



Setti D. Warren
Mayor

City of Newton, Massachusetts

Department of Inspectional Services

1000 Commonwealth Avenue Newton, Massachusetts 02459

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John Lojek
Commissioner

FLOOR AREA RATIO WORKSHEET

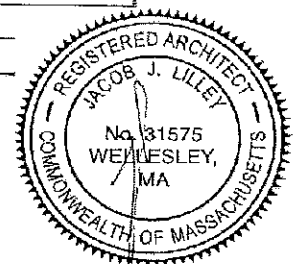
Calcs from
ZBA Submission

For Residential Single and Two Family Structures

Property address: 43 FISHER AVE.

9.20.2017

FAR Calculations for Regulations Effective As Of October 15, 2011		
Inputs (square feet)		
	EXISTING	PROPOSED
1. First story	1146.15	1,327.88
2. Attached garage	NA	NA
3. Second story	856.66	1,094.21
4. Atria, open wells, and other vertical spaces (if not counted in first/second story)	(incl. in lot 2nd calcs)	"
5. Certain floor area above the second story ^{1b} (59.46 sq ft of storage not incl. bc not FAR compliant)	246.74	246.74
6. Enclosed porches ^{2b}	NA	NA
7. Mass below first story ^{3b} (50% of 1114.96 - basement sf)	557.48	663.94
8. Detached garage	202.39	202.39
9. Area above detached garages with a ceiling height of 7' or greater	NA	NA
10. Other detached accessory buildings (one detached building up to 120 sq. ft. is exempt)	NA	NA
FAR of Proposed Structure(s)		
A Total gross floor area (sum of rows 1-9 above)	3,009.42	3,535.16
B Lot size	7,484	7,484
C FAR = A/B	.40	.47
Allowed FAR		
Allowable FAR	.42 / 3143.28	
Bonus of .02 if eligible ^{4b} yes, pvc - 1953 lot	.02 / 149.68	
TOTAL Allowed FAR	.44 / 3292.96	





Setti D. Warren
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

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Barney S. Heath
Director

Newton Historical Commission Demolition Review Decision

Date: 8/21/17 Zoning & Dev. Review Project# 17080081

Address of structure: 43 Fisher Avenue

Type of building : House

If partial demolition, feature to be demolished is portion rear

The building or structure:

is _____ is not x in a National Register or local historic district not visible from a public way.

is _____ is not x on the National Register or eligible for listing.

is _____ is not x importantly associated with historic person(s), events, or architectural or social history

is X is not _____ historically or architecturally important for period, style, architect, builder, or context.

is _____ is not x located within 150 feet of a historic district and contextually similar.

is _____ **NOT HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance.

Demolition is not delayed and no further review is required.

is X **HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance (See below).

The Newton Historical Commission staff:

X **APPROVES** the proposed project based upon materials submitted see below for conditions (if any).

Demolition is not delayed, further staff review may be required.

_____ **DOES NOT APPROVE** and the project requires
Newton Historical Commission review (See below).

The Newton Historical Commission finds the building or structure:

is _____ **NOT PREFERABLY PRESERVED**

Demolition is not delayed and no further review is required.

is _____ **PREFERABLY PRESERVED - (SEE BELOW).**

Delay of Demolition:

_____ is in effect until _____

_____ has been waived - see attached for conditions **

Determination made by:

Setti D. Warren

Final review of plans
required

Owner of Record:

Please Note: if demolition does not occur within two years of the date of expiration of the demolition delay, the demolition will require a resubmittal to the Historical Commission for review and may result in another demolition delay.

LOT COVERAGE TABLE

EXISTING DWELLING	203 SF
EXISTING DWELLING	1,482 SF
LOT COVERAGE	23X
PROPOSED DWELLING	1,482 SF
LOT COVERAGE	23X (MINIMUM)

OPEN SPACE TABLE

EXISTING OPEN SPACE	203 SF
EXISTING DWELLING	1,482 SF
LOT COVERAGE	23X
PROPOSED DWELLING	1,482 SF
LOT COVERAGE	23X (MINIMUM)

UTILITY NOTE:
 ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED FROM RECORD DRAWINGS AND FIELD SURVEY DATA. THE ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE CONSTRUCTION. EXCAVATING, BUSTLING OR INSTALLING BARRICADING, OR OTHER WORK NEAR UTILITIES MUST BE APPROVED BY THE COMPANIES, PUBLIC AND PRIVATE. MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE RESPONSIBILITY ACTS OF MASS INCORPORATED AS A CONDITION OF UTILITIES CONTROLLED OR INCORPORATED STATION. BEFORE PLANNING ANY WORK NEAR UTILITIES, CONSULT THE APPROPRIATE PUBLIC UTILITY COMPANY. FOR A COMPLETE LIST OF UTILITIES, CONSULT THE TELEPHONE No. 1-888-344-7233.

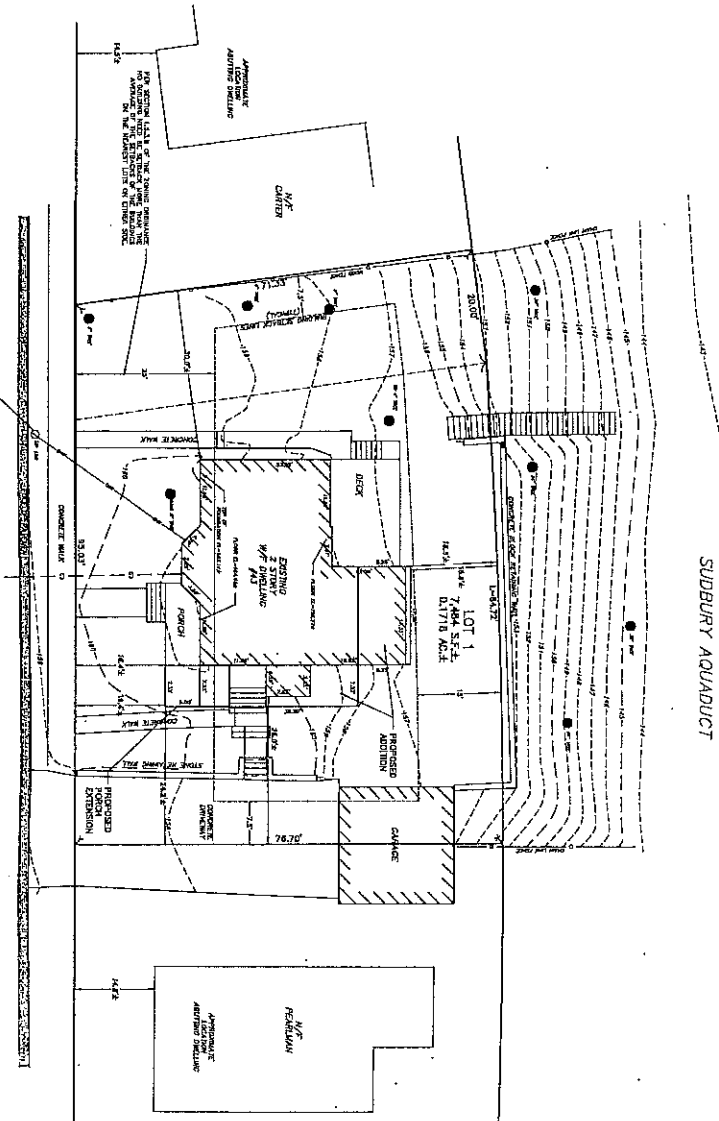
RECORD OWNER:
 DOUGLAS L. WHITAKER
 43 FISHER AVENUE
 NEWTON, MA

REFERENCE:
 MASSACHUSETTS REGISTER OF DEEDS
 SOUTH DISTRICT
 DEED BOOK 55124, PAGE 254
 PLAN BOOK 56, PLAN 31

ZONING DISTRICT:
 SR 2

DATUM:
 NAAD 83

FISHER AVENUE
 (Public - 40' WIDE)



- LEGEND:**
- N/A KNOW OR FOREBENTLY
 - THRESHOLD WALKS
 - TREE
 - UTILITY POLE
 - GAS GATE
 - WATER SERVICE (BURIED)
 - DRAIN MANHOLE
 - DRAIN LINE
 - EXISTING CONTOUR
 - LIGHTPOLE
 - WETLAND PLANT
 - STONE WALL
 - EDGE OF PARADISE

