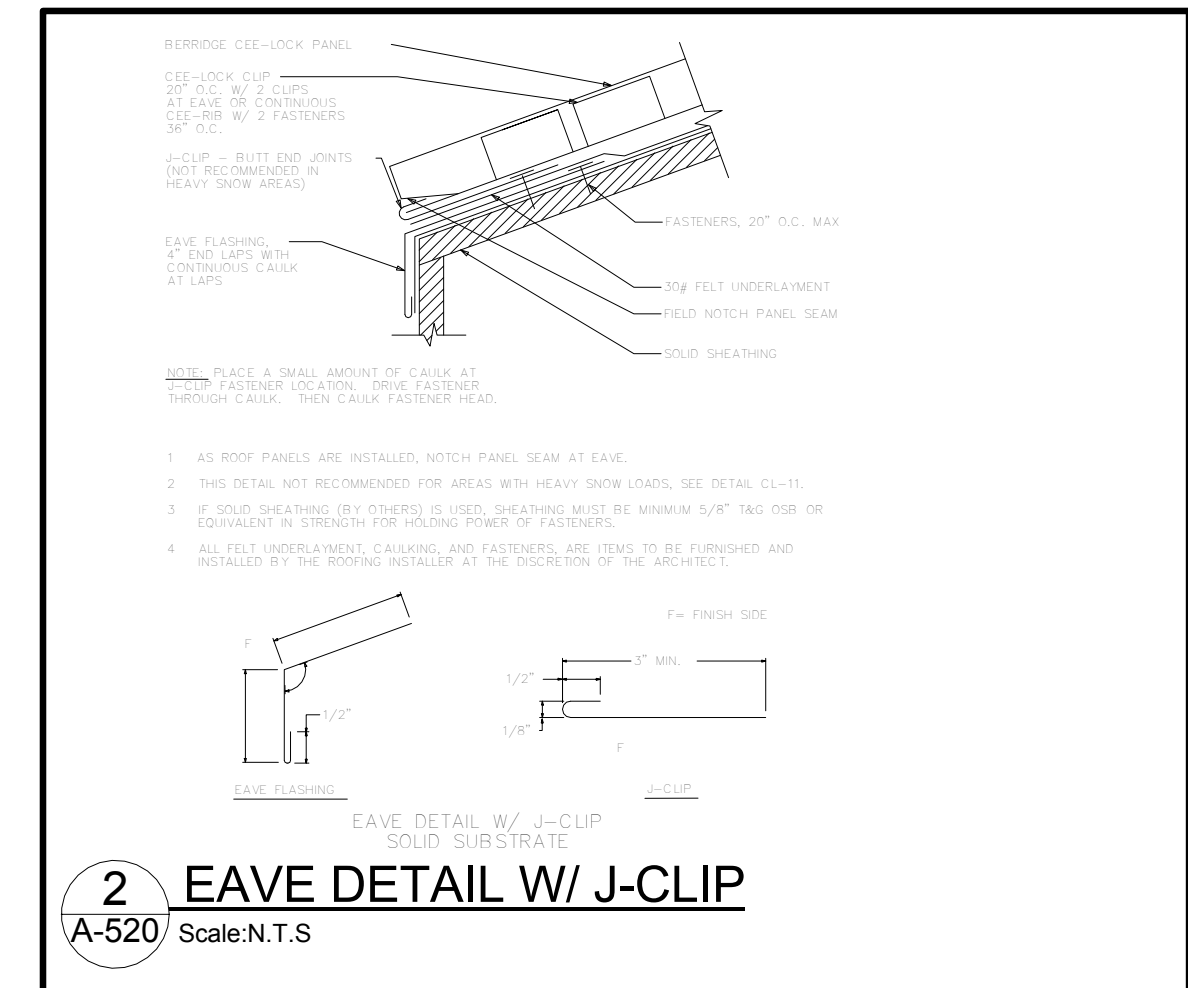
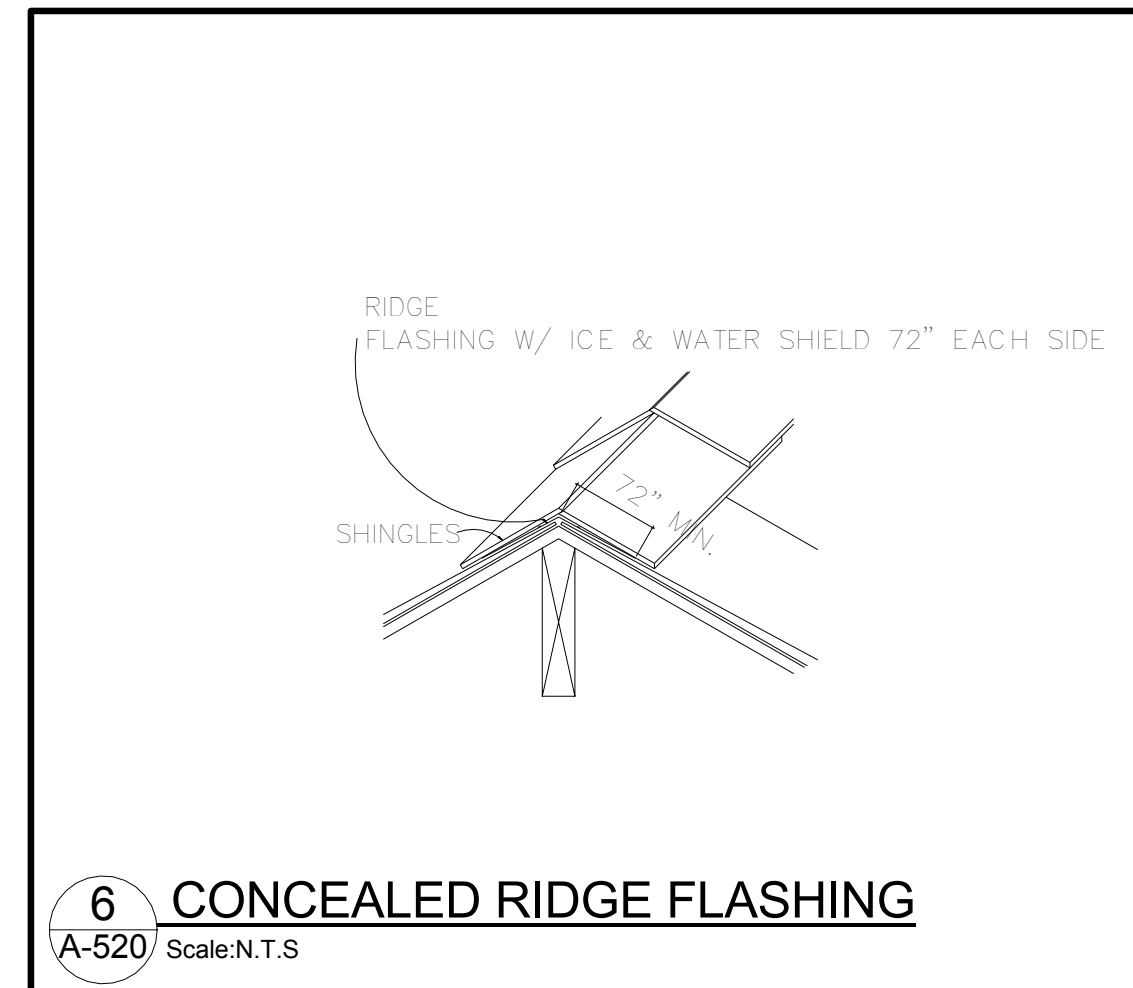
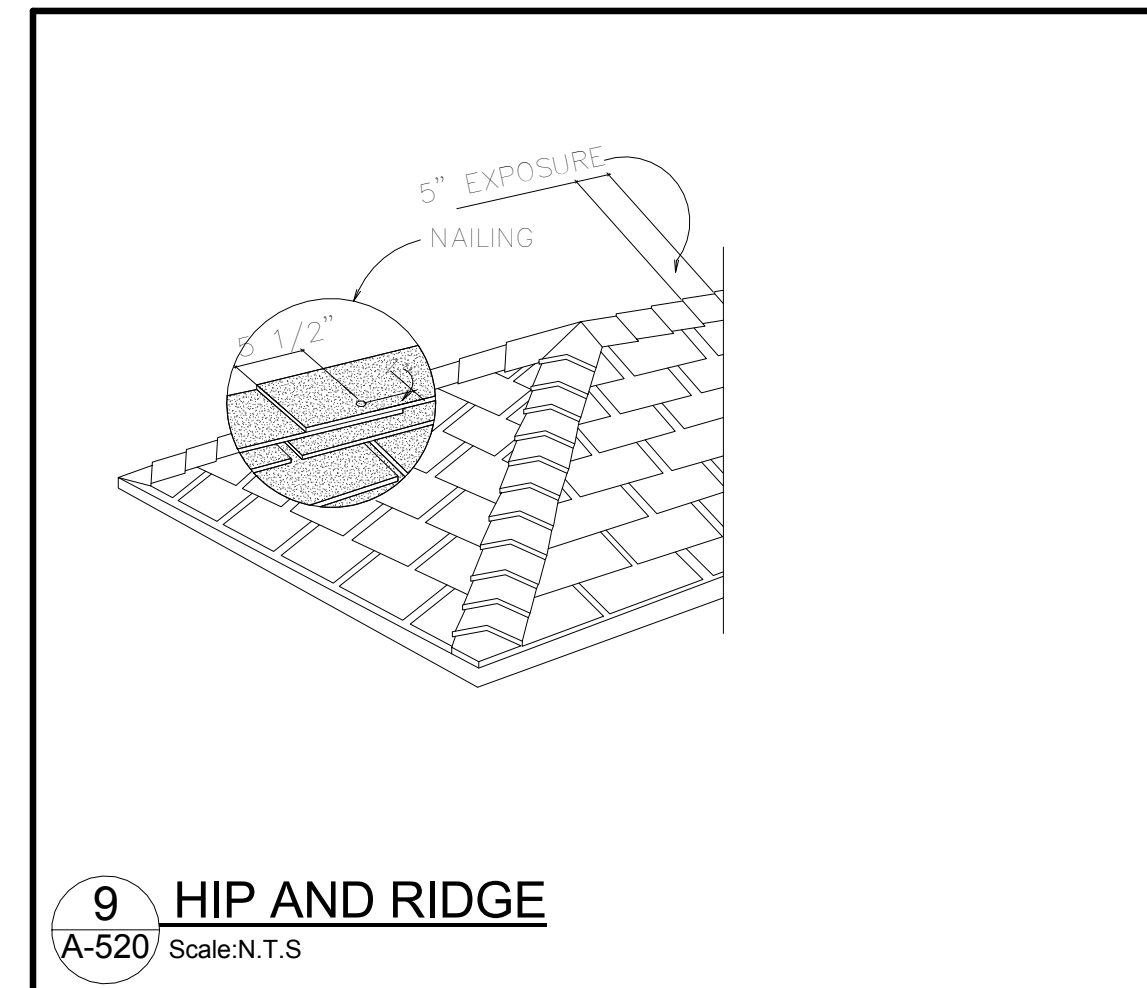
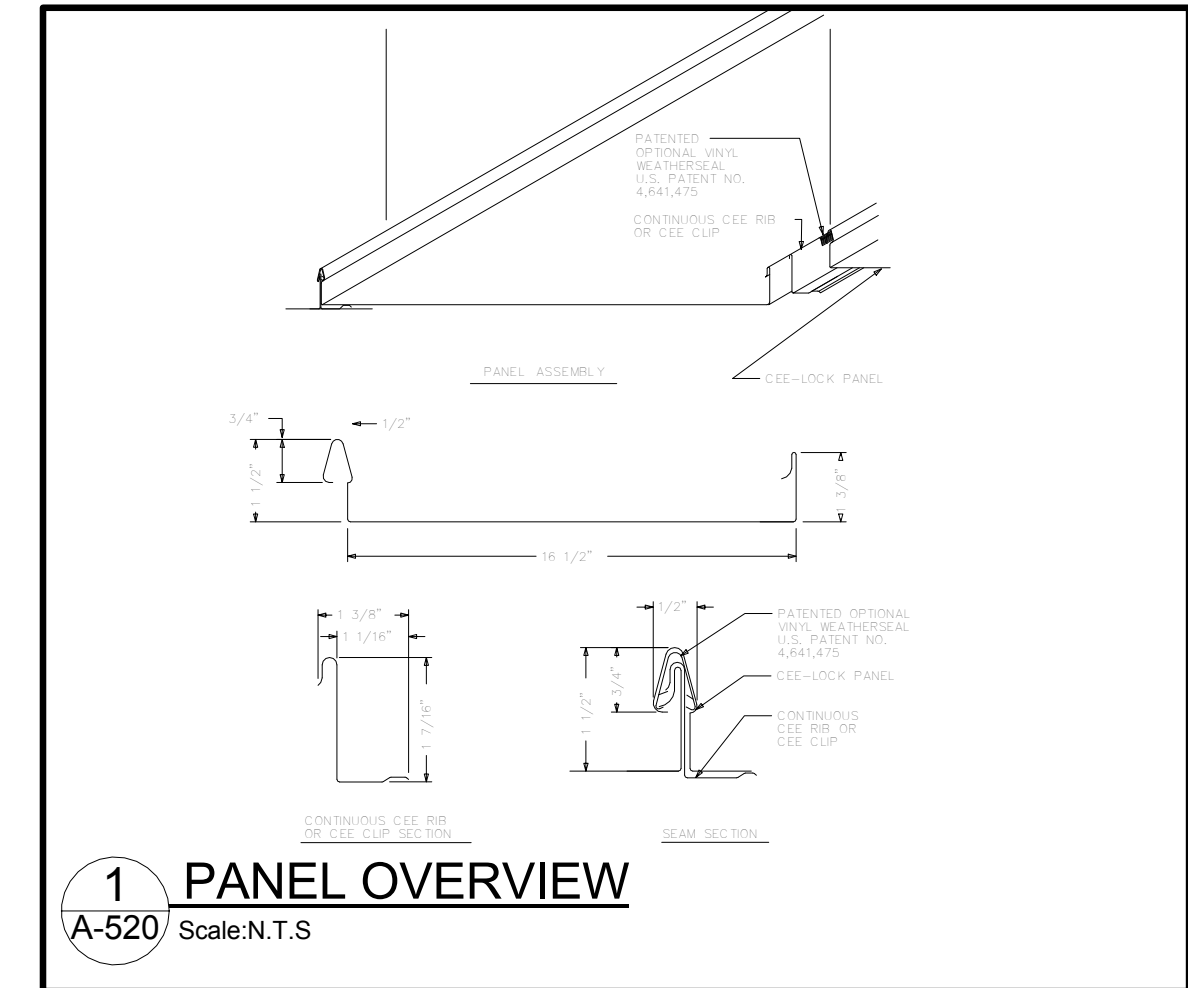
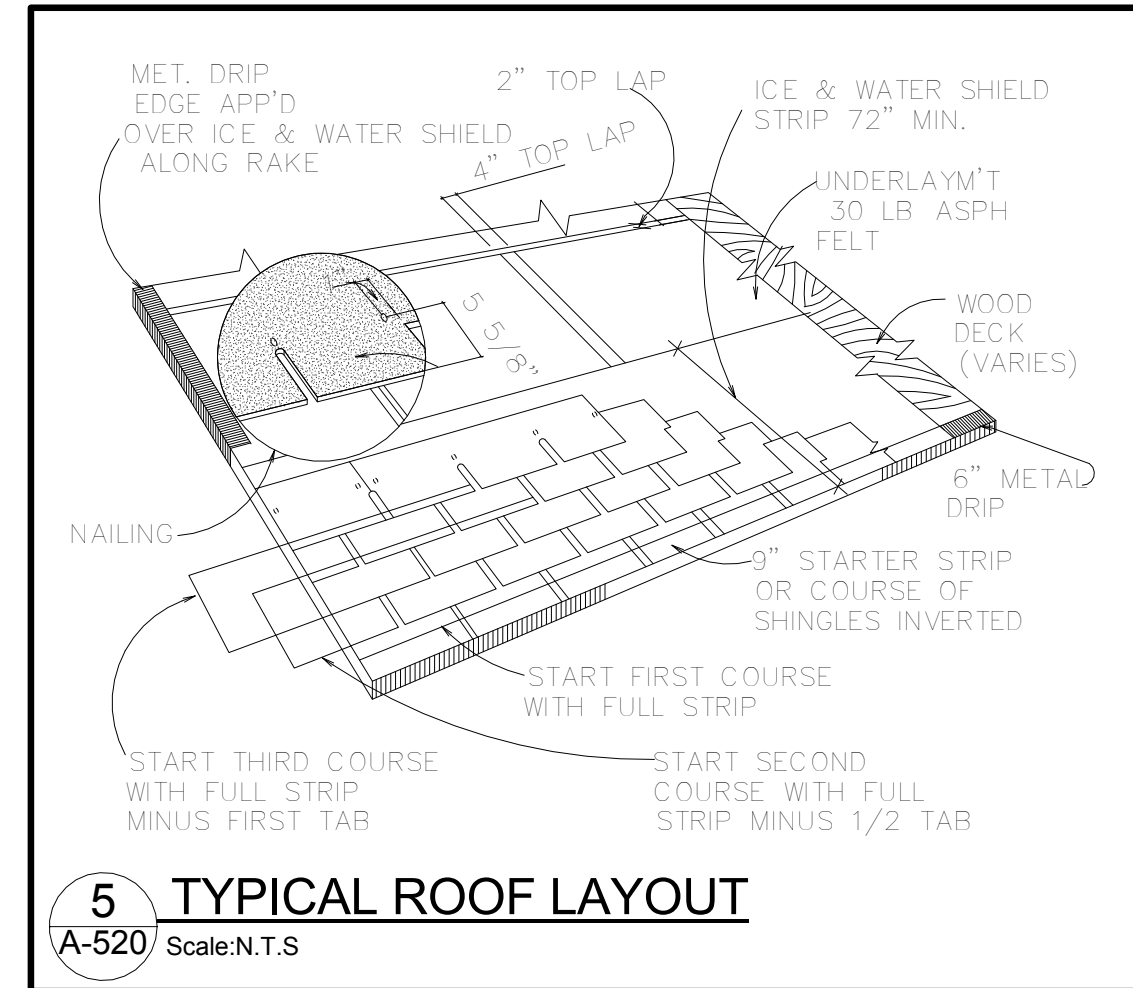
REVISIONS

