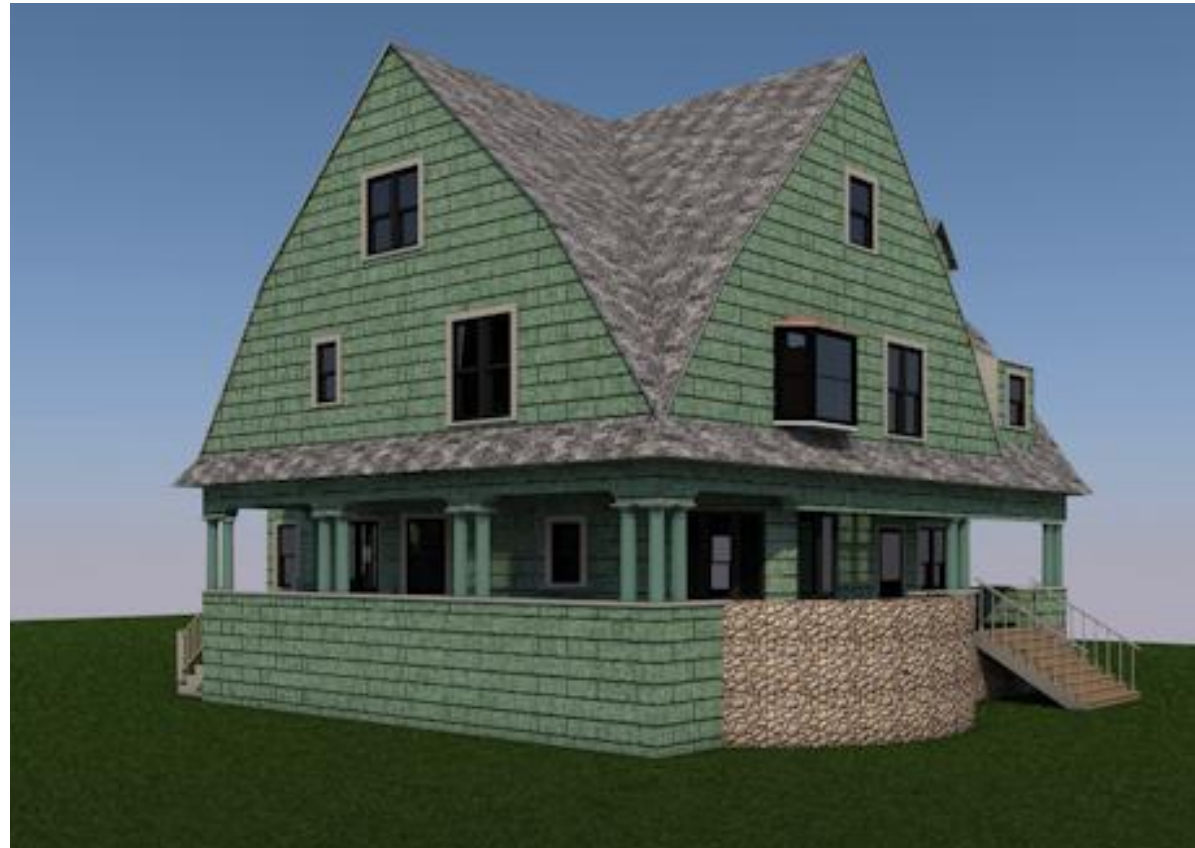
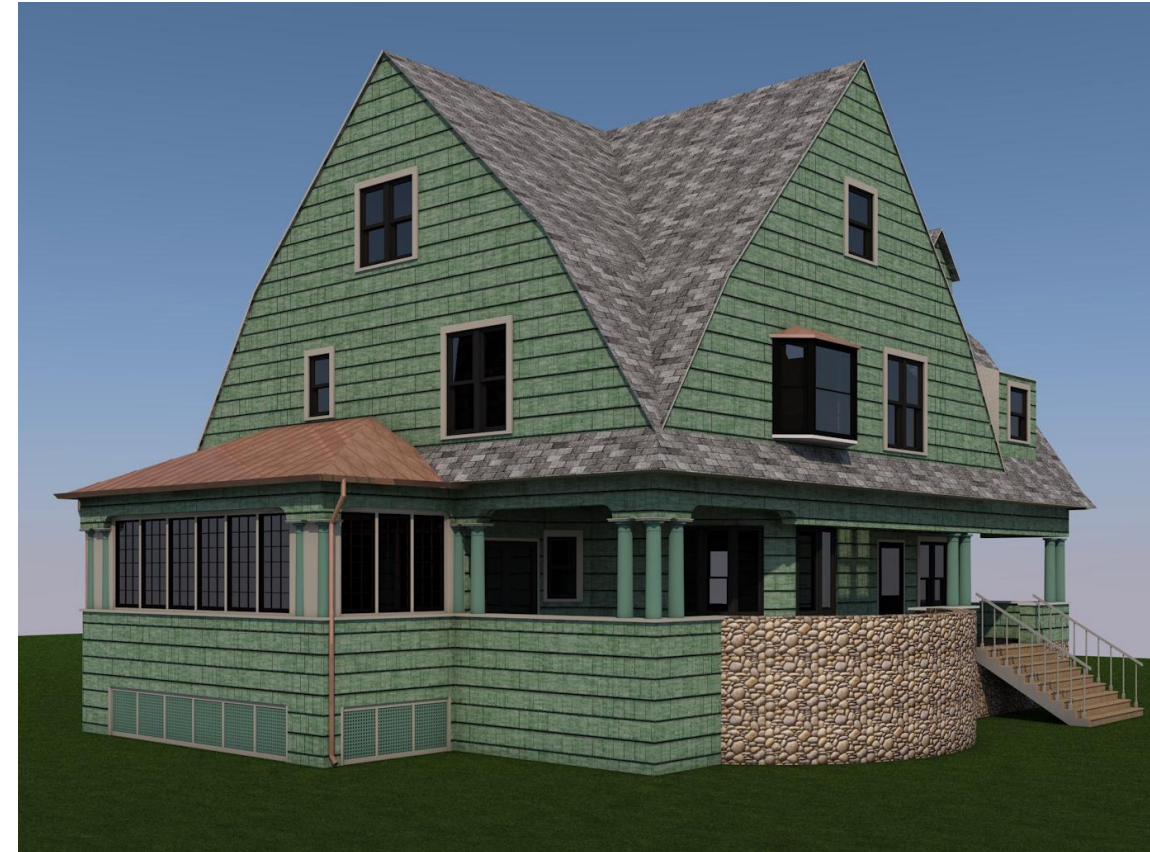


