



1 DRIVWAY SIDE ELEVATION
1/4" = 1'-0"



2 RIVER STREET ELEVATION
1/4" = 1'-0"



SpaceCraft Architecture, Inc.
5 Raymond Street
Lexington, MA 02421
www.SpaceCraftArch.com
781-223-5665

ELEVATIONS
5-7 ELM STREET RESIDENCE: UNITS 1 & 2
5-7 ELM STREET
NEWTON, MA 02465

SCALE:
1/4" = 1'-0"
DATE:
1 10 JUL 14

A200

P:\2014\47128.mh - 11472801 - 5-7 Elm Street, Newton, Proposed Units 1 & 2



1 LEFT ELEVATION
1/4" = 1'-0"



2 ELM STREET ELEVATION
1/4" = 1'-0"



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ELEVATIONS
5-7 ELM STREET RESIDENCE: UNITS 1 & 2
5-7 ELM STREET
NEWTON, MA 02465

SCALE:
1/4" = 1'-0"
DATE:
1 10 JUL 14

A201

7/10/2014 4:11:23 PM C:\Users\j... 5-7 Elm Street, Newton, MA 02465, Project: 14-104



1 DRIVEWAY SIDE ELEVATION
1/4" = 1'-0"



2 RIVER STREET ELEVATION
1/4" = 1'-0"



SpaceCraft Architecture, Inc.
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781-223-5665

ELEVATIONS
5-7 ELM STREET RESIDENCE - UNITS 3 & 4
5-7 ELM STREET
NEWTON, MA 02465

SCALE:
1/4" = 1'-0"
DATE:
1 10 JUL 14

A200

11/12/2014 4:22:28 PM - J:\dwg\04 - 5-7 Elm Street - Newton - DWG\04 - 5-7 Elm Street - Newton - Proposed.dwg, 344 DSC



1 LEFT ELEVATION
1/4" = 1'-0"



2 ELM STREET ELEVATION
1/4" = 1'-0"



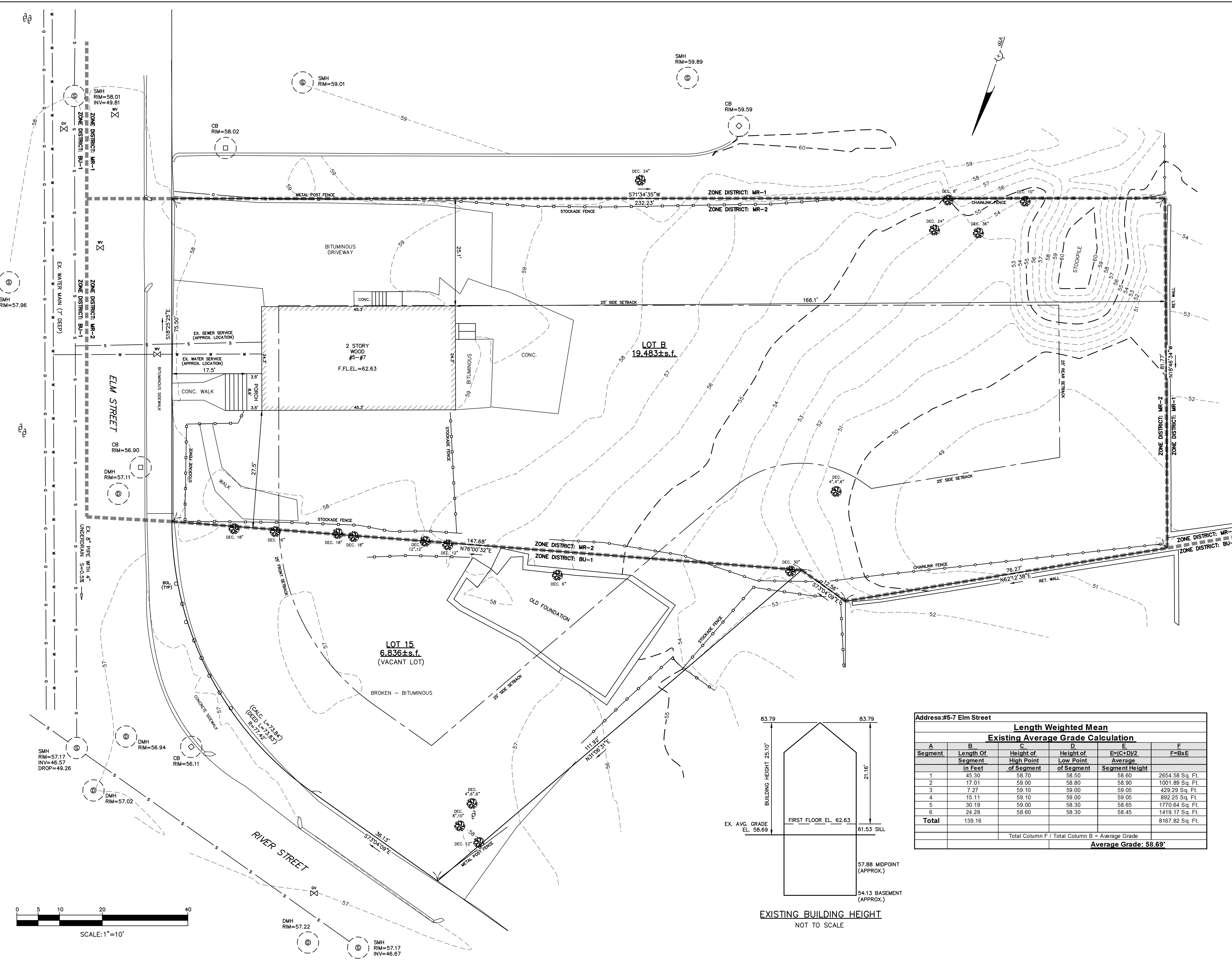
SpaceCraft Architecture, Inc.
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ELEVATIONS
5-7 ELM STREET RESIDENCE - UNITS 3 & 4
5-7 ELM STREET
NEWTON, MA 02465

SCALE:
1/4" = 1'-0"
DATE:
1 10 JUL 14

A201

21412.dwg (3/2014)



LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
CONTOUR	- 70 -
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	C
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22"
CONIFEROUS TREE	CON. 12"

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: MR-2 (NEW)	SUBMISSION: EXISTING	
REGULATION	REQUIRED	LOT B
LOT AREA	10,000s.f.	19,483±s.f.
LOT FRONTAGE	80.0'	75.50'
FRONT SETBACK	25.0'	17.5'
SIDE SETBACK	10.0'/25.0'*	25.1'
REAR SETBACK	15.0'/25.0'*	166.1'
BUILDING HEIGHT	36.0'	25.10'
AVERAGE GRADE	-	58.69
LOT COVERAGE	30.0%	5.8%
OPEN SPACE	50.0%	86.1%

*ATTACHED DWELLING.

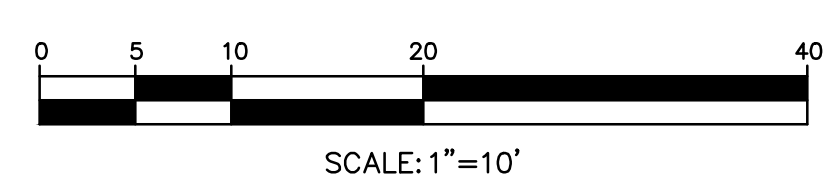
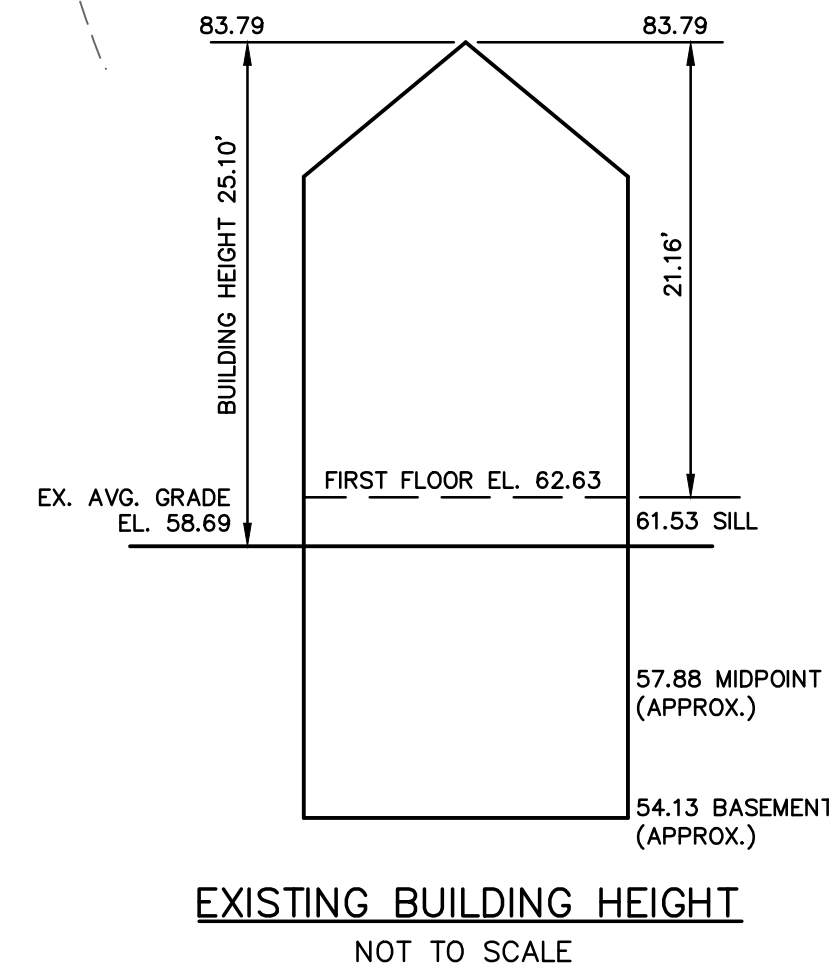
ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: BU-1 (As Of Right)	SUBMISSION: EXISTING	
REGULATION	REQUIRED	LOT 15 (Vacant Lot)
LOT AREA	10,000s.f.	6,836±s.f.
FRONT SETBACK	Avg.	-
SIDE SETBACK	1/2 bldg.ht.	-
REAR SETBACK	0	-
BUILDING HEIGHT	24'/2 Story	-

Address: #5-7 Elm Street

Length Weighted Mean Existing Average Grade Calculation

Segment	A	B	C	D	E	F
	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE	
1	45.30	58.70	58.50	58.60	2654.58 Sq. Ft.	
2	17.01	59.00	58.80	58.90	1001.89 Sq. Ft.	
3	7.27	59.10	59.00	59.05	429.29 Sq. Ft.	
4	15.11	59.10	59.00	59.05	892.25 Sq. Ft.	
5	30.19	59.00	58.30	58.65	1770.64 Sq. Ft.	
6	24.28	58.60	58.30	58.45	1419.17 Sq. Ft.	
Total	139.16				8167.82 Sq. Ft.	
Total Column F / Total Column B = Average Grade						
Average Grade: 58.69'						



TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS

SHOWING EXISTING CONDITIONS AT
#5-#7 ELM STREET
#114 RIVER STREET (VACANT LOT)

SCALE: 1in.=10ft. DATE: MARCH 12, 2014

PROJECT: 214112

VTP ASSOCIATES INC.

LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

SHEET 1 OF 1

UTILITY NOTES:

THE NEW SEWER SERVICE(S) AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS RECEIVED BY THE CITY ENGINEER.

THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. FAILING TO HAVE THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE AND DRAINAGE SYSTEM INSTALLATION. THE UTILITIES IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACK FILLING SHALL ONLY TAKE PLACE WHEN THE CITY INSPECTOR HAS GIVEN THEIR APPROVAL.

PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, THE APPLICANT'S ENGINEER SHALL SUBMIT TO THE ENGINEERING DIVISION AN AS BUILT DRAWING IN DIGITAL AND HARD COPY FORMAT

IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.

No excavation is allowed within any City right-of-way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via the City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant's representative must contact the City of Newton Engineering Department prior to start of work for clarification.

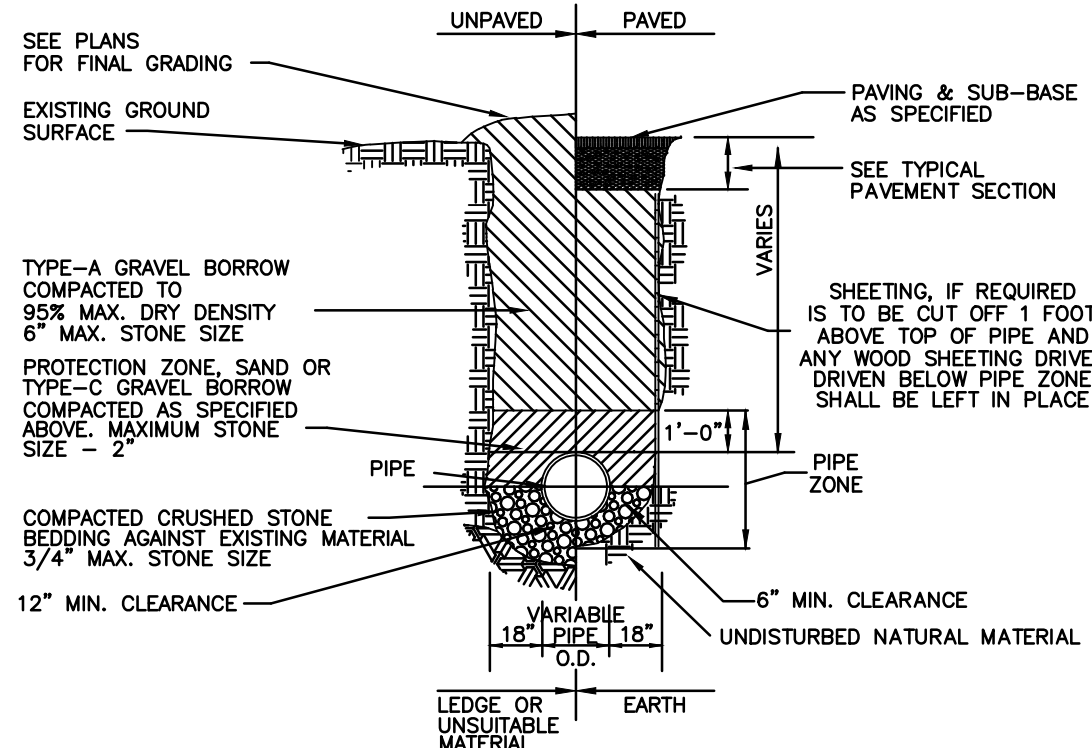
The new water and sewer services must be in-place AND accepted by the Engineering Division prior to the issuance of the Certificate of Occupancy.

