

Derek

Attached please find the revised plans as discussed yesterday. These plans show the rear unit being stepped back 4 feet along the demising wall with unit 1. This is been done in an effort to address the staff and committee concern about him breaking up the building mass along Linwood Avenue. The revised site plan, in addition to showing this break, also shows our consolidation of the two garage curb cuts, which previously spanned 28 feet in width, into a single 20 foot wide curb cut. This reduction allowed us to also narrow the width of the driveways from 32 feet to 24 feet. The simultaneous relocation of the retaining walls resulted in an increase in open space, reduction in lot coverage and reduction in FAR from .57 to .56.

I expect to receive a revised landscape plan/elevation showing the trees that we had represented at the meeting and will forward that to you later this afternoon.

Thank you and be well,

Terry

Terrence P. Morris, Esq.

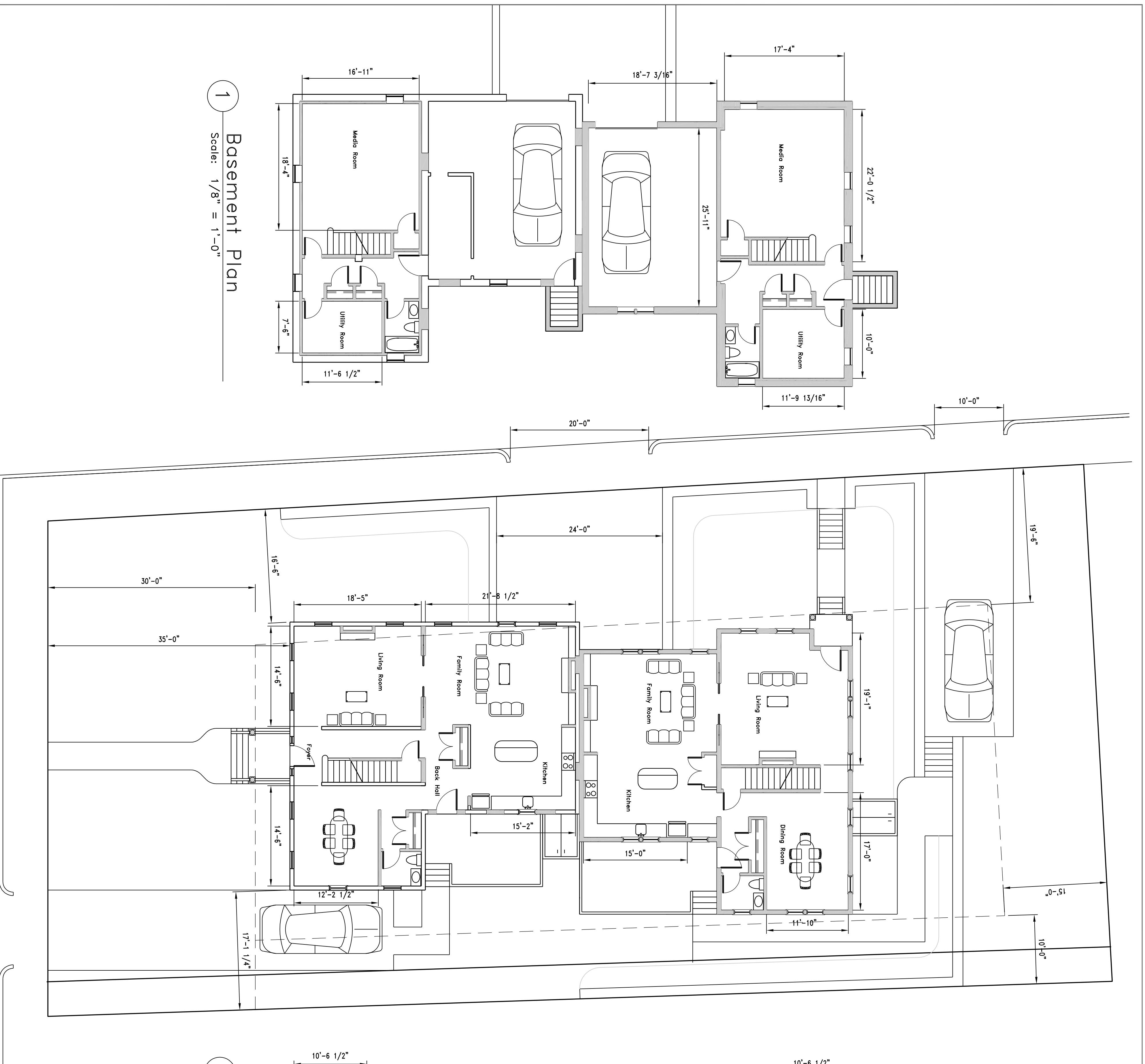
Attorney at Law

57 Elm Road

Newton, MA 02460

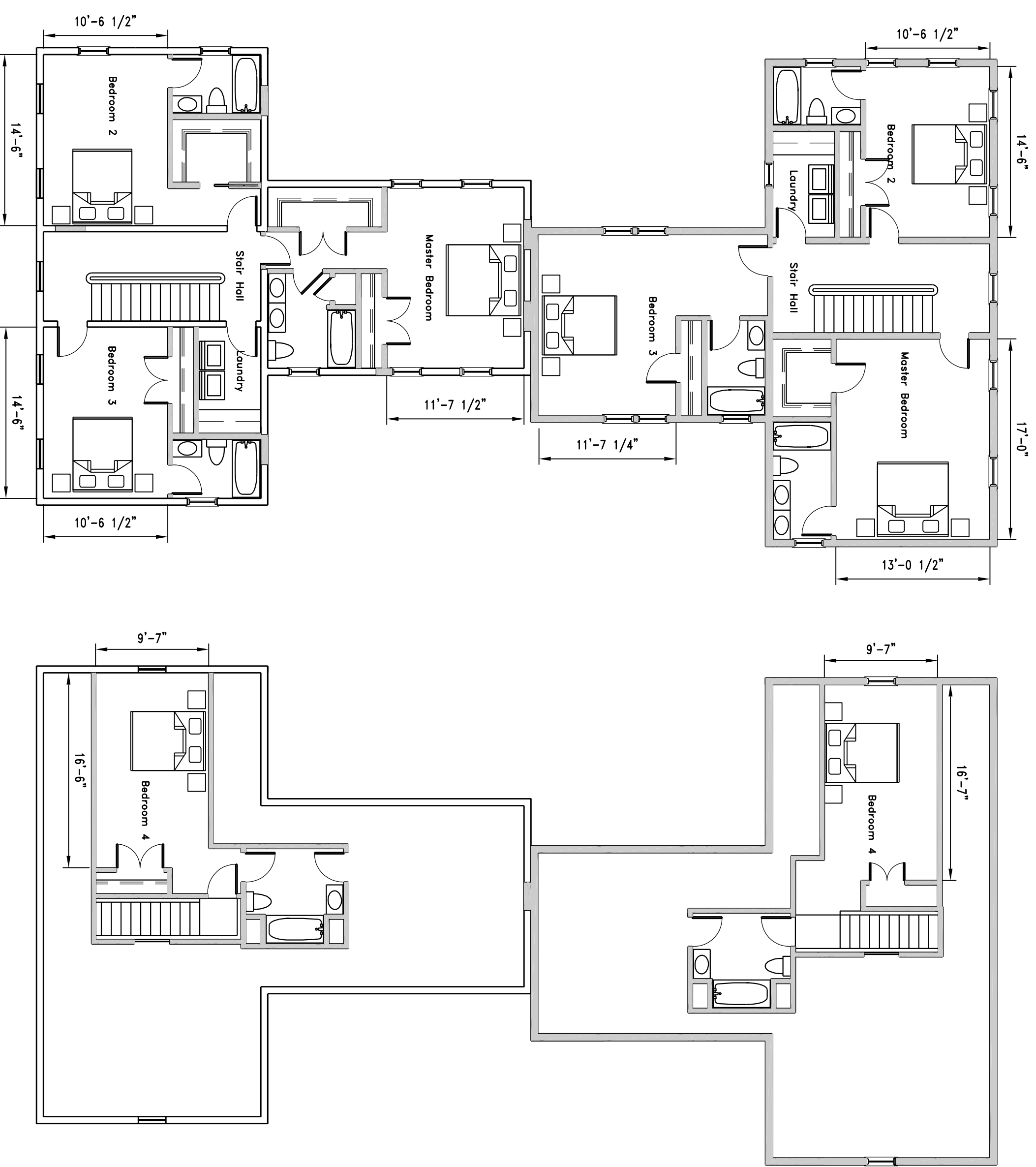
617 202-9132

Tpmorris.landuse.law@comcast.net



1 Basement Plan
Scale: 1/8" = 1'-0"

2 First Floor Site Plan
Scale: 1/8" = 1'-0"



3 Second Floor Plan
Scale: 1/8" = 1'-0"

4 Attic Level Plan
Scale: 1/8" = 1'-0"

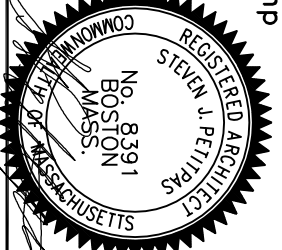
New Code Floor Area	
Basement	284 s.f. - (28/268) x 2,724
1st Floor	2,724 s.f. - gross floor area
2nd Floor	2,262 s.f. - gross floor area
3rd Floor	947 s.f. - above 5'-0"
Gross Floor Area	6,217 s.f.
Lot Area	11,127 s.f.
Floor Area Ratio	.56 F.A.R.

Old Code Gross Area	4,986 s.f.
Old Code F.A.R.	.44 F.A.R.

Existing House	.22 F.A.R. - Gross Area 3,499 s.f.
New Code F.A.R.	.31 F.A.R. - Gross Area 2,507 s.f.

North arrow

AESTHETIC IMAGES
Architects / Planners
7 Stimson Street
Boston, Massachusetts 02132
Phone: (617) 323-4955
Fax: (617) 323-6081