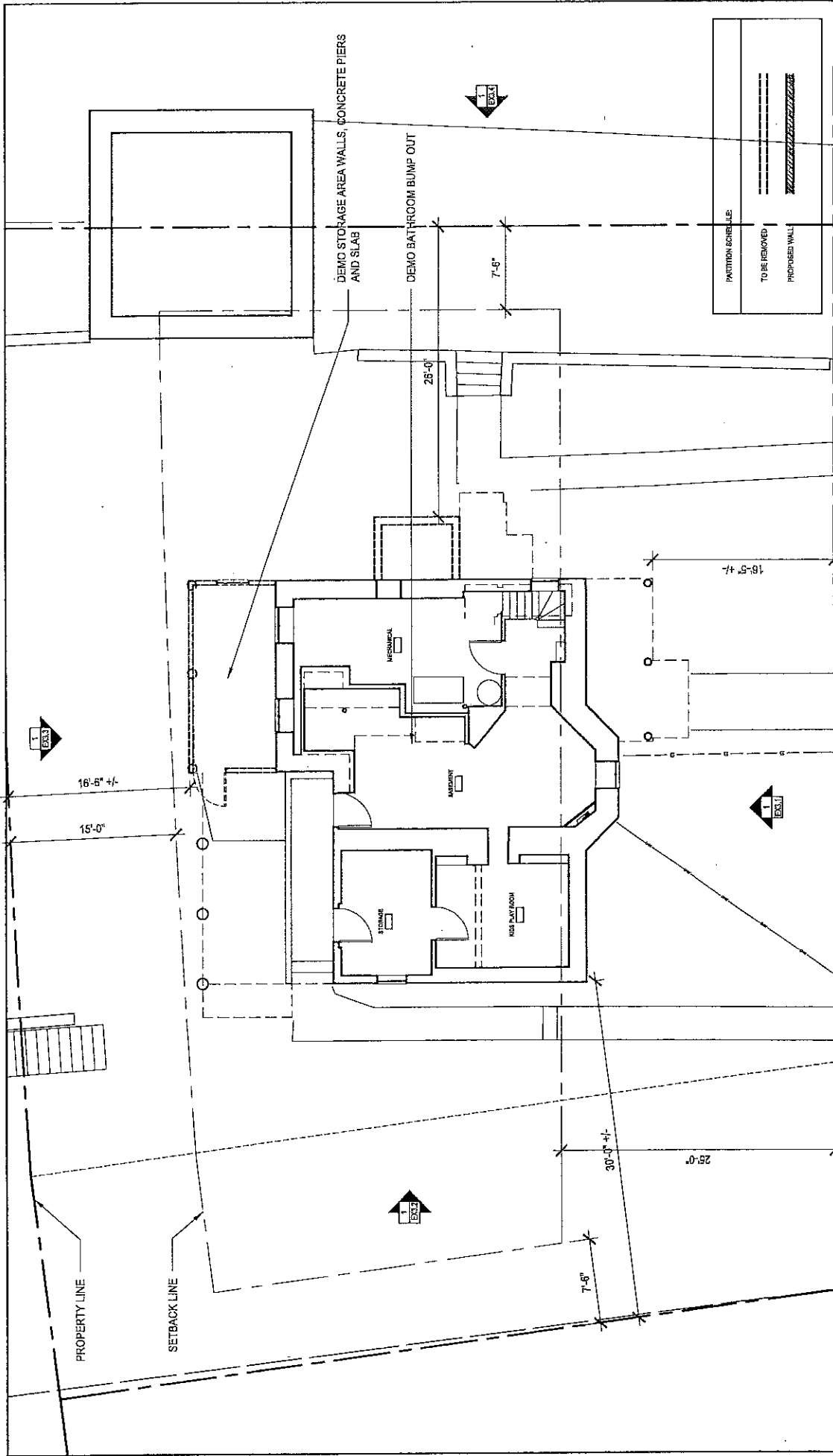
THE EXISTING DWELLING AND THE PROPOSED ADDITION ON THIS LOT ARE SHOWN AS BEING SUBJECT TO THE MASSACHUSETTS REGISTER OF DEEDS, SOUTH DISTRICT, DEED BOOK 55124, PAGE 254, PLAN BOOK 56, PLAN 31.

John J. ...
 REGISTERED PROFESSIONAL LAND SURVEYOR

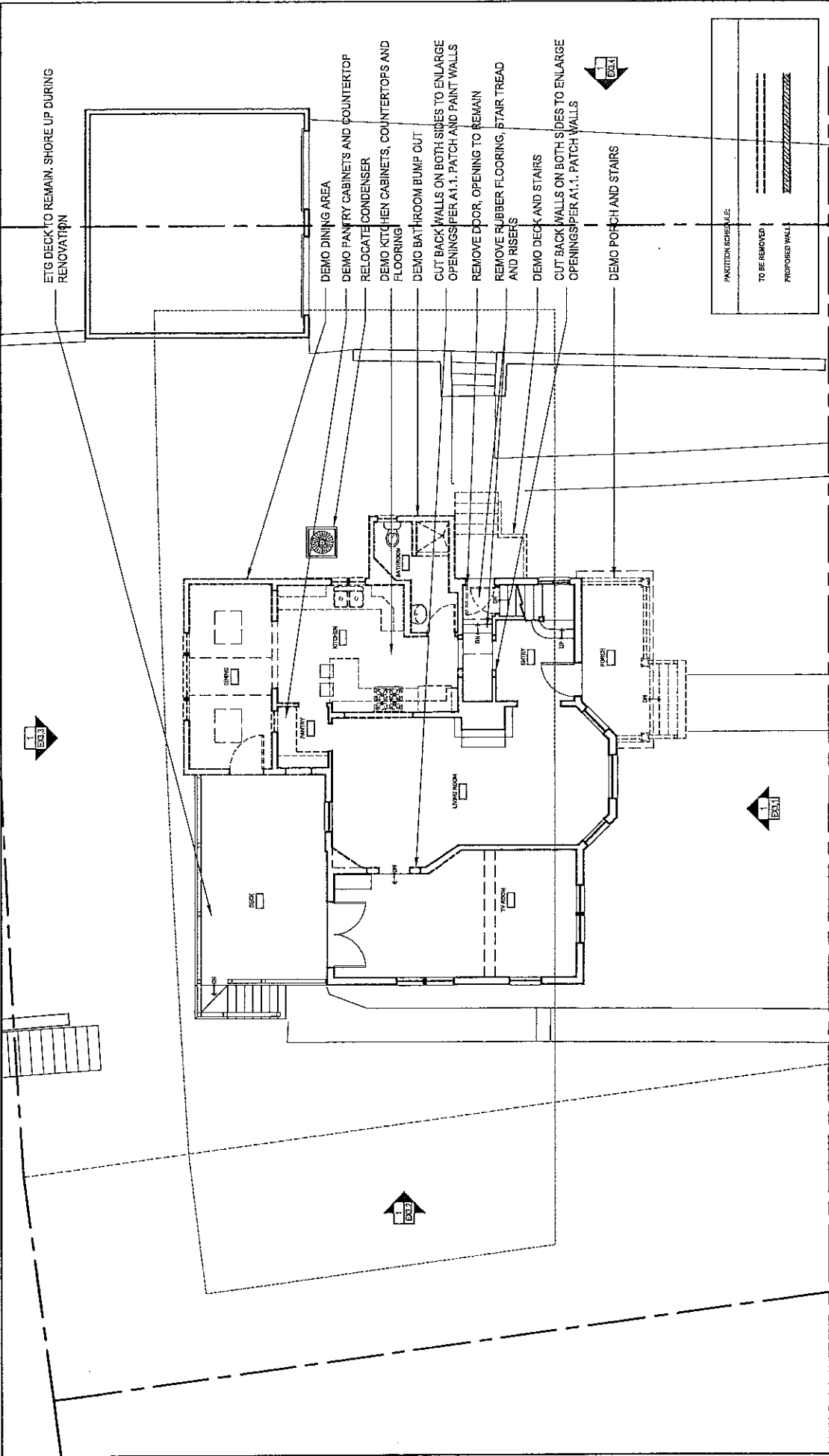


PROPOSED PLOT PLAN
 IN
NEWTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)
WHITAKER
 FOR: SCALE: 1"=10'
 JULY 21, 2017
STAMSKI AND MONARY, INC.
 1000 MAIN STREET, ACTON, MASSACHUSETTS
 ENGINEERING - PLANNING - SURVEYING