No.	Description	Date

Typical Roof
 Details-Sloped

A-520

10 PILLION CT RESIDENCES



12 NOT USED
A-610 SCALE: 1" = 1'-0"

9 NOT USED
A-610 SCALE: 1" = 1'-0"

6 TYPICAL STAIR SECTION
A-610 SCALE: 1" = 1'-0"

3 WALL HANDRAIL BRACKET MOUNTING DETAIL
A-610 SCALE: 3" = 1'-0"

11 NOT USED
A-610 SCALE: 1" = 1'-0"

8 NOT USED
A-610 SCALE: 1" = 1'-0"

5 WOOD STAIR DETAIL
A-610 SCALE: 3" = 1'-0"

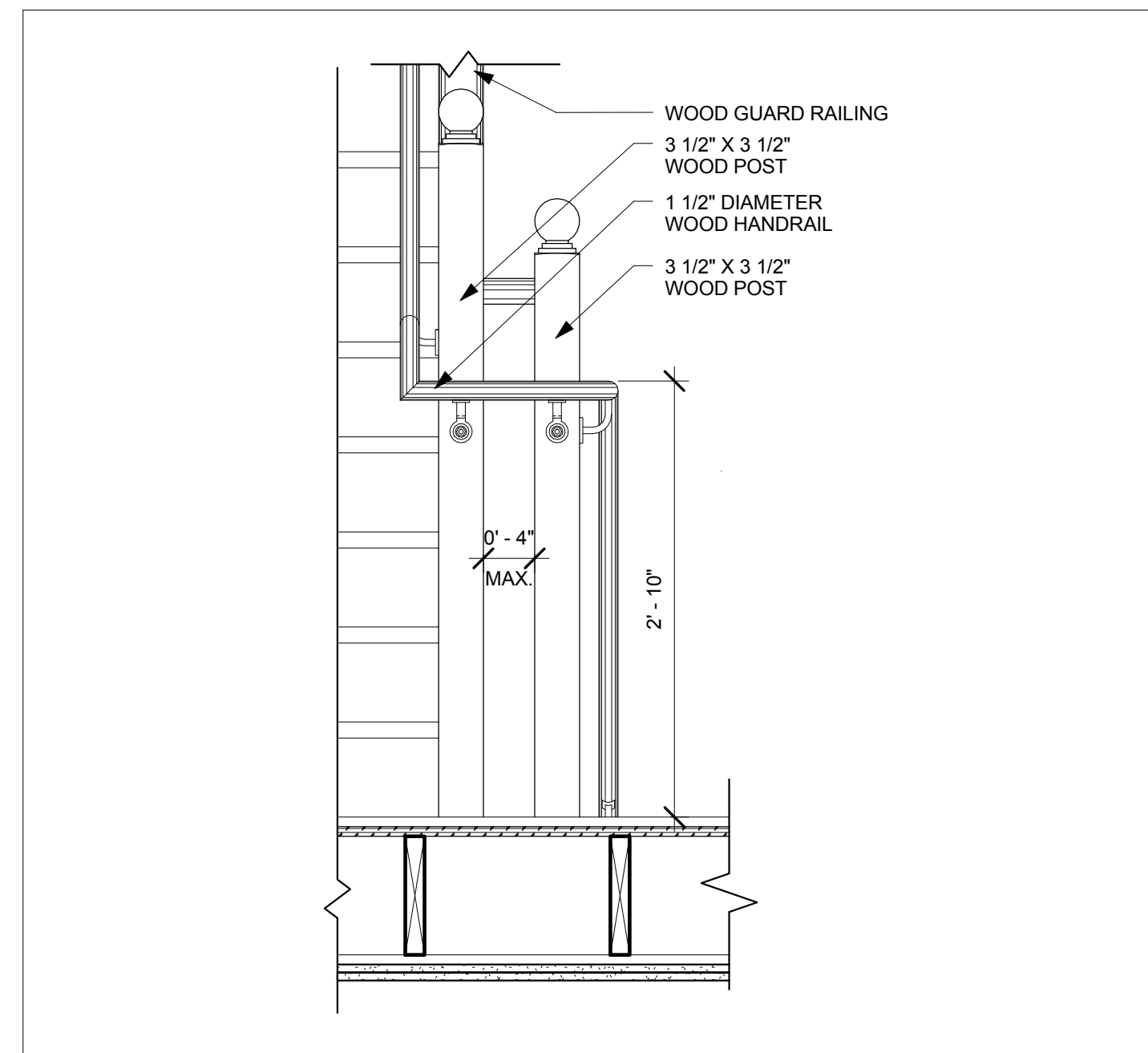
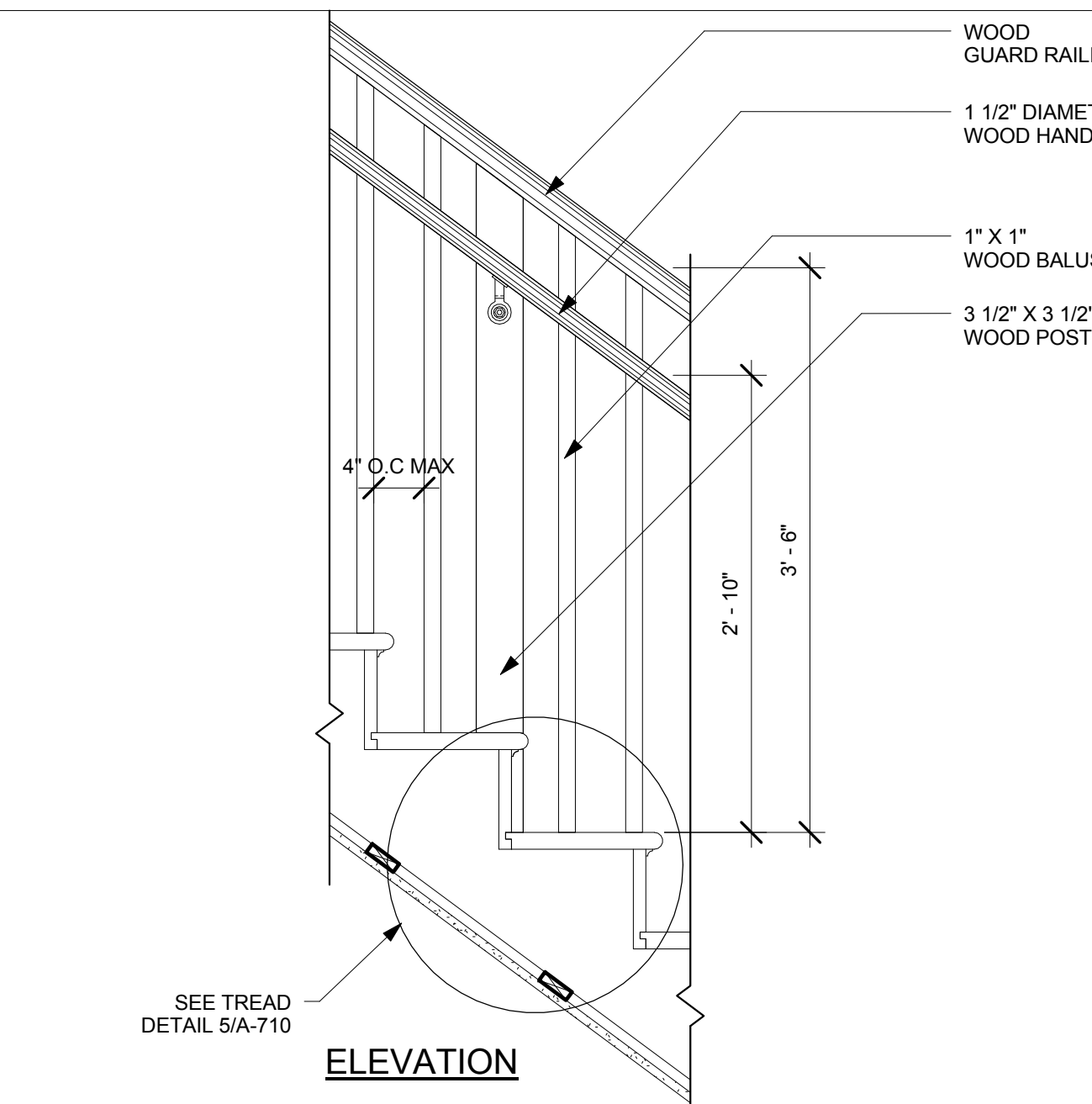
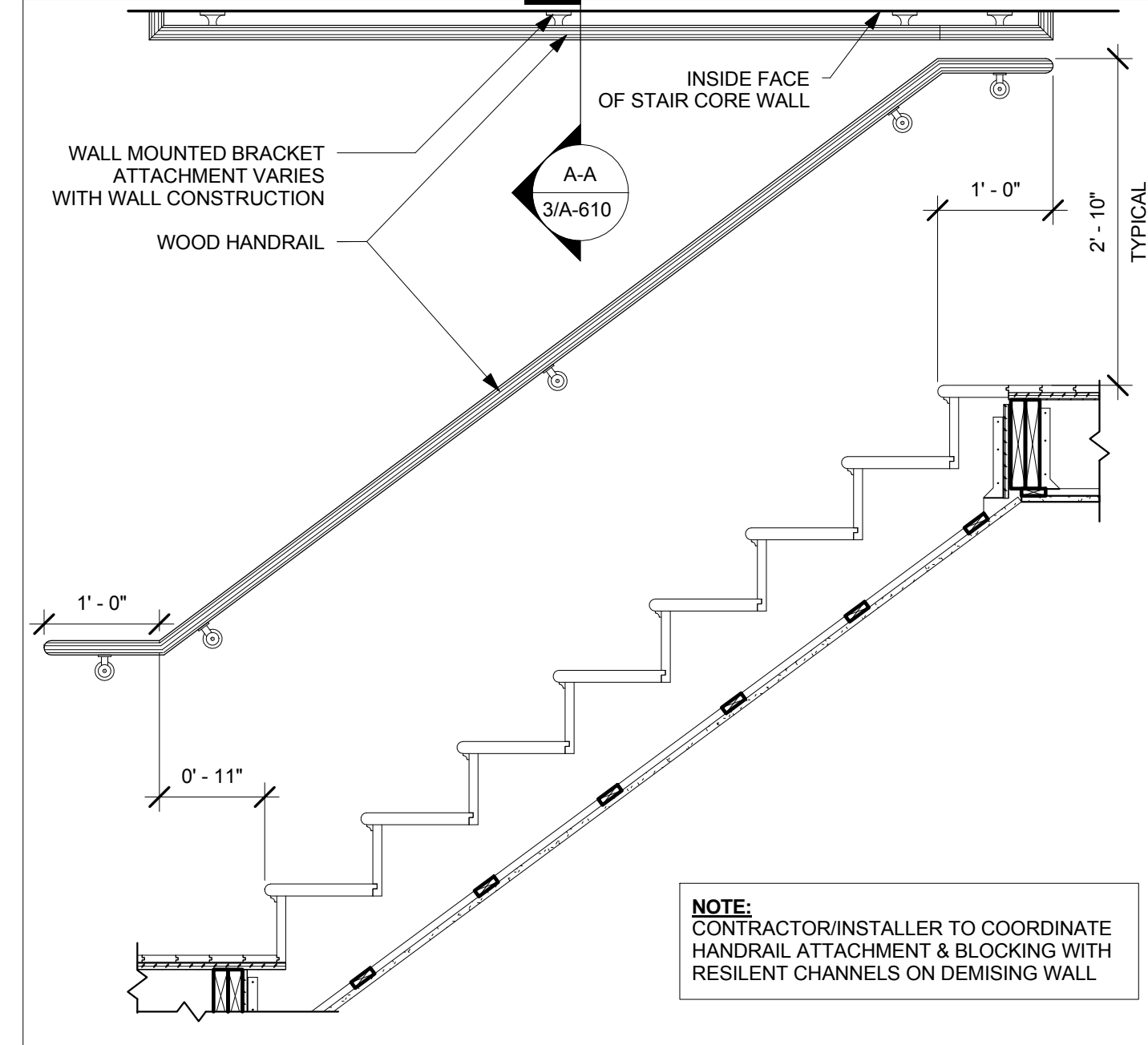
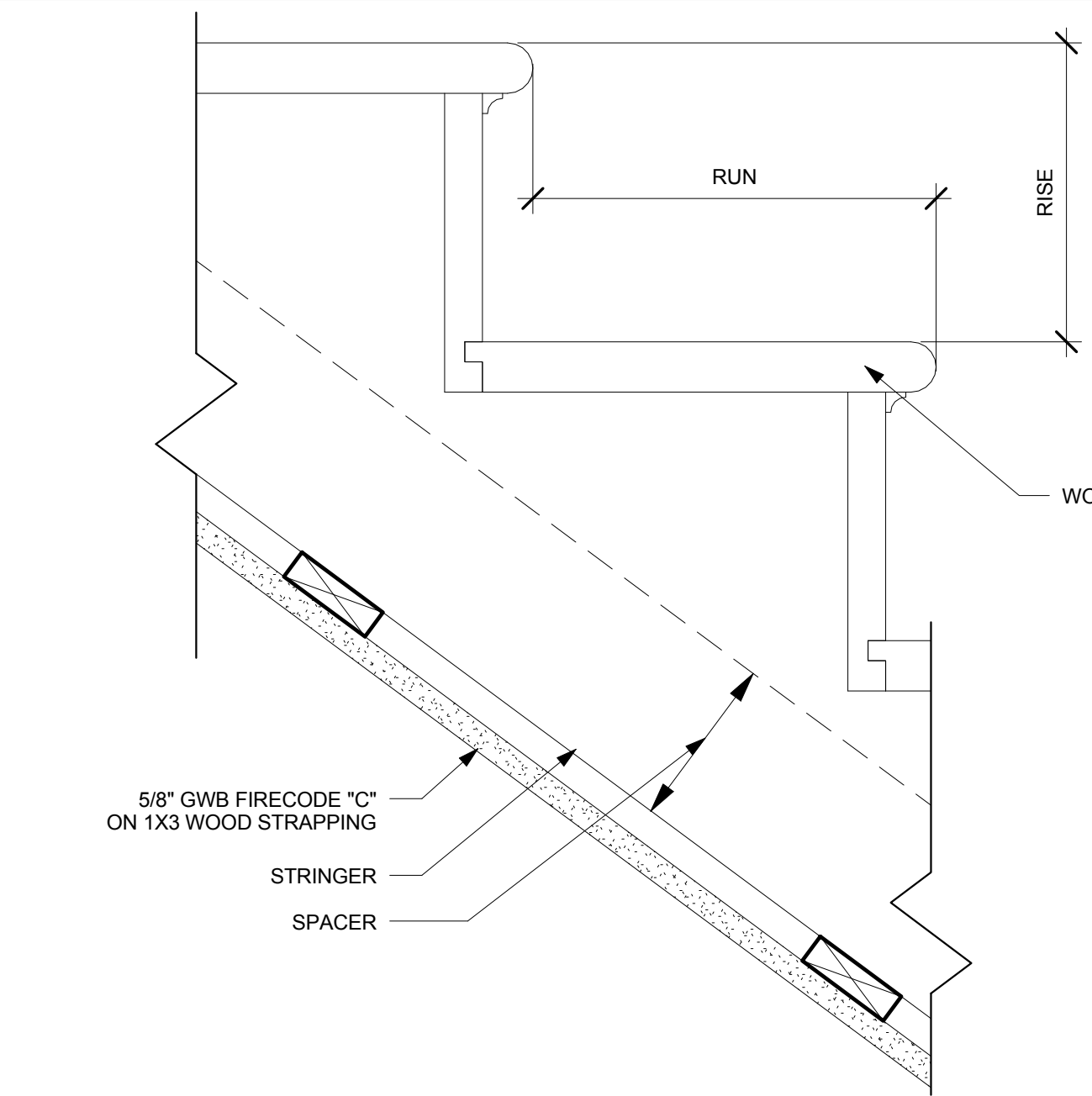
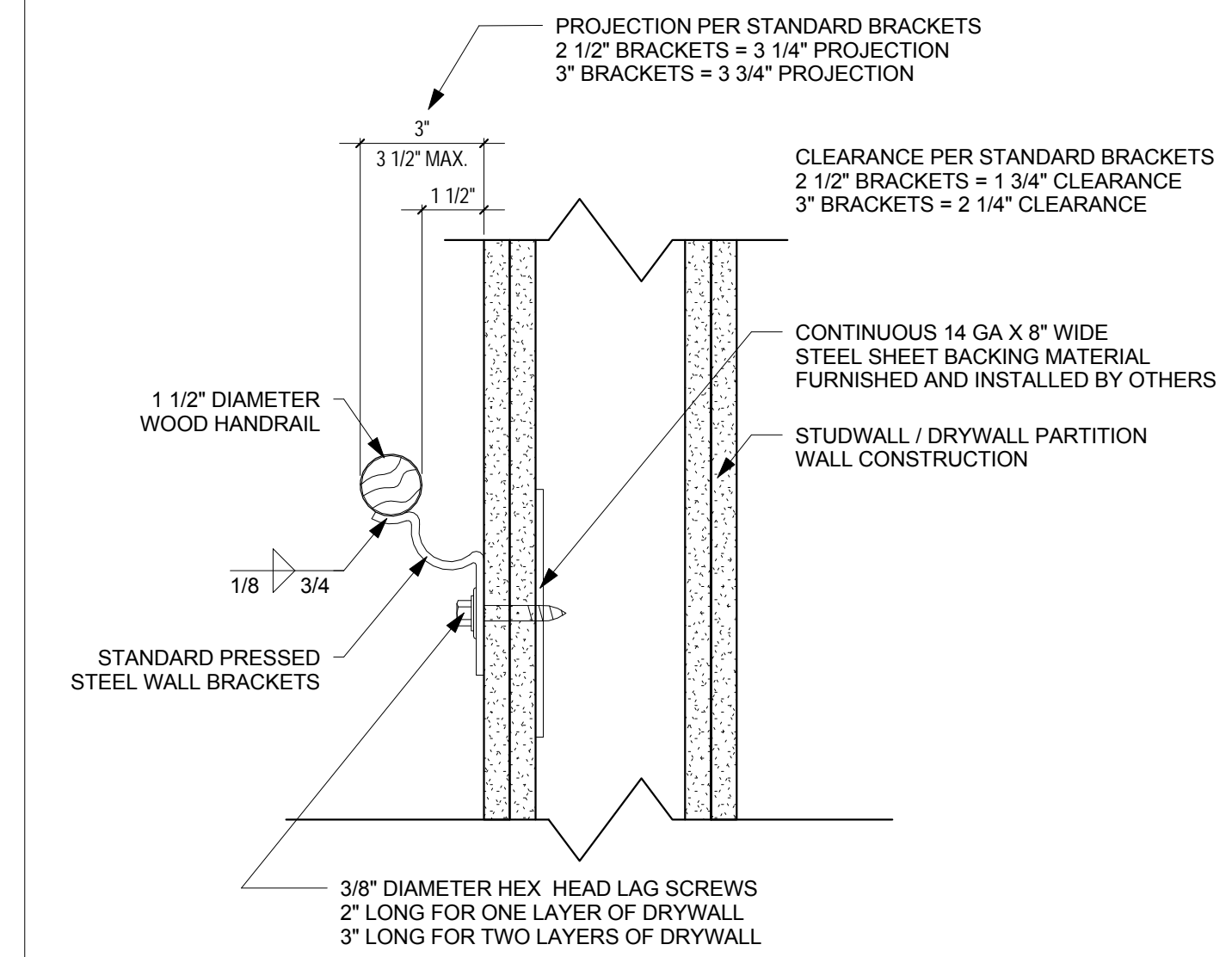
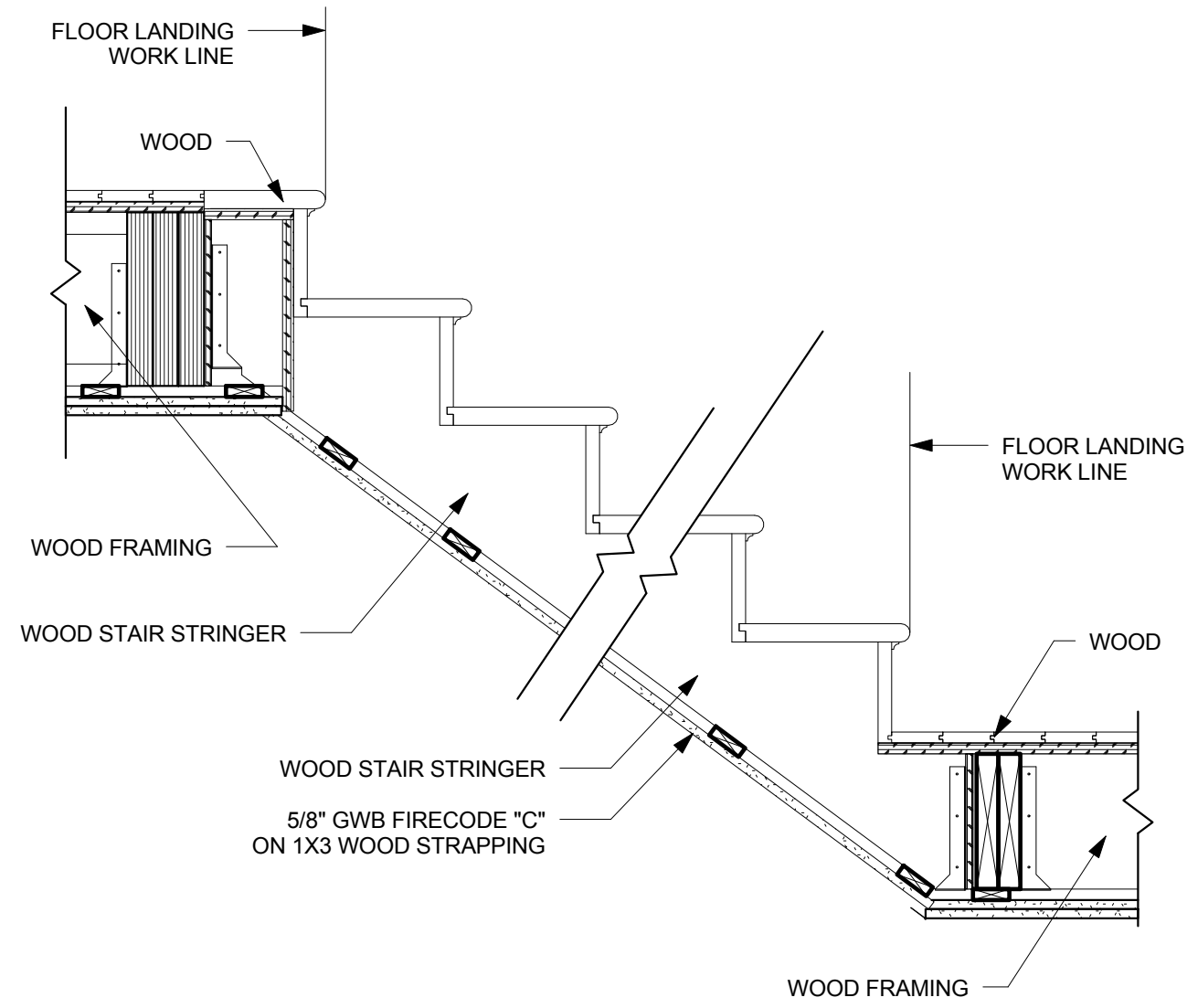
2 TYPICAL WALL RAIL
A-610 SCALE: 3/4" = 1'-0"

