

CITY OF NEWTON

CITY COUNCIL

May 6, 2019

ORDERED:

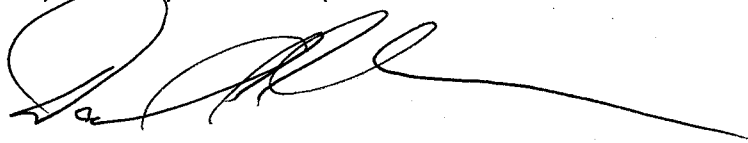
That, in accordance with the recommendation of the Land Use Committee through its Chair Gregory Schwartz, the following petition be and is hereby WITHDRAWN WITHOUT PREJUDICE:

#497-18 **Petition to allow single-family attached dwellings at 10 Pillion Court**
MICHAEL MOSKOWITZ/TEN PILLION, LLC petition for SPECIAL PERMIT/SITE PLAN APPROVAL to construct an attached dwelling unit to the existing single-family structure, reduce lot area, frontage and lot coverage requirements, to reduce front and side setback requirements and to allow a driveway along the side lot line, requiring an amendment to Variance #99442 at 10 Pillion Court, Ward 2, on land known as Section 22 Block 7 Lot 46, containing approximately 10,559 sq. ft. of land in a district zoned MULTI RESIDENCE 1. Ref: Sec. 7.3.3, 7.4, 3.4.1, 3.2.4, 6.2.3.B.2, of the City of Newton Rev Zoning Ord, 2017.

Under Suspension of Rules

Readings Waived and Withdrawal without Prejudice Approved

22 yeas 0 nays 2 absent (Councilors Auchincloss and Ciccone)



(SGD) DAVID A. OLSON, City Clerk