As of March 1, 2009, all trench excavation contractors shall comply with Massachusetts General Laws Chapter 82A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to unattended trenches. Trench Excavation Permit required. This applies to all trenches on public and private property.

The Applicant will have to apply for Street Opening, Utility Connection and Trench Permits as well as an Install Curb & Sidewalk Permit with the DPW prior to start of work.

With the exception of gas services, all utility trenches within the City of Newton right-of-way will be backfilled with Type IE (excavatable) controlled density fill, as specified by the City of Newton Engineering Specifications.

Approval of this plan by the City of Newton Engineering Division implies that the plan meets the minimal design standards of the City of Newton. However, the Engineering Division makes no representations and assumes no responsibility for the design(s) in terms of suitability for the particular site conditions or of the functionality or performance of any items constructed in accordance with the design(s). The City of Newton assumes no liabilities for design assumption, errors or omissions by the Engineer of Record.



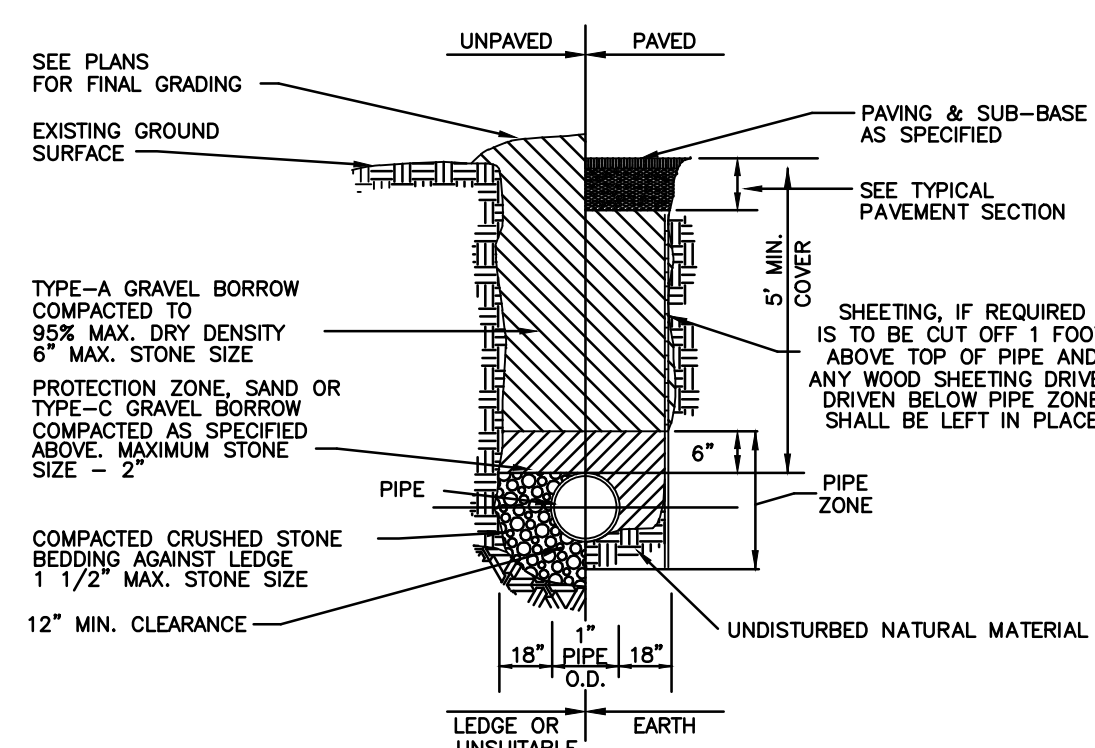
* SUITABILITY OF MATERIALS IS TO BE DETERMINED BY THE CITY OF NEWTON.

TYPICAL P.V.C. DRAIN TRENCH DETAIL

NOT TO SCALE

- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.



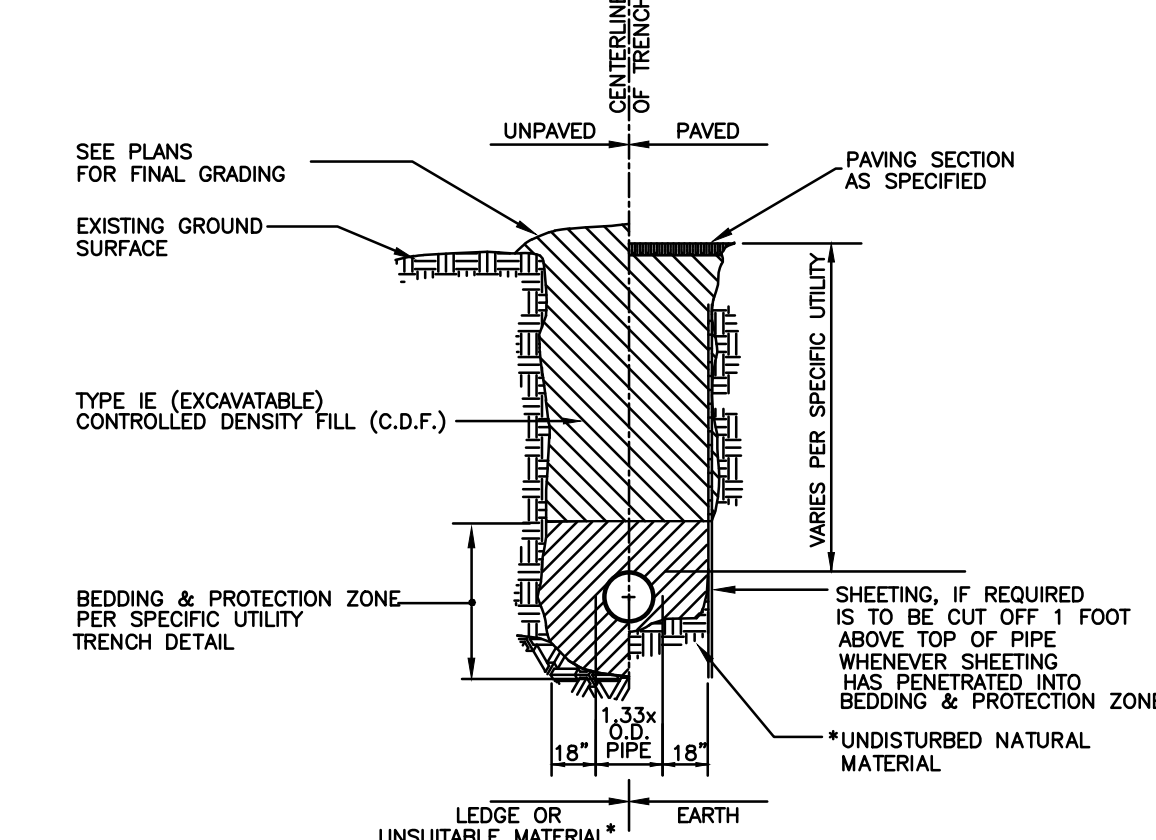
* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

TYPICAL WATER TRENCH DETAIL

NOT TO SCALE

- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

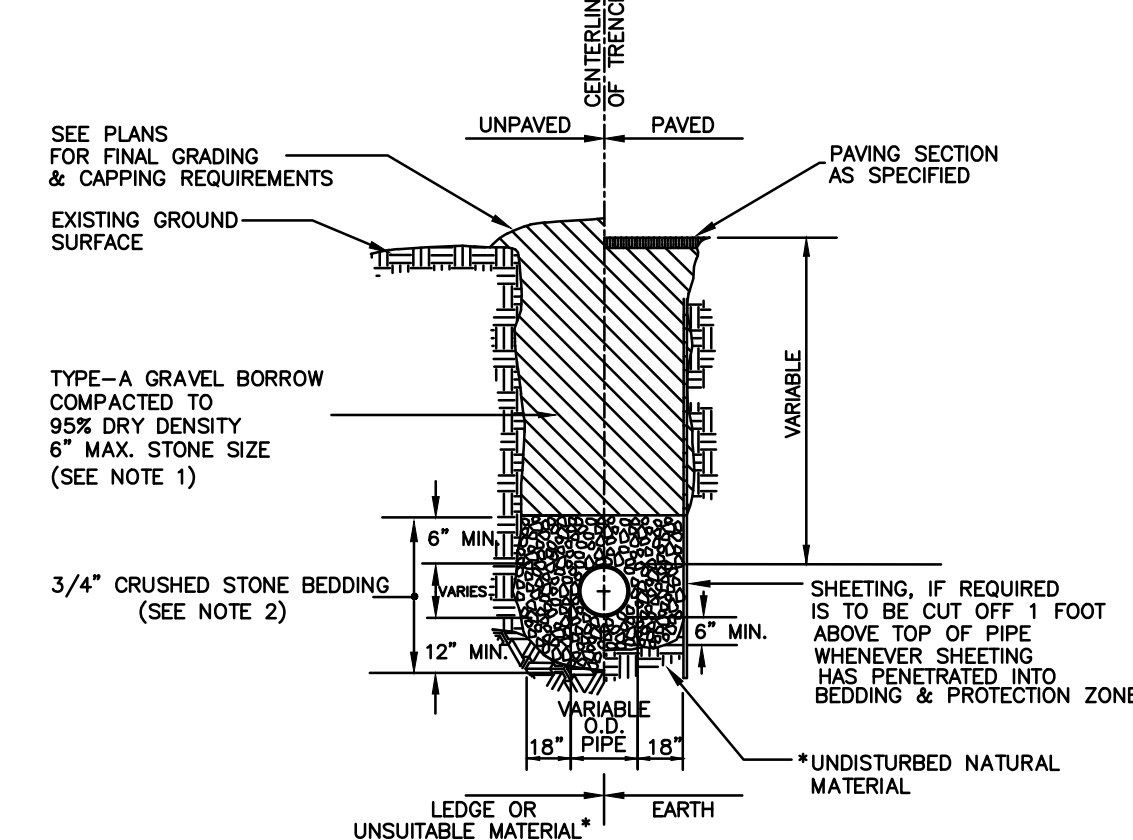
* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.



* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

TYPICAL C.D.F. TRENCH DETAIL

NOT TO SCALE



* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

GRAVITY SEWER TRENCH DETAIL

NOT TO SCALE

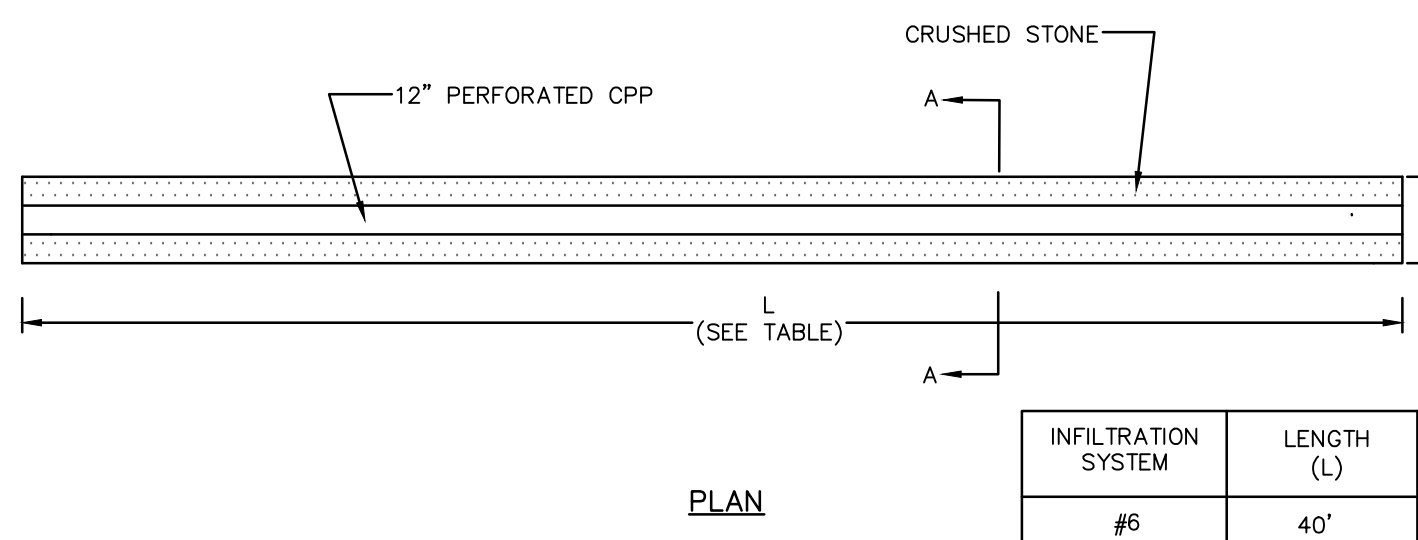
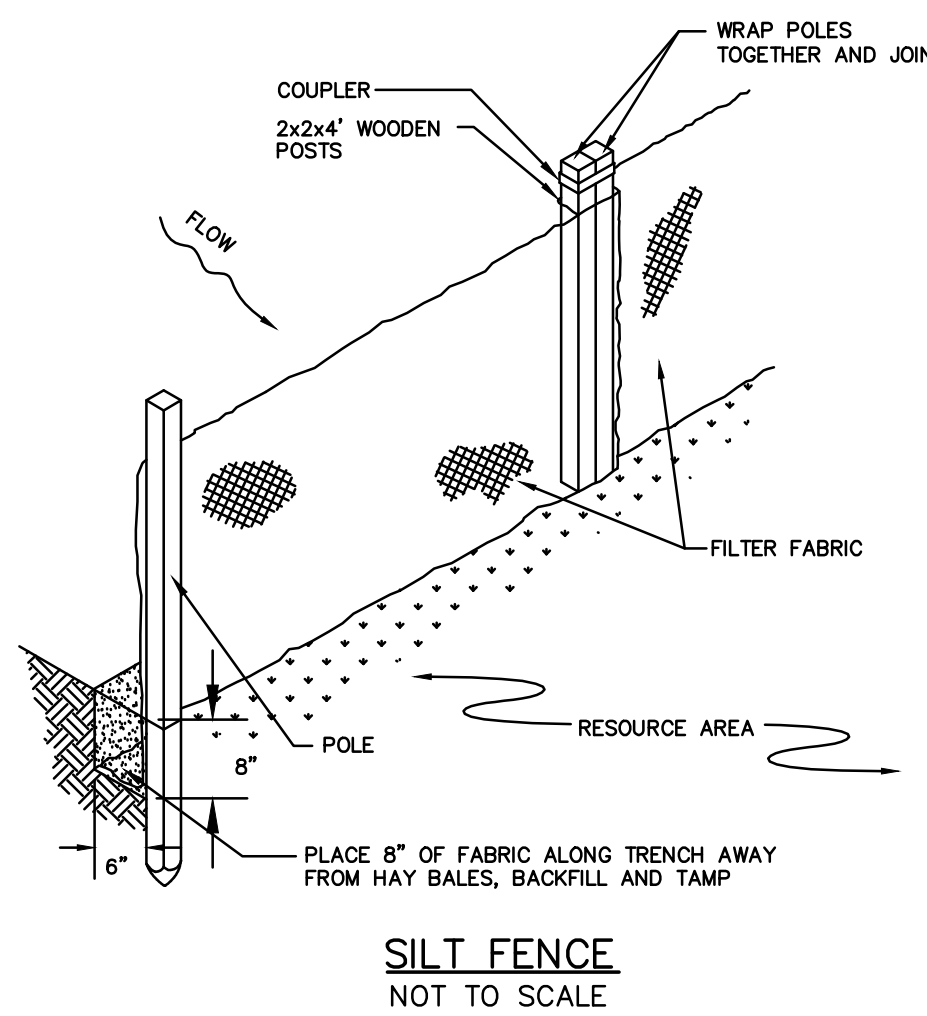
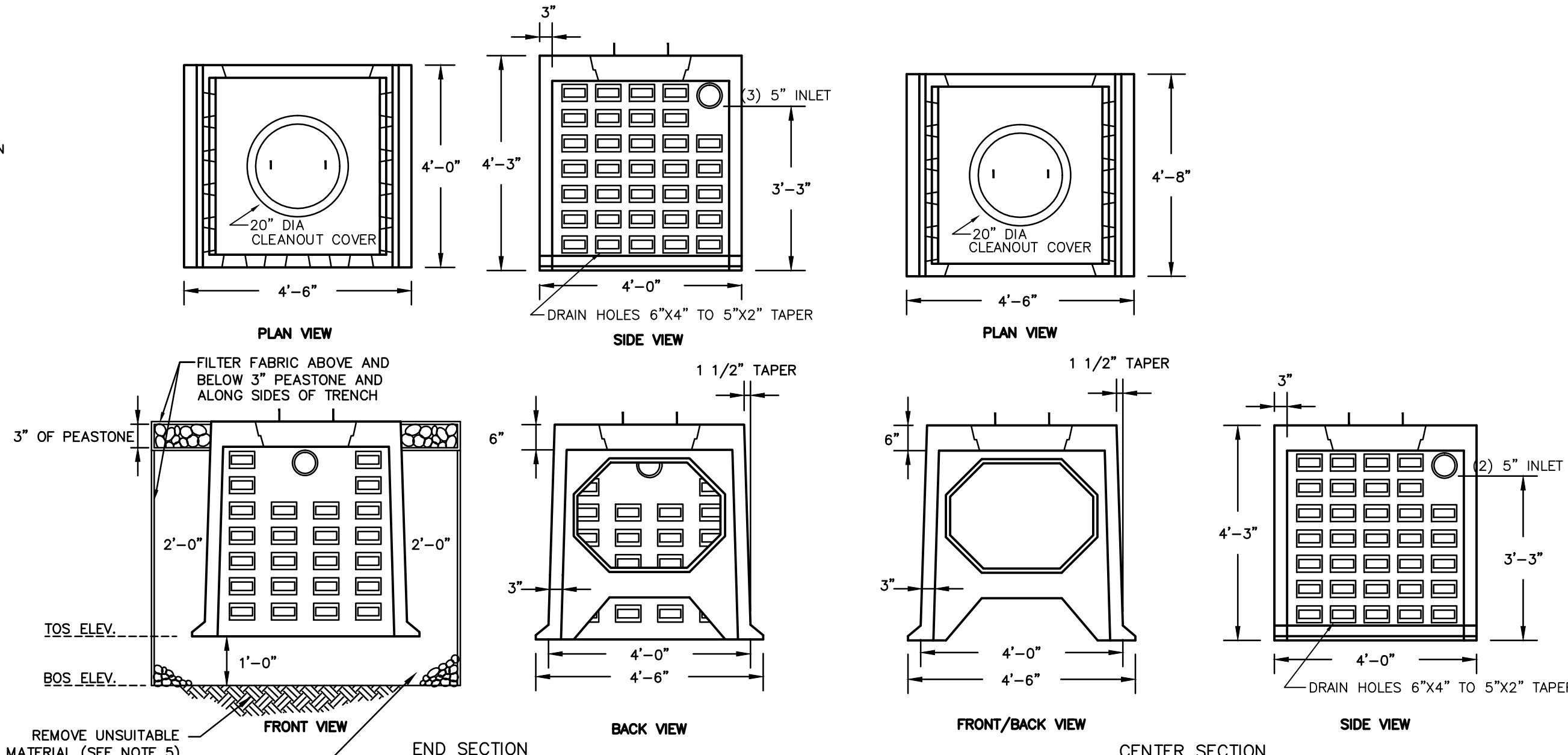


Table with 2 columns: INFILTRATION SYSTEM (#6), LENGTH (L) (40')



SILT FENCE

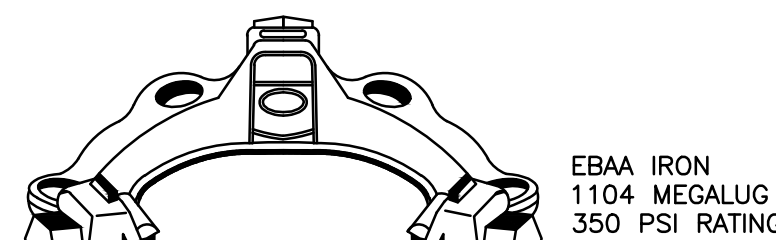
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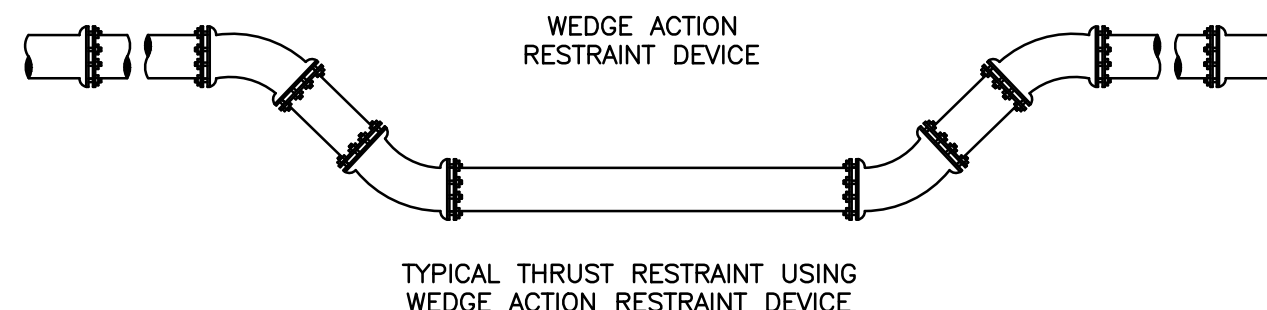
GALLEY SECTIONS

NOT TO SCALE

- NOTES: 1. MINIMUM OF 1-FOOT OF COVER
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
3. ALSO AVAILABLE IN H-20 LOADING.
4. SECTIONS AVAILABLE WITHOUT 20" CLEANOUT.
5. EXCAVATION OF UNSUITABLE MATERIAL WILL EXTEND FIVE FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE GALLEY SECTIONS AND TO A DEPTH OF NATURALLY OCCURRING PERVIOUS MATERIAL. UNSUITABLE MATERIAL WILL BE REPLACED WITH GRAVEL BORROW(MHD M1.03.0 TYPE "B") COMPACTED IN 6" LAYERS.