10 NOT USED
A-610 SCALE: 1" = 1'-0"

7 NOT USED
A-610 SCALE: 1" = 1'-0"

4 PICKET RAIL INTERMEDIATE POST
A-610 SCALE: 1" = 1'-0"

1 PICKET RAIL TRANS. BETWEEN LANDINGS
A-610 SCALE: 1" = 1'-0"



PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

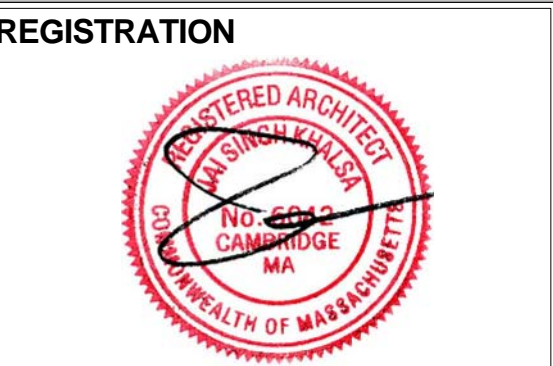
CLIENT
GFC DEVELOPMENT INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number 17001
Date 07/05/2017
Drawn by KDI, NB
Checked by JSK
Scale As indicated

REVISIONS

No.	Description	Date

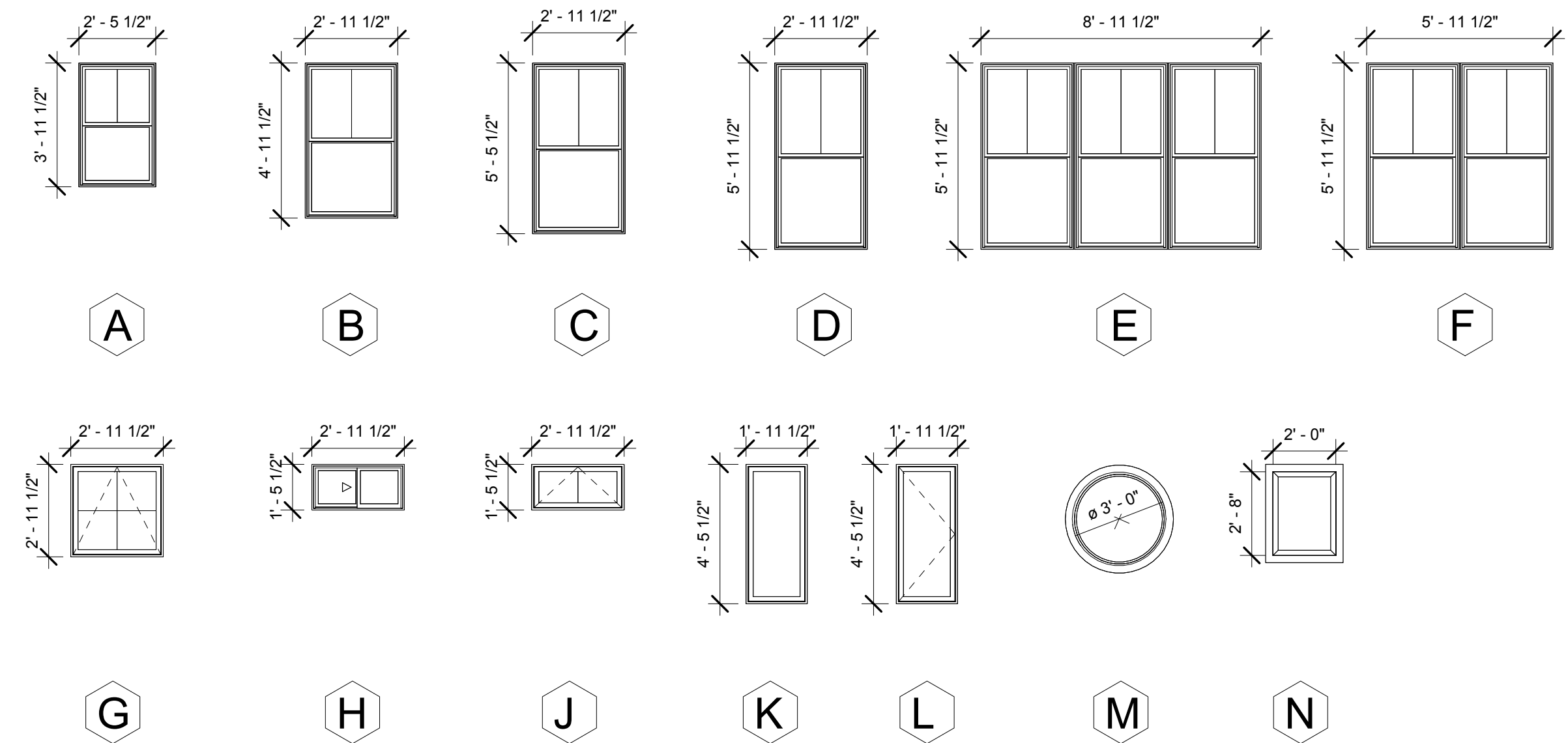
Typical Stair Details

A-600

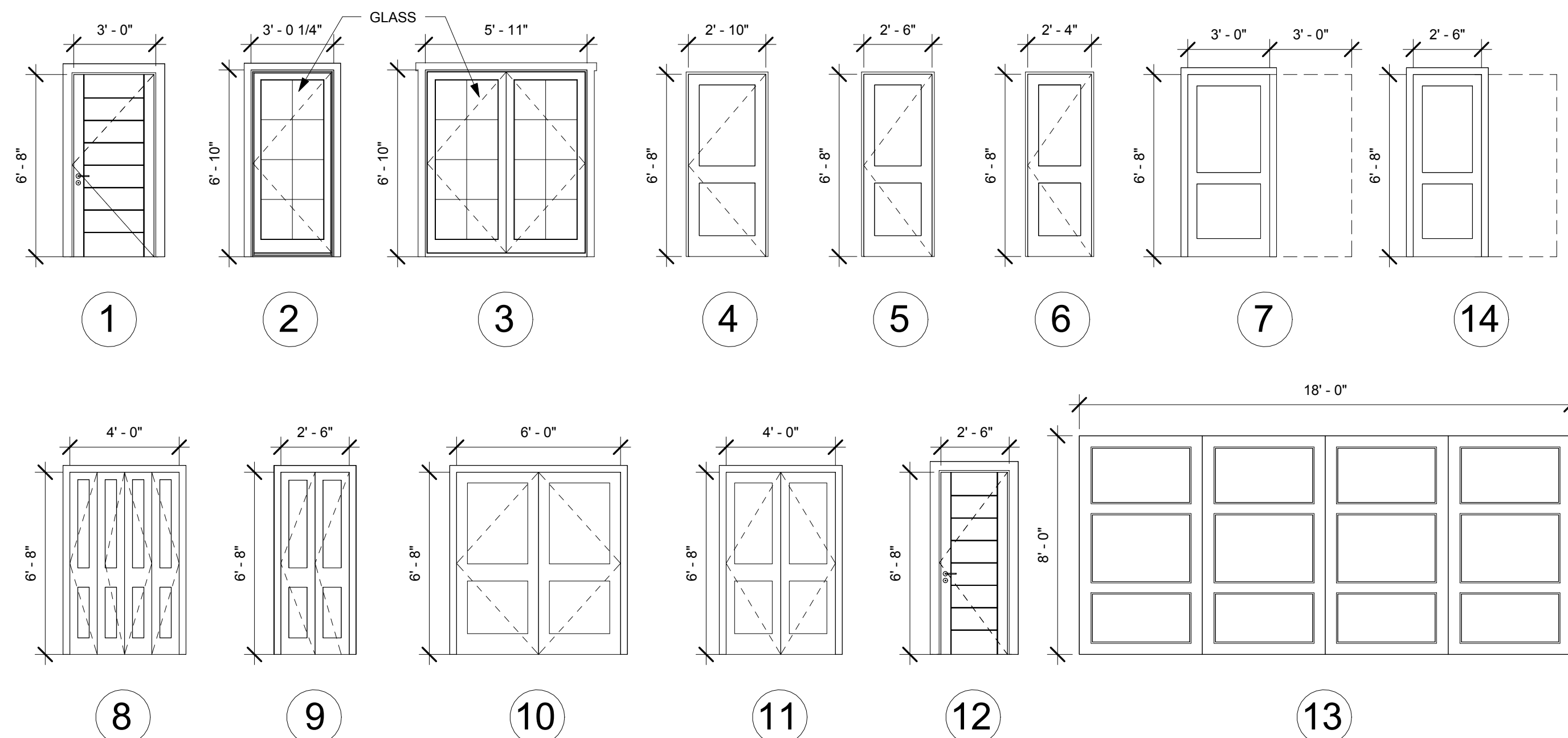
10 PILLION CT RESIDENCES

Window Schedule										
Type Mark	Manufacturer	Model	Type	Rough Opening		Material	Egress	Detail		
				Width	Height			Sill	Jamb	Head
A	Integrity Windows and Doors	IFDH2640	Double-Hung	2' - 5 1/2"	3' - 11 1/2"	Fiberglass-Wood	No	8/A-710	9/A-710	10/A-710
B	Integrity Windows and Doors	IFDH3050	Double-Hung	2' - 11 1/2"	4' - 11 1/2"	Fiberglass-Wood	Yes	8/A-710	9/A-710	10/A-710
C	Integrity Windows and Doors	IFDH3056	Double-Hung	2' - 11 1/2"	5' - 5 1/2"	Fiberglass-Wood	Yes	8/A-710	9/A-710	10/A-710
D	Integrity Windows and Doors	IFDH3060	Double-Hung	2' - 11 1/2"	5' - 11 1/2"	Fiberglass-Wood	Yes	8/A-710	9/A-710	10/A-710
E	Integrity Windows and Doors	IFDH3060	Double-Hung	8' - 11 1/2"	5' - 11 1/2"	Fiberglass-Wood	Yes	8/A-710	9/A-710	10/A-710
F	Integrity Windows and Doors	IFDH3060 2 units	Double-Hung	5' - 11 1/2"	5' - 11 1/2"	Fiberglass-Wood	Yes	8/A-710	9/A-710	10/A-710
G	Integrity Windows and Doors	IFAWN3030	Awning	2' - 11 1/2"	2' - 11 1/2"	Fiberglass-Wood	No	8/A-710	9/A-710	10/A-710
H	Integrity Windows and Doors	IFGL3016	Glider	2' - 11 1/2"	1' - 5 1/2"	Fiberglass-Wood	No	8/A-710	9/A-710	10/A-710
J	Integrity Windows and Doors	IFAWN1630	Awning	2' - 11 1/2"	1' - 5 1/2"	Fiberglass-Wood	No	8/A-710	9/A-710	10/A-710
K	Integrity Windows and Doors	IFSWP2046	Casement	1' - 11 1/2"	4' - 5 1/2"	Fiberglass-Wood	No	8/A-710	9/A-710	10/A-710
L	Integrity Windows and Doors	IFCA2046	Casement	1' - 11 1/2"	4' - 5 1/2"	Fiberglass-Wood	No	8/A-710	9/A-710	10/A-710
M		36" Diameter	Round	3' - 0"				8/A-710	9/A-710	10/A-710
N	VELUX	2230	Skylight	2' - 0 3/16"	2' - 8 3/16"	Wood				

WINDOW NOTES:
 1. CONTRACTOR TO VERIFY SIZES OF EXISTING WINDOW OPENINGS TO REMAIN, PRIOR TO ORDERING OF WINDOWS
 2. ALL WINDOWS TO BE MARVIN INTEGRITY ULTREX WINDOWS EXCEPT ROUND AND SKYLIGHT WINDOWS.
 3. BEDROOM WINDOWS TO COMPLY WITH EMERGENCY ESCAPE AND RESCUE MINIMUM OPENING AREA, HEIGHT & WIDTH AS REQUIRED BY THE IRC 2009 (MA AMENDMENTS).