262 Otis St. Porch Addition



RENDERING OF EXISTING PORCH FROM FRONT SIDE YARD



RENDERING OF PROPOSED PORCH FROM FRONT SIDE YARD

**Sacheen
Dampier, RA**

53 Pierrepont Rd
Newton, MA 02462
617-916-9826



**Special
Permit Set**

**262 Otis St.
Porch
Addition**

**Donna Roth
262 Otis Street**

PROJECT NO: **19-01**

DATE: **8/18/19**

DRAWN BY: **SD**

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COVERSHEET

CO

SHEET INDEX

CO COVERSHEET

L1.0 LOT SURVEY

A1.0 SITE PLAN

A1.1 PARTIAL ENLARGED PLANS

A1.2 PARTIAL ENLARGED PLANS

A1.3 PARTIAL ENLARGED PLANS

A1.4 PARTIAL ENLARGED PLANS

A2.0 EXISTING FRONT ELEVATION

A2.1 EXISTING REAR ELEVATION

A2.2 EXISTING SIDE ELEVATION

A2.3 PROPOSED FRONT ELEVATION

A2.4 PROPOSED REAR ELEVATION

A2.5 PROPOSED SIDE ELEVATION

PROJECT NARRATIVE

ENCLOSE 175 S.F. OF THE 682 S.F. PORCH AND BUILD 200 S.F. SINGLE STORY PORCH ADDITION.

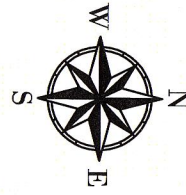
NEW PORCH TO HAVE PERMANENTLY INSTALLED MESH SCREENS WITH REMOVABLE HUNG WOOD STORM WINDOWS. ENCLOSURE OF EXISTING PORCH INCLUDES TWO EXTERIOR DOORS.

NEWTON ZONING ORDINANCE, CHAPTER 30
262 OTIS ST ZONE SR-1 BUILT 1896

PRE-1953	LOT DIMENSIONS REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN)	15,000 S.F.	11,152 S.F.	11,152 S.F.
LOT COVERAGE (MAX)	20%	26.5%	28.3%
LOT COVERAGE (EXCLUDING GARAGE)	20%	22.6%	24.3%
USABLE OPEN SPACE (MIN)	65%	60.8%	59.0%
LOT FRONTAGE (MIN)	100'	100'	100'

SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT (MIN.)	25'	28.9'	28.9'
SIDE (MIN.)	12.5'	17.4'	17.4'
SIDE (MIN.)	12.5'	29.6'	20.9'
REAR (MIN.)	25'	28.8'	28.8'

FAR	REQUIRED	ACTUAL	PROPOSED
0.33 - (.000004 (LOT SIZE - 10,000))	.325	.531	.563



12
BALCARRES
ROAD

EXISTING
BUILDING

1 STORY
GARAGE

LOT AREA =
11,152 S.F.

1 STORY
GARAGE

~BRICK~
DRIVEWAY

~BRICK~
WALKWAY

112.00'

100.2 X

99.9

100.5 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

100.7 X

97.00'

~CONCRETE WALKWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

29.6'

8.7'

22.9'

8.7'

1.7'

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

9
SOMERSET
ROAD

WOOD FENCE

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

99.3 X

RETAINING
WALL
(TYPICAL)

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

99.5 X

L=23.55'

X 99.8

X 99.8

X 99.8

X 99.8

X 99.8

X 99.8

X 99.8

X 99.8

~BITUMINOUS WALKWAY~

~GRANITE CURB~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

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~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

~BITUMINOUS ROADWAY~

OTIS STREET

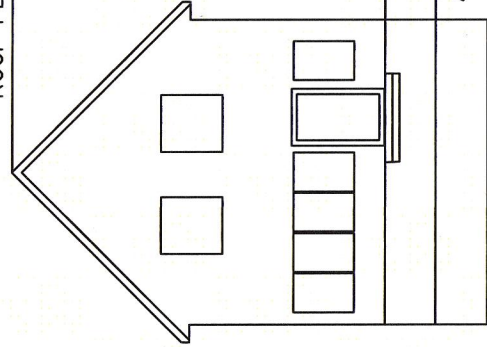
ROOF PEAK ELEV. = 138.55

EXISTING
HOUSE

ROOF HEIGHT
= 36.35

FIRST FLOOR
ELEV. = 104.8

AVERAGE ELEV. = 100.2



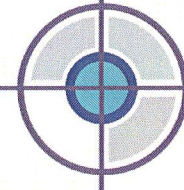
EXISTING LOT COVERAGE = (26.5%) 2,960.5 S.F.
EXISTING OPEN SPACE = (60.8%) 6,780.3 S.F.

PROPOSED LOT COVERAGE = (28.3%) 3,158.8 S.F.
PROPOSED OPEN SPACE = (59.0%) 6,582.0 S.F.

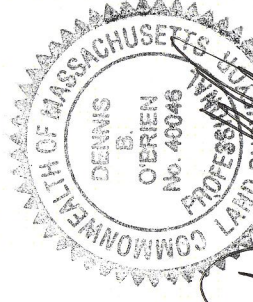
NOTES:

ALL OFFSETS & DIMENSIONS
ARE TO THE SIDING UNLESS
OTHERWISE NOTED.

EM=ELECTRIC METER
OHW=OVERHEAD WIRES



D. O'BRIEN
LAND SURVEYING
EST. 1986
31 HAYWARD STREET UNIT 3-6
FRANKLIN, MA 02038 508-541-0048



Dennis B. O'Brien

Dennis O'Brien P.L.S.

PLAN SHOWING PROPOSED PORCH
262 OTIS STREET
NEWTON, MA MIDDLESEX COUNTY

SCALE: 1:20
DATE: 5/15/2019

REVIS: ---
DRAWN BY: W.M.N.
CHECKED BY: D.O.