Two Family Addition
258 Nevada Street
Newton, Massachusetts

date	scale	drawn	job no.
07/16/2012	1/8" = 1'-0"	SJP	

title
Proposed Plans

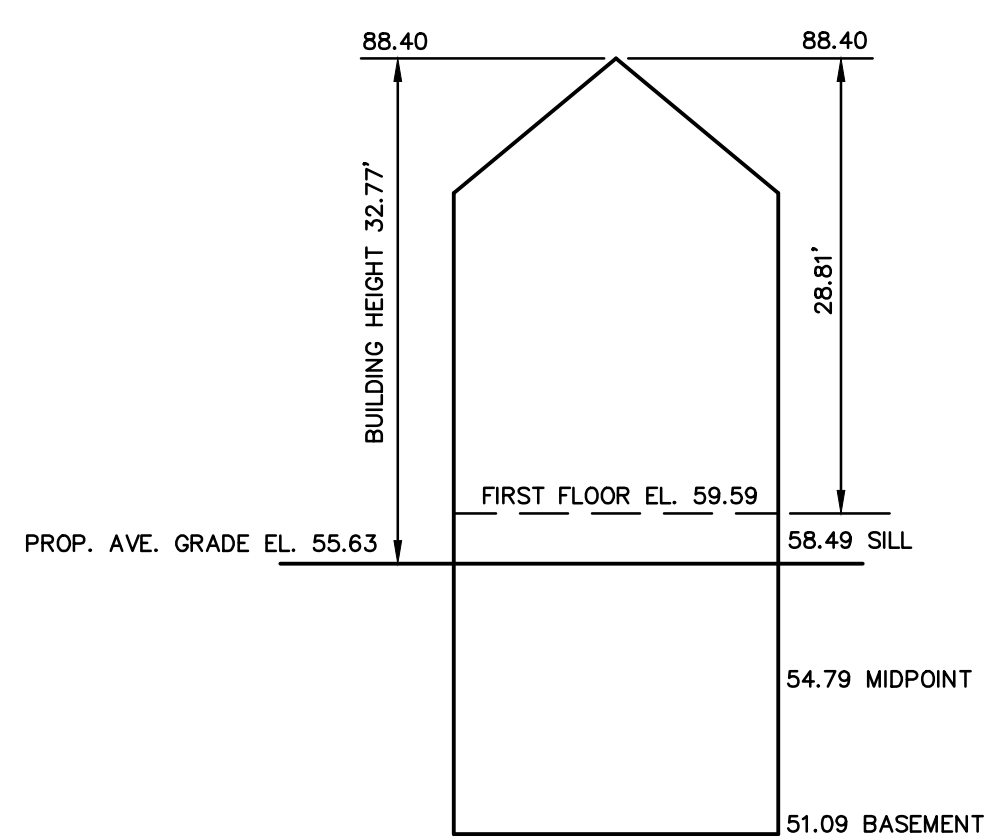
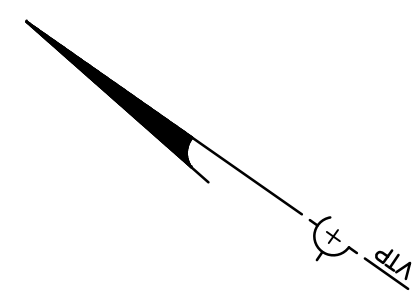
sheet no.