Door Schedule									
Type Mark	Door Type	Frame Material	Door Material	Width	Height	Details			
						Sill	Jamb	Head	
1	Single - Entry	Wood	Solid Wood	3' - 0"	6' - 8"				
2	Hinged Single - Patio	Wood	Solid Wood	3' - 0 5/16"	6' - 10"				
3	Hinged Double Patio	Wood	Solid Wood	5' - 11"	6' - 10"				
4	Hinged Single	Wood	Hollow-Core	2' - 10"	6' - 8"	1/A-710	2/A-710	3/A-710	
5	Hinged Single	Wood	Hollow-Core	2' - 6"	6' - 8"	1/A-710	2/A-710	3/A-710	
6	Hinged Single	Wood	Hollow-Core	2' - 4"	6' - 8"	1/A-710	2/A-710	3/A-710	
7	Single Pocket	Wood	Hollow-Core	3' - 0"	6' - 8"				
8	Bifold Four Panel	Wood	Hollow-Core	4' - 0"	6' - 8"	1/A-710	2/A-710	3/A-710	
9	Bifold Two Panel	Wood	Hollow-Core	2' - 6"	6' - 8"	1/A-710	2/A-710	3/A-710	
10	Hinged Double	Wood	Hollow-Core	6' - 0"	6' - 8"	1/A-710	2/A-710	3/A-710	
11	Hinged Double	Wood	Hollow-Core	4' - 0"	6' - 8"	1/A-710	2/A-710	3/A-710	
12	Single - Entry	Wood	Solid Wood	2' - 6"	6' - 8"				
13	Garage			18' - 0"	8' - 0"				
14	Hinged Single	Wood	Hollow-Core	2' - 6"	6' - 8"	1/A-710	2/A-710	3/A-710	
15	Hinged Single	Wood	Hollow-Core	2' - 8"	6' - 8"	1/A-710	2/A-710	3/A-710	



PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
 10 PILLION COURT
 NEWTON, MA

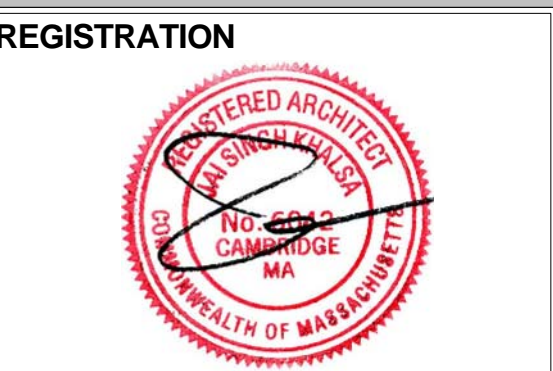
CLIENT
GFC DEVELOPMENT INC.

ARCHITECT

17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

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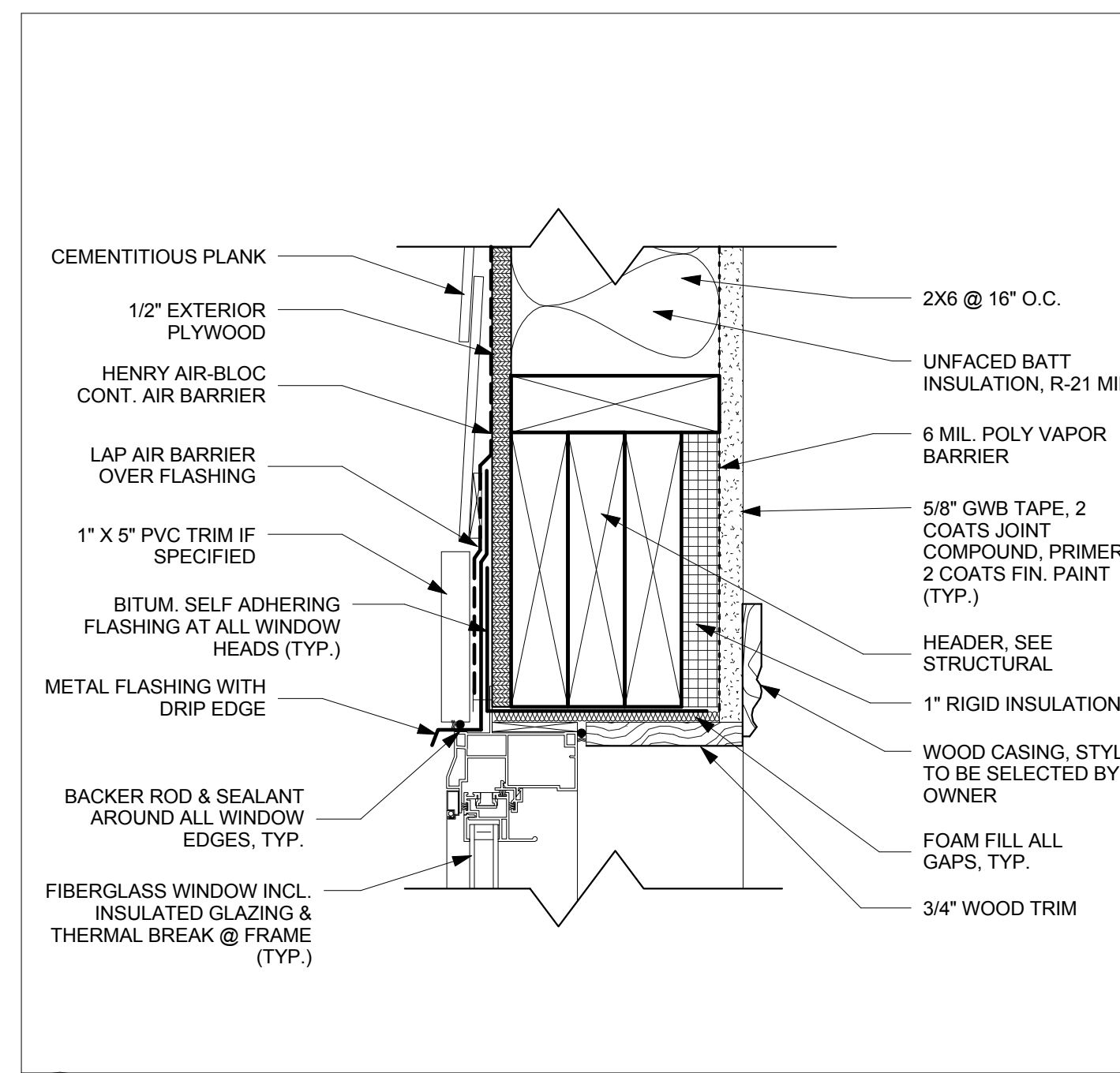
Project number 17001
 Date 07/05/2017
 Drawn by NB
 Checked by JSK
 Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
4	Revision 4	02/05/2018