(S&P) 2-PP- (dep) 43 Fisher Avenue SH-5887



PROJECT NAME WHITAKER RESIDENCE	SCALE	DRAWING NO.
	1" = 1'-0"	EX1.0
LOCATION 43 FISHER AVENUE, NEWTON, MA	DATE	
	07.24.17	
SHEET TITLE EXISTING BASEMENT PLAN		
ARCHITECTS JACOB LILLEY ARCHITECTS 781.431.6100		

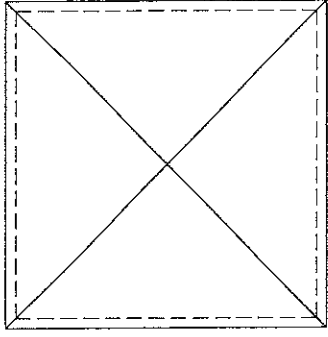


EXIST DECK TO REMAIN. SHORE UP DURING RENOVATION

- DEMO DINING AREA
- DEMO PANTRY CABINETS AND COUNTERTOP
- RELOCATE CONDENSER
- DEMO KITCHEN CABINETS, COUNTERTOPS AND FLOORING
- DEMO BATHROOM BUMP OUT
- CUT BACK WALLS ON BOTH SIDES TO ENLARGE OPENINGS PER A1.1. PATCH AND PAINT WALLS
- REMOVE DOOR, OPENING TO REMAIN
- REMOVE RUBBER FLOORING, STAIR TREAD AND RISERS
- DEMO DECK AND STAIRS
- CUT BACK WALLS ON BOTH SIDES TO ENLARGE OPENINGS PER A1.1. PATCH WALLS
- DEMO PORCH AND STAIRS

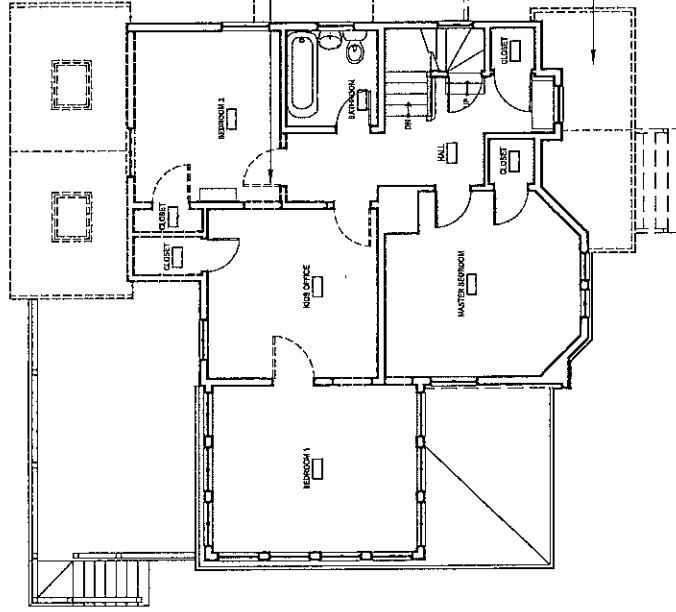
PARTITION SCHEDULE	
TO BE REMOVED	---
PROPOSED WALL	=====

<p>PROJECT NAME WHITAKER RESIDENCE</p> <p>LOCATION 43 FISHER AVENUE NEWTON, MA</p>	<p>SCALE $\frac{1}{4}'' = 1' - 0''$</p> <p>DATE 07.24.17</p>	<p>DRAWING NO. EX1.1</p>
<p>SHEET TITLE EXISTING FIRST FLOOR PLAN</p>		<p>JACOB LILLEY ARCHITECTS 781.431.6100</p>



REMOVE WALLS AND DOORS AS SHOWN

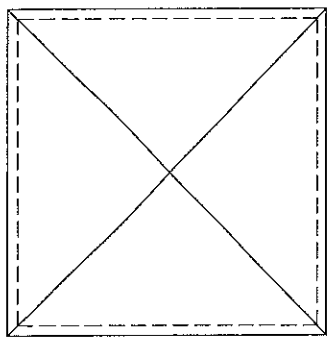
REBUILD ROOF PER A3.1



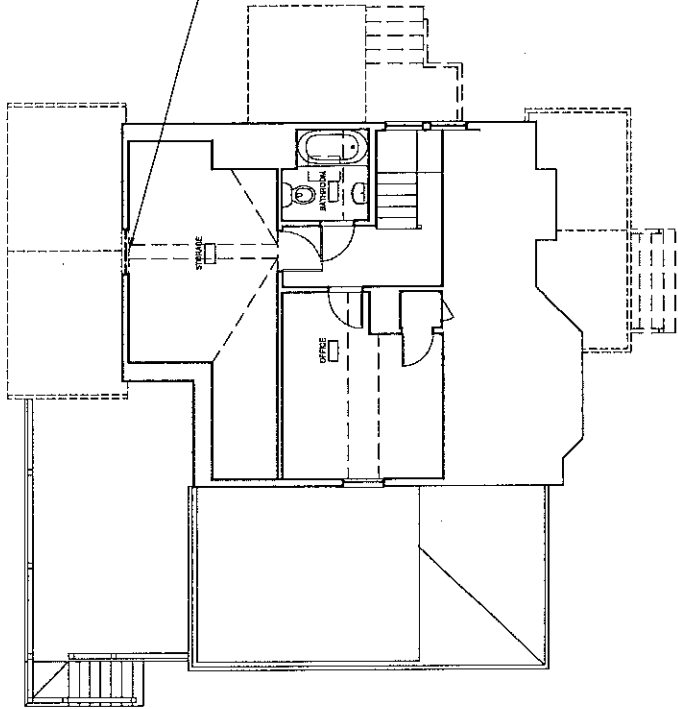
PARTITION SCHEDULE:	
TO BE REMOVED	---
PROPOSED WALLS	=====



PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{4}'' = 1'-0''$	DRAWING NO. EX1.2
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17
SHEET TITLE EXISTING SECOND FLOOR PLAN		
ARCHITECT JACOB LILLEY ARCHITECTS 781.431.6100		



REMOVE WINDOW



PARTITION SCHEDULE:	
TO BE REMOVED	----
PROPOSED WALLS	=====

JACOB LILLEY
ARCHITECTS
781.431.8100

SHEET TITLE
EXISTING ATTIC PLAN

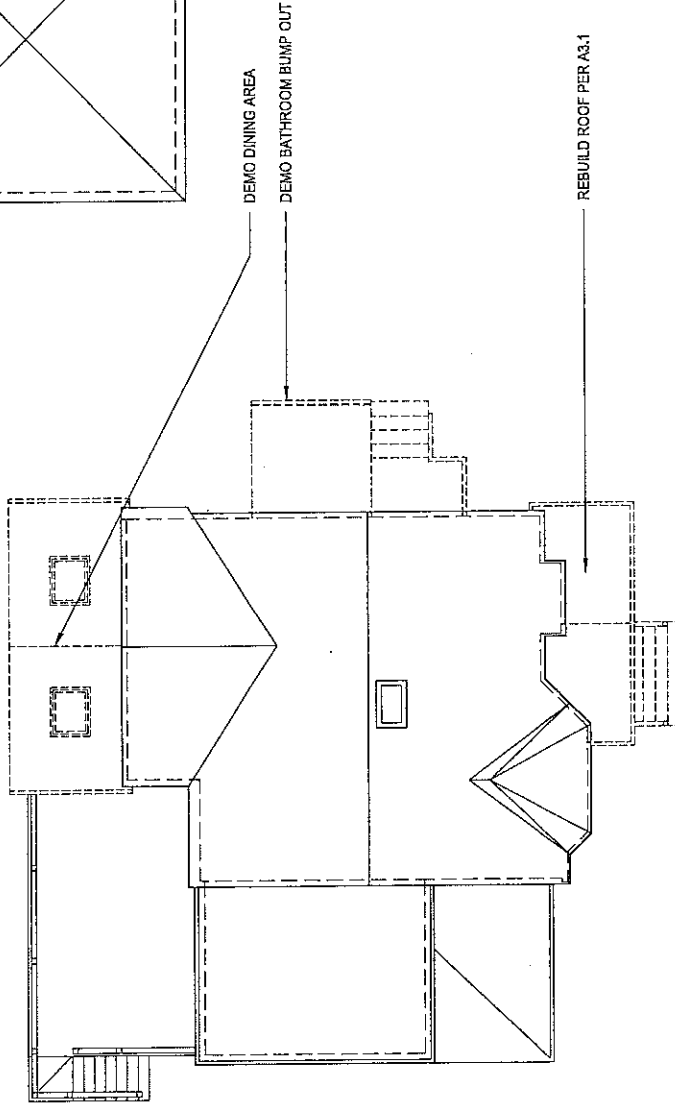
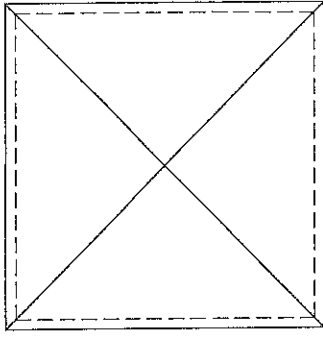
PROJECT NAME
WHITAKER RESIDENCE