SK16

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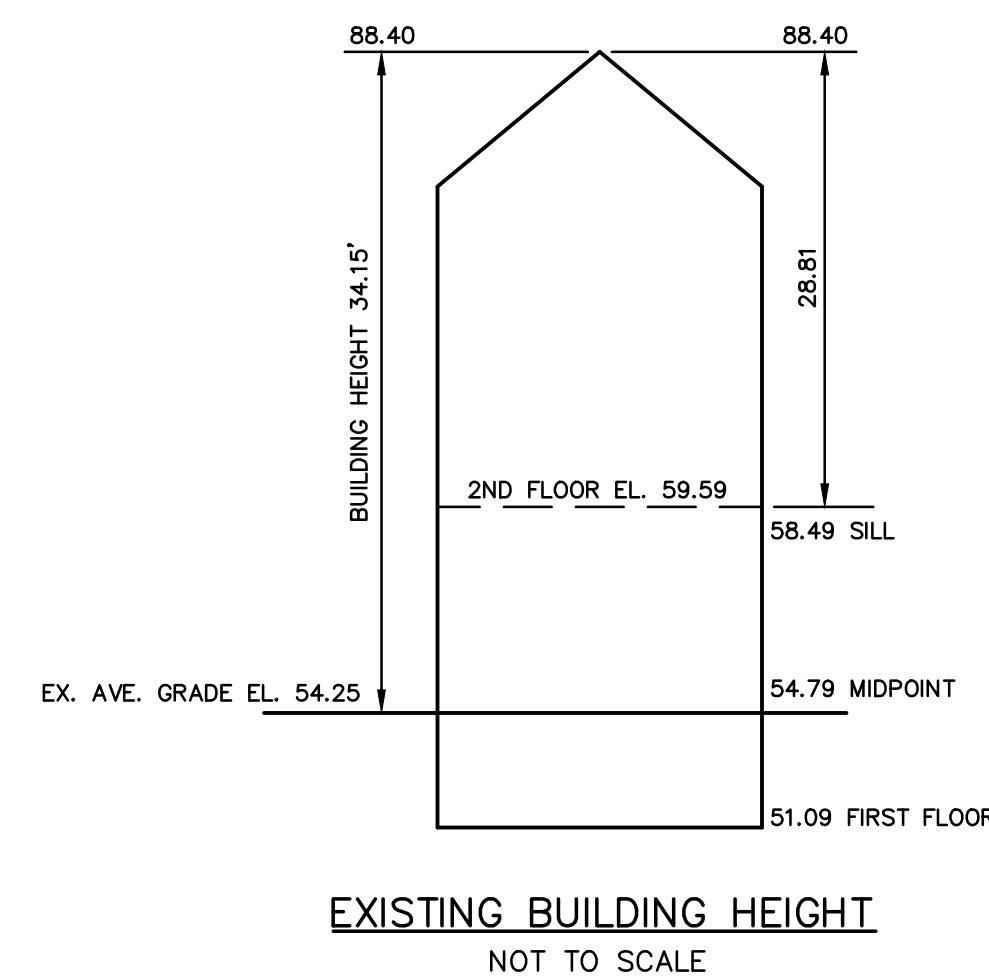
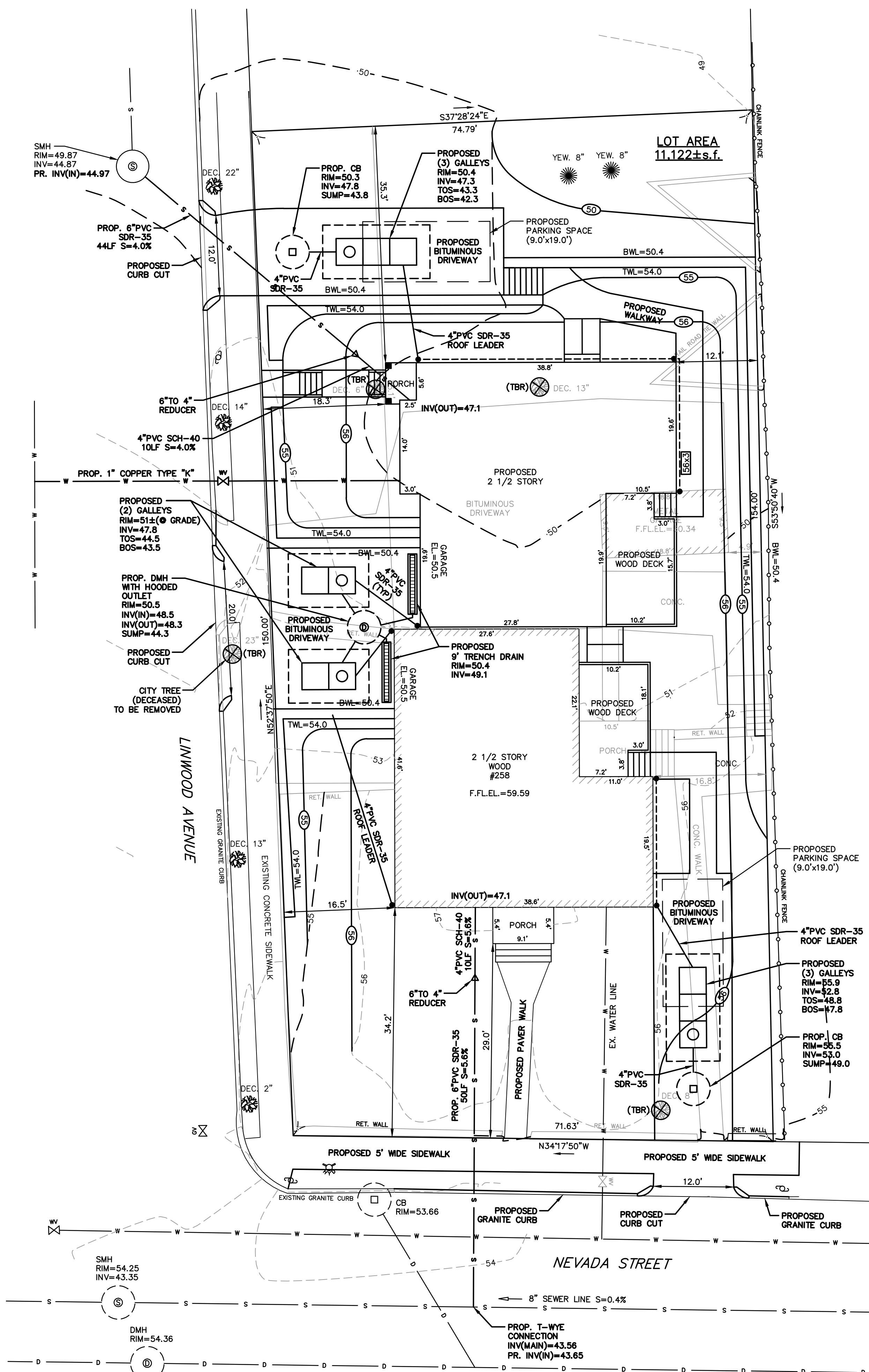
LEGEND

- STORM SEWER ——— D ———
- COMBINATION SEWER ——— CS ———
- SANITARY SEWER ——— S ———
- WATER MAIN ——— W ———
- OVERHEAD ELECTRIC ——— OE ———
- UNDER GROUND ELECTRIC ——— UE ———
- GAS MAIN ——— G ———
- CONTOUR ——— 21 ———
- BUILDING ——— [Symbol] ———
- PICKET FENCE ——— [Symbol] ———
- CHAINLINK FENCE ——— [Symbol] ———
- PROPERTY LINE W/ BEARING DISTANCE ——— [Symbol] ———
- CONIFEROUS TREE ——— [Symbol] ———
- DECIDUOUS TREE ——— [Symbol] ———
- SIGN POST ——— [Symbol] ———
- LIGHT POLE ——— [Symbol] ———
- GAS VALVE ——— [Symbol] ———
- WATER VALVE ——— [Symbol] ———
- UTILITY POLE ——— [Symbol] ———
- DRAINAGE MANHOLE ——— [Symbol] ———
- SEWER MANHOLE ——— [Symbol] ———
- FIRE HYDRANT ——— [Symbol] ———
- CATCH BASIN ——— [Symbol] ———
- FIRE CALL BOX ——— [Symbol] ———
- MAIL BOX ——— [Symbol] ———
- MONITORING WELL ——— [Symbol] ———
- ELECTRIC MANHOLE ——— [Symbol] ———
- TOP OF STONE EL. ——— [Symbol] ———
- BOTTOM OF STONE EL. ——— [Symbol] ———
- TOP OF WALL EL. ——— [Symbol] ———
- BOTTOM OF WALL EL. ——— [Symbol] ———