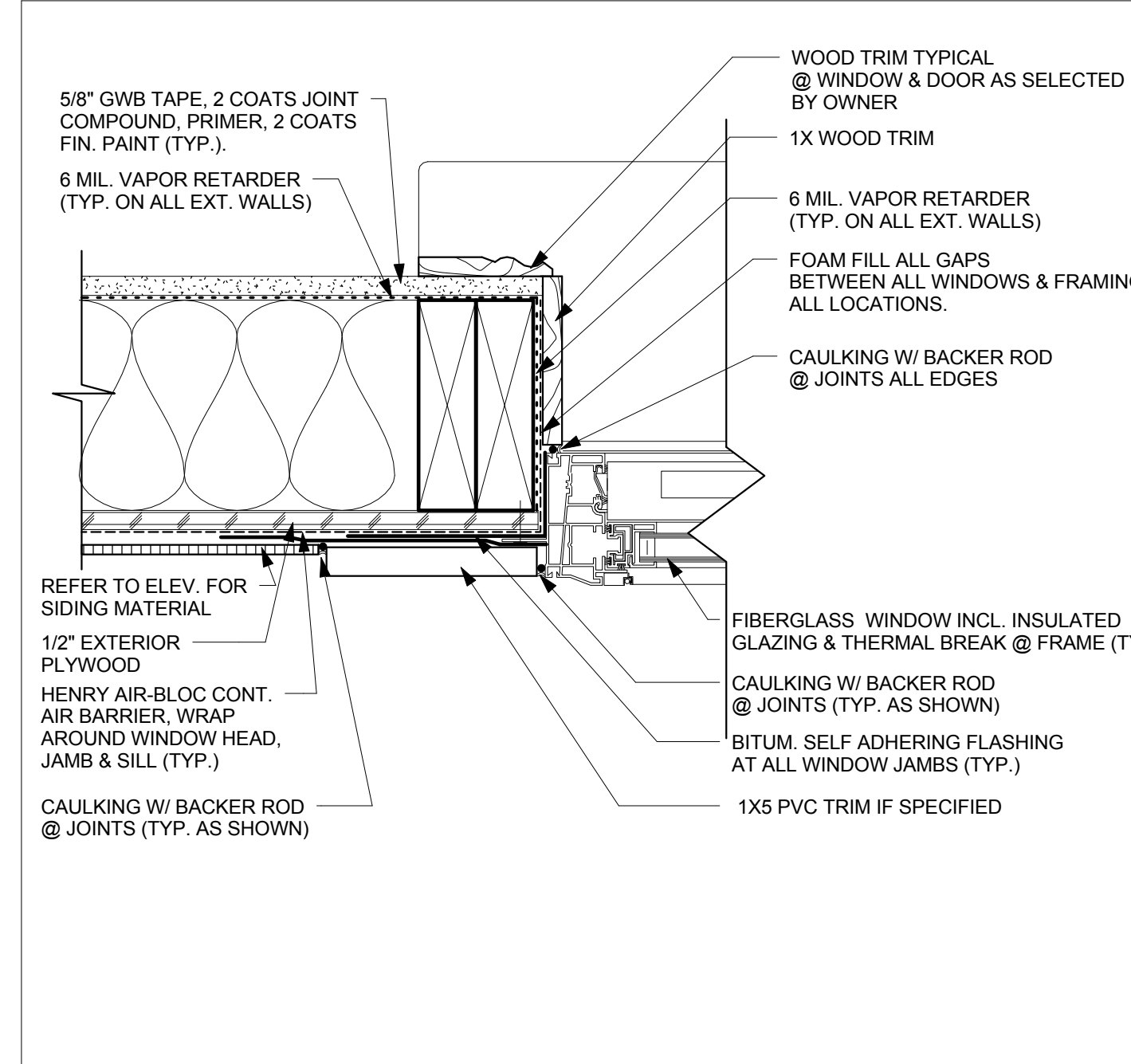
Door & Window Schedules

A-700

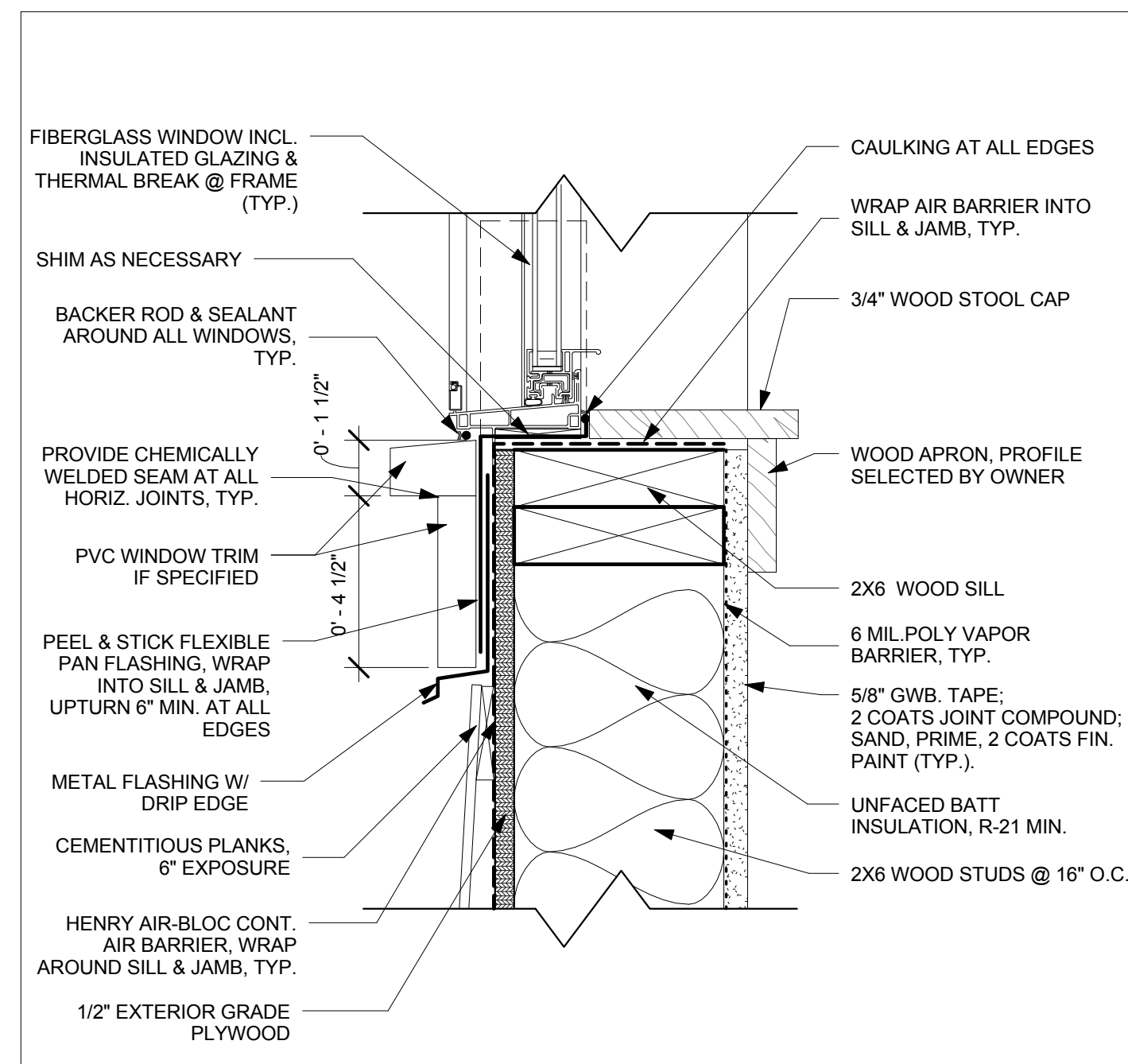
10 PILLION CT RESIDENCES



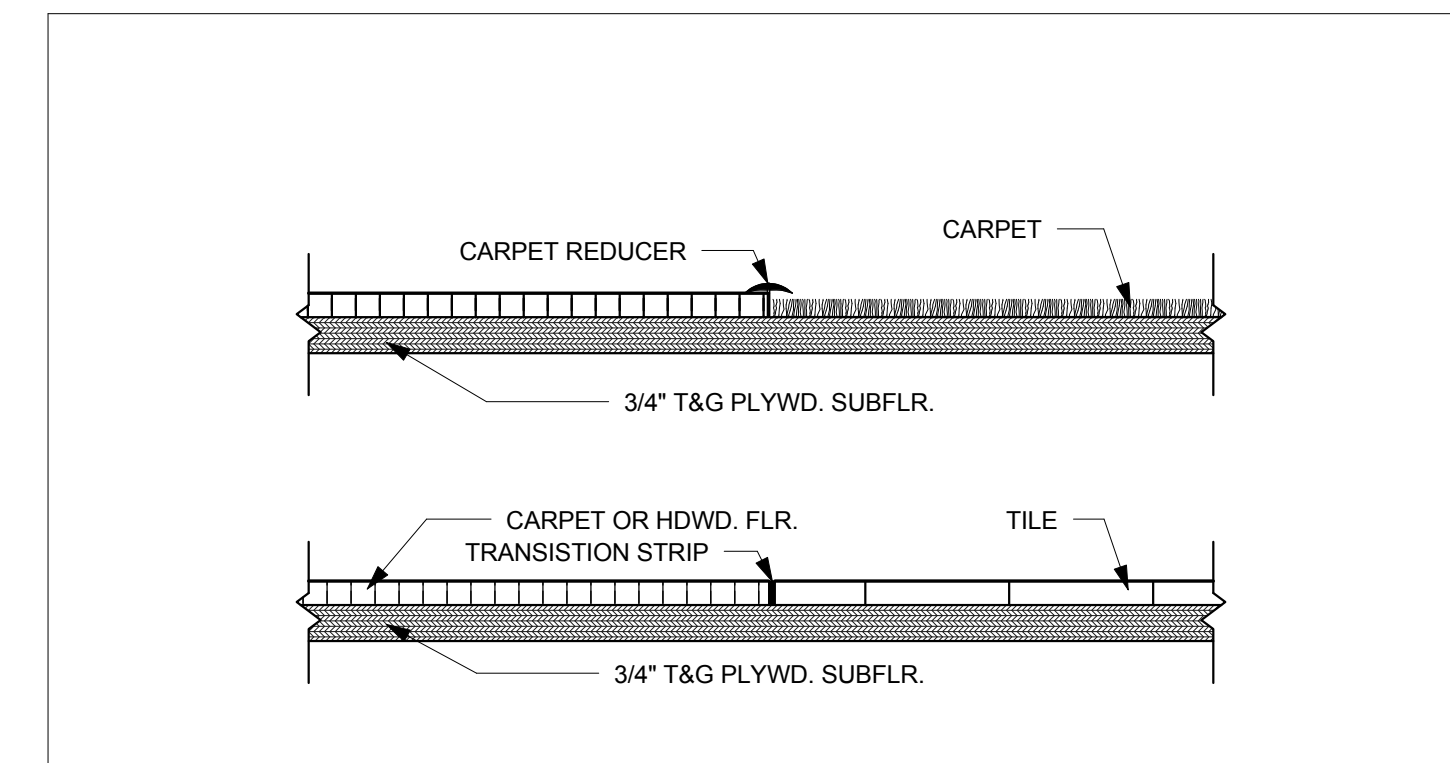
10 WINDOW HEAD DETAIL - DOUBLE-HUNG
A-710 Scale: 3"=1'-0"



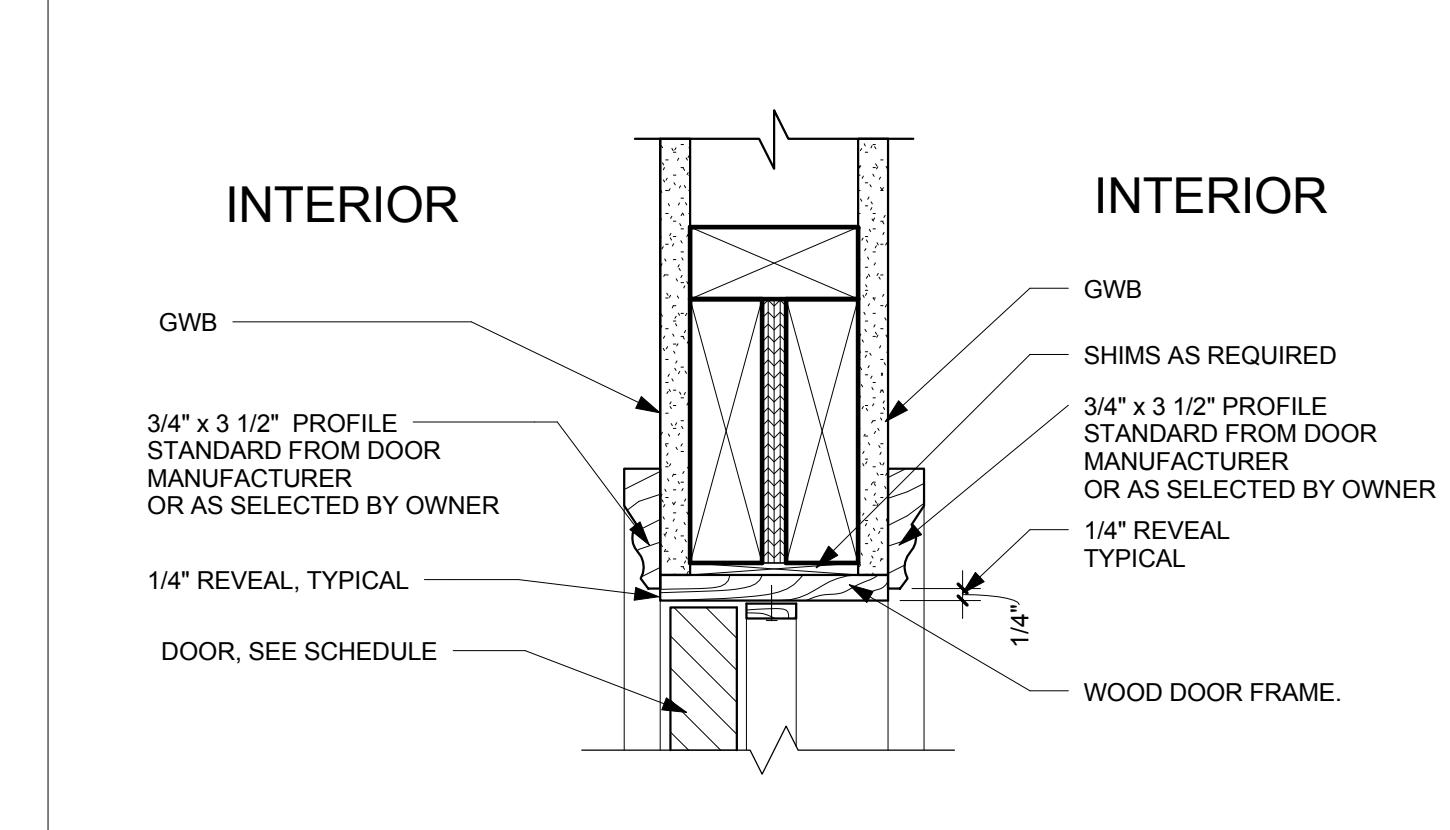
9 WINDOW JAMB DETAIL - DOUBLE-HUNG
A-710 Scale: 3"=1'-0"



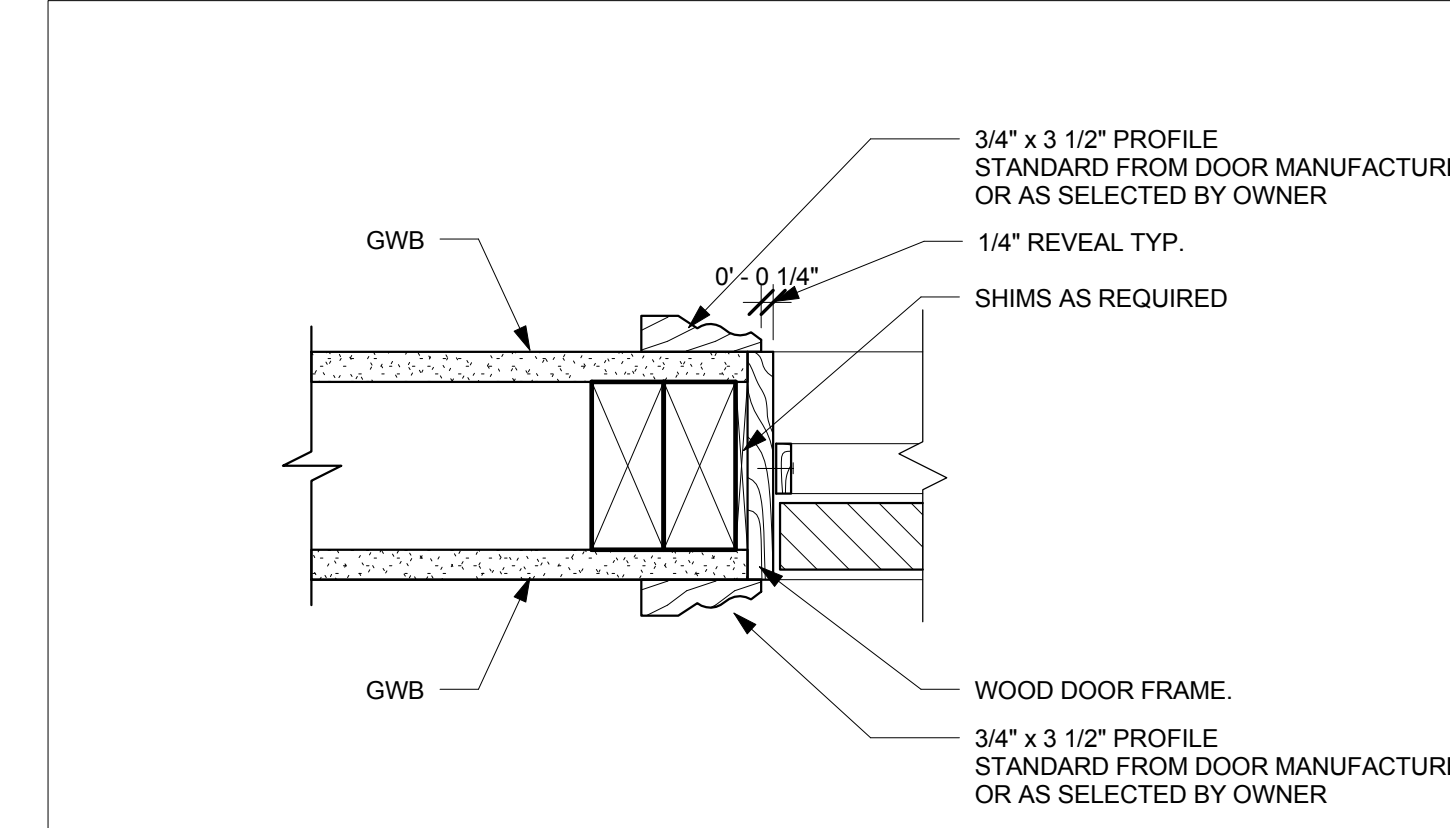
8 WINDOW SILL DETAIL - DOUBLE-HUNG
A-710 Scale: 3"=1'-0"