EBAA IRON 1104 MEGALUG 350 PSI RATING

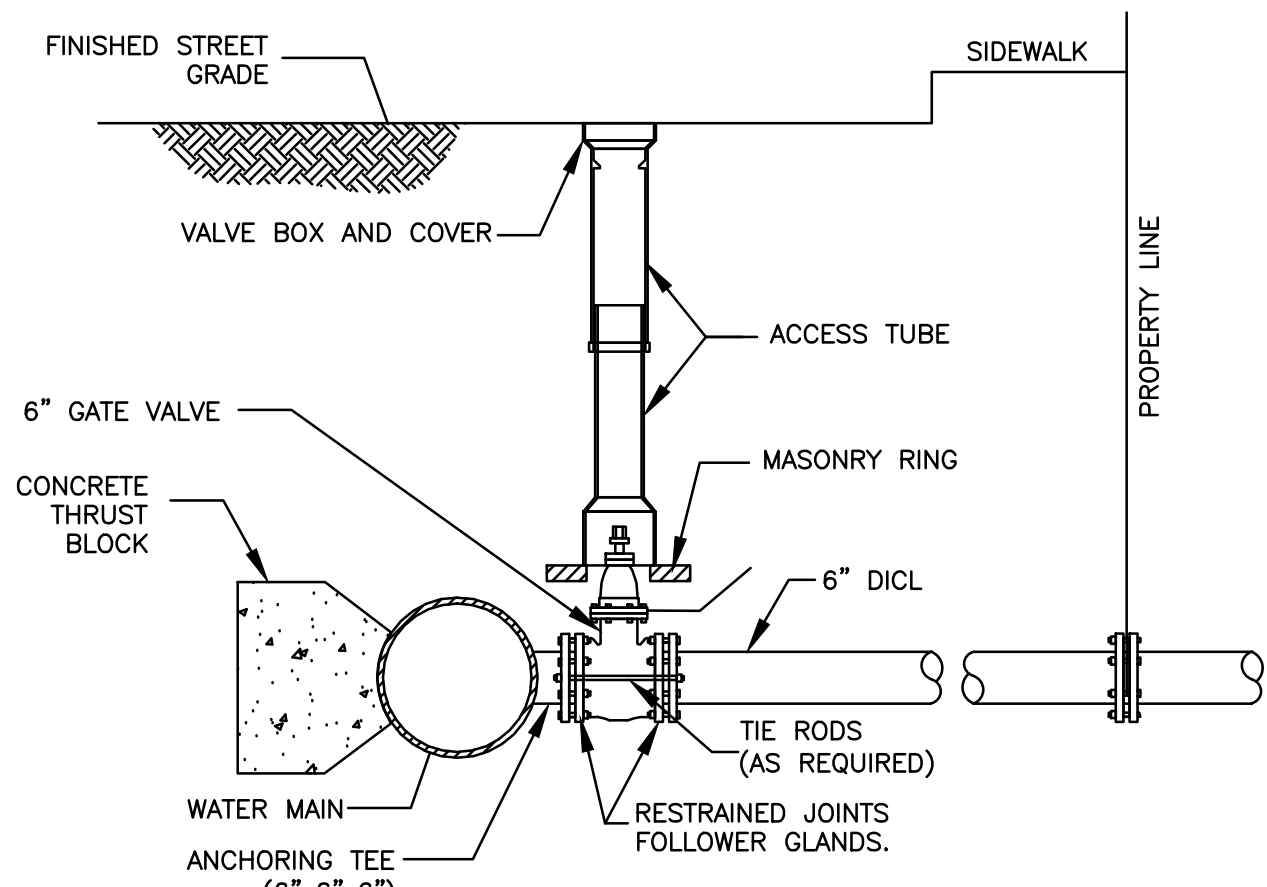


MEGALUG MECHANICAL JOINT

WATER CONNECTION

1" SERVICE PIPES

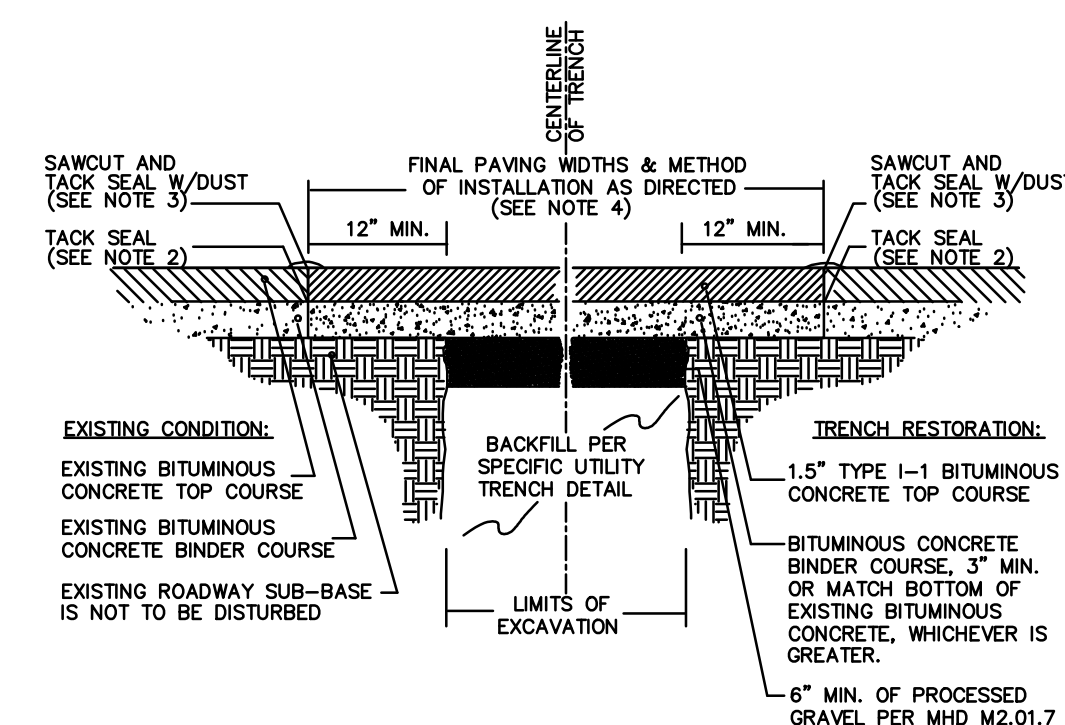
NOT TO SCALE



WATER CONNECTION DETAIL

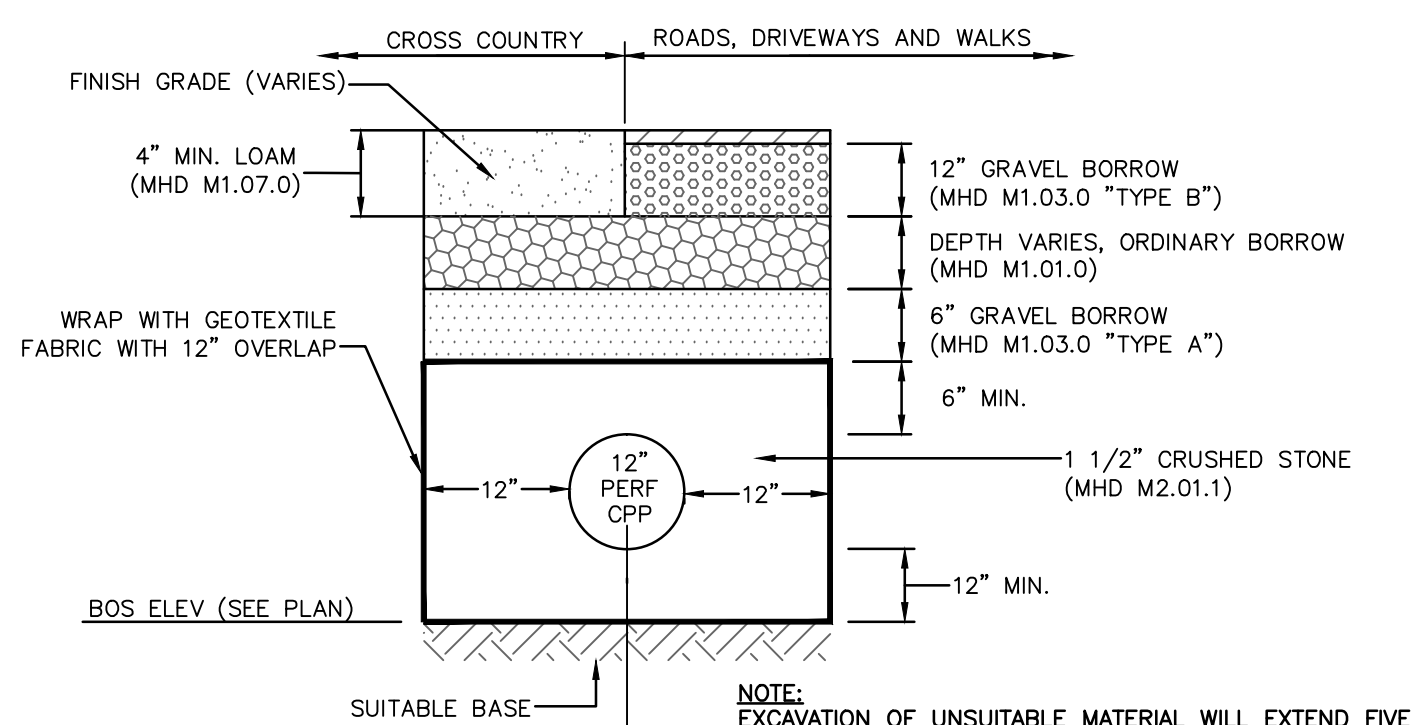
NOT TO SCALE

- NOTES: - CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
- USE RESTRAINED JOINT FOLLOWER GLANDS, OR TIE RODS, WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
- SIZE OF BLOCK OR FITTING TO BE DESIGNED FOR SPECIFIC CONDITIONS, OR ANY NECESSARY BENDS.



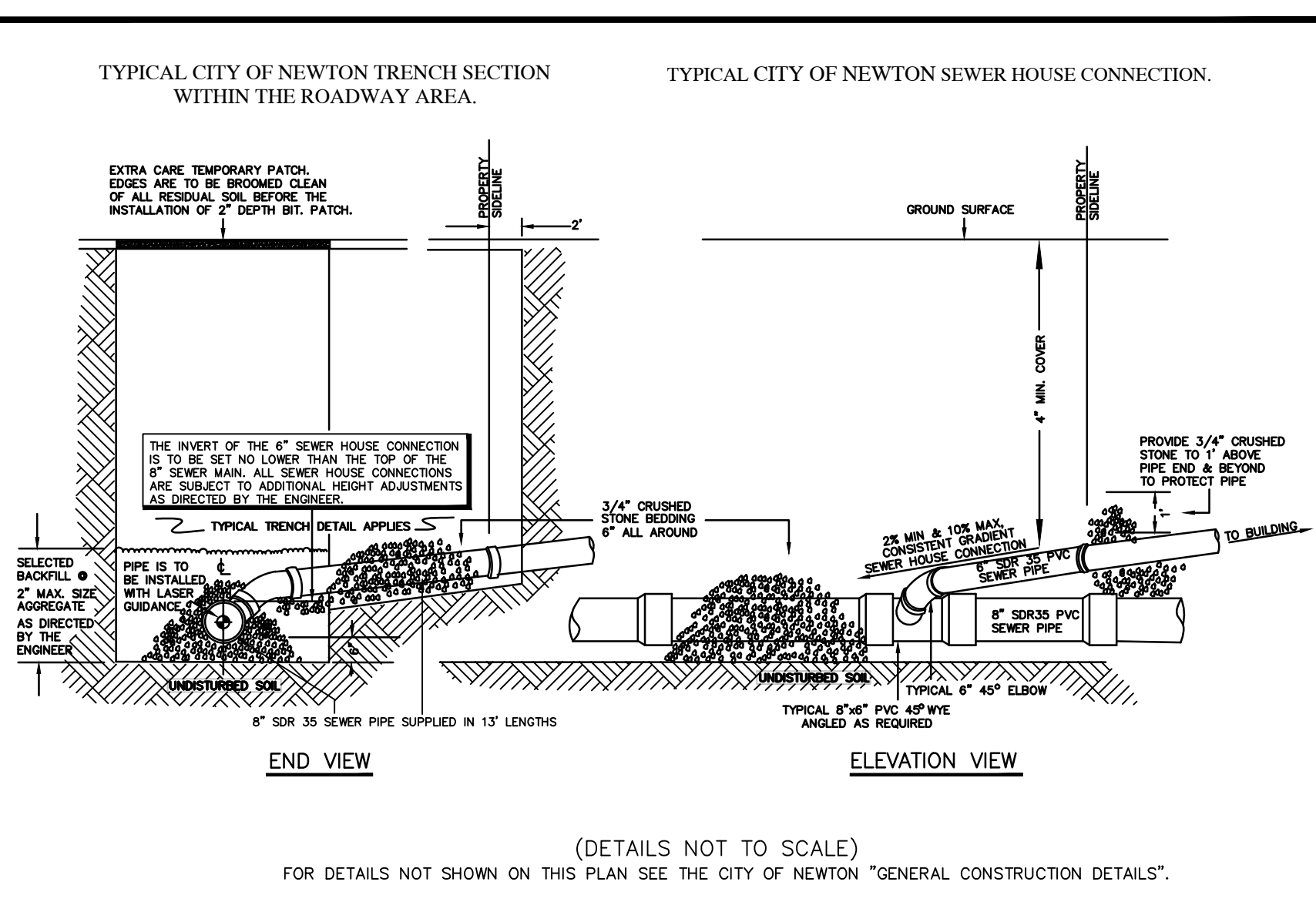
TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL (1/2)

NOT TO SCALE



UNDERGROUND INFILTRATION SYSTEM #6

NOT TO SCALE



(DETAILS NOT TO SCALE)

FOR DETAILS NOT SHOWN ON THIS PLAN SEE THE CITY OF NEWTON "GENERAL CONSTRUCTION DETAILS".

DIG SAFE

EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-DIG-SAFE. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



DETAIL-2 NEWTON, MASSACHUSETTS

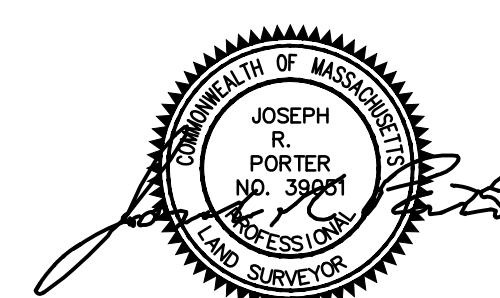
SHOWING PROPOSED CONDITIONS AT #5-#7 ELM STREET #114 RIVER STREET (VACANT LOT) SCALE: AS-SHOWN DATE: JUNE 6, 2014

