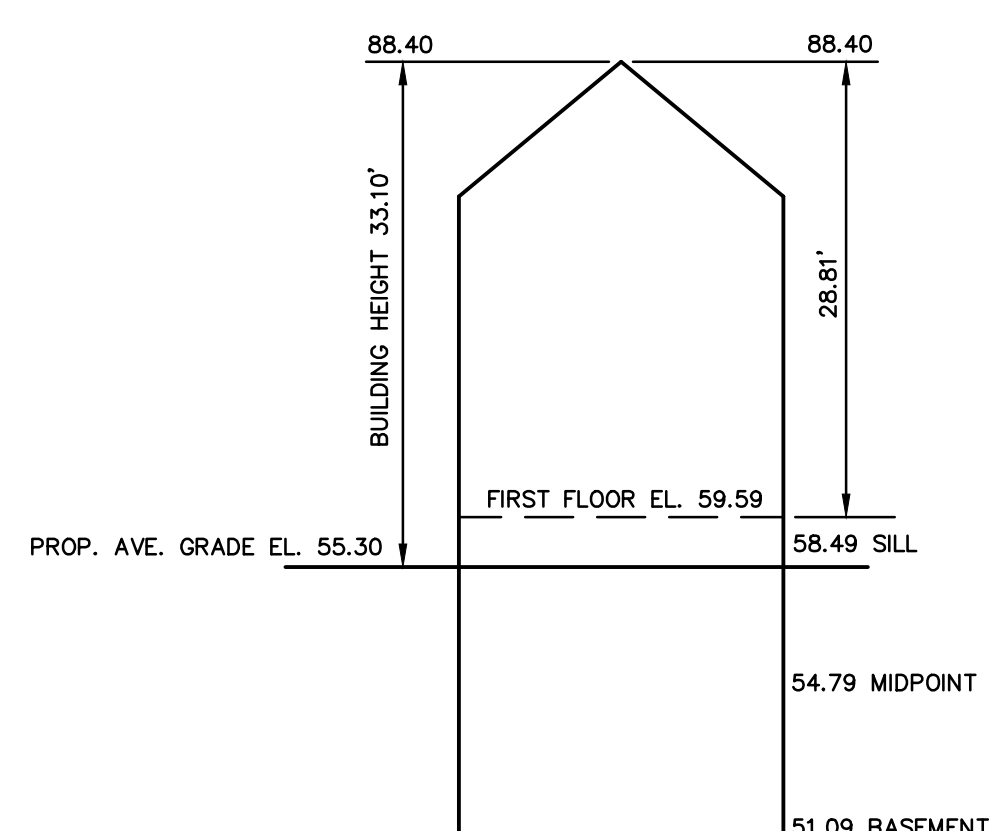


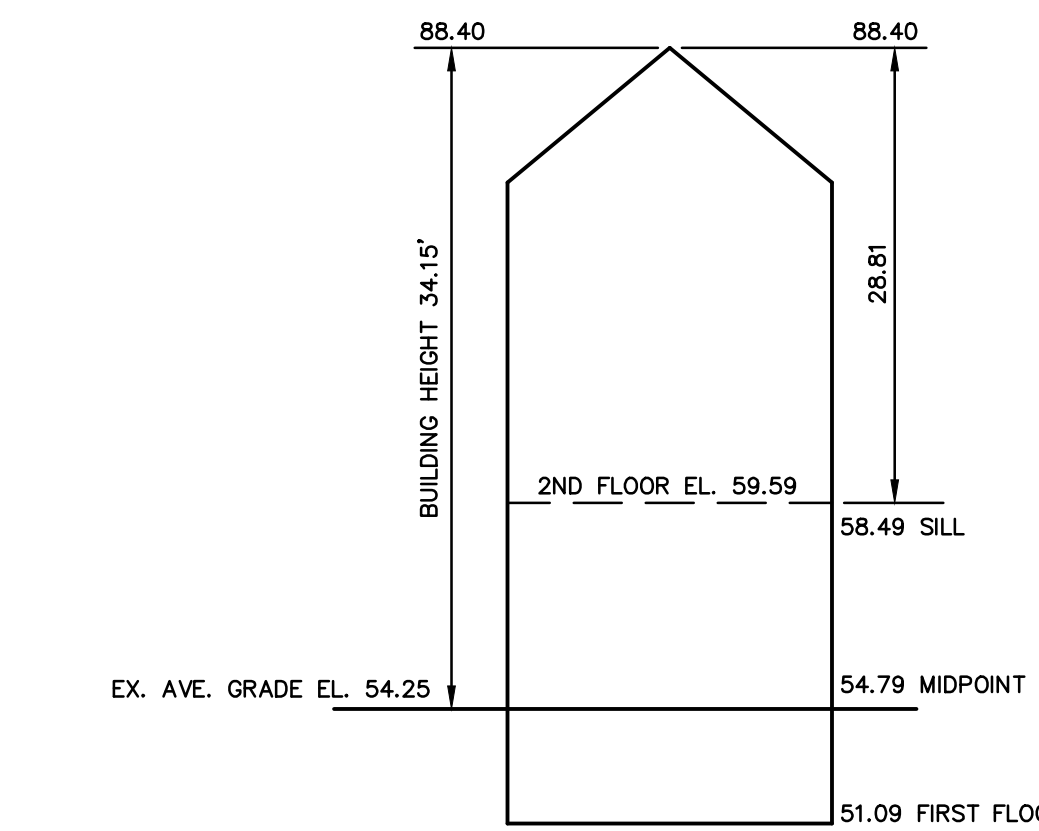
2/12/10 10:40 AM (2/20/12)

LEGEND

- STORM SEWER ——— D ———
- COMBINATION SEWER ——— CS ———
- SANITARY SEWER ——— S ———
- WATER MAIN ——— W ———
- OVERHEAD ELECTRIC ——— OE ———
- UNDER GROUND ELECTRIC ——— UE ———
- GAS MAIN ——— G ———
- CONTOUR ——— 21 ———
- BUILDING ——— [Symbol] ———
- PICKET FENCE ——— [Symbol] ———
- CHAINLINK FENCE ——— [Symbol] ———
- PROPERTY LINE W/ BEARING DISTANCE ——— N85°23'35"W 346.41' ———
- CONIFEROUS TREE [Symbol]
- DECIDUOUS TREE [Symbol]
- SIGN POST [Symbol]
- LIGHT POLE [Symbol]
- GAS VALVE [Symbol]
- WATER VALVE [Symbol]
- UTILITY POLE [Symbol]
- DRAINAGE MANHOLE [Symbol]
- SEWER MANHOLE [Symbol]
- FIRE HYDRANT [Symbol]
- CATCH BASIN [Symbol]
- FIRE CALL BOX [Symbol]
- MAIL BOX [Symbol]
- MONITORING WELL [Symbol]
- ELECTRIC MANHOLE [Symbol]
- TOP OF STONE EL. [Symbol]
- BOTTOM OF STONE EL. [Symbol]
- TOP OF WALL EL. [Symbol]