SACHEEN DAMPIER, RA
 53 Pierrepont Rd
 Newton, MA 02462
 617-916-9826



SPECIAL PERMIT SET

PORCH ADDITION

262 Otis St
 Newton, MA 02465

Donna Roth
 262 Otis St
 Newton, MA 02465

MARK	DATE	DESCRIPTION

PROJECT NO: **19-01**
 DATE: **8/18/19**
 DRAWN BY: **SD**
 COPYRIGHT Sacheen Dampier

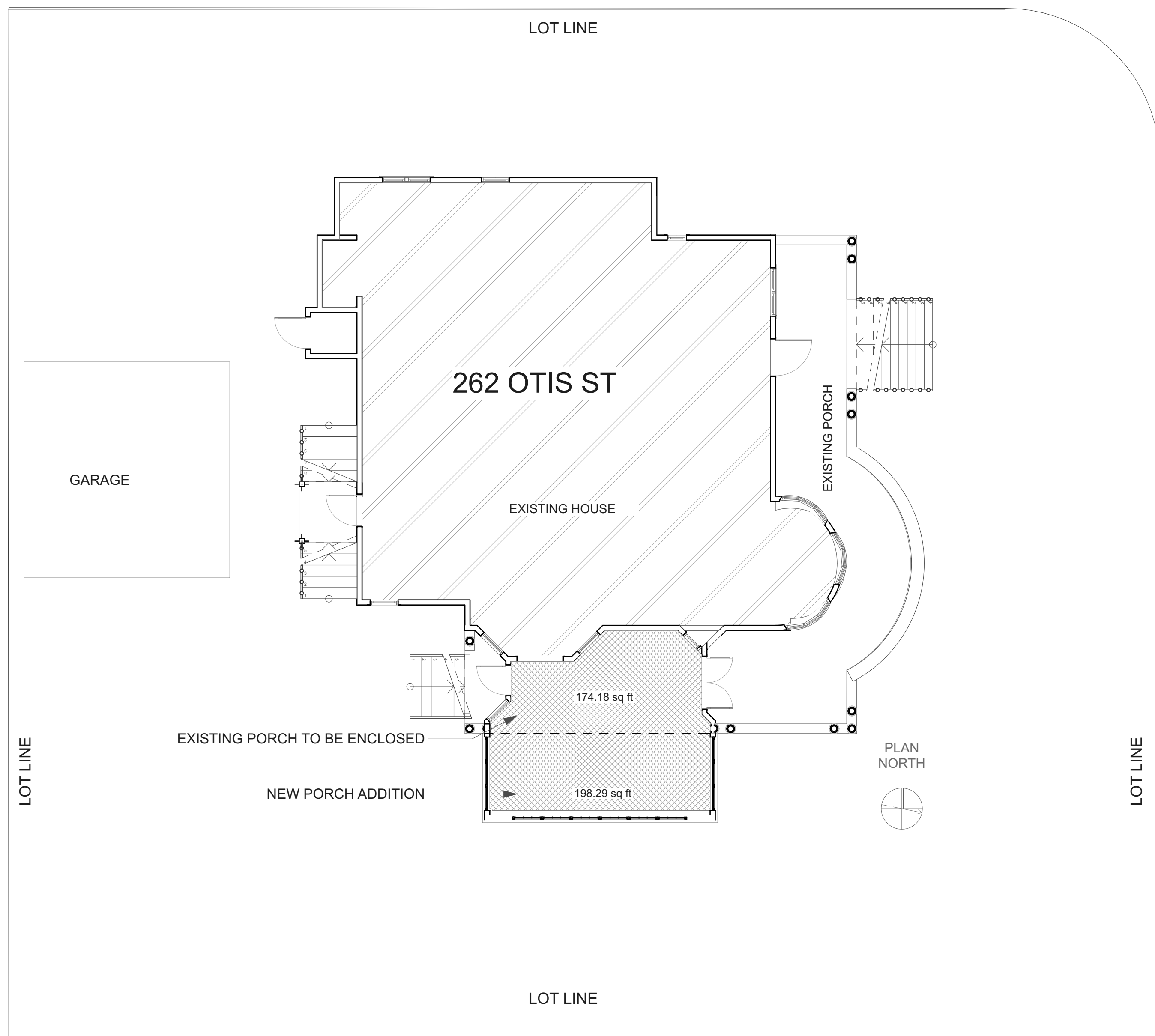
SHEET TITLE

SITE PLAN

A1.0

BALCARES ROAD

LOT LINE



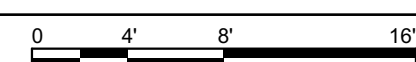
LOT LINE

LOT LINE

OTIS STREET

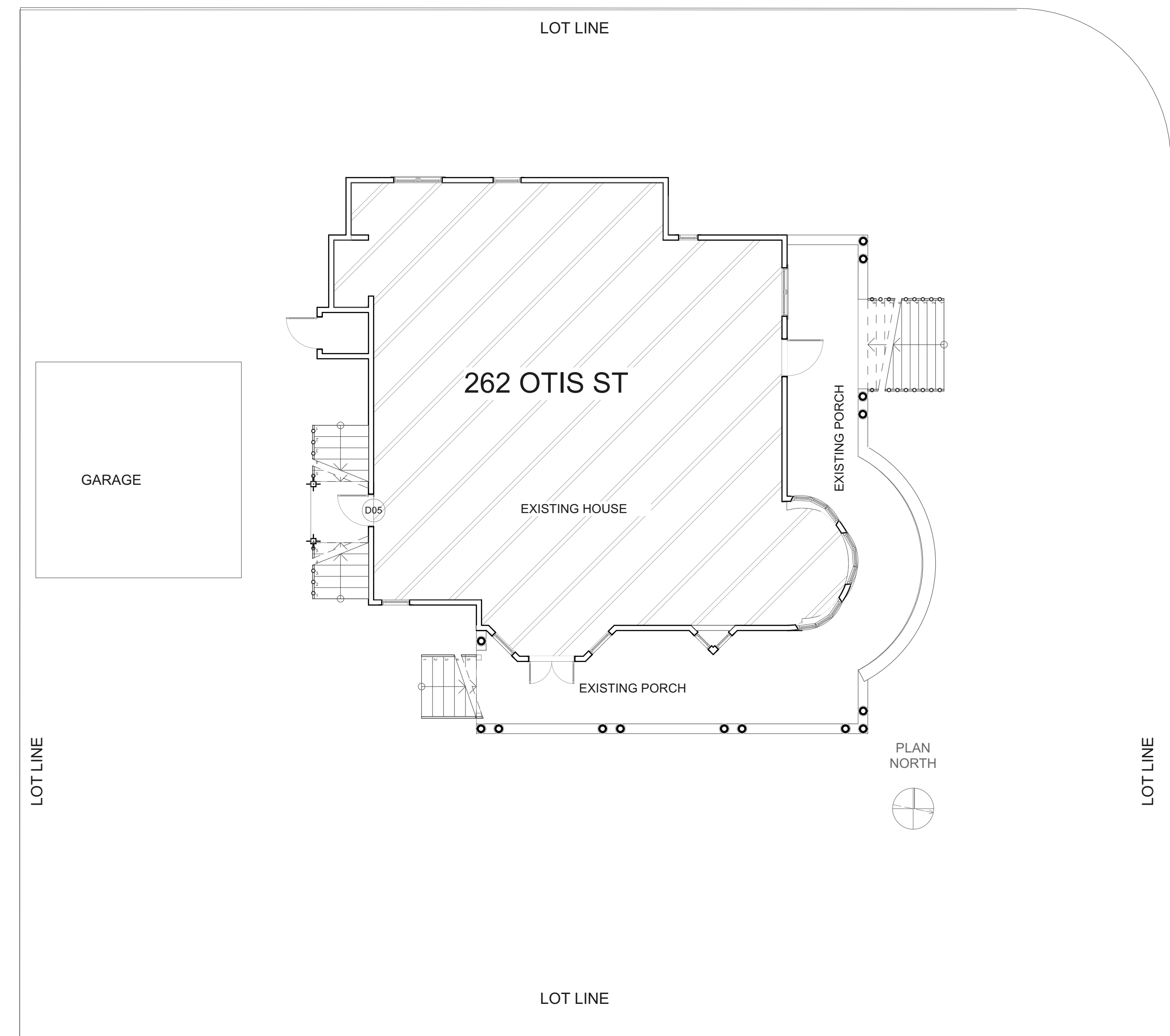
1 OVERALL PLAN NEW CONSTRUCTION

SCALE: 1/8" = 1'-0"



BALCARES ROAD