PROJECT: 214112

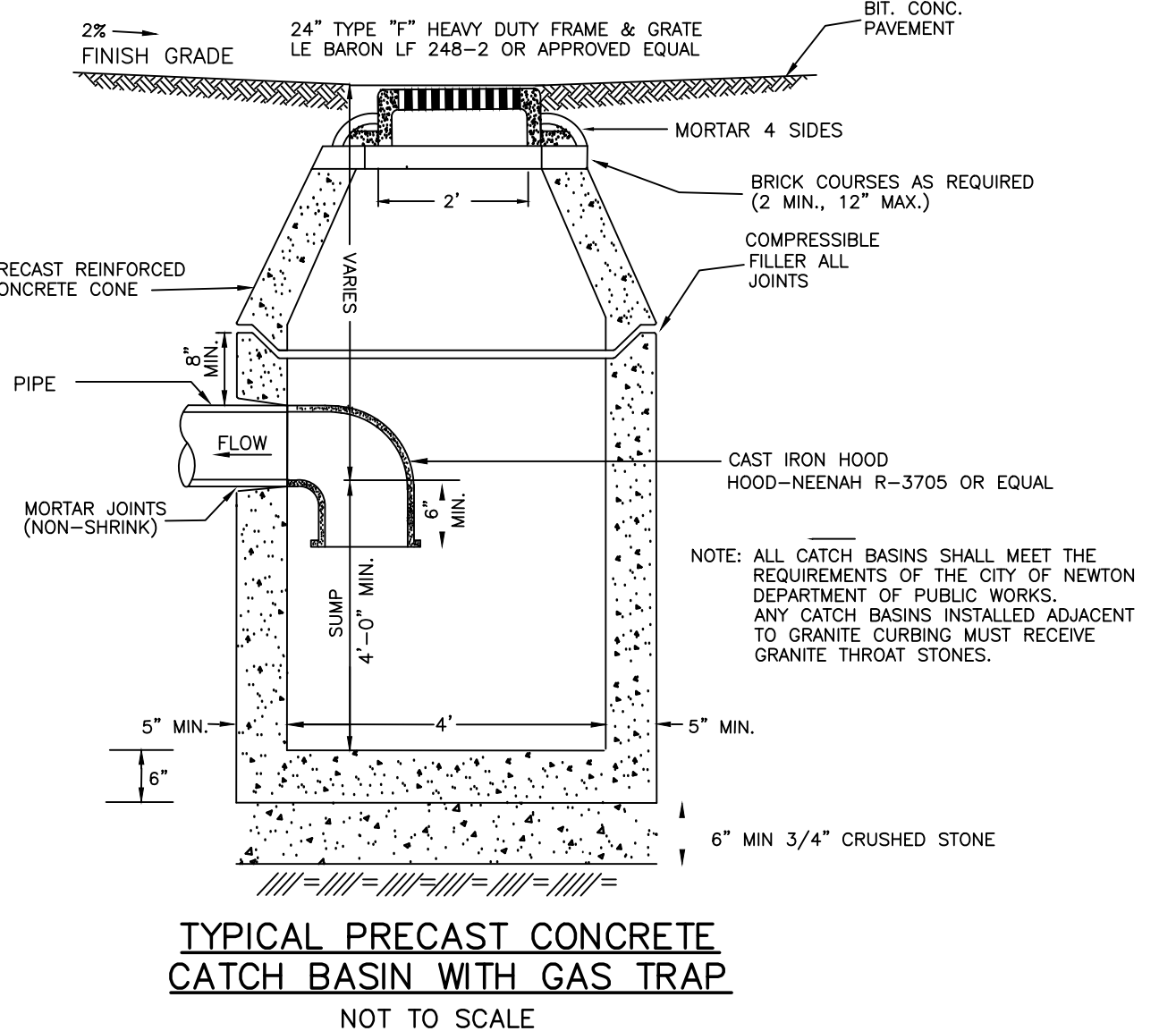
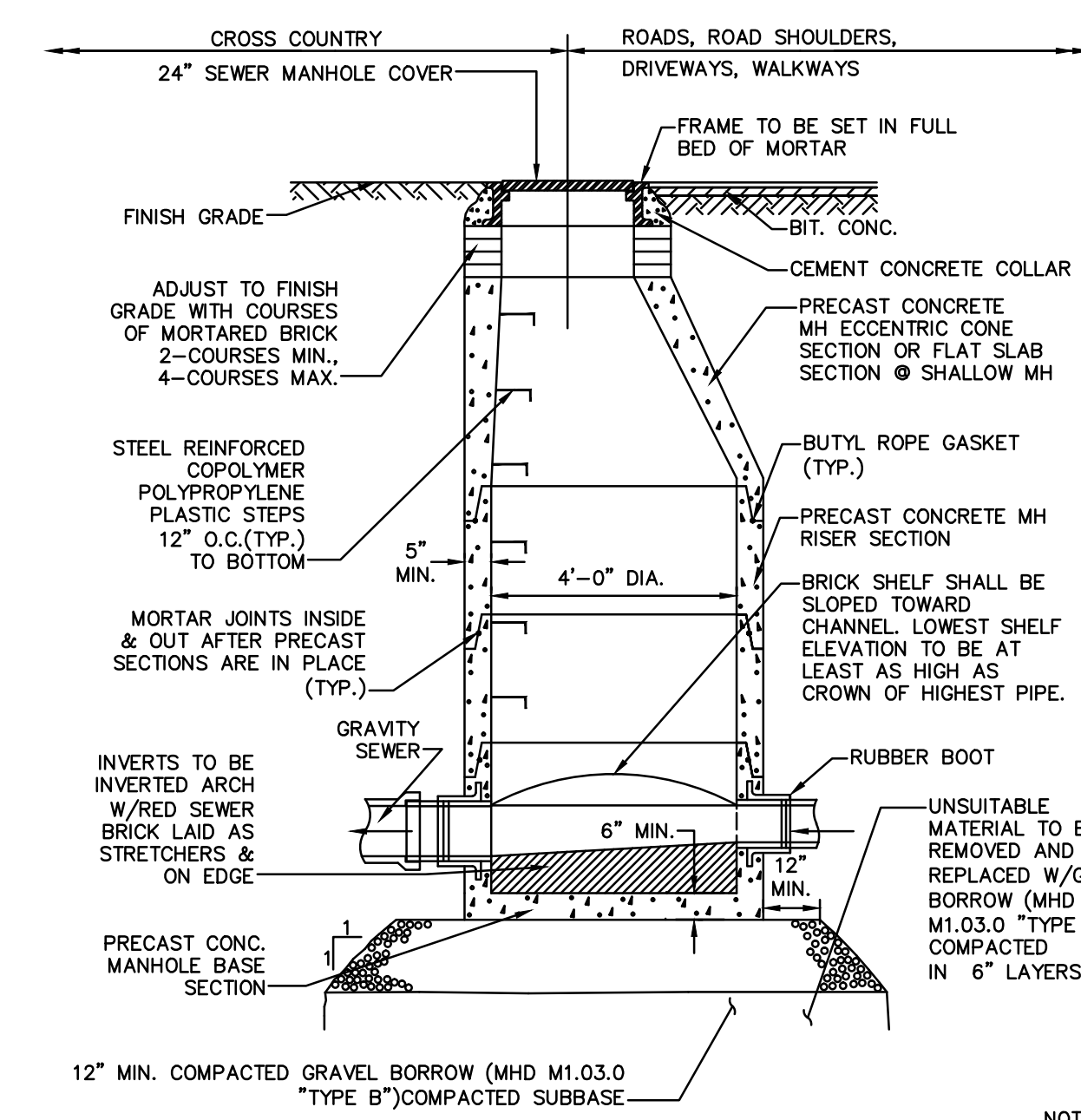
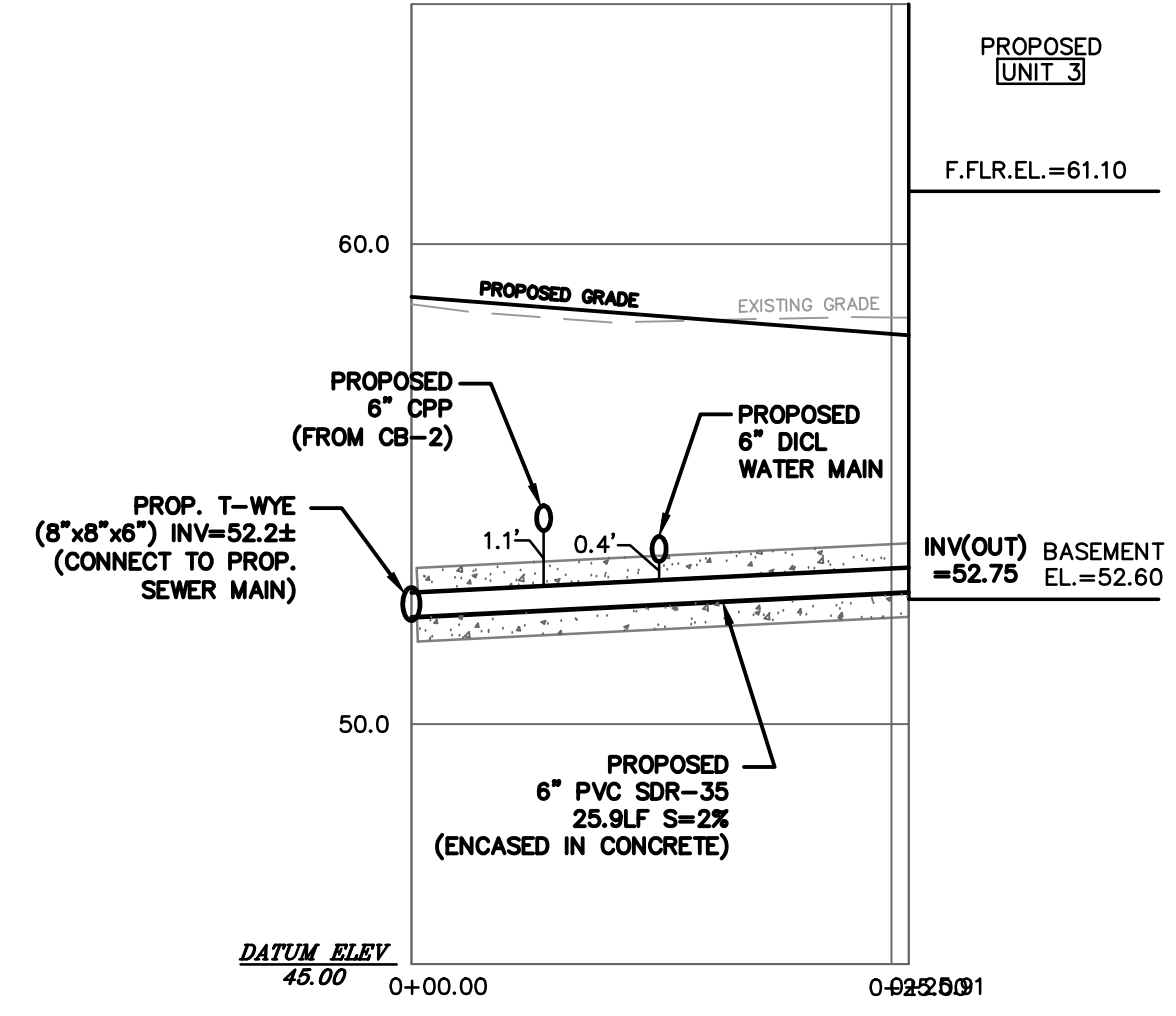
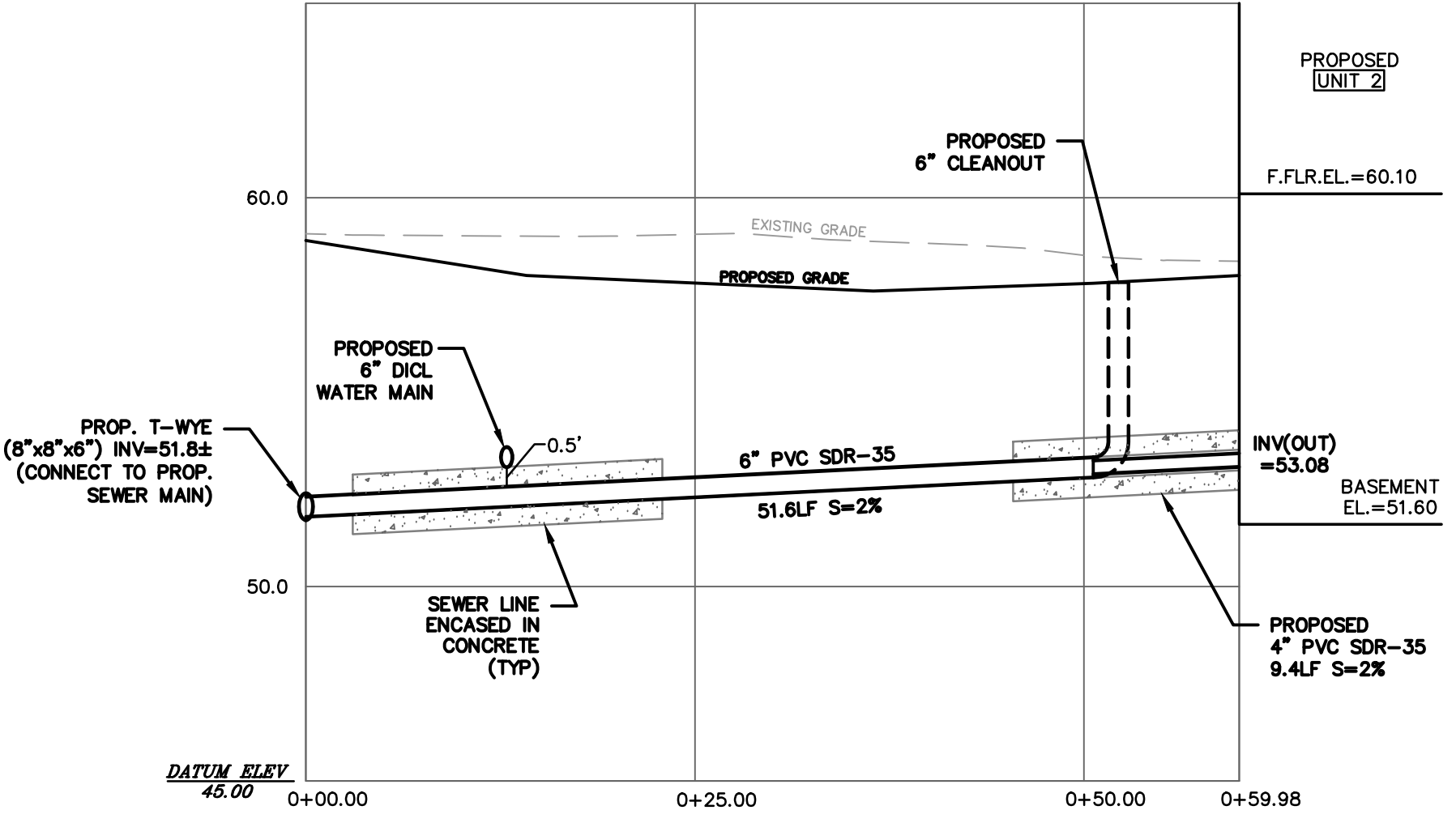
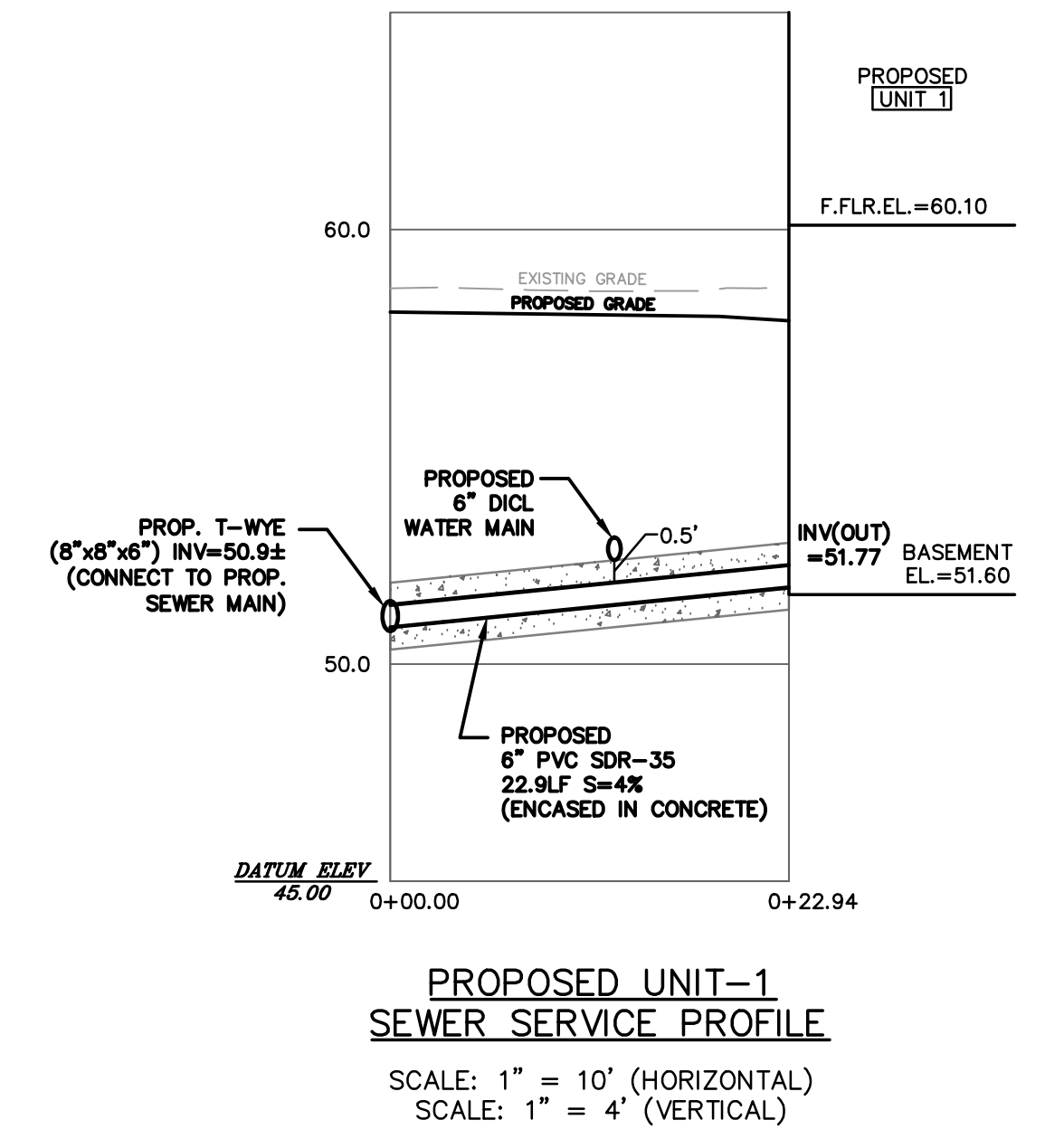
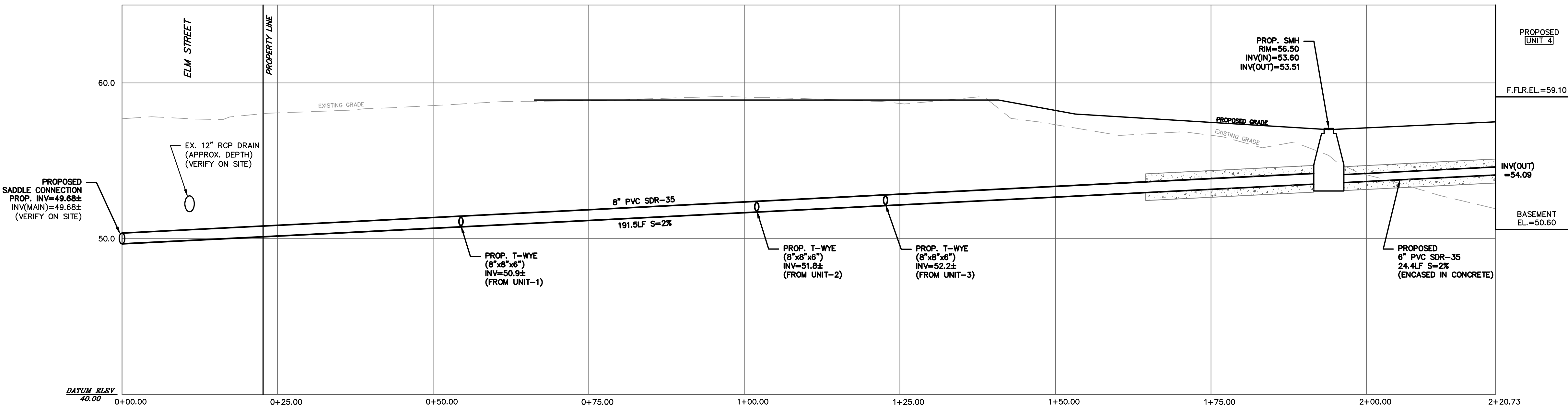
VTP ASSOCIATES INC.