- BOTTOM OF WALL EL. [Symbol]



EXISTING BUILDING HEIGHT
NOT TO SCALE



PROPOSED BUILDING HEIGHT
NOT TO SCALE

Address: #258 Nevada Street

Length Weighted Mean Proposed Average Grade Calculation					
A Segment	B Length Of Segment in Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E = (C+D)/2 Average Segment Height	F = BxE
1	38.55	56.50	56.07	56.29	2169.79 Sq. Ft.
2	19.48	56.20	56.20	56.20	1094.78 Sq. Ft.
3	10.97	56.50	56.40	56.45	619.71 Sq. Ft.
4	22.39	56.40	56.40	56.40	1262.80 Sq. Ft.
5	19.87	56.40	56.40	56.40	1120.67 Sq. Ft.
6	13.50	56.50	56.30	56.40	761.40 Sq. Ft.
7	19.58	56.10	56.00	56.05	1097.46 Sq. Ft.
8	38.77	56.00	56.00	56.00	2171.12 Sq. Ft.
9	16.94	56.60	54.00	55.30	936.78 Sq. Ft.
10	16.94	50.40	50.40	50.40	853.78 Sq. Ft.
11	16.60	50.40	50.40	50.40	836.64 Sq. Ft.
12	24.97	56.00	50.40	55.00	1373.35 Sq. Ft.
Total	258.56				14297.26 Sq. Ft.
Total Column F / Total Column B = Average Grade					Average Grade: 55.30'