LOCATION
43 FISHER AVENUE NEWTON, MA

SCALE
 $\frac{1}{8}'' = 1'-0''$

DATE
07.24.17

DRAWING NO.
EX1.3



PARTITION SCHEDULE	
TO BE REMOVED	---
PROPOSED WALLS	----

JACOB LILLEY
ARCHITECTS
781.431.6100

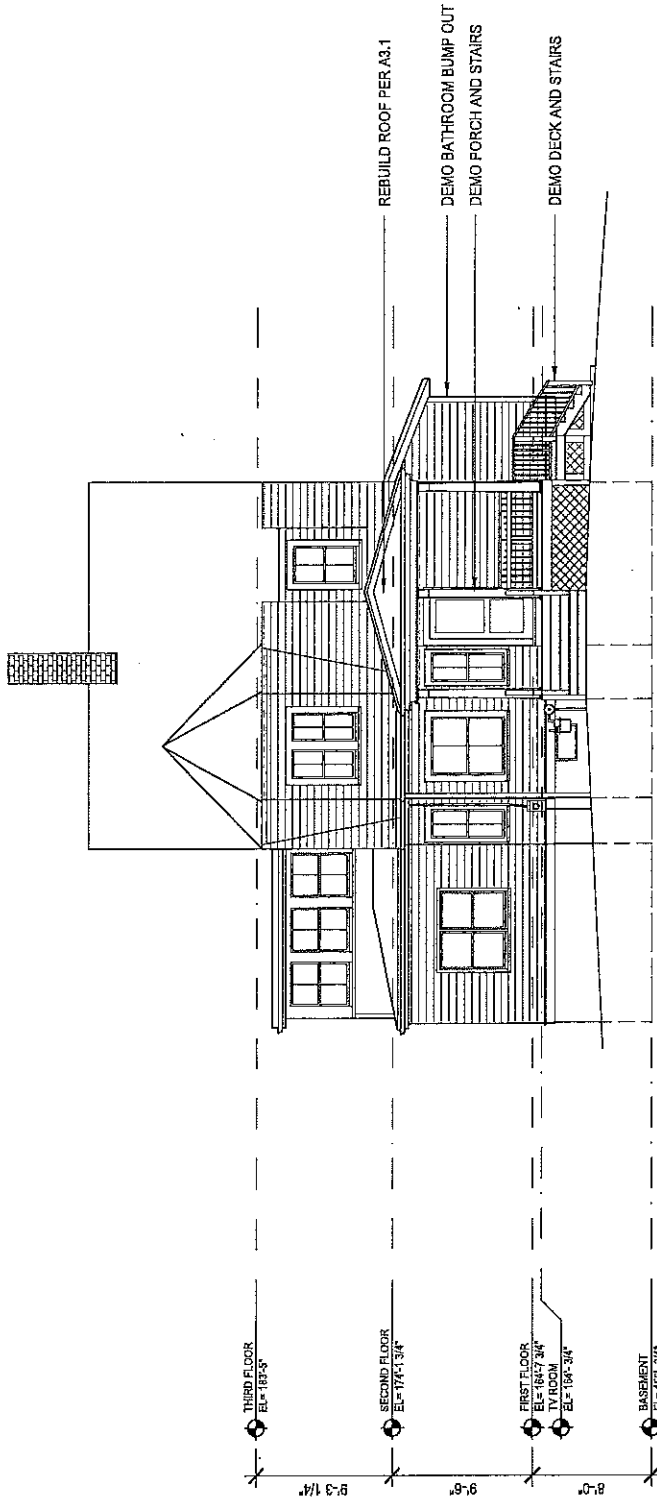
SHEET TITLE
EXISTING ROOF PLAN

PROJECT NAME
WHITAKER RESIDENCE
LOCATION
43 FISHER AVENUE NEWTON, MA

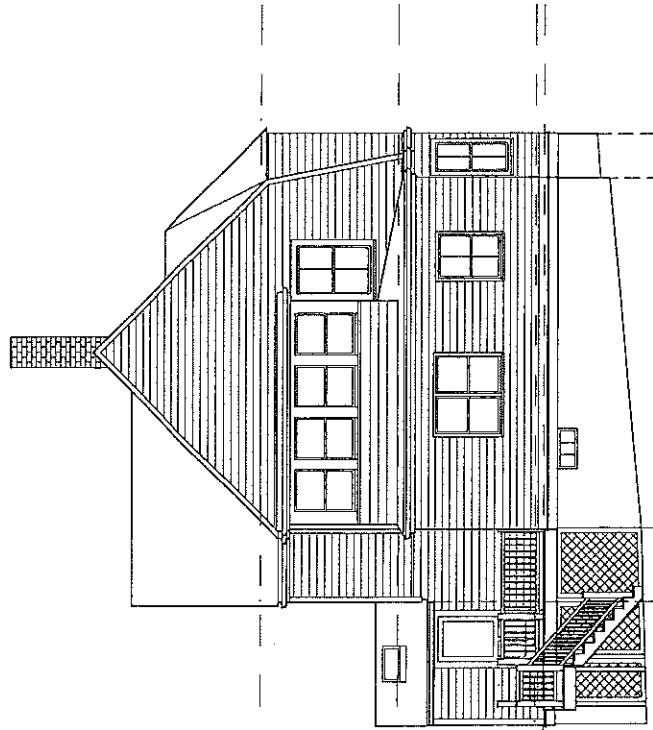
SCALE
1/4" = 1'-0"

DRAWING NO.
EX1.4

DATE
07.24.17



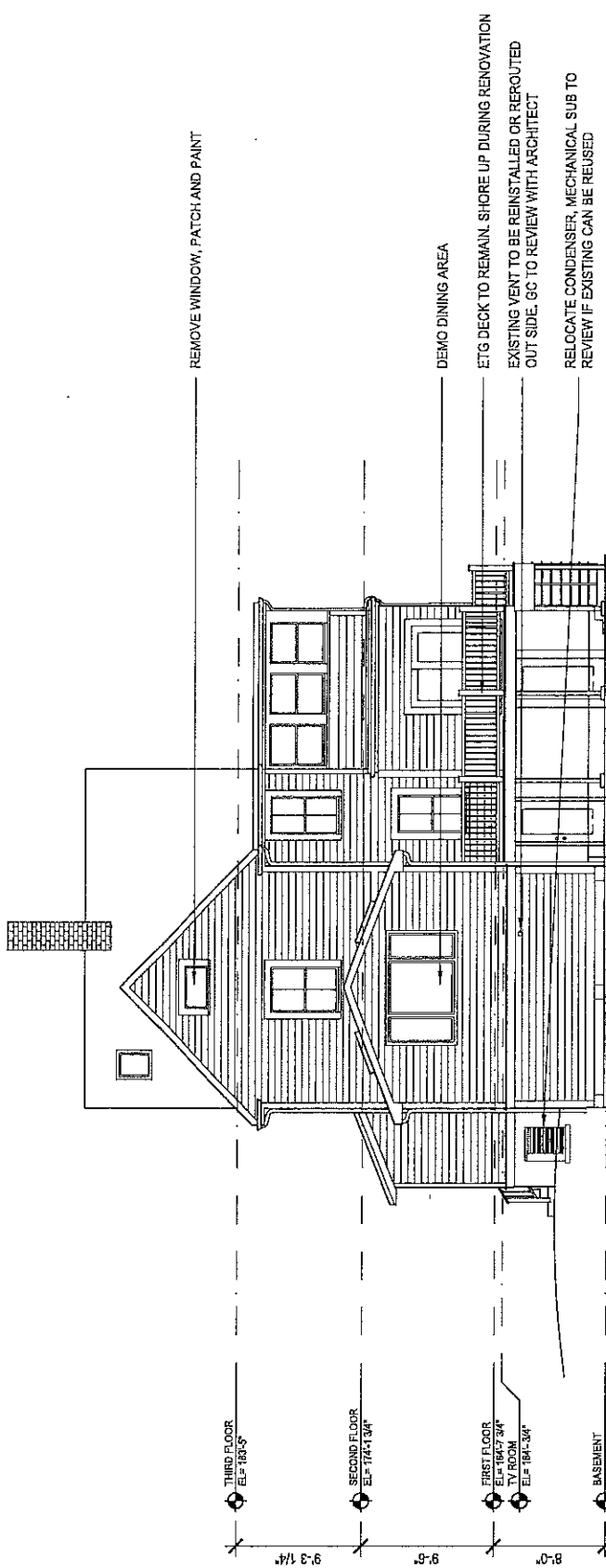
PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}'' = 1'-0''$	DRAWING NO. EX3.1
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17
SHEET TITLE EXISTING EAST FACING ELEVATION		
ARCHITECTS JACOB LILLEY ARCHITECTS 781.431.6100		