LAND SURVEYORS - CIVIL ENGINEERS, 132 ADAMS STREET 2ND FLOOR SUITE 3 NEWTON, MA 02458 (617) 332-8271

SHEET 4 OF 4

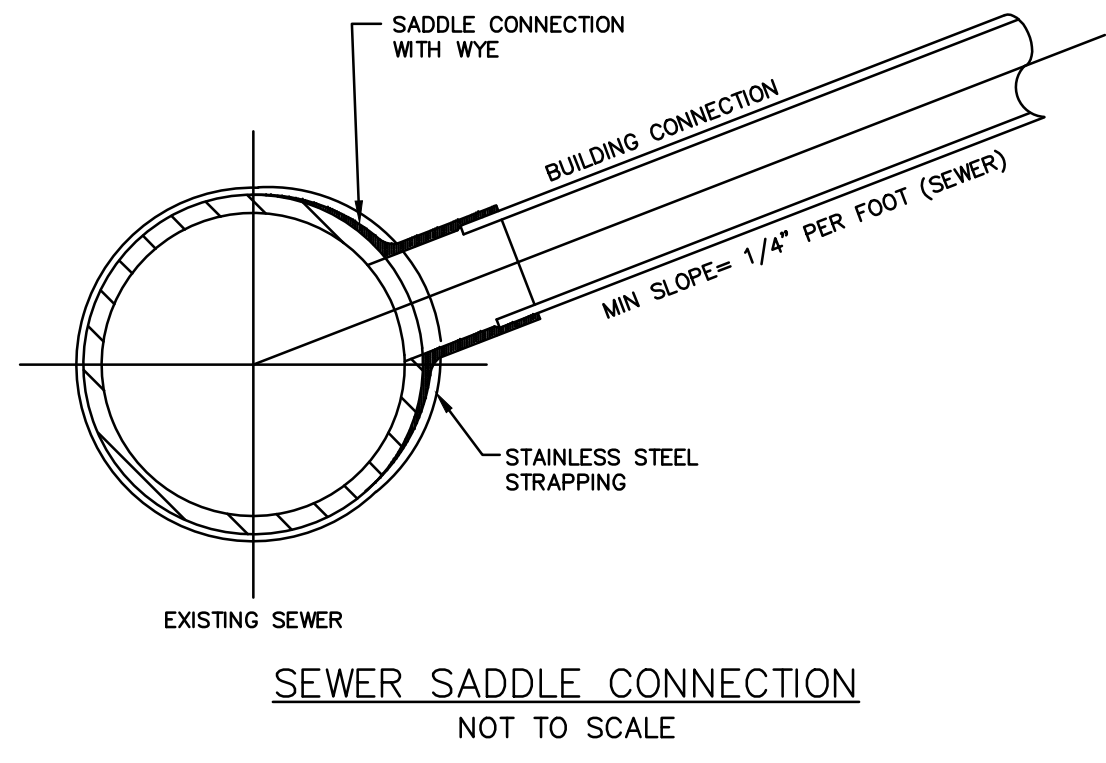
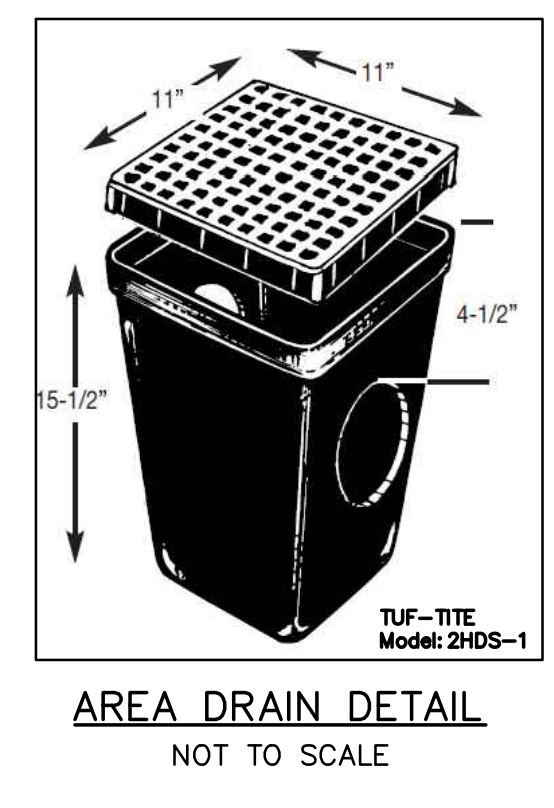
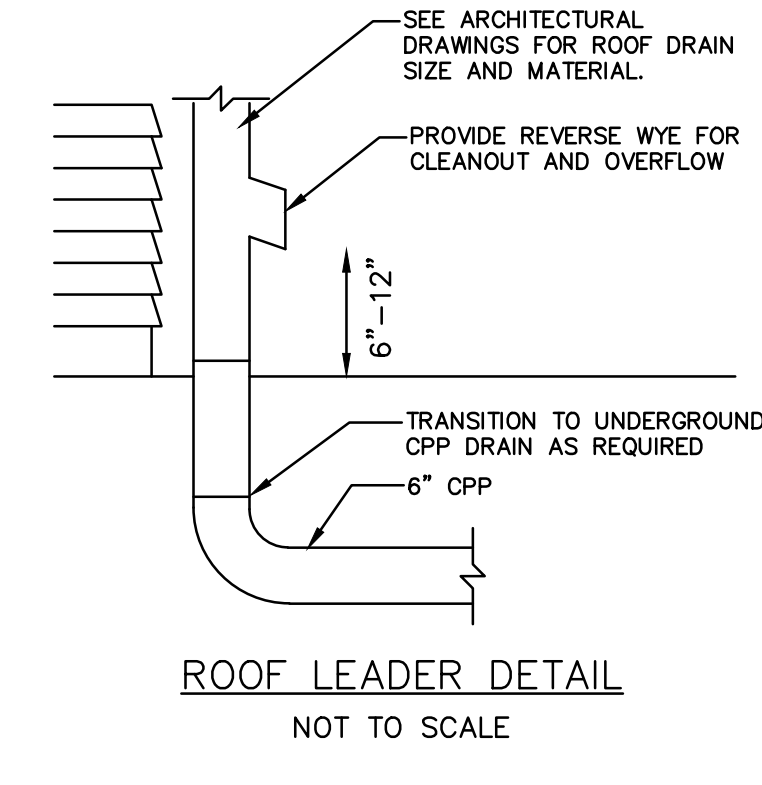
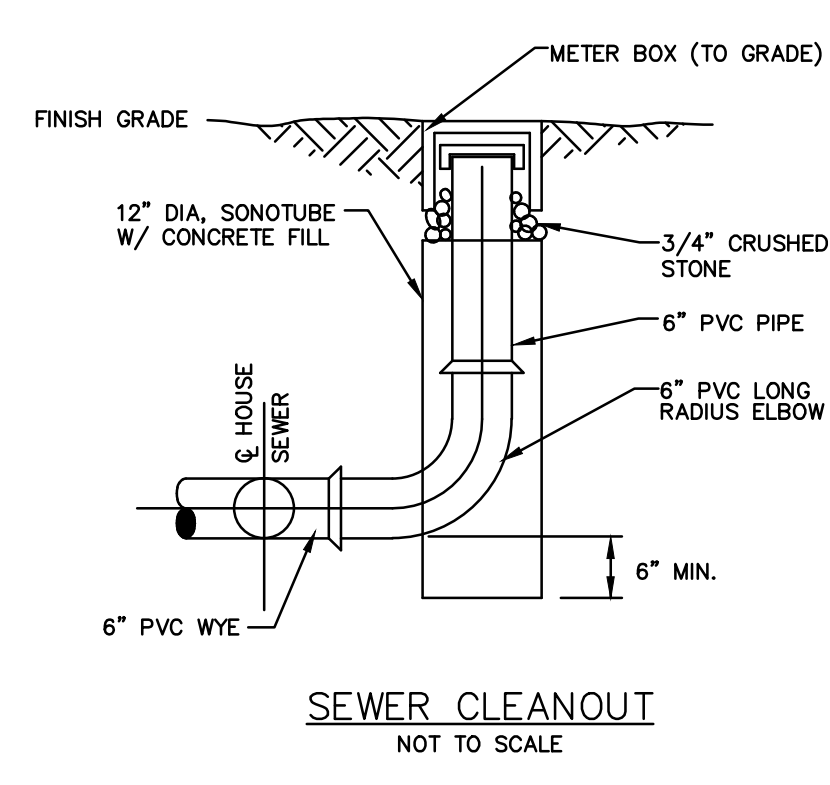
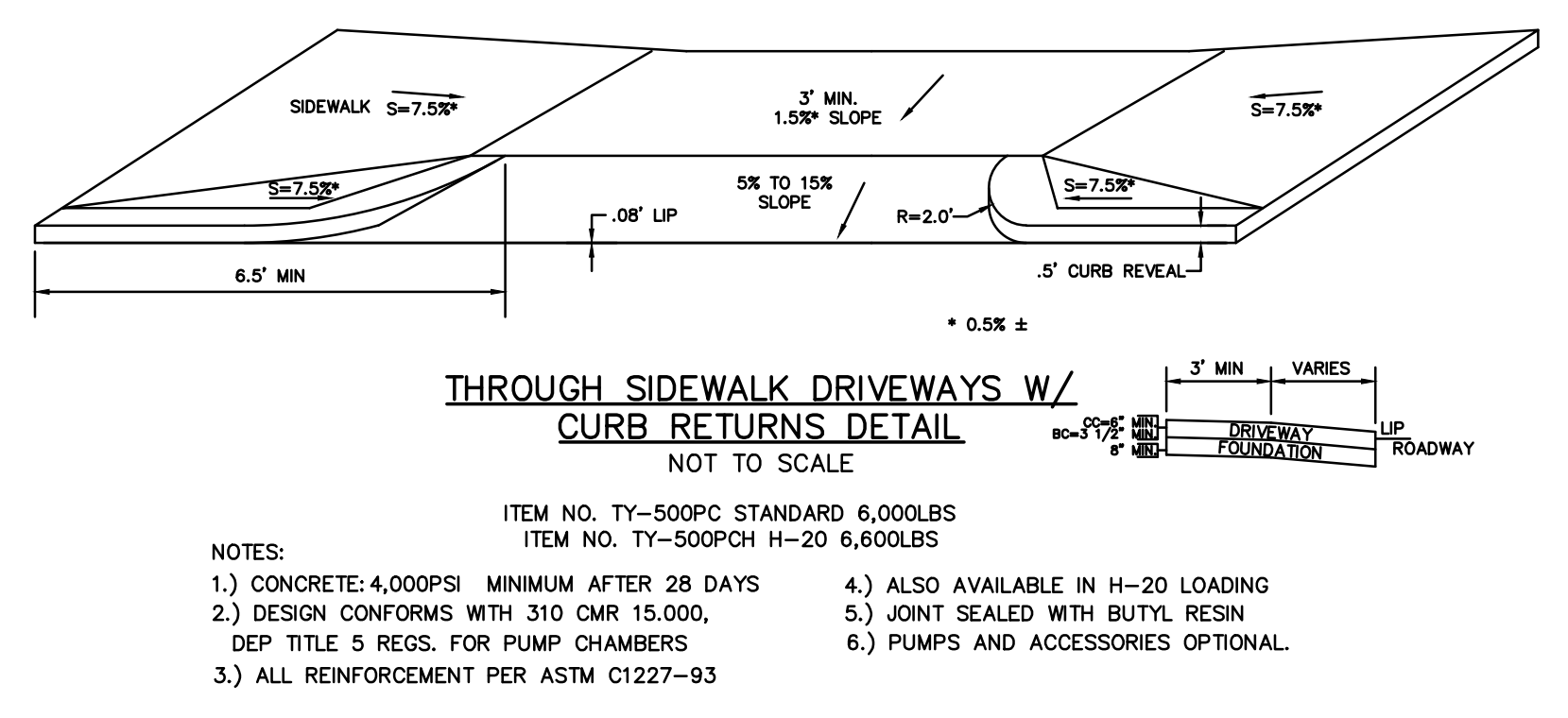