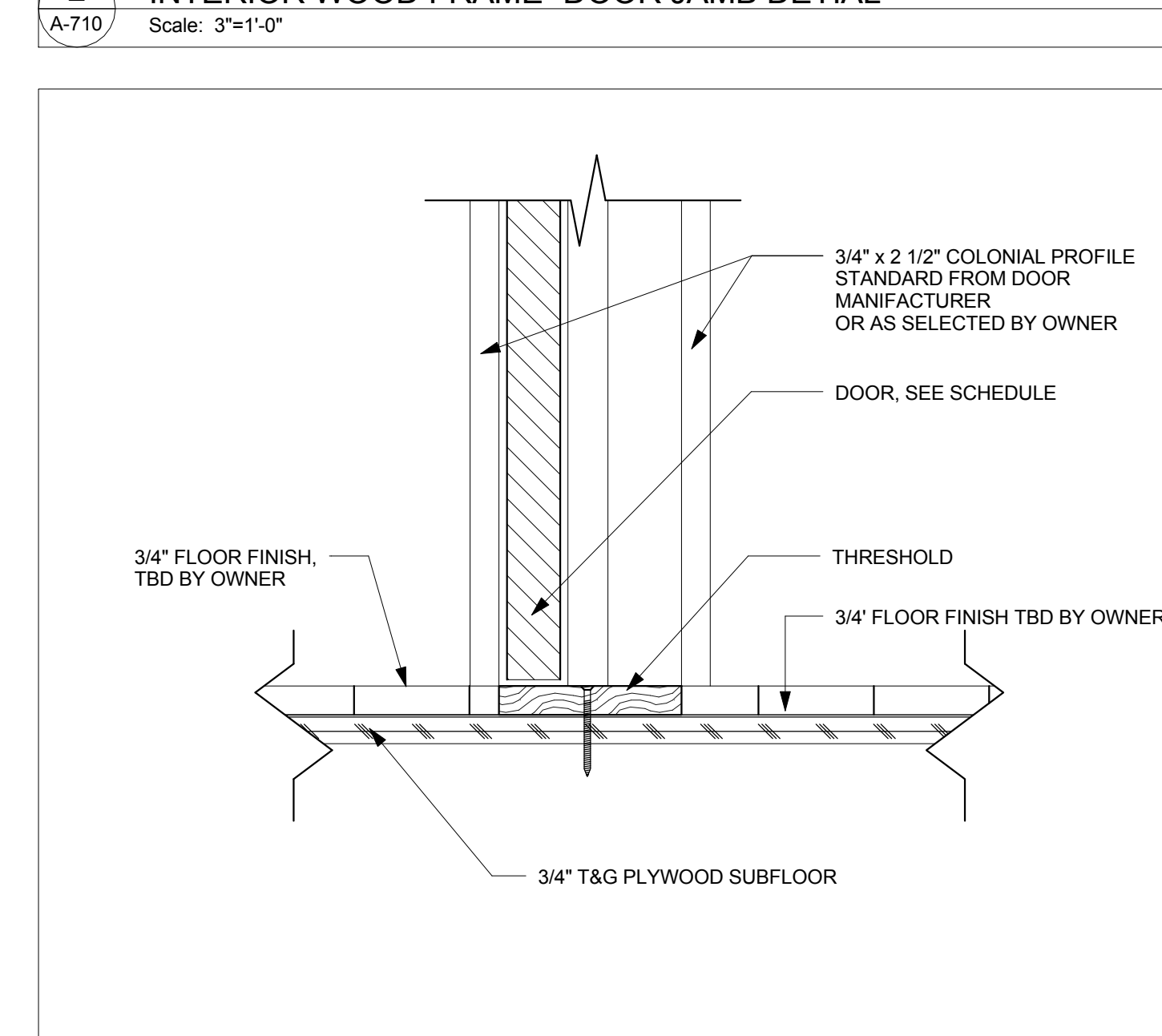
4 FINISH FLOOR DETAILS
A-710 Scale: 3"=1'-0"



3 INTERIOR WOOD FRAME- DOOR HEAD DETAIL
A-710 Scale: 3"=1'-0"



2 INTERIOR WOOD FRAME- DOOR JAMB DETAIL
A-710 Scale: 3"=1'-0"



1 INTERIOR WOOD FRAME- DOOR THRESHOLD DETAIL
A-710 Scale: 3"=1'-0"

PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
GFC DEVELOPMENT INC.

ARCHITECT

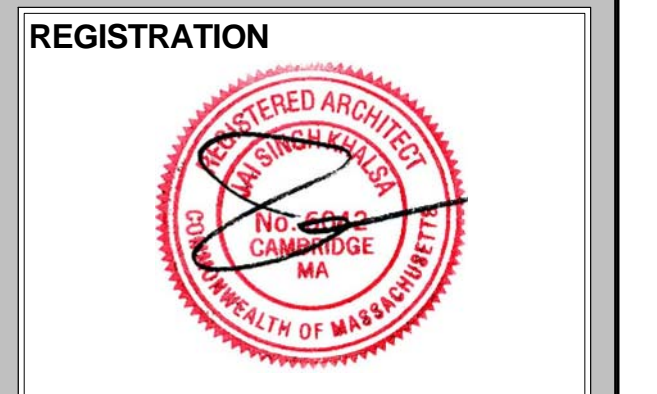
DESIGN

KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
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Project number	17001
Date	07/05/2017
Drawn by	KDI, NB
Checked by	JSK
Scale	3" = 1'-0"

REVISIONS

No.	Description	Date

Typical Door & Window Details

A-710

10 PILLION CT RESIDENCES

PROJECT NAME
10 PILLION CT RESIDENCES

PROJECT ADDRESS
10 PILLION COURT
NEWTON, MA

CLIENT
GFC DEVELOPMENT INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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Date 07/05/2017
Drawn by NB
Checked by JSK
Scale 1 1/2" = 1'-0"