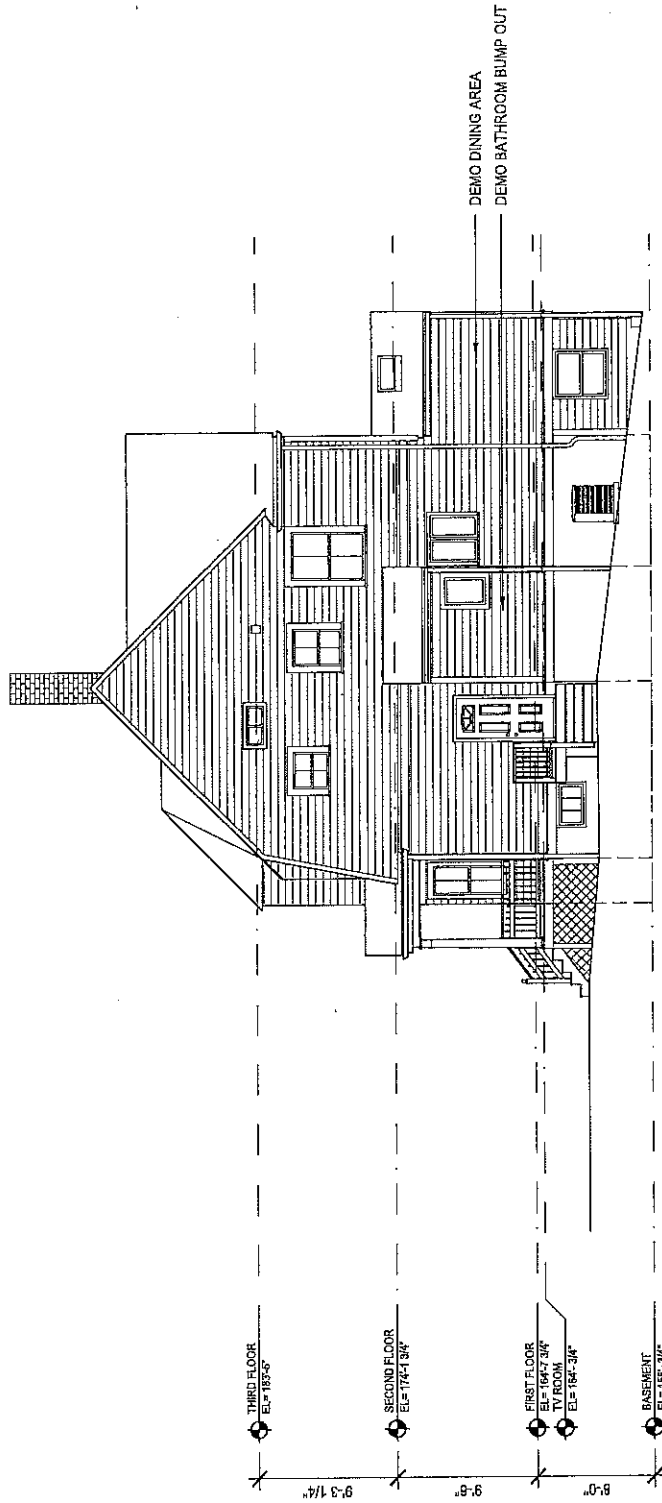
THIRD FLOOR
 EL= 183'-3"
 SECOND FLOOR
 EL= 174'-1 3/4"
 FIRST FLOOR
 EL= 164'-7 3/4"
 TV ROOM
 EL= 164'-3"
 BASEMENT
 EL= 155'-3 1/4"

9'-3 1/4"
 9'-6"
 8'-0"

PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{4}" = 1' - 0"$	DRAWING NO. EX3.2
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17
SHEET TITLE EXISTING SOUTH FACING ELEVATION		
JACOB LILLEY ARCHITECTS 781.431.6100		

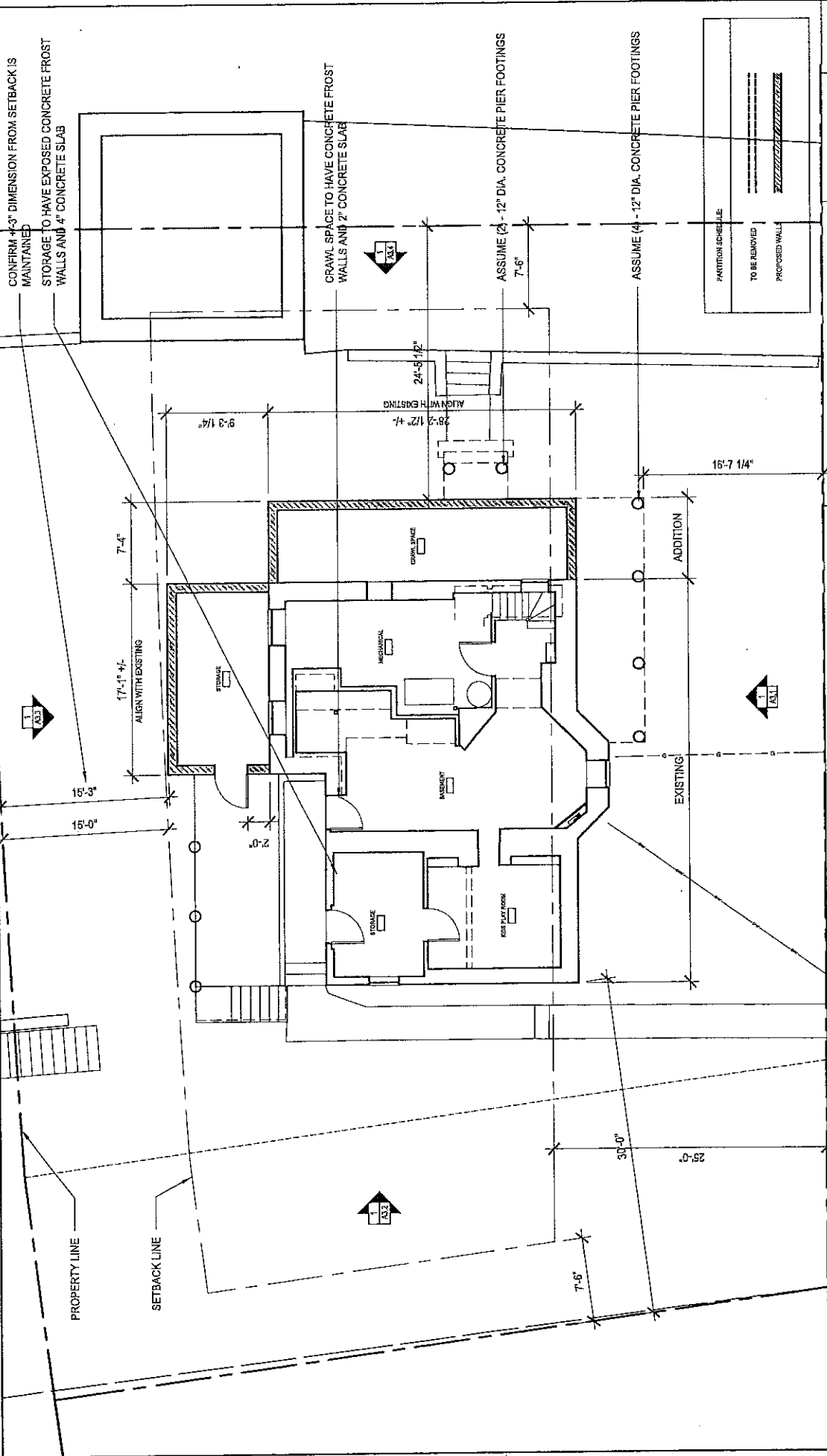


SHEET TITLE EXISTING WEST FACING ELEVATION	PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}'' = 1' - 0''$	DRAWING NO. EX3.3
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17	
ARCHITECT JACOB LILLEY ARCHITECTS 781.431.6100			