214120a.dwg (2/2023)



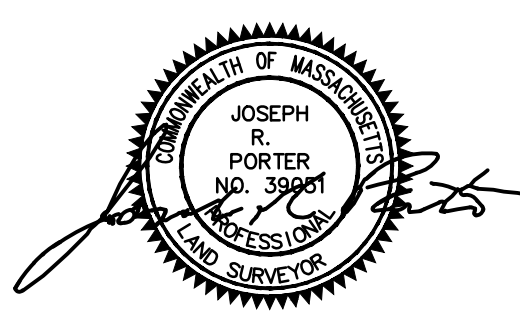
- NOTES:**
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ON TO PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

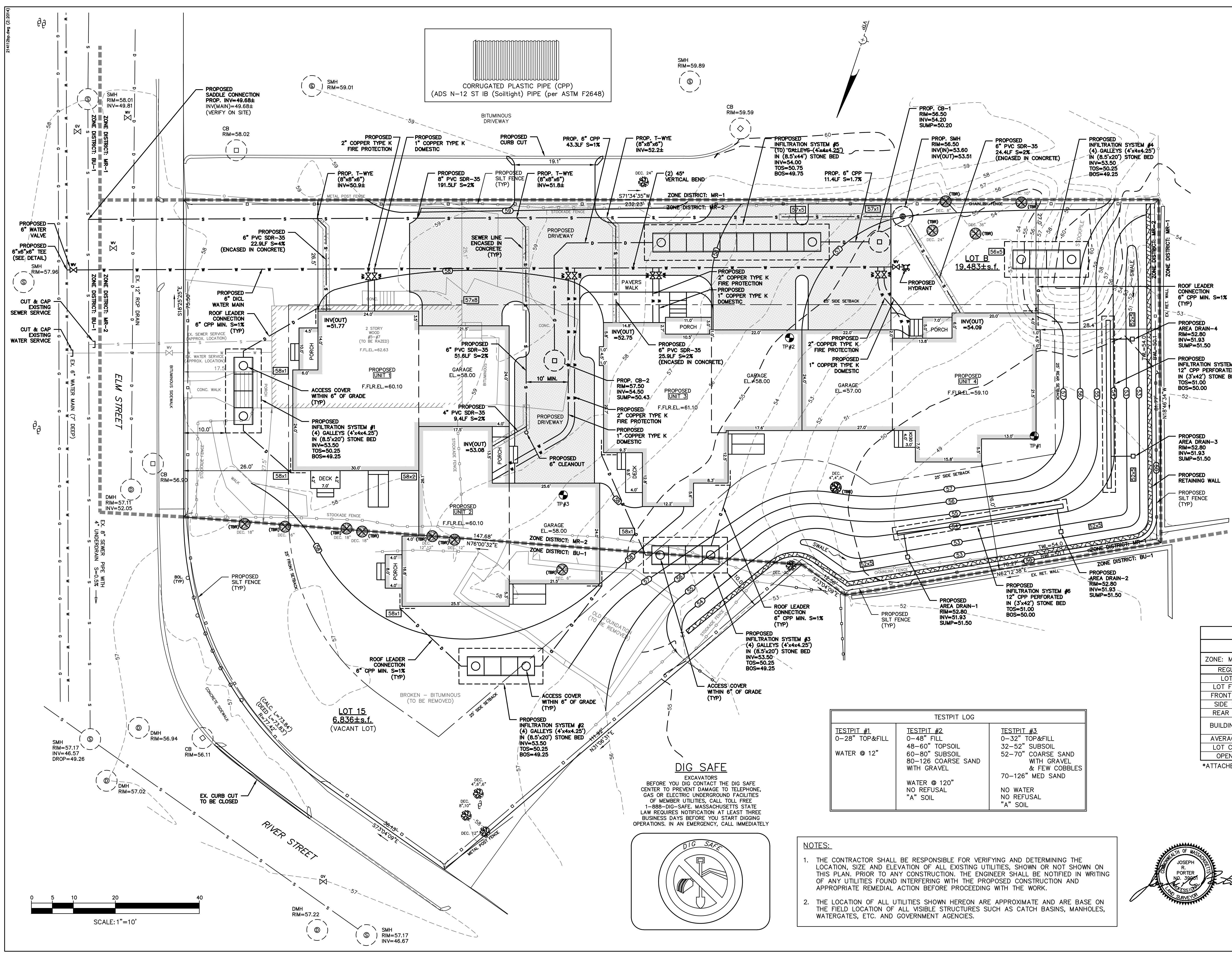
DIG SAFE
 EXCAVATORS
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DETAIL-1
 NEWTON, MASSACHUSETTS
 SHOWING PROPOSED CONDITIONS AT
 #5-#7 ELM STREET
 #114 RIVER STREET (VACANT LOT)
 SCALE: AS-SHOWN DATE: JUNE 6, 2014

PROJECT: 214112
VTP ASSOCIATES
 INC.
 LAND SURVEYORS - CIVIL ENGINEERS, 132
 ADAMS STREET 2ND FLOOR SUITE 3
 NEWTON, MA 02458
 (617) 332-8271
 SHEET 3 OF 4





LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
CONTOUR	- 70 -
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	G
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22'
CONIFEROUS TREE	CON. 12'

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: BU-1 SUBMISSION: EXISTING
(As Of Right)

REGULATION	REQUIRED	LOT 15 (Vacant Lot)
LOT AREA	10,000s.f.	6,836±s.f.
FRONT SETBACK	Avg.	-
SIDE SETBACK	1/2 bldg.ht.	-
REAR SETBACK	0	-
BUILDING HEIGHT	24' 1/2 Story	-

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: MR-2 (NEW) SUBMISSION: BLDG. PERMIT

REGULATION	REQUIRED	LOT B	PROPOSED
LOT AREA	10,000s.f.	19,483±s.f.	26,319±s.f.
LOT FRONTAGE	80.0'	75.50'	189.05'
FRONT SETBACK	25.0'	17.5'	26.0'
SIDE SETBACK	10.0'/25.0'*	25.1'	26.0'
REAR SETBACK	15.0'/25.0'*	166.1'	28.4'
BUILDING HEIGHT	36.0'	25.10'	31.04'/30.12' 32.50'/30.50'
AVERAGE GRADE	-	58.69	57.98/57.52
LOT COVERAGE	30.0%/25.0%*	5.8%	23.9%
OPEN SPACE	50.0%	86.1%	62.3%

*ATTACHED DWELLING.

TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS

SHOWING PROPOSED CONDITIONS AT
#5-#7 ELM STREET
#114 RIVER STREET (VACANT LOT)

SCALE: 1in.=10ft. DATE: JUNE 6, 2014

PROJECT: 214112

VTP ASSOCIATES INC.

LAND SURVEYORS - CIVIL ENGINEERS, 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

SHEET 2 OF 4

TESTPIT LOG

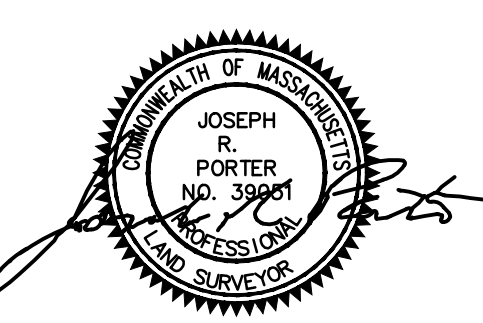
TESTPIT #1	TESTPIT #2	TESTPIT #3
0-28" TOP&FILL	0-48" FILL	0-32" TOP&FILL
WATER @ 12"	48-60" TOPSOIL	32-52" SUBSOIL
	60-80" SUBSOIL	52-70" COARSE SAND
	80-126 COARSE SAND WITH GRAVEL	WITH GRAVEL & FEW COBBLES
		70-126" MED SAND
	WATER @ 120"	NO WATER
	NO REFUSAL	NO REFUSAL
	"A" SOIL	"A" SOIL