PROPOSED BUILDING HEIGHT
NOT TO SCALE

Address:#258 Nevada Street						
Length Weighted Mean Proposed Average Grade Calculation						
A	B	C	D	E	F	
Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE	
1	38.55	56.50	56.07	56.29	2169.79 Sq. Ft.	
2	19.48	56.20	56.20	56.20	1094.78 Sq. Ft.	
3	10.97	56.50	56.30	56.40	618.71 Sq. Ft.	
4	22.39	56.40	56.40	56.40	1262.80 Sq. Ft.	
5	19.87	56.40	56.40	56.40	1120.67 Sq. Ft.	
6	10.50	56.50	56.30	56.40	592.20 Sq. Ft.	
7	19.58	56.10	56.00	56.05	1097.46 Sq. Ft.	
8	38.77	56.00	56.00	56.00	2171.12 Sq. Ft.	
9	14.01	56.20	56.20	56.20	787.36 Sq. Ft.	
10	3.53	56.20	56.00	56.10	198.03 Sq. Ft.	
11	3.00	56.00	54.00	55.00	165.00 Sq. Ft.	
12	1.50	54.00	54.00	54.00	81.00 Sq. Ft.	
13	12.15	50.40	50.40	50.40	612.36 Sq. Ft.	
14	11.85	50.40	50.40	50.40	597.24 Sq. Ft.	
15	1.50	54.00	54.00	54.00	81.00 Sq. Ft.	
16	3.00	56.00	54.00	55.00	165.00 Sq. Ft.	
17	25.22	56.50	56.00	56.25	1418.63 Sq. Ft.	
Total	255.87				14233.13 Sq. Ft.	
Total Column F / Total Column B = Average Grade					Average Grade: 55.63'	



EXISTING BUILDING HEIGHT
NOT TO SCALE

Address:#258 Nevada Street						
Length Weighted Mean Existing Average Grade Calculation						
A	B	C	D	E	F	
Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE	
1	38.55	56.50	56.07	56.29	2169.79 Sq. Ft.	
2	19.48	56.20	56.20	56.20	1090.69 Sq. Ft.	
3	10.97	56.50	56.40	56.47	619.48 Sq. Ft.	
4	8.30	56.50	56.50	56.50	468.95 Sq. Ft.	
5	13.79	51.11	50.49	50.80	700.53 Sq. Ft.	
6	27.58	50.69	50.35	50.52	1393.34 Sq. Ft.	
7	22.95	53.16	52.36	52.76	1210.84 Sq. Ft.	
8	18.62	55.94	55.62	55.78	1038.62 Sq. Ft.	
Total	160.24				8692.24 Sq. Ft.	
Total Column F / Total Column B = Average Grade					Average Grade: 54.25'	

EXISTING IMPERVIOUS AREA: 4,003 s.f.
PROPOSED IMPERVIOUS AREA: 4,914 s.f.
TOTAL INCREASE IN IMPERVIOUS AREA: 911 s.f.

ZONING CHART			
NEWTON, MASSACHUSETTS			
ZONE:	MR-1 (NEW)	SUBMISSION: PROPOSED	
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	11,122±s.f.	N/C
LOT FRONTAGE	80.0'	71.63'/150.0'	N/C
FRONT SETBACK	30.0'*	29.0*/16.5'*	N/C*
SIDE SETBACK	10.0'	16.8'	12.1'
REAR SETBACK	15.0'	75.1'	35.3'
BUILDING HEIGHT	36.0'	34.15'	32.77'
AVERAGE GRADE		54.25	55.63
LOT COVERAGE	30.0%	14.0%	25.8%
OPEN SPACE	50.0%	71.9%	57.8%

* EXISTING NON-CONFORMING SETBACK.

DIG SAFE

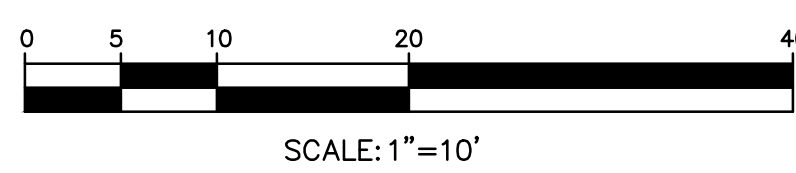
EXCAVATORS
BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-322-4844. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY

TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT #258 NEVADA STREET

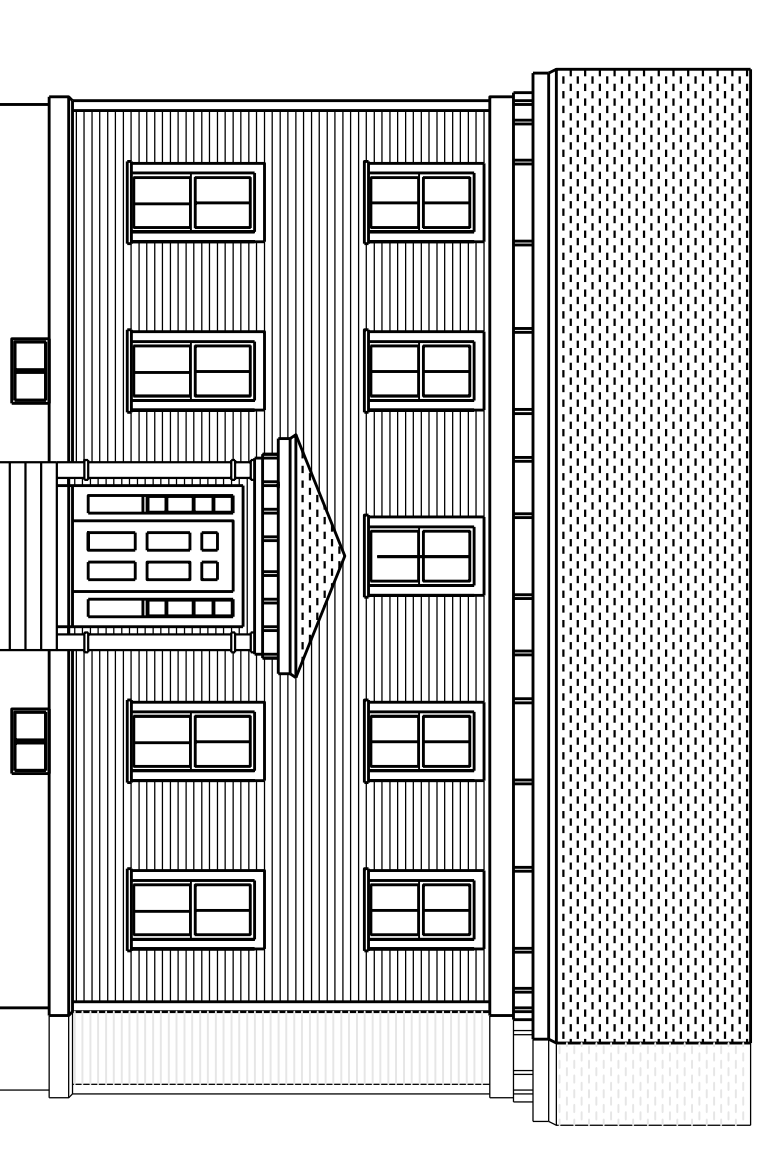
SCALE: 1in.=10ft. DATE: FEBRUARY 13, 2012
REVISED: MARCH 15, 2012; JULY 6, 2012, JULY 17, 2012
PROJECT: 212107

VTP
ASSOCIATES
INC.

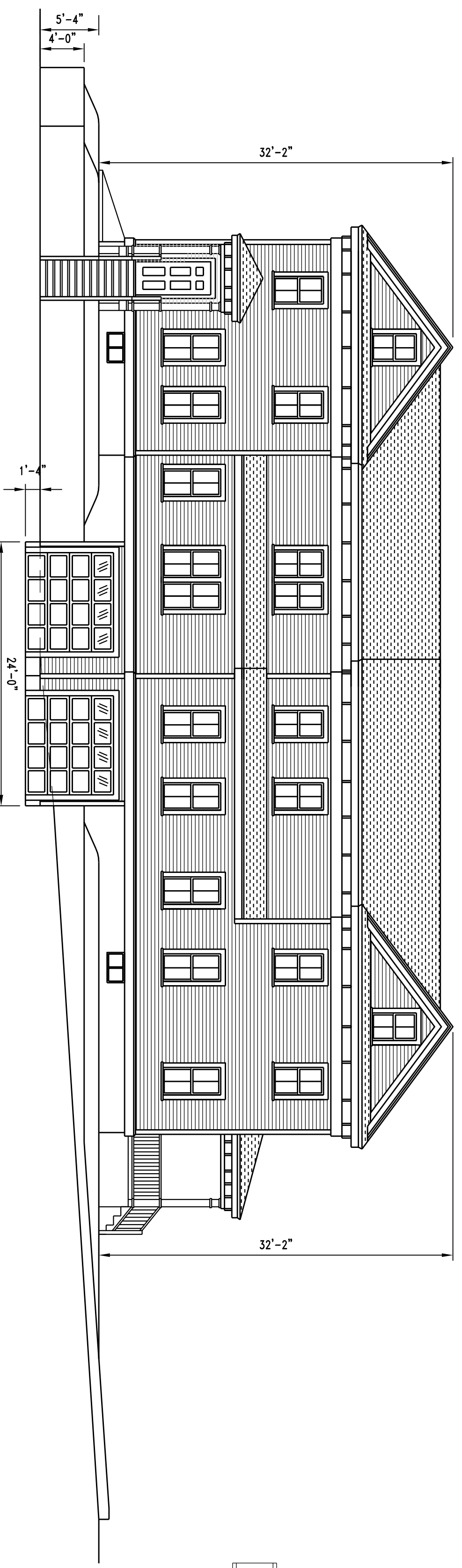
LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271



