



Memorandum

To: Land Use Committee
Board of Alderman
City of Newton

Date: September 7, 2012

Project 10865.00
No.:

From: Richard S. Hollworth, P.E.

Re: Hotel Indigo Kitchen Loading Area

This memorandum has been prepared to describe the proposed physical and operational improvements to the kitchen loading. Please see the attached figure depicting the proposed improvements.

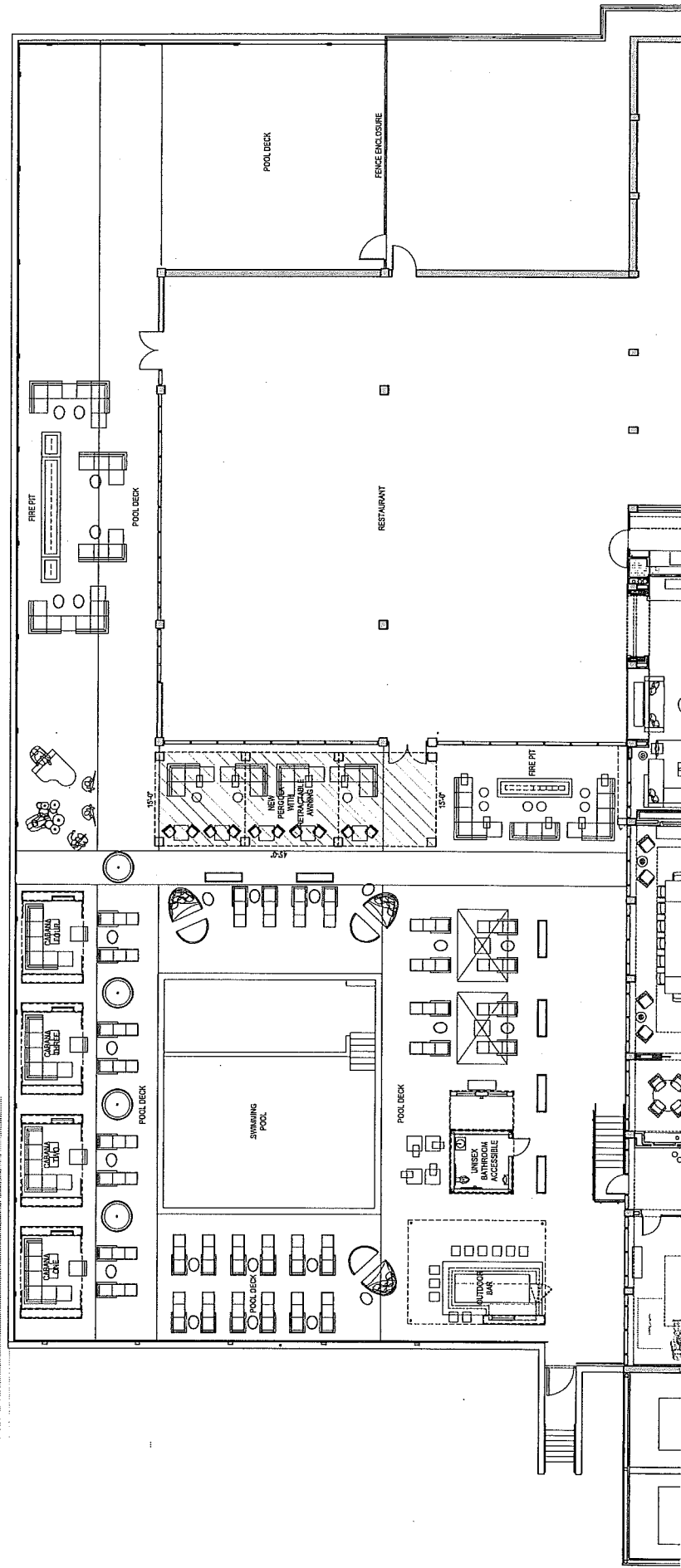
Operational Improvements

- Prohibit tractor trailer truck deliveries to the kitchen loading area.
- Smaller single unit trucks will be required for the delivery of food and alcohol.
- Delivery trucks, other than waste haulers and maintenance vehicles, will be required to reverse direction in the rear parking area.
- Restrict delivery and waste hauling hours to 9 am – 4 pm.
- Eliminate truck maneuvering within Grove Street.