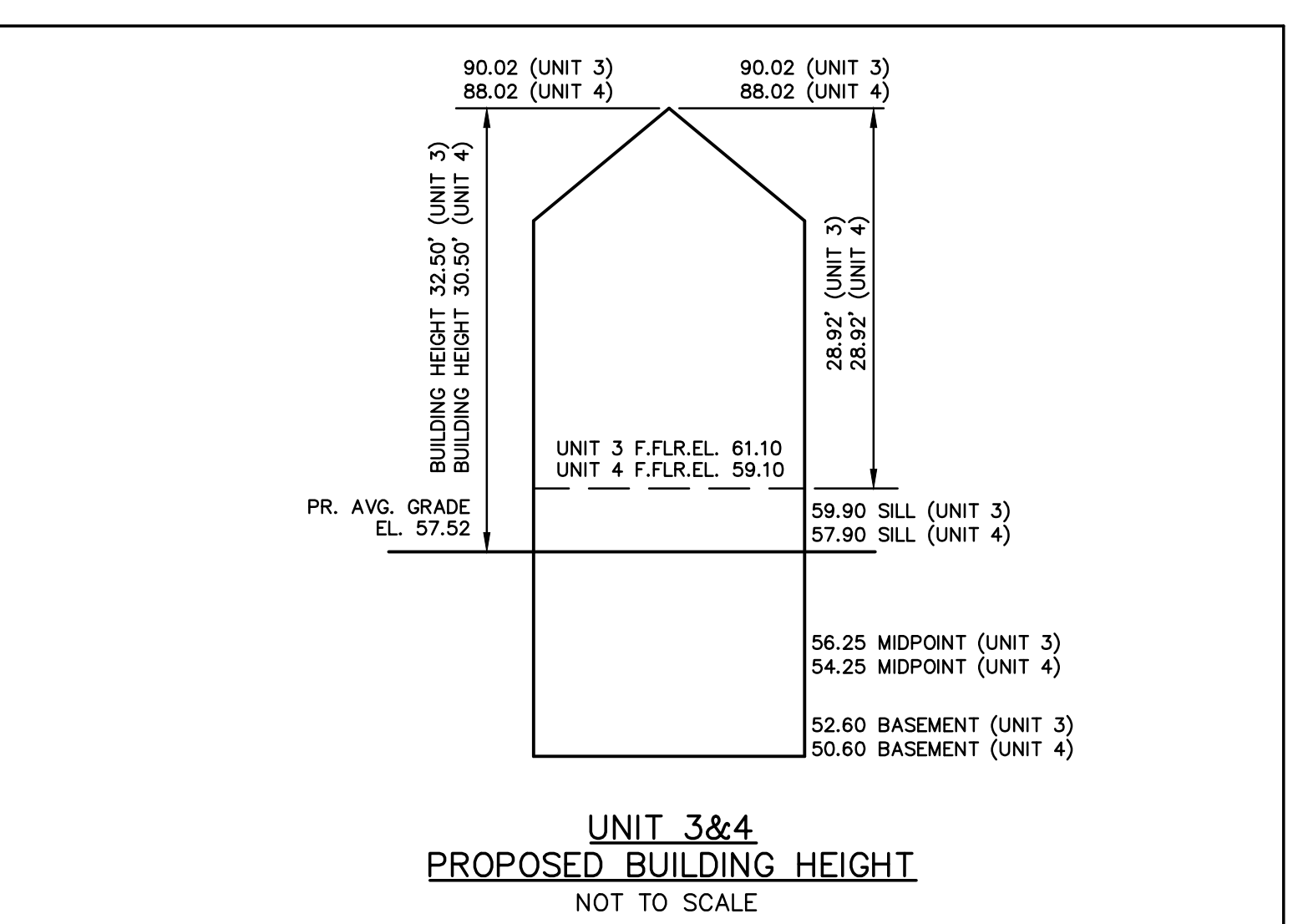
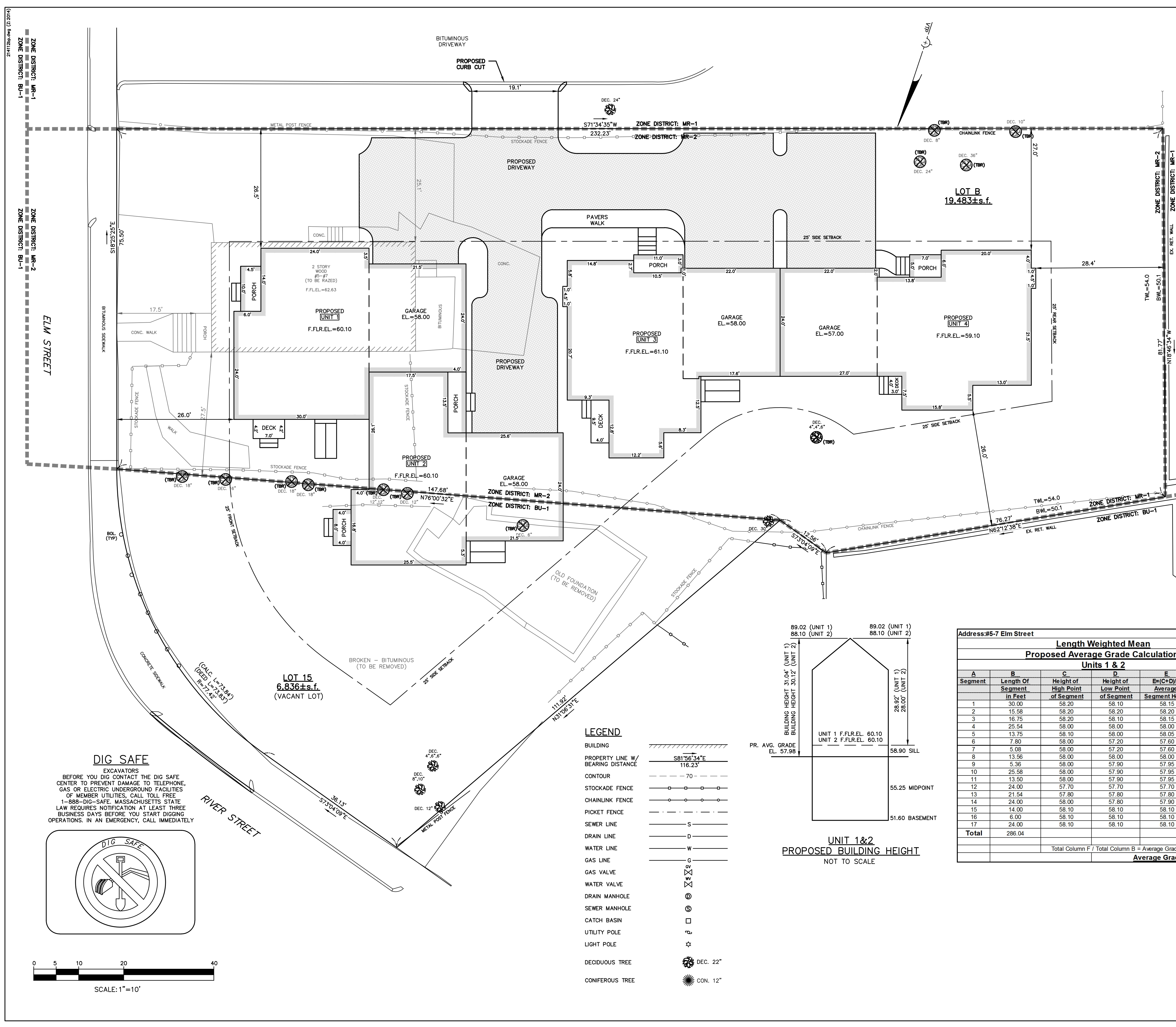
DIG SAFE

EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-DIG-SAFE. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



- NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN. PRIOR TO ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.
 - THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASE ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND GOVERNMENT AGENCIES.





Address #5-7 Elm Street

**Length Weighted Mean
Proposed Average Grade Calculation
Units 3 & 4**

A Segment	B Length Of Segment in Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E E=(C+D)/2 Average Segment Height	F F=BxE
1	9.25	57.90	57.90	57.90	535.58 Sq. Ft.
2	12.83	58.00	57.90	57.95	743.50 Sq. Ft.
3	4.50	58.00	58.00	58.00	261.23 Sq. Ft.
4	7.66	58.00	57.40	57.70	441.98 Sq. Ft.
5	8.25	57.90	57.50	57.60	475.20 Sq. Ft.
6	12.50	58.00	57.50	57.75	721.88 Sq. Ft.
7	44.58	58.00	58.00	58.00	2585.64 Sq. Ft.
8	7.50	58.00	58.00	58.00	435.00 Sq. Ft.
9	15.75	57.10	57.00	57.05	898.54 Sq. Ft.
10	13.00	57.50	57.10	57.30	744.90 Sq. Ft.
11	21.50	57.00	57.00	57.00	1225.50 Sq. Ft.
12	20.00	56.70	56.40	56.55	1131.00 Sq. Ft.
13	6.00	57.00	56.90	56.95	341.70 Sq. Ft.
14	13.75	57.80	56.90	57.35	788.56 Sq. Ft.
15	20.98	57.00	56.90	56.95	1194.81 Sq. Ft.
16	23.02	58.00	57.00	57.50	1323.65 Sq. Ft.
17	10.50	58.10	58.00	58.05	609.53 Sq. Ft.
18	14.75	58.10	58.00	58.05	856.24 Sq. Ft.
19	20.75	57.70	57.70	57.70	1197.28 Sq. Ft.
Total	287.07				16511.69 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 57.52'

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: BU-1 SUBMISSION: EXISTING
(As Of Right)

REGULATION	REQUIRED	LOT 15 (Vacant Lot)
LOT AREA	10,000s.f.	6,836±s.f.
FRONT SETBACK	Avg.	-
SIDE SETBACK	1/2 bldg.ht.	-
REAR SETBACK	0	-
BUILDING HEIGHT	24' / 2 Story	-

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: MR-2 (NEW) SUBMISSION: BLDG. PERMIT

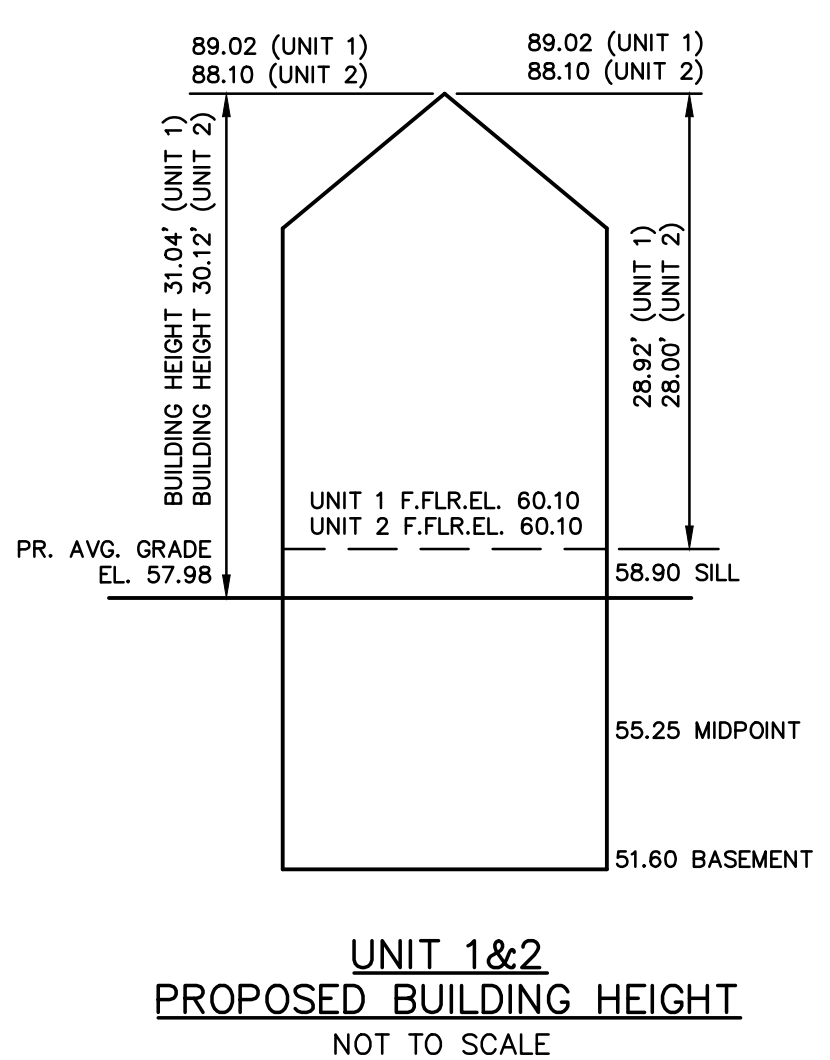
REGULATION	REQUIRED	LOT B	PROPOSED
LOT AREA	10,000s.f.	19,483±s.f.	26,319±s.f.
LOT FRONTAGE	80.0'	75.50'	189.05'
FRONT SETBACK	25.0'	17.5'	26.0'
SIDE SETBACK	10.0' / 25.0'*	25.1'	26.0'
REAR SETBACK	15.0' / 25.0'*	166.1'	28.4'
BUILDING HEIGHT	36.0'	25.10'	31.04' / 30.12' / 32.50' / 30.50'
AVERAGE GRADE	-	58.69	57.98 / 57.52
LOT COVERAGE	30.0% / 25.0%*	5.8%	23.9%
OPEN SPACE	50.0%	86.1%	62.3%

*ATTACHED DWELLING.

ZONING PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
#5-#7 ELM STREET
#114 RIVER STREET (VACANT LOT)
SCALE: 1in.=10ft. DATE: JUNE 9, 2014

PROJECT: 214112
VTP
ASSOCIATES
INC.

LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271



Address #5-7 Elm Street

**Length Weighted Mean
Proposed Average Grade Calculation
Units 1 & 2**

A Segment	B Length Of Segment in Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E E=(C+D)/2 Average Segment Height	F F=BxE
1	30.00	58.20	58.10	58.15	1744.50 Sq. Ft.
2	15.58	58.20	58.20	58.20	906.76 Sq. Ft.
3	16.75	58.20	58.10	58.15	974.01 Sq. Ft.
4	25.54	58.00	58.00	58.00	1481.32 Sq. Ft.
5	13.75	58.10	58.00	58.05	798.19 Sq. Ft.
6	7.80	58.00	57.20	57.60	449.28 Sq. Ft.
7	5.08	58.00	57.20	57.60	292.61 Sq. Ft.
8	13.56	58.00	58.00	58.00	786.48 Sq. Ft.
9	5.36	58.00	57.90	57.95	310.61 Sq. Ft.
10	25.58	58.00	57.90	57.95	1482.36 Sq. Ft.
11	13.50	58.00	57.90	57.95	782.33 Sq. Ft.
12	24.00	57.70	57.70	57.70	1384.80 Sq. Ft.
13	21.54	57.80	57.80	57.80	1245.01 Sq. Ft.
14	24.00	58.00	57.80	57.90	1389.60 Sq. Ft.
15	14.00	58.10	58.10	58.10	813.40 Sq. Ft.
16	6.00	58.10	58.10	58.10	348.60 Sq. Ft.
17	24.00	58.10	58.10	58.10	1394.40 Sq. Ft.
Total	286.04				16584.25 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 57.98'

- LEGEND**
- BUILDING
 - PROPERTY LINE W/
BEARING DISTANCE
 - CONTOUR
 - STOCKADE FENCE
 - CHAINLINK FENCE
 - PICKET FENCE
 - SEWER LINE
 - DRAIN LINE
 - WATER LINE
 - GAS LINE
 - GAS VALVE
 - WATER VALVE
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - CATCH BASIN
 - UTILITY POLE
 - LIGHT POLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE

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