LOT LINE



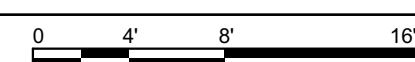
LOT LINE

LOT LINE

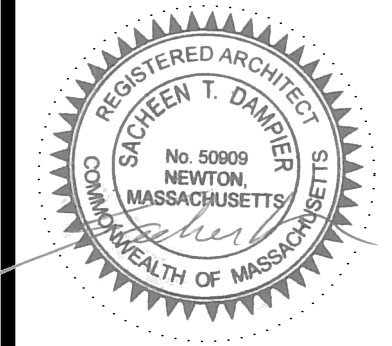
OTIS STREET

2 OVERALL PLAN - EXISTING

SCALE: 1/8" = 1'-0"



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617-916-9826



**Special
Permit Set**

**262 Otis St.
Porch
Addition**

**Donna Roth
262 Otis Street**

PROJECT NO: 19-01

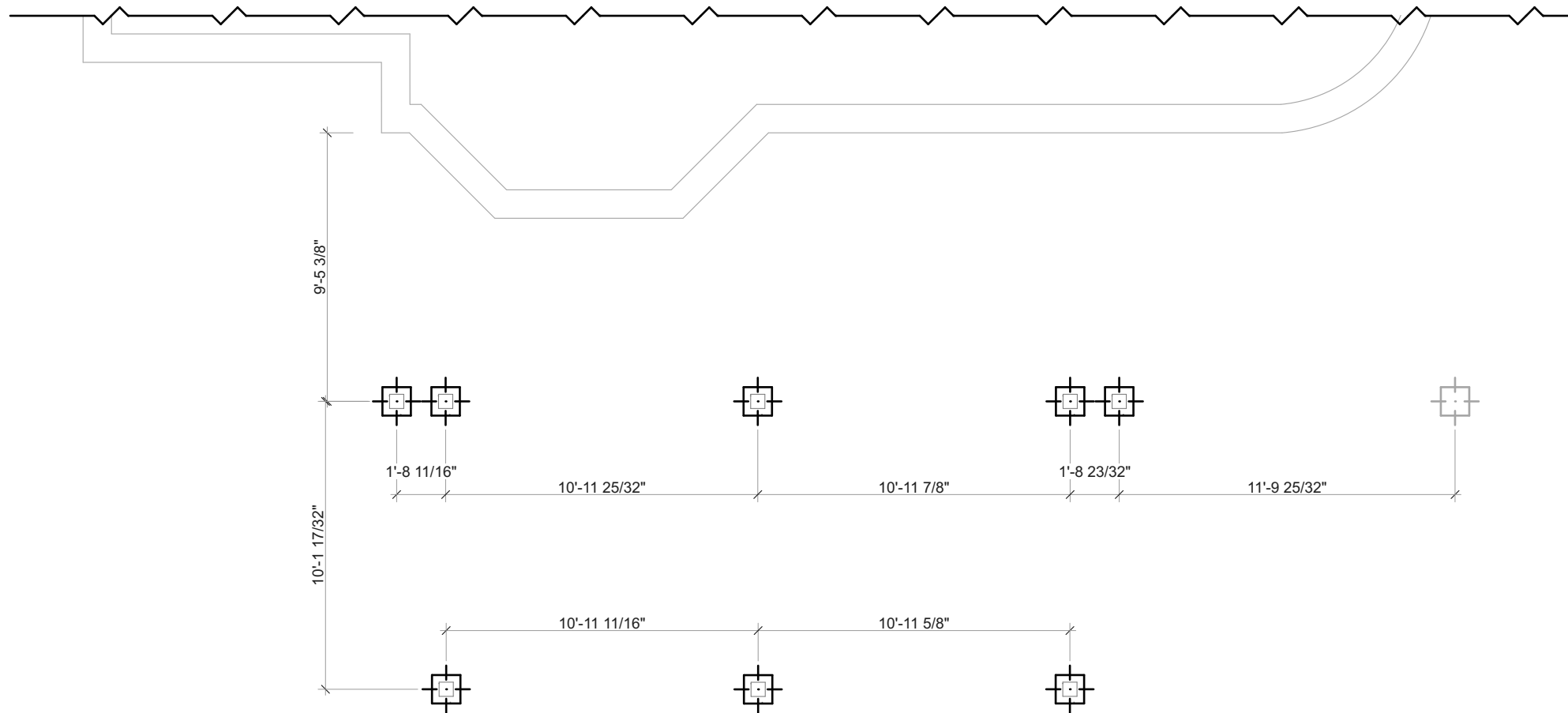
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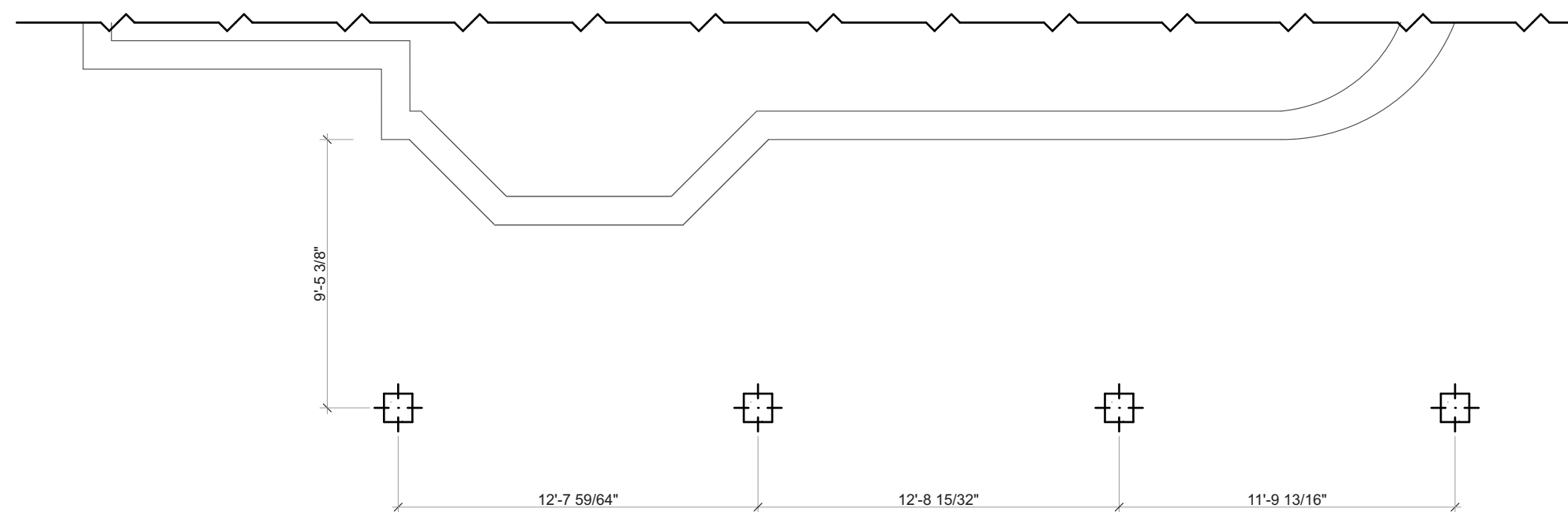
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**PARTIAL
ENLARGED
PLANS**