SHEET TITLE EXISTING NORTH FACING ELEVATION	PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}'' = 1'-0''$	DRAWING NO. EX3.4
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17	

JACOB LILLEY
 ARCHITECTS
 781.431.6100



CONFIRM 4'-3" DIMENSION FROM SETBACK IS MAINTAINED
 STORAGE TO HAVE EXPOSED CONCRETE FROST WALLS AND 4" CONCRETE SLAB

CRAWL SPACE TO HAVE CONCRETE FROST WALLS AND 2" CONCRETE SLAB

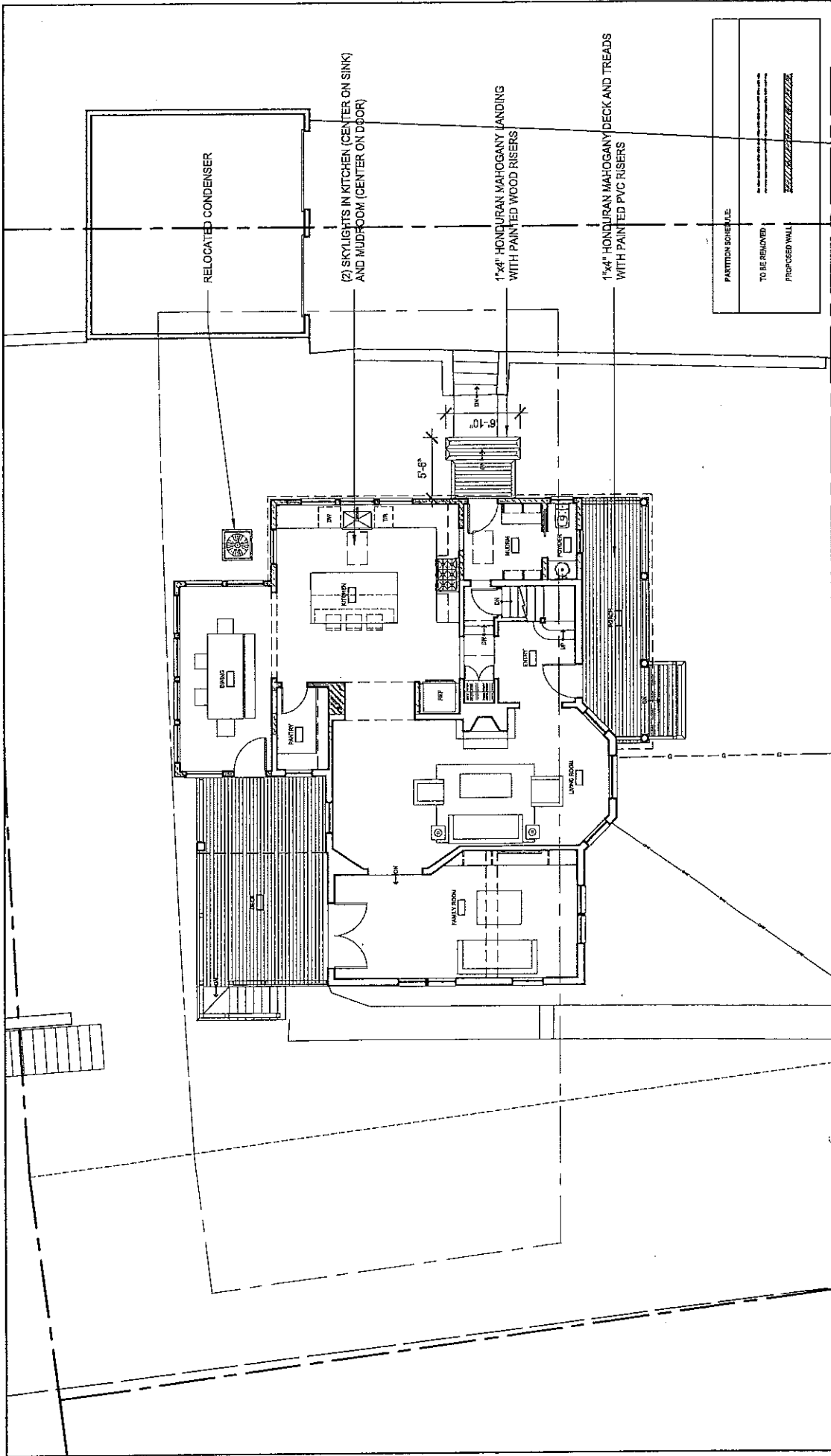
ASSUME (3) - 12" DIA. CONCRETE PIER FOOTINGS

ASSUME (4) - 12" DIA. CONCRETE PIER FOOTINGS

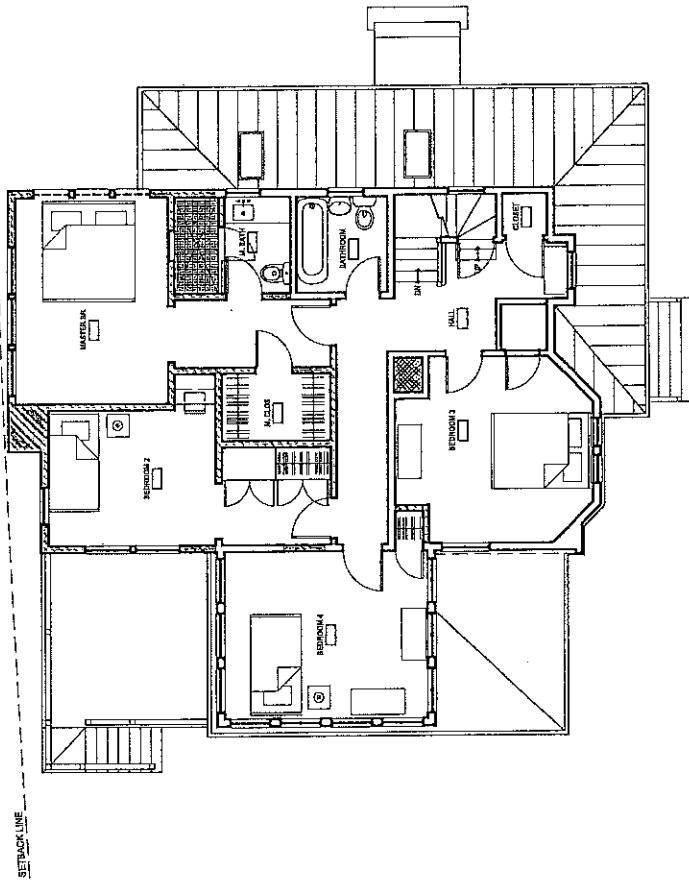
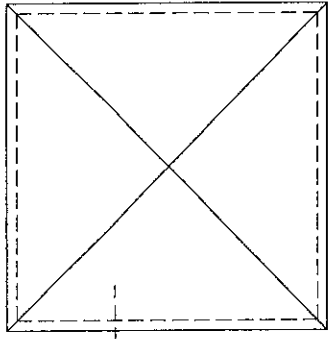
PARTITION SCHEDULE	
---	TO BE REMOVED
	PROPOSED WALLS

SHEET TITLE BASEMENT PLAN	PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}" = 1' - 0"$	DRAWING NO. A1.0
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17	

JACOB LILLEY ARCHITECTS
 781.431.6100

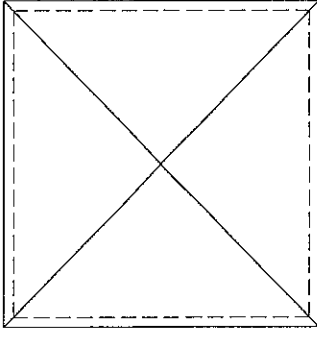


PROJECT NAME WHITAKER RESIDENCE	SCALE 1/8" = 1'-0"	DRAWING NO. A1.1
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17
SHEET TITLE FIRST FLOOR PLAN		JACOB LILLEY ARCHITECTS 781.431.6100