Physical Improvements

The following physical improvements will be implemented to improve compliance with the aforementioned operational improvements.

- A secure vehicular gate will be installed at the end of the loading area. Permission to access the loading area will be limited to waste haulers and maintenance vehicles.
- The driveway curb cut along Grove Street will be reduced by approximately eight (8) feet to allow the installation of additional landscape screening and provide a barrier to discourage vehicles from backing out in Grove Street.
- A solid panel fence will be placed along the loading area drive to provide additional screening.
- The nose of the landscape strip between the loading area drive and drive to the porte-cochere will be pulled back approximately eight (8) feet to allow for additional maneuvering area for trash trucks reversing direction prior to re-entering Grove Street with the proper forward alignment.
- A new loading area will be created along the existing valet parking area to support delivery vehicles (single unit trucks).
- Replace and modernize the waste containers with new dumpsters with additional sound attenuation.
- Create an outdoor enclosed waste holding area for late night storage prior to disposal the following day.

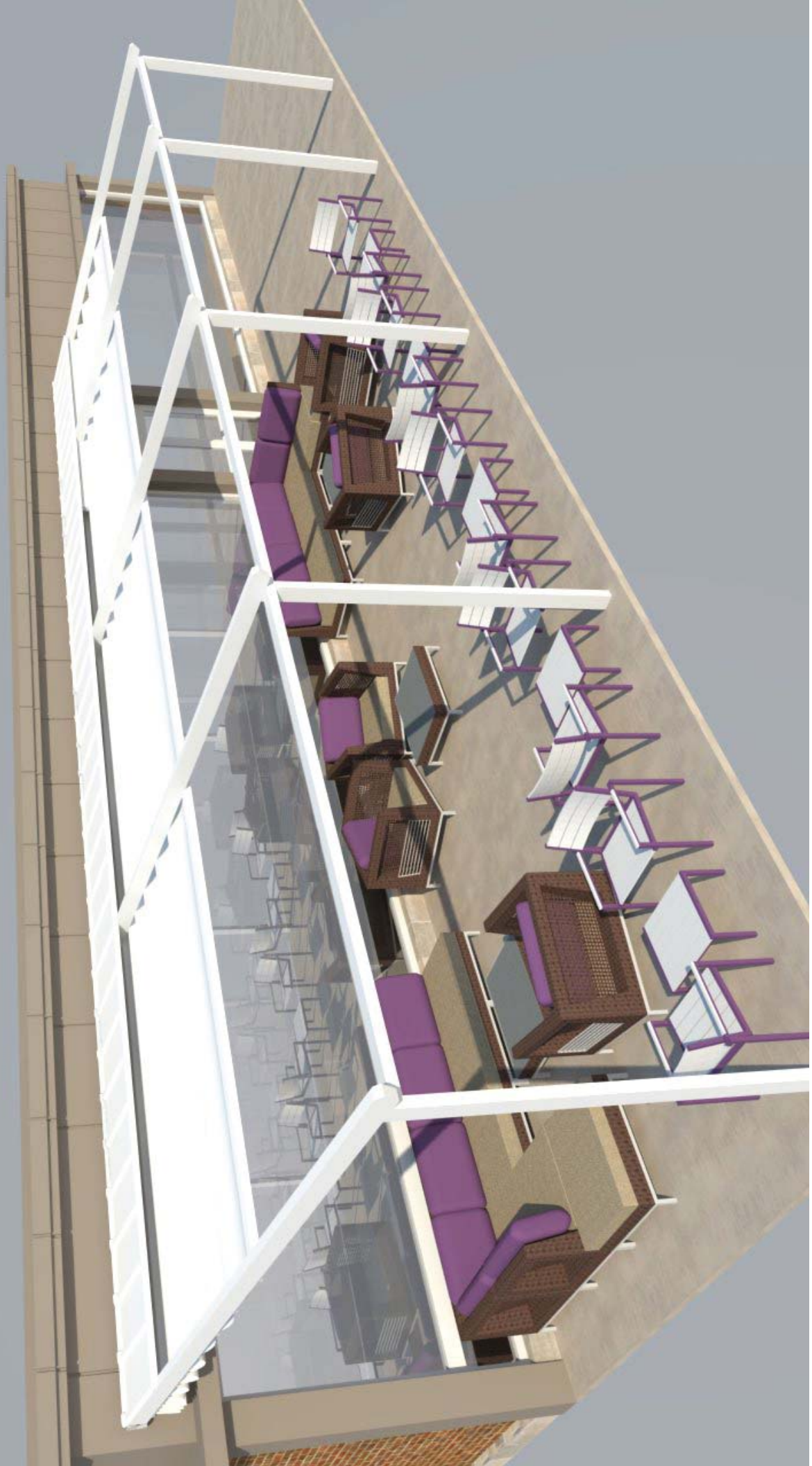