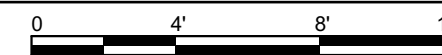
A1.1



2 FOUNDATION PLAN - NEW CONSTRUCTION
SCALE: 3/16" = 1'-0"



1 FOUNDATION PLAN - EXISTING
SCALE: 3/16" = 1'-0"



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Special Permit Set

262 Otis St. Porch Addition

Donna Roth
262 Otis Street

PROJECT NO: 19-01

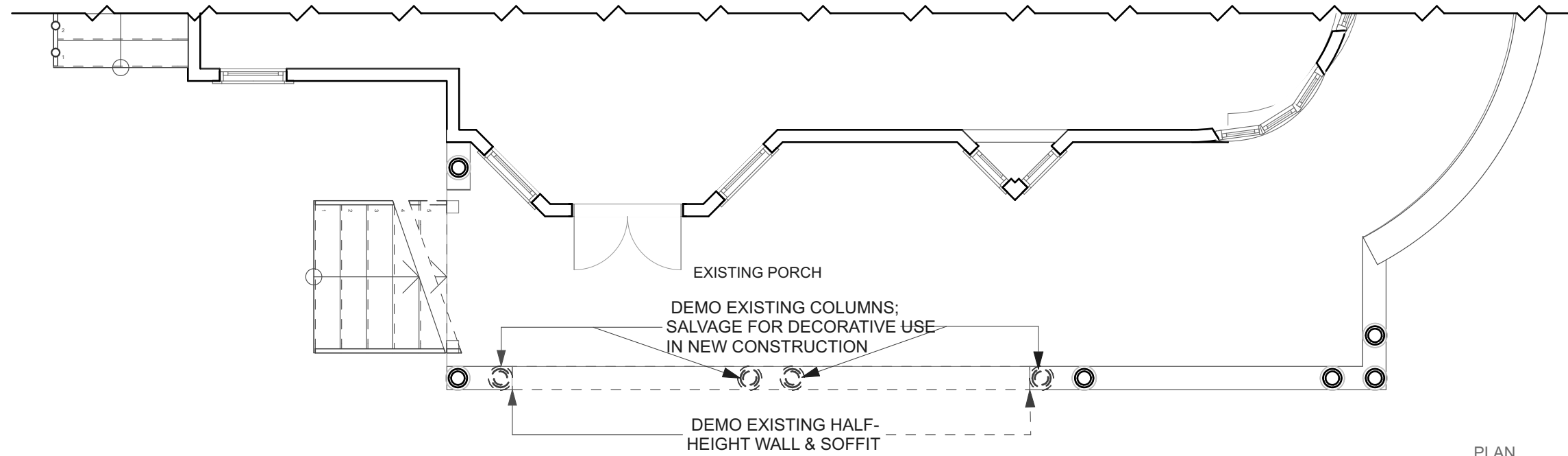
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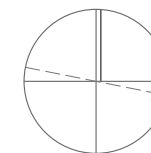
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PARTIAL ENLARGED PLANS