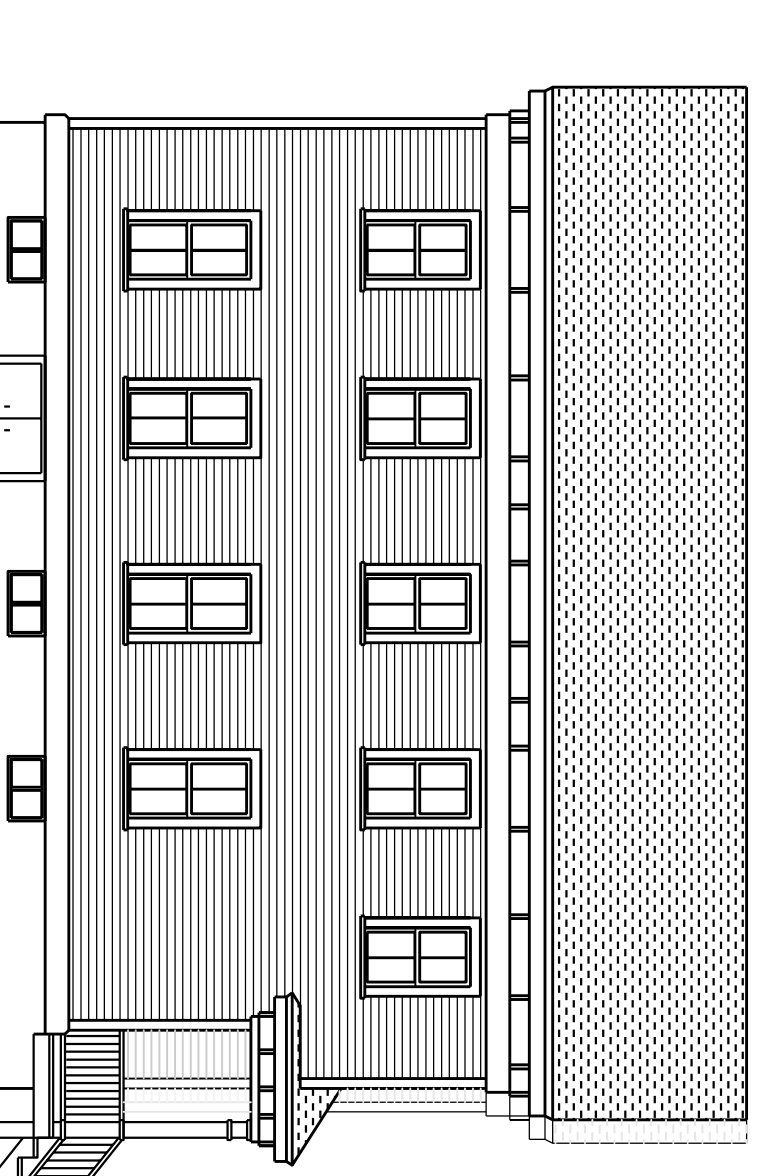
NOTE:
NO SEWER TIES AVAILABLE AT NEWTON ENGINEERING.



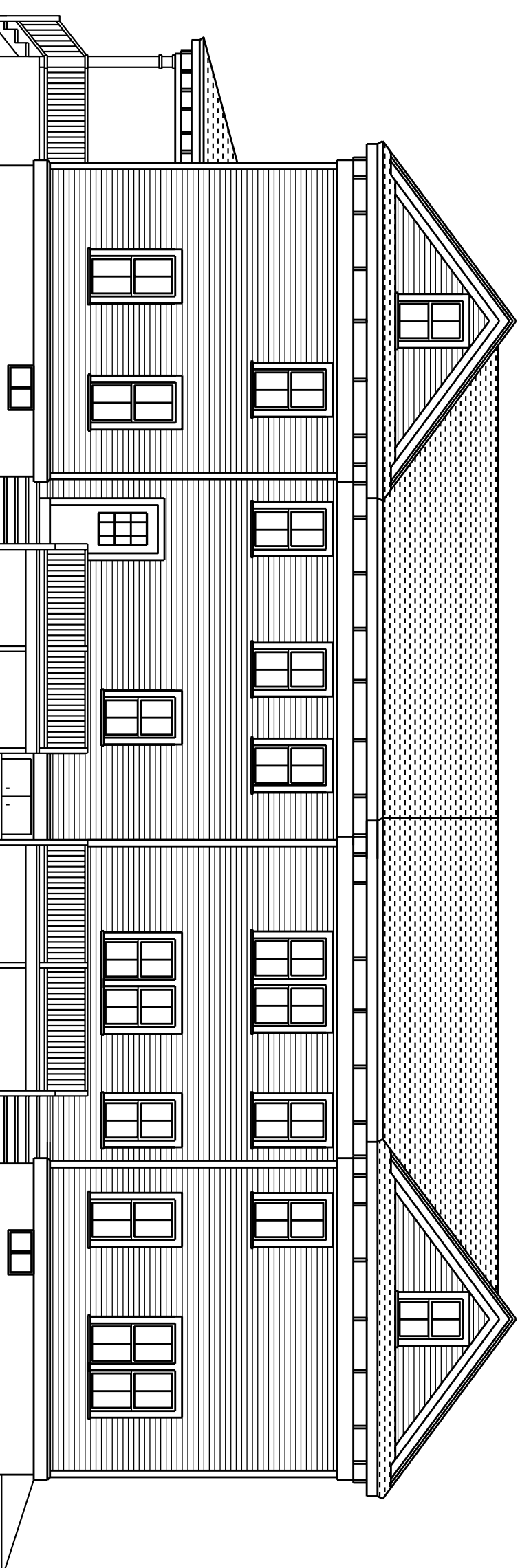
1 Nevada Street Elevation
Scale: 1/8" = 1'-0"