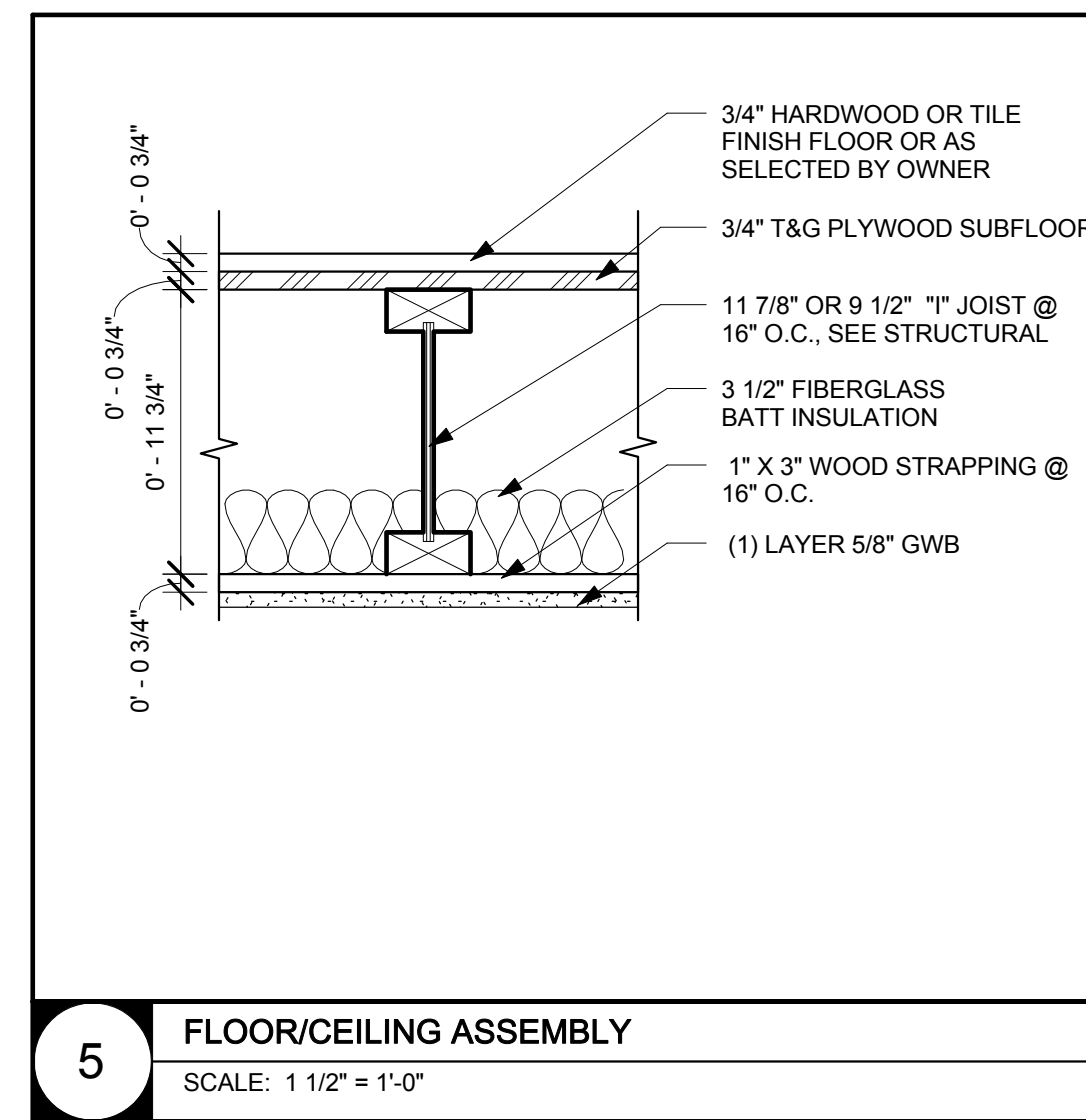
REVISIONS

No.	Description	Date
4	Revision 4	02/05/2018

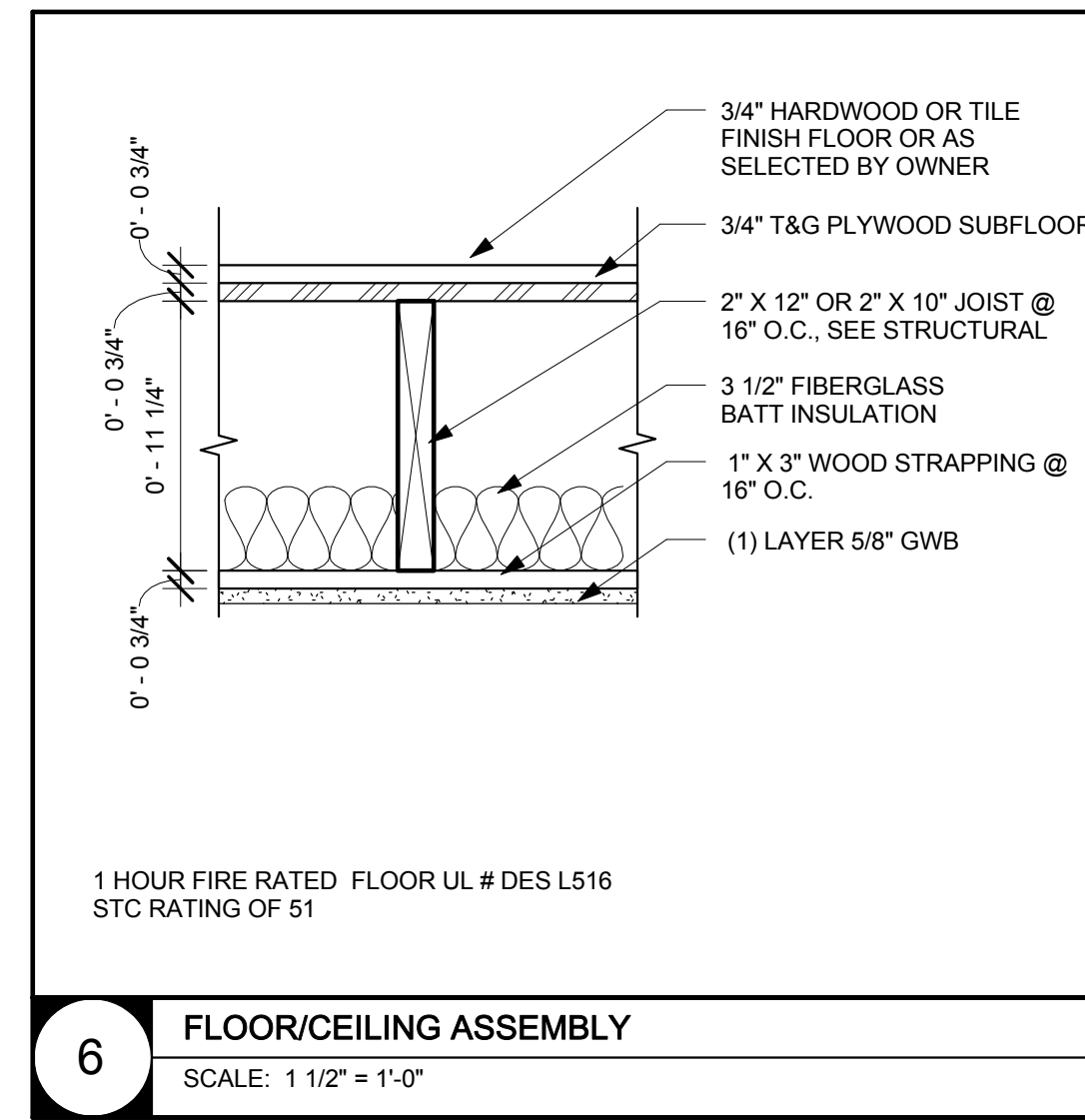
Partition Types

A-800

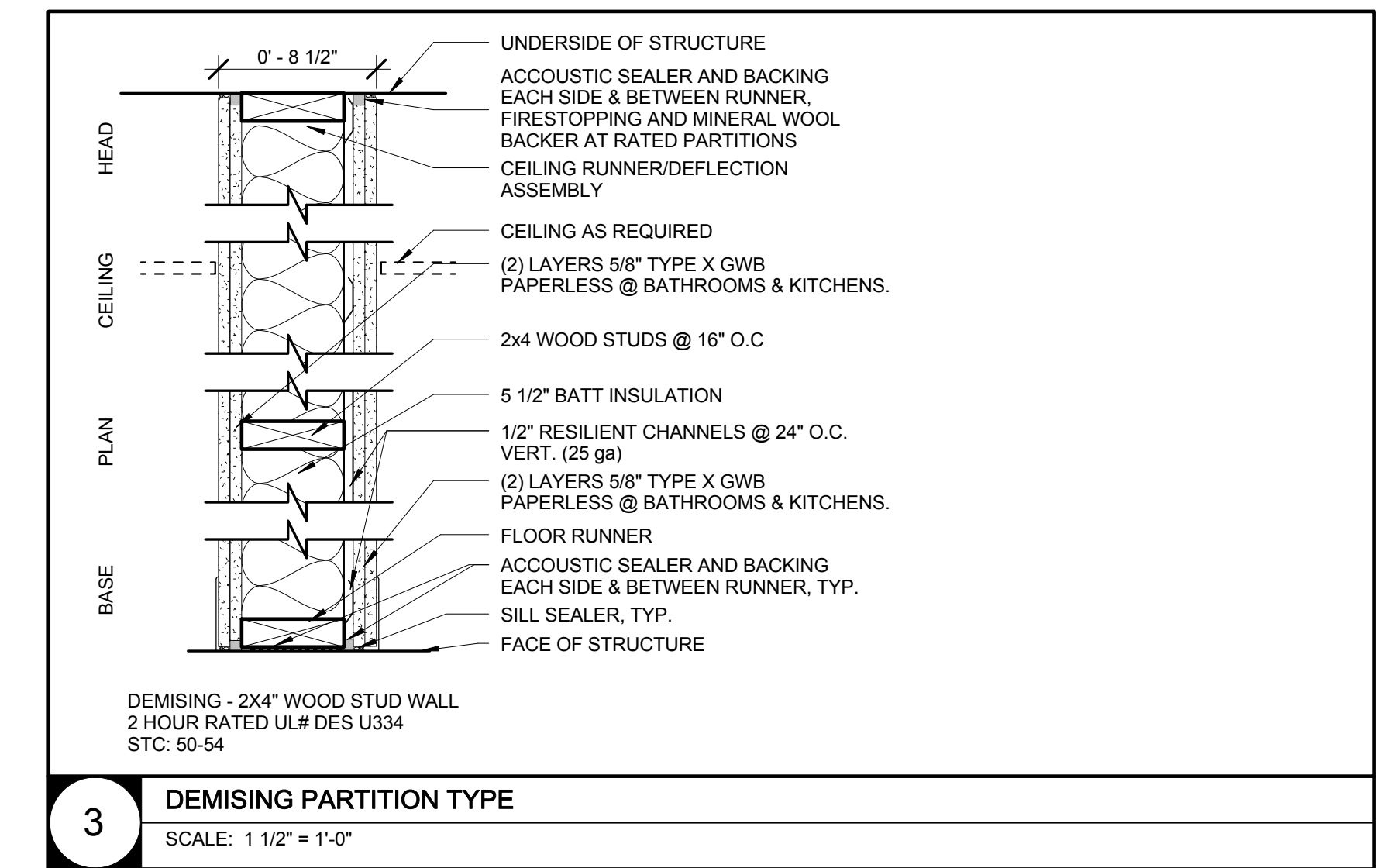
10 PILLION CT RESIDENCES



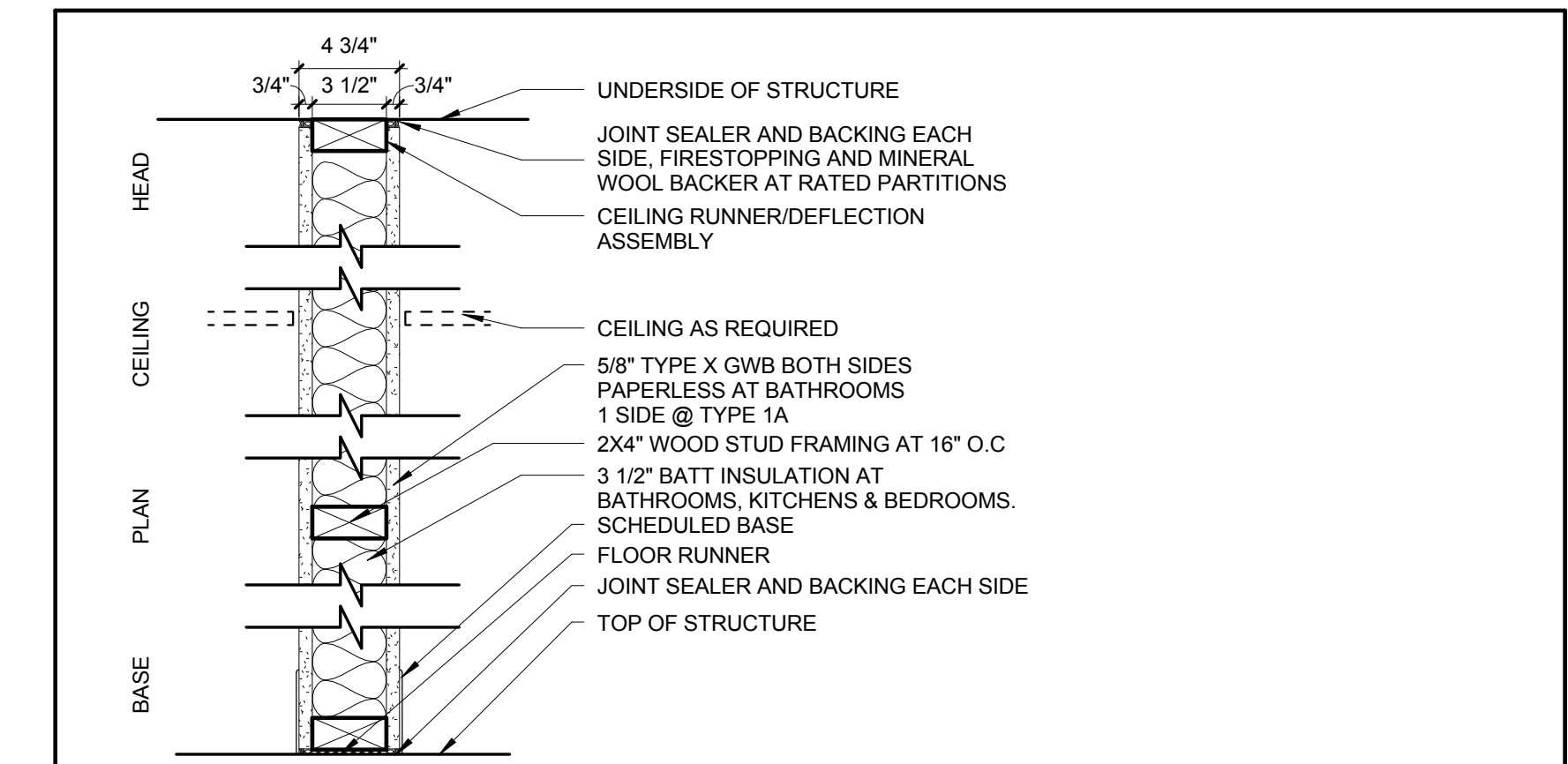
5 FLOOR/CEILING ASSEMBLY
SCALE: 1 1/2" = 1'-0"



6 FLOOR/CEILING ASSEMBLY
SCALE: 1 1/2" = 1'-0"

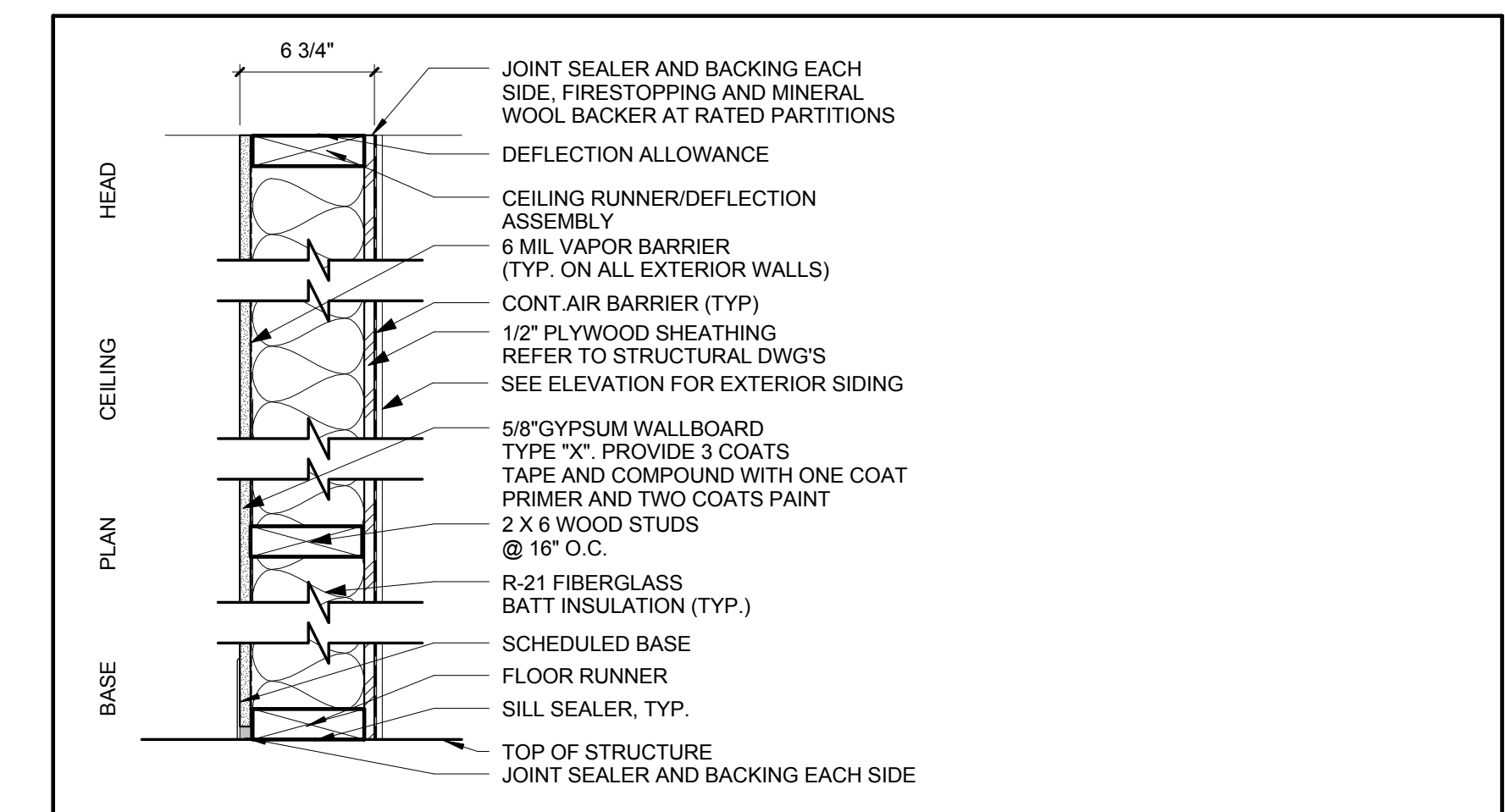


3 DEMISING PARTITION TYPE
SCALE: 1 1/2" = 1'-0"



PARTITION TYPE	STUD TYPE	SHEATHING TYPE	ACTUAL WIDTH	FILL	FIRE TEST (UL #)	FIRE RESISTANCE	STC RATING	IC RATING	LIMITING HEIGHT	OTHER REQUIREMENTS
2	2X4	5/8" GWB	4 3/4"	3 1/2" BATT	UL# U305	-	-	-	16'-4"	MR GWB @ BATH AND KITCHEN SIDE
2A	2X6	5/8" GWB	6 3/4"	3 1/2" BATT	UL# U305	-	-	-	16'-4"	MR GWB @ BATH AND KITCHEN SIDE

2 PARTITION TYPE 1 - INTERIOR WALL
SCALE: 1 1/2" = 1'-0"



PARTITION TYPE	STUD TYPE	SHEATHING TYPE	ACTUAL WIDTH	FILL	FIRE TEST (UL #)	FIRE RESISTANCE	STC RATING	IC RATING	LIMITING HEIGHT	OTHER REQUIREMENTS
1	2X6	5/8" TYPE "X" GWB	6 5/8"	5 1/2" BATT	UL# 356	-	-	-	16'-4"	HORIZONTAL LAP SIDING, SEE ELEVATION DWG'S FOR SIDING MATERIALS.

1 EXTERIOR WALL
SCALE: 1 1/2" = 1'-0"

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