A1.2

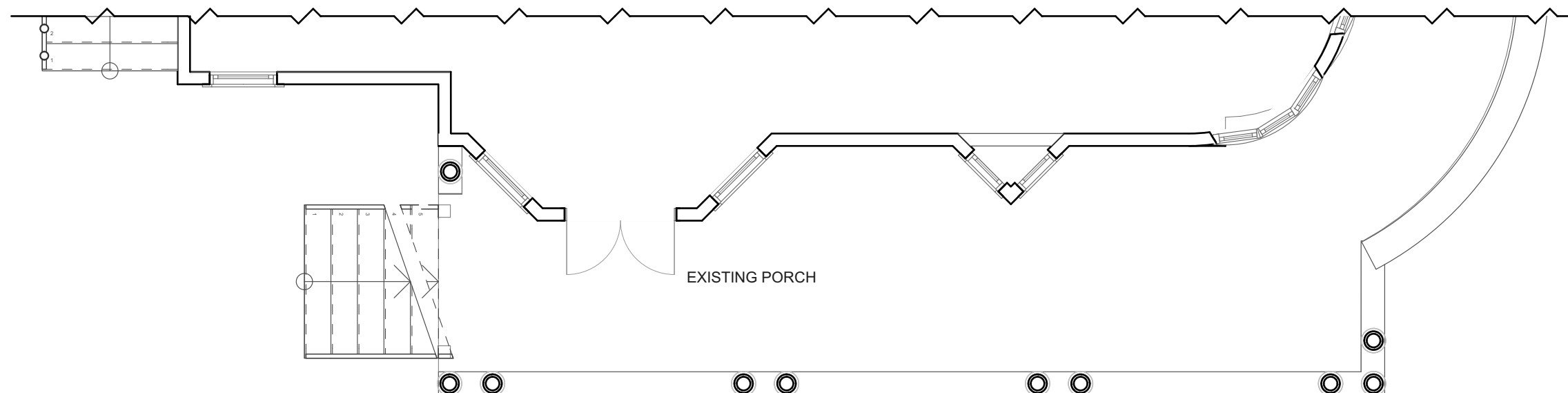
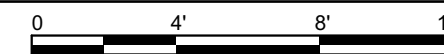


PLAN
NORTH



2 1st FLOOR PLAN - DEMO

SCALE: 3/16" = 1'-0"



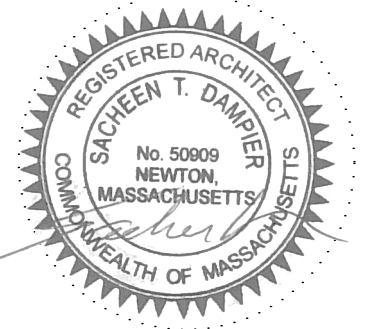
1 1st FLOOR PLAN - EXISTING

SCALE: 3/16" = 1'-0"



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Special Permit Set

262 Otis St. Porch Addition

Donna Roth
262 Otis Street

PROJECT NO: 19-01

DATE: 8/18/19

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PARTIAL ENLARGED PLANS

A1.3

NOTES:

ALL WORK TO CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE: MA 780 CMR.

1. EXTERIOR WALLS TO GRADE
AT PORCH LEVEL CEDAR SHAKE OVER 1/2" SHEATHING BOTH SIDES EXCEPT WHERE NOTED, 2x6 FRAMING 16" O.C., OPEN CELL SPRAY FOAM INSULATION TO R-20. AT CRAWLSPACE CEDAR SHAKE ON EXTERIOR FACE ONLY. CEDAR SHAKE PAINTED TO MATCH EXISTING CONSTRUCTION.
2. EXTERIOR WALLS TO FINISHED FLOOR, CEDAR SHAKE OVER 1/2" SHEATHING, 2X6 FRAMING 16" O.C., OPEN CELL SPRAY FOAM INSULATION TO R-20. CEDAR SHAKE PAINTED TO MATCH EXISTING CONSTRUCTION.
3. INFILL WALL BELOW RAISED BUMPOUT. SAME CONSTRUCTION AS NOTE 2 ABOVE.
4. PERMANENT MESH INSECT SCREENS AT ALL OPENINGS. REMOVABLE HUNG WOODEN STORM WINDOWS AT ALL OPENINGS.

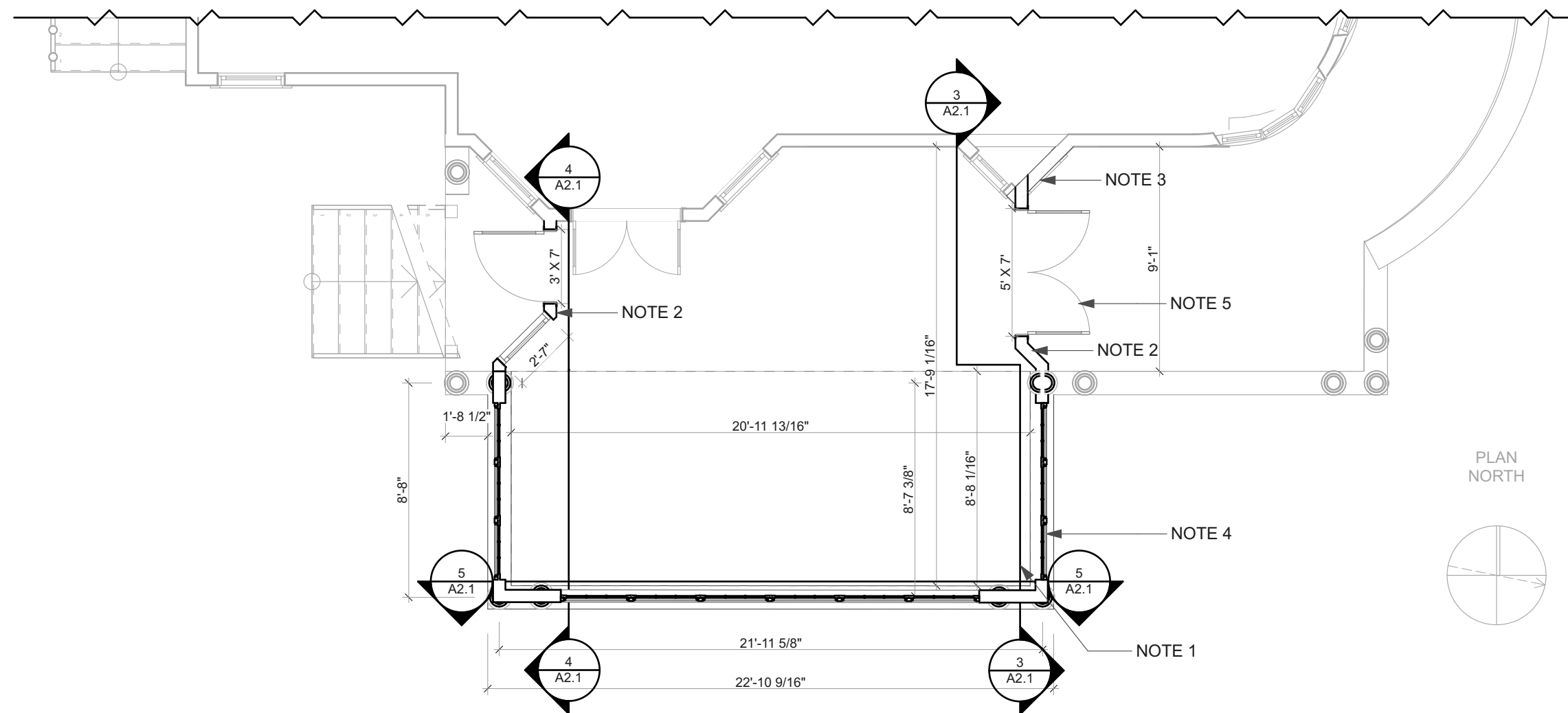
5. SEE STRUCTURAL DRAWINGS FOR FLOOR FRAMING AT NEW PORCH. FINISHED FLOOR TO BE PAINTED 1"x 5" DECK BOARDS TO MATCH EXISTING OVER 1/2" PLYWOOD. R-30 OPEN CELL INSULATION IN CRAWL SPACE AT BOTH NEW AND EXISTING PORCH TO EXTENT OF ENCLOSED PORCH AREA.