Address: #258 Nevada Street

Length Weighted Mean Existing Average Grade Calculation					
A Segment	B Length Of Segment in Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E = (C+D)/2 Average Segment Height	F = BxE
1	38.55	56.50	56.07	56.29	2169.79 Sq. Ft.
2	19.48	56.02	55.96	55.99	1090.69 Sq. Ft.
3	10.97	56.50	56.44	56.47	619.48 Sq. Ft.
4	8.30	56.50	56.50	56.50	468.95 Sq. Ft.
5	13.79	51.11	50.49	50.80	700.53 Sq. Ft.
6	27.58	50.69	50.35	50.52	1393.34 Sq. Ft.
7	22.95	53.16	52.36	52.76	1210.84 Sq. Ft.
8	18.62	55.94	55.62	55.78	1038.62 Sq. Ft.
Total	160.24				8692.24 Sq. Ft.
Total Column F / Total Column B = Average Grade					Average Grade: 54.25'

EXISTING IMPERVIOUS AREA: 4,003 s.f.
PROPOSED IMPERVIOUS AREA: 5,001 s.f.
TOTAL INCREASE IN IMPERVIOUS AREA: 998 s.f.

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: MR-1 (NEW) SUBMISSION: PROPOSED			
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	11,122±s.f.	N/C
LOT FRONTAGE	80.0'	71.63' / 150.0'	N/C
FRONT SETBACK	30.0'*	29.0' / 16.5'*	N/C*
SIDE SETBACK	10.0'	16.8'	12.1'
REAR SETBACK	15.0'	75.1'	35.3'
BUILDING HEIGHT	36.0'	34.15'	33.10'
AVERAGE GRADE	—	54.25	55.30
LOT COVERAGE	30.0%	14.0%	26.6%
OPEN SPACE	50.0%	71.9%	55.7%

* EXISTING NON-CONFORMING SETBACK.