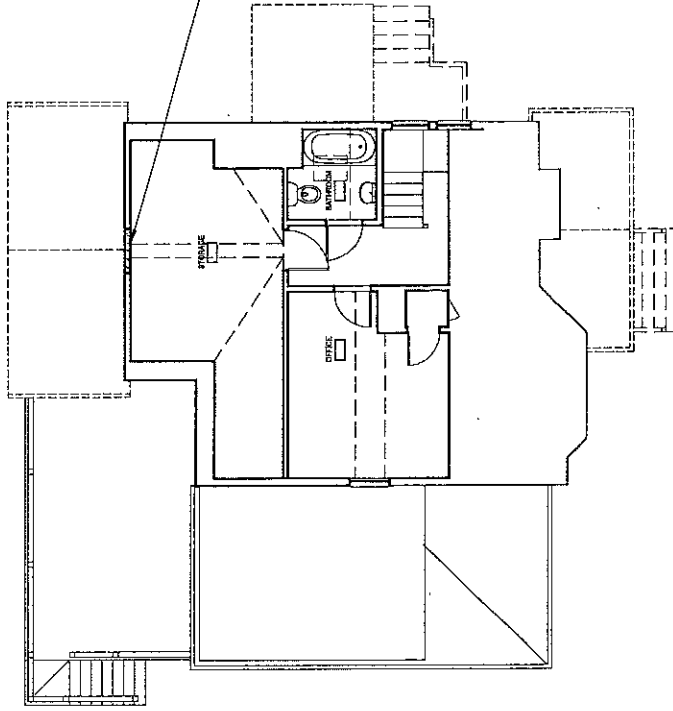


PARTITION SCHEDULE	
TO BE REMOVED	
PROPOSED WALLS	XXXXXXXXXXXXXXXXXXXX

SHEET TITLE SECOND FLOOR PLAN	PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}'' = 1' - 0''$	DRAWING NO. A1.2
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17	
ARCHITECTS JACOB LILLEY 781.431.6100			



INFILLED OPENING

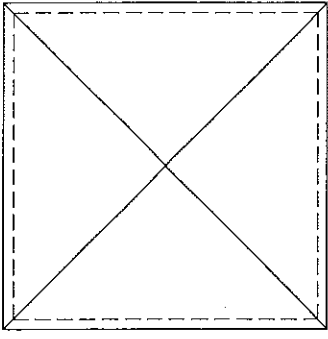


PARTITION SCHEDULE	
---	TO BE REMOVED
----	PROPOSED WALLS

PROJECT NAME WHITAKER RESIDENCE	SCALE	DRAWING NO.
	1" = 1'-0"	A1.3
LOCATION	DATE	
43 FISHER AVENUE NEWTON, MA	07.24.17	

SHEET TITLE
ATTIC PLAN

JACOB LILLEY
 ARCHITECTS
 781.431.6100



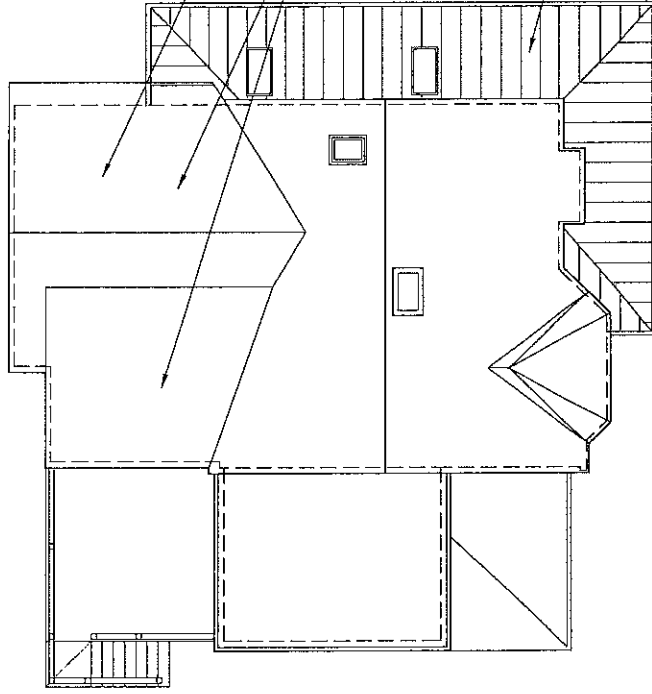
FEATHER NEW ASPHALT SHINGLES INTO EXISTING

ROOF TYPE 1:

- ASPHALT SHINGLES - ARCH. TAB TO MATCH EXISTING
- METAL DRIP EDGE TO MATCH EXISTING
- FULL COVERAGE ICE AND WATER SHIELD
- $\frac{3}{4}$ " EXTERIOR PLYWOOD SHEATHING
- WOOD FRAMING (ASSUME 2X10 RAFTERS)
- R48 OPEN CELL SPRAY FOAM INSULATION
- 1/2" PLASTER BOARD WITH SKIM COAT
- LOW VOC VAPOR RETARDANT PAINT

ROOF TYPE 2:

- 16" O.C. $\frac{1}{2}$ " STANDING SEAM METAL ROOF ENGLERT A1300 (OR EQUAL) MECHANICALLY SEALED, WITH SNOW GUARDS CLIPPED TO STANDING SEAM
- PAINTED METAL FLASHING AND DRIP EDGE
- BUILDING PAPER
- FULL COVERAGE ICE AND WATER SHIELD (BY GRACE OR EQUAL)
- $\frac{3}{4}$ " EXTERIOR PLYWOOD SHEATHING
- WOOD FRAMING (ASSUME 2X10 RAFTERS)
- R48 OPEN CELL SPRAY FOAM INSULATION
- 1/2" PLASTER BOARD WITH SKIM COAT
- LOW VOC VAPOR RETARDANT PAINT



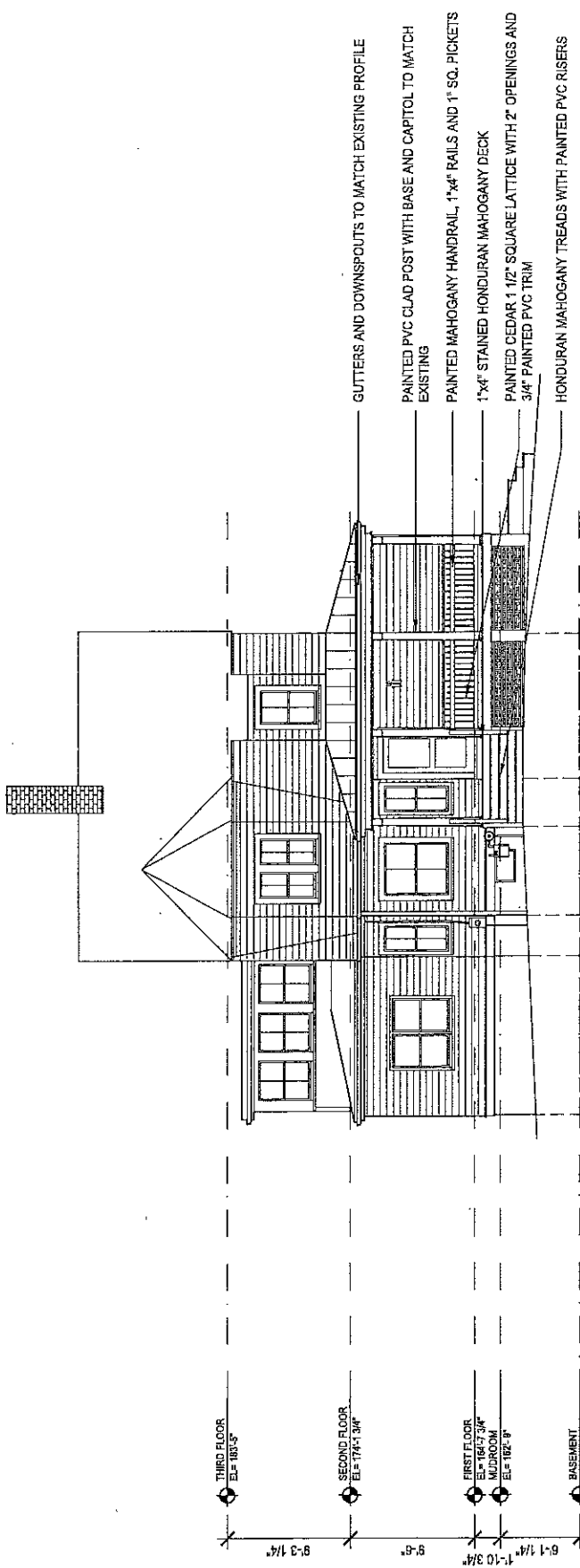
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SHEET TITLE
ROOF PLAN