Pool Deck Plan - Showing Proposed Awning

1/8" = 1'-0"
07.09.2012

Indigo Hotel

200 Grove Street
Newton, Massachusetts

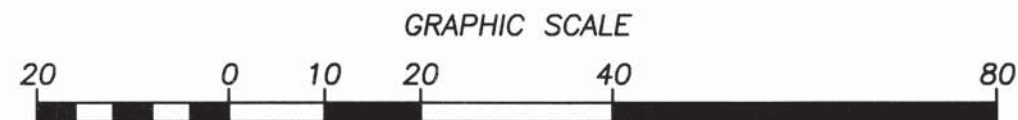






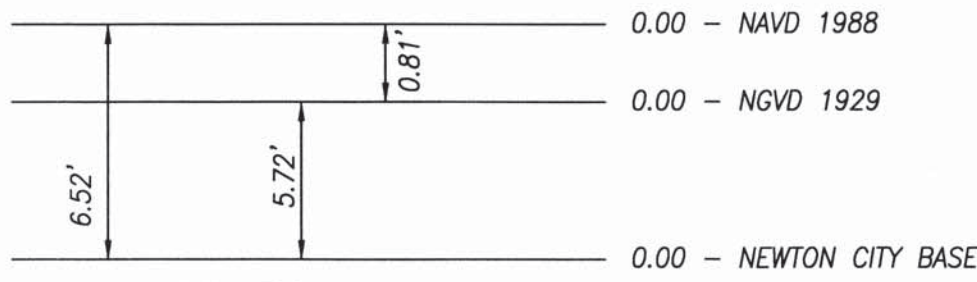
EXISTING CONDITIONS PLAN
 INDIGO HOTEL
 399 GROVE STREET
NEWTON, MASSACHUSETTS
 SCALE: 1"=20' APRIL 24, 2012
 HARRY R. FELDMAN, INC. LAND SURVEYORS
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 WWW.HARRYFELDMAN.COM

FELDMAN
 Professional Land Surveyors



RESEARCH PRF	FIELD CHIEF KP	CHECKED PRF	APPROVED PRF	FILE NAME 13439ASBT
CALC PRF	CADD MDS	FIELD CHECKED	CRD FILE 13439	JOB NO. 13439

SHEET 1 OF 2



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

PAUL R. FOLEY, PLS. (MA# 48355) DATE 9/3/2012



NOTES:

1) BENCH MARK INFORMATION:

BENCH MARK USED:
 MAC NAIL SET AT THE CENTERLINE INTERSECTION OF PAINT STRIPES, SAID CORNER BEING THE SOUTHWEST CORNER OF PARKING SPACE 803. ELEVATION=63.77.

TEMPORARY BENCH MARKS SET:

TBM KP-1: LEFT FRONT BOLT OVER MAIN HYDRANT OUTLET LOCATED ON THE EASTERLY SIDE OF GROVE STREET, 30'± SOUTH OF THE RAILROAD BRIDGE. ELEVATION=61.64

TBM KP-2: RIGHT FRONT CORNER OF LOWER CONCRETE STEP AT ENTRANCE TO TRAIN STATION, LOCATED 200'± WEST OF THE SIDELINE OF GROVE STREET. ELEVATION=62.41

2) HORIZONTAL DATUM REFERS TO MASSACHUSETTS STATE PLANE (NAD83).