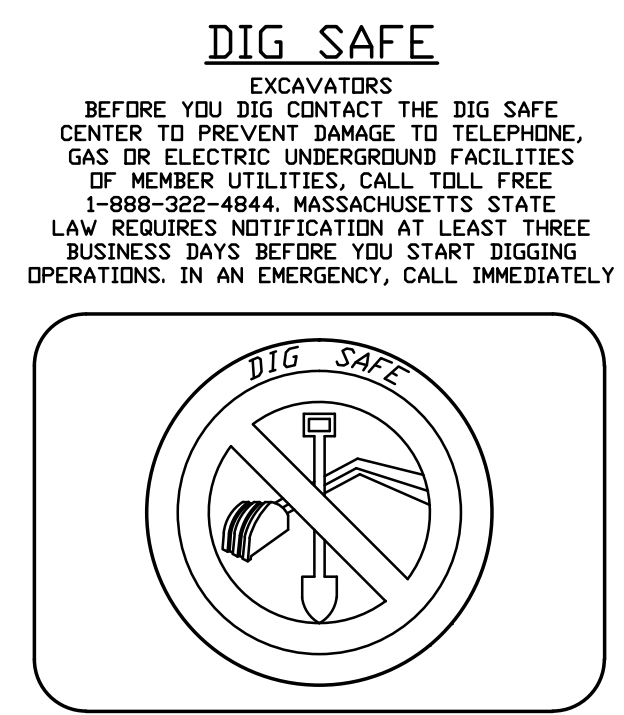
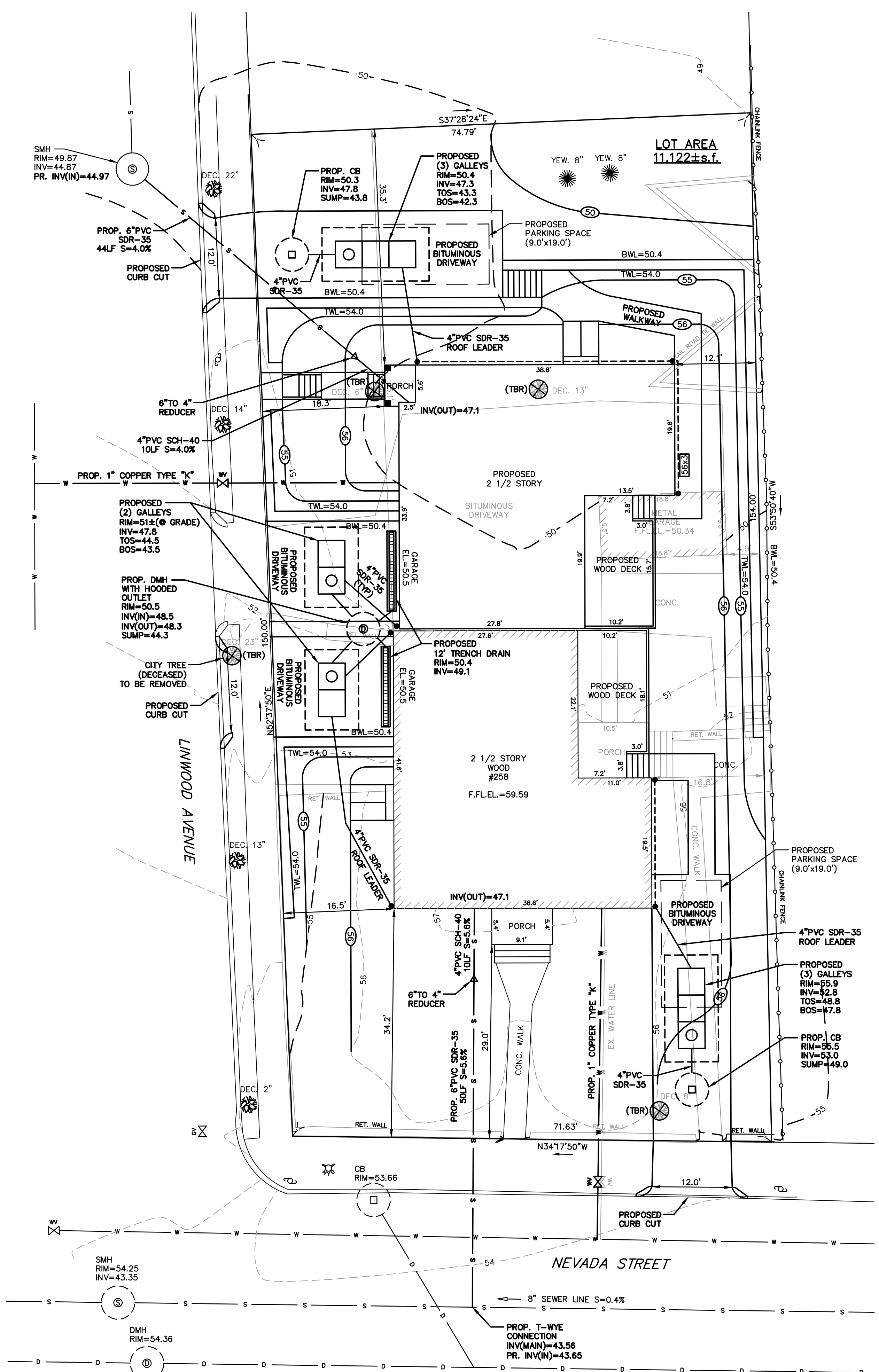
TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT #258 NEVADA STREET

SCALE: 1in.=10ft. DATE: FEBRUARY 13, 2012
REVISED: MARCH 15, 2012

PROJECT: 212107

VTP ASSOCIATES
INC.

LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271



NOTE:
NO SEWER TIES AVAILABLE AT NEWTON ENGINEERING.