6. FINISHED CEILING TO MATCH EXISTING BEADBOARD CEILING. NEW W12X45 BEAM TO BE ENCLOSED WITH DECORATIVE WOOD PANELING, AS TIGHT TO BEAM AS POSSIBLE. (6) LOW-PROFILE RECESSED 6" LED LIGHTS TO BE INSTALLED IN NEW PORCH CEILING.

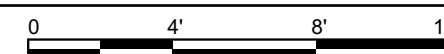
7. GFCI OUTLETS TO BE INSTALLED IN ALL NEW WALLS - 2 PER WALL.

8. SEE STRUCTURAL DRAWINGS FOR PORCH ROOF FRAMING. STANDING SEAM COPPER ROOF WITH 5" K-STYLE COPPER GUTTERS. R-49 OPEN CELL SPRAY FOAM INSULATION. R-30 CELLULOSE INSULATION IN CEILING AT EXISTING PORCH.

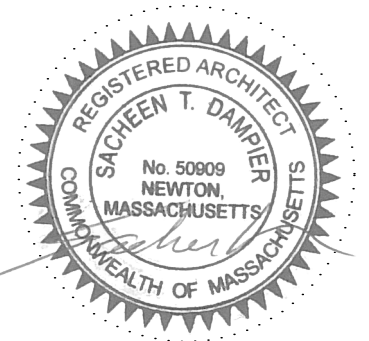
9. SEE STRUCTURAL DRAWINGS FOR FOUNDATION PLAN. REPOINT ALL EXISTING BRICK PIERS TO REMAIN.



1 1st FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"



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**Special
Permit Set**

**262 Otis St.
Porch
Addition**

**Donna Roth
262 Otis Street**

PROJECT NO: 19-01

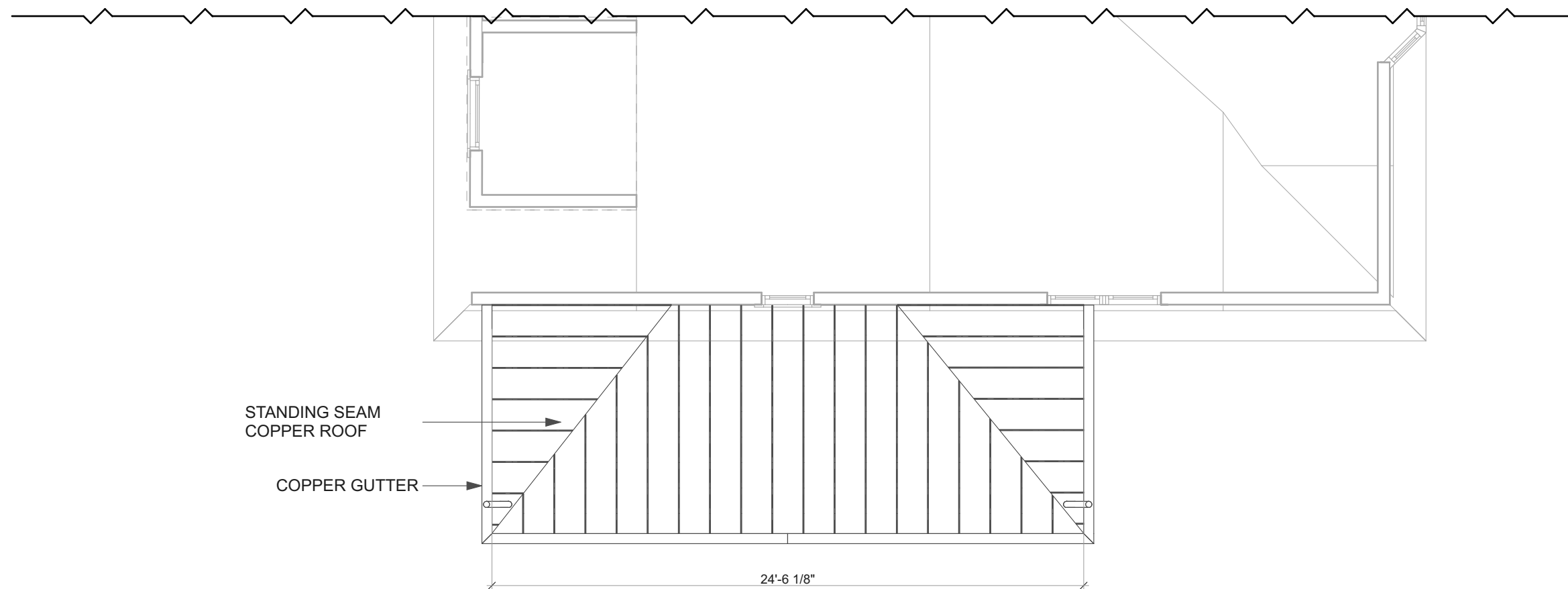
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PLANS**

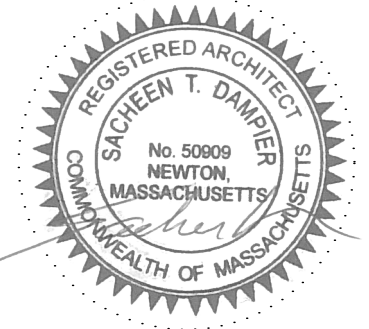
A1.4



1 **ROOF PLAN - PROPOSED**
SCALE: 3/16" = 1'-0"