PROJECT NAME
WHITAKER RESIDENCE
LOCATION
43 FISHER AVENUE NEWTON, MA

SCALE
 $\frac{1}{8}" = 1' - 0"$
DATE
07.24.17

DRAWING NO.
A1.4



THIRD FLOOR
EL= 183'-5"

SECOND FLOOR
EL= 174'-1 3/4"

FIRST FLOOR
EL= 164'-7 3/4"
MUDROOM
EL= 162'-9"

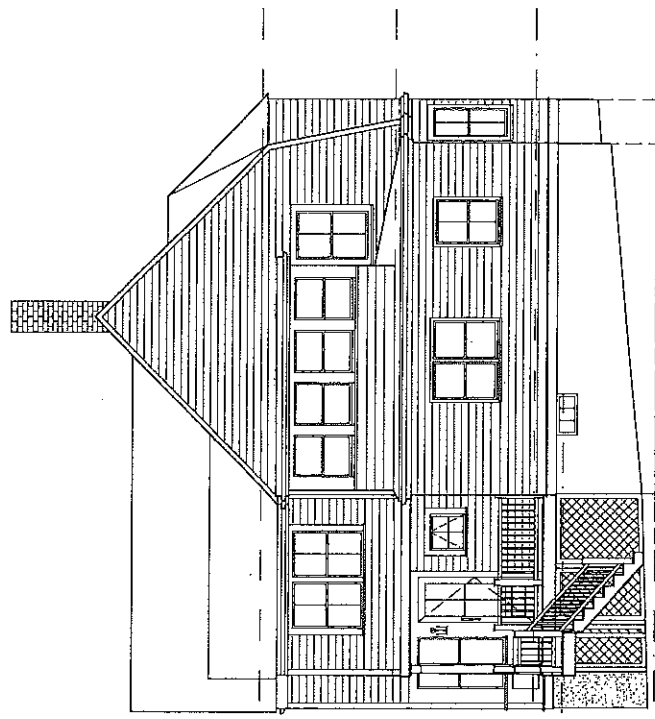
BASEMENT
EL= 155'-3 3/4"

8'-3 1/4"

8'-5"

6'-1 1/4"
1'-10 3/4"

SHEET TITLE EAST FACING ELEVATION	PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}'' = 1' - 0''$	DRAWING NO. A3.1
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17	
ARCHITECT JACOB LILLEY ARCHITECTS 781.431.6100			



THIRD FLOOR
 EL= 133'-5"
 SECOND FLOOR
 EL= 114'-3 1/4"
 FIRST FLOOR
 EL= 104'-7 3/4"
 MUDROOM
 EL= 102'-9"
 BASEMENT
 EL= 100'-0"

9'-3 1/4"
 8'-6"
 1'-10 3/4"
 8'-1 1/4"

PROJECT NAME WHITAKER RESIDENCE	SCALE $\frac{1}{8}'' = 1'-0''$	DRAWING NO. A3.2
	LOCATION 43 FISHER AVENUE NEWTON, MA	DATE 07.24.17
SHEET TITLE SOUTH FACING ELEVATION		ARCHITECTS JACOB LILLEY ARCHITECTS 781.431.6100

ROOF TYPE 1:

- ASPHALT SHINGLES - ARCH. TAB TO MATCH EXISTING
- METAL DRIP EDGE TO MATCH EXISTING
- FULL COVERAGE ICE AND WATER SHIELD
- $\frac{3}{8}$ " EXTERIOR PLYWOOD SHEATHING
- WOOD FRAMING (ASSUME 2x10 RAFTERS)
- R48 OPEN CELL SPRAY FOAM INSULATION
- 1/2" PLASTER BOARD WITH SKIM COAT
- LOW VOC VAPOR RETARDANT PAINT

PAINT EXTERIOR OF ALL AFFECTED AREAS, FEATHER INTO EXISTING

1"x8" PAINTED PVC FLAT STOCK CORNER BOARDS, TYPICAL

SHINGLE EXPOSURE VARIES ALL OVER THE HOUSE, CHECK LOCALLY TO MATCH

WALL TYPE 1:

- PAINTED CEDAR SHINGLES (TO MATCH EXISTING), BACK PRIMED AND WITH STAINLESS STEEL FASTENERS
- CEDAR BREATHER (BY BEN OBDYKE) OR FURRING
- TYPAR HOUSE WRAP
- 1/2" EXTERIOR PLYWOOD SHEATHING
- R20 OPEN CELL SPRAY FOAM INSULATION (R402.1.1 IECC)
- 1/2" PLASTER BOARD WITH SKIM COAT
- LOW VOC VAPOR RETARDANT PAINT

8/4"x7" PAINTED PVC TRIM BAND

SPRAY FOAM INSULATION AT FLOOR JOISTS AT COVERED DECK AREA

PAINTED PVC CLAD COLUMN

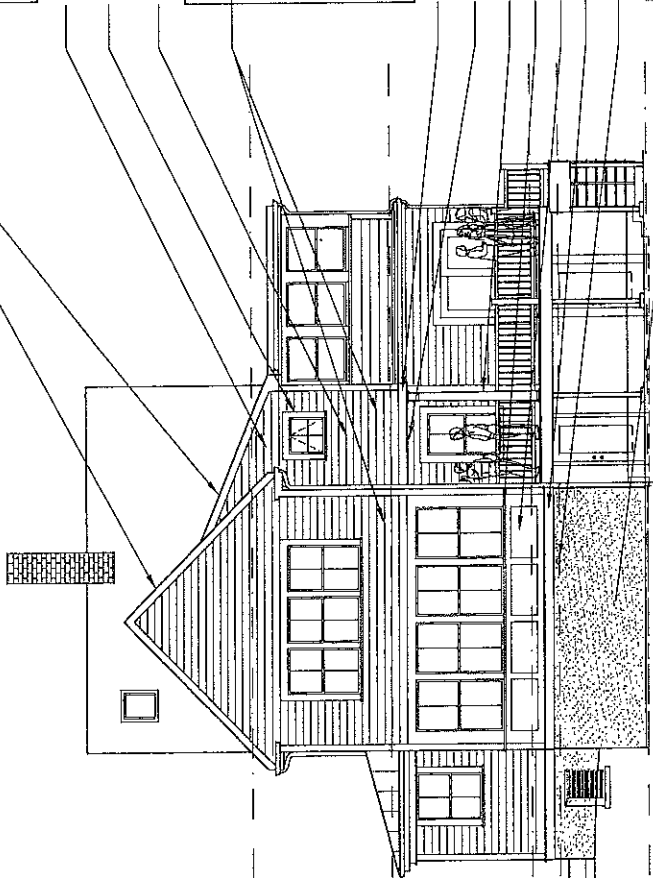
CONTINUOUS PAINTED PVC SILL

PAINTED PVC PANELS AND TRIM

PAINTED PVC WATER TABLE TO MATCH EXISTING PROFILE EXISTING VENT TO BE REINSTALLED OR TO BE REROUTED OUT SIDE. GC TO REVIEW WITH ARCHITECT

WALL TYPE 2: FOUNDATION (EXPOSED)

- 10" CAST IN PLACE CONCRETE FOUNDATION
- DAMP PROOFING
- GALVANIZED WIRE LATH
- FARGED CONCRETE
- SPRAY FOAM INSULATION ON THE INSIDE FACE OF FROST WALL AT KITCHEN/MUDROOM. SPRAY JOISTS AT DINING WITH UNCONDITIONED SPACE BELOW



THIRD FLOOR
EL=185'-5"

SECOND FLOOR
EL=174'-1 3/4"

FIRST FLOOR
EL=162'-7 3/4"

MUDROOM
EL=162'-5"

BASEMENT
EL=158'-3 3/4"

6'-1 1/4" 1'-10 3/4" 9'-6" 9'-3 1/4"

PROJECT NAME

WHITAKER RESIDENCE

DRAWING NO.

A3.3

SCALE

$\frac{1}{4}" = 1' - 0"$

LOCATION

43 FISHER AVENUE NEWTON, MA

DATE

07.24.17

SHEET TITLE

WEST FACING ELEVATION

JACOB LILLEY
ARCHITECTS

781.431.6100