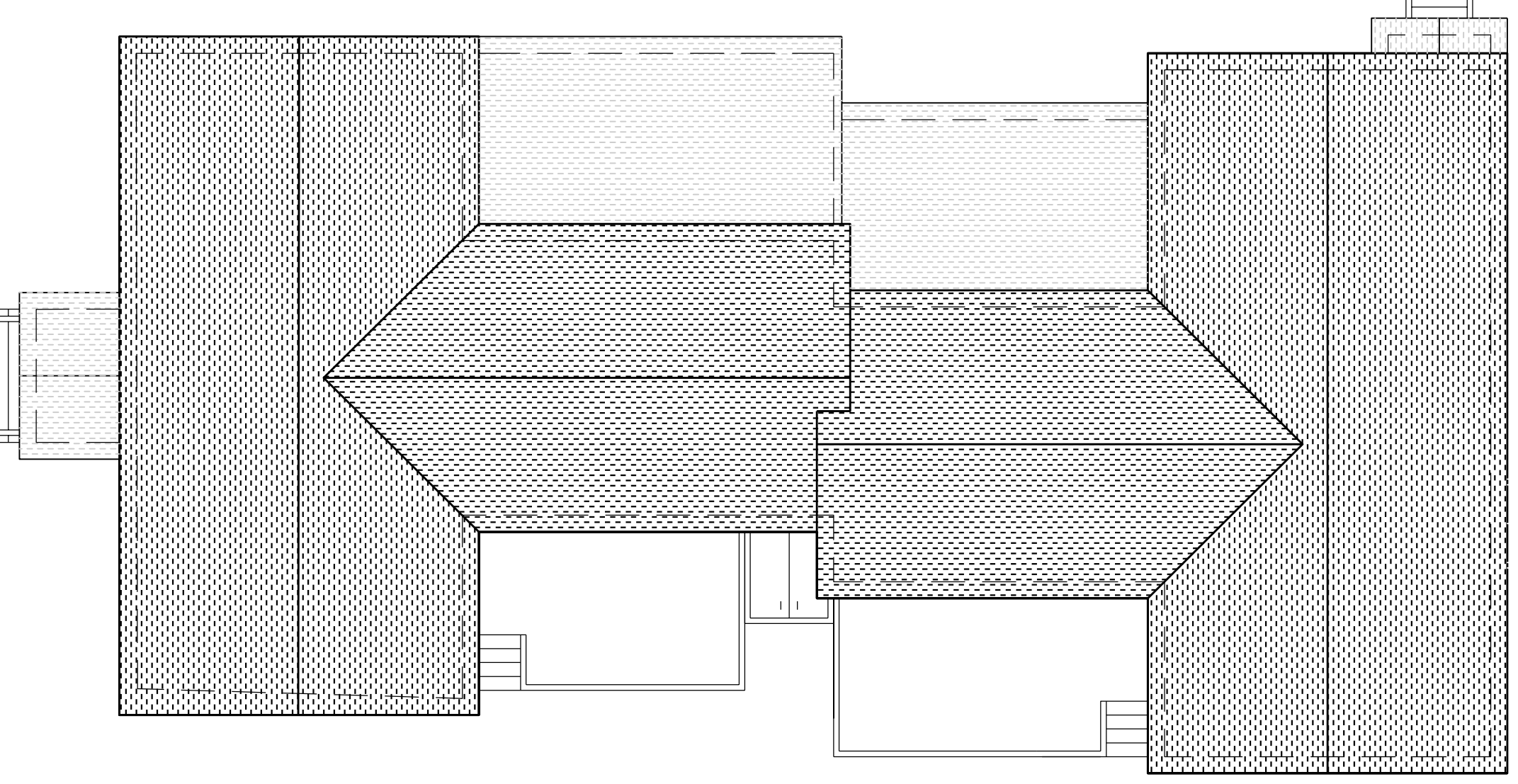
2 Linwood Ave. Elevation
Scale: 1/8" = 1'-0"



3 Rear Elevation
Scale: 1/8" = 1'-0"



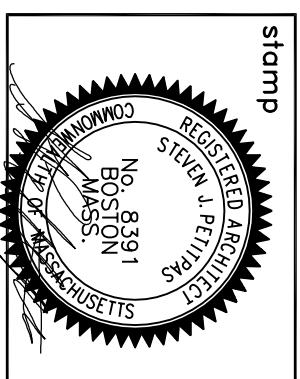
4 Neighbor's Elevation
Scale: 1/8" = 1'-0"



5 Roof Plan
Scale: 1/8" = 1'-0"

North arrow

AESTHETIC IMAGES
Architects / Planners
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Boston, Massachusetts 02132
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Fax: (617) 323-6081



Project
Two Family Addition
258 Nevada Street
Newton, Massachusetts

revisions

date	07/16/2012
scale	1/8" = 1'-0"
drawn	SJP
job no.	

title
Proposed
Exterior
Elevations

sheet no.
SK17