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Porch
Addition**

**Donna Roth
262 Otis Street**

PROJECT NO: 19-01

DATE: 8/18/19

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**EXISTING
FRONT
ELEVATION**

A2.0



1

EXISTING FRONT ELEVATION

SCALE: 3/16" = 1'-0"



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Donna Roth
262 Otis Street

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EXISTING REAR
ELEVATION

A2.1

+34'
4 ROOF PEAK

+21'
3 ATTIC

+10'-6"
2 2nd FLOOR

±0"
1 1st FLOOR

-4'-6"
-1 GRADE



ASPHALT SHINGLE
ROOFING

CEDAR SHAKE 5"
EXPOSURE

1

EXISTING REAR ELEVATION

SCALE: 3/16" = 1'-0"



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**EXISTING SIDE
ELEVATION**

A2.2

+34'
ROOF PEAK

+21'
ATTIC

+10'-6"
2nd FLOOR

±0"
1st FLOOR

-4'-6"
GRADE



1

EXISTING SIDE ELEVATION

SCALE: 3/16" = 1'-0"



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Special Permit Set

262 Otis St. Porch Addition

Donna Roth
262 Otis Street

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PROPOSED FRONT ELEVATION

A2.3



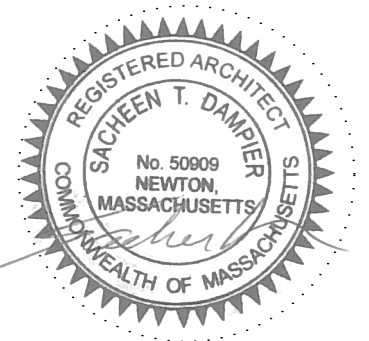
1

NEW FRONT ELEVATION

SCALE: 3/16" = 1'-0"



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**Special
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Porch
Addition**

**Donna Roth
262 Otis Street**

PROJECT NO: **19-01**

DATE: **8/18/19**

DRAWN BY: **SD**

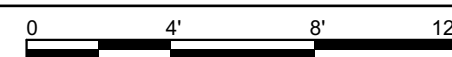
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**PROPOSED
REAR
ELEVATION**

A2.4



1 NEW REAR ELEVATION
SCALE: 3/16" = 1'-0"



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**Special
Permit Set**

**262 Otis St.
Porch
Addition**

**Donna Roth
262 Otis Street**

PROJECT NO: 19-01

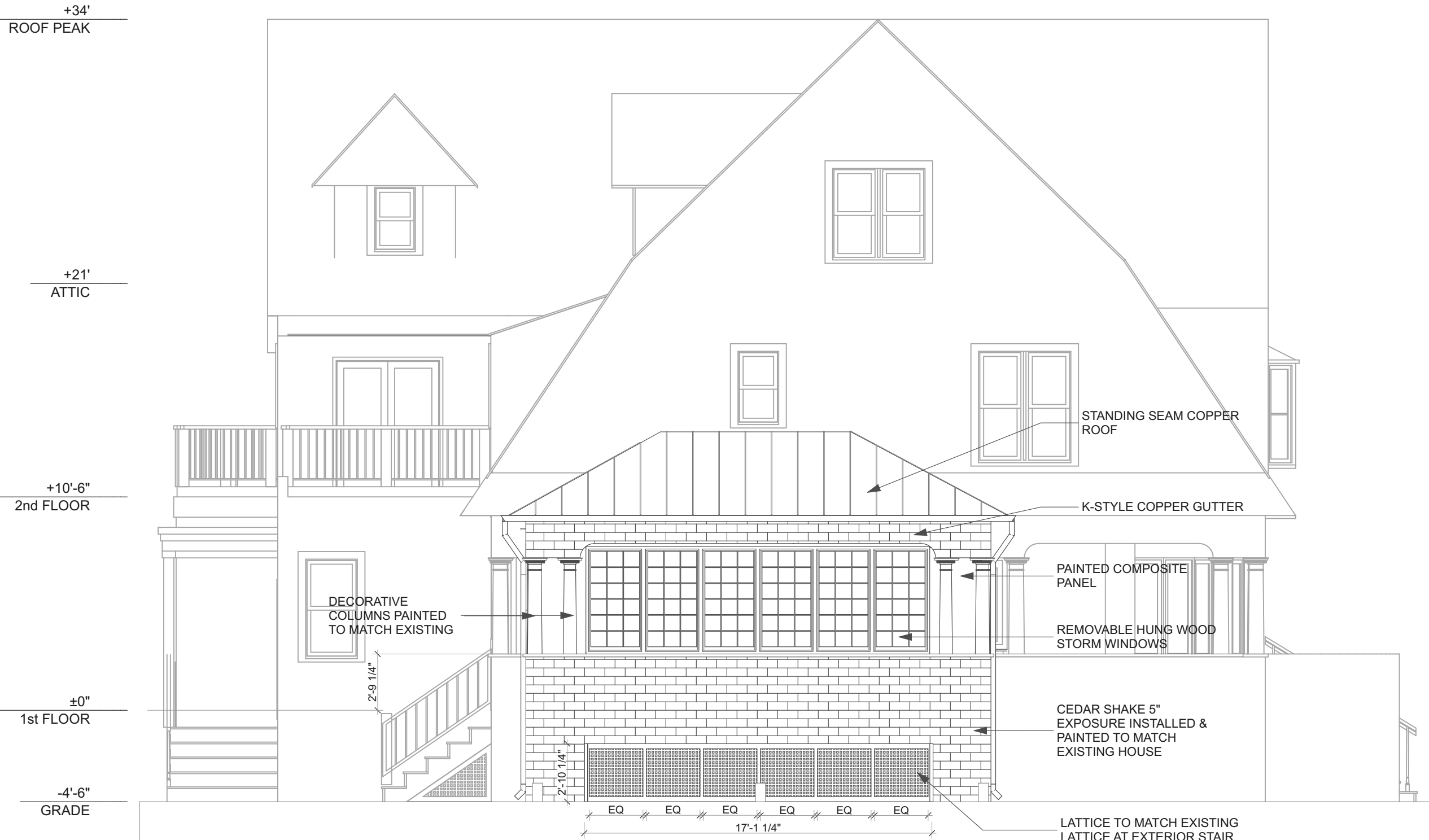
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**PROPOSED
SIDE
ELEVATION**

A2.5



1

NEW SIDE ELEVATION

SCALE: 3/16" = 1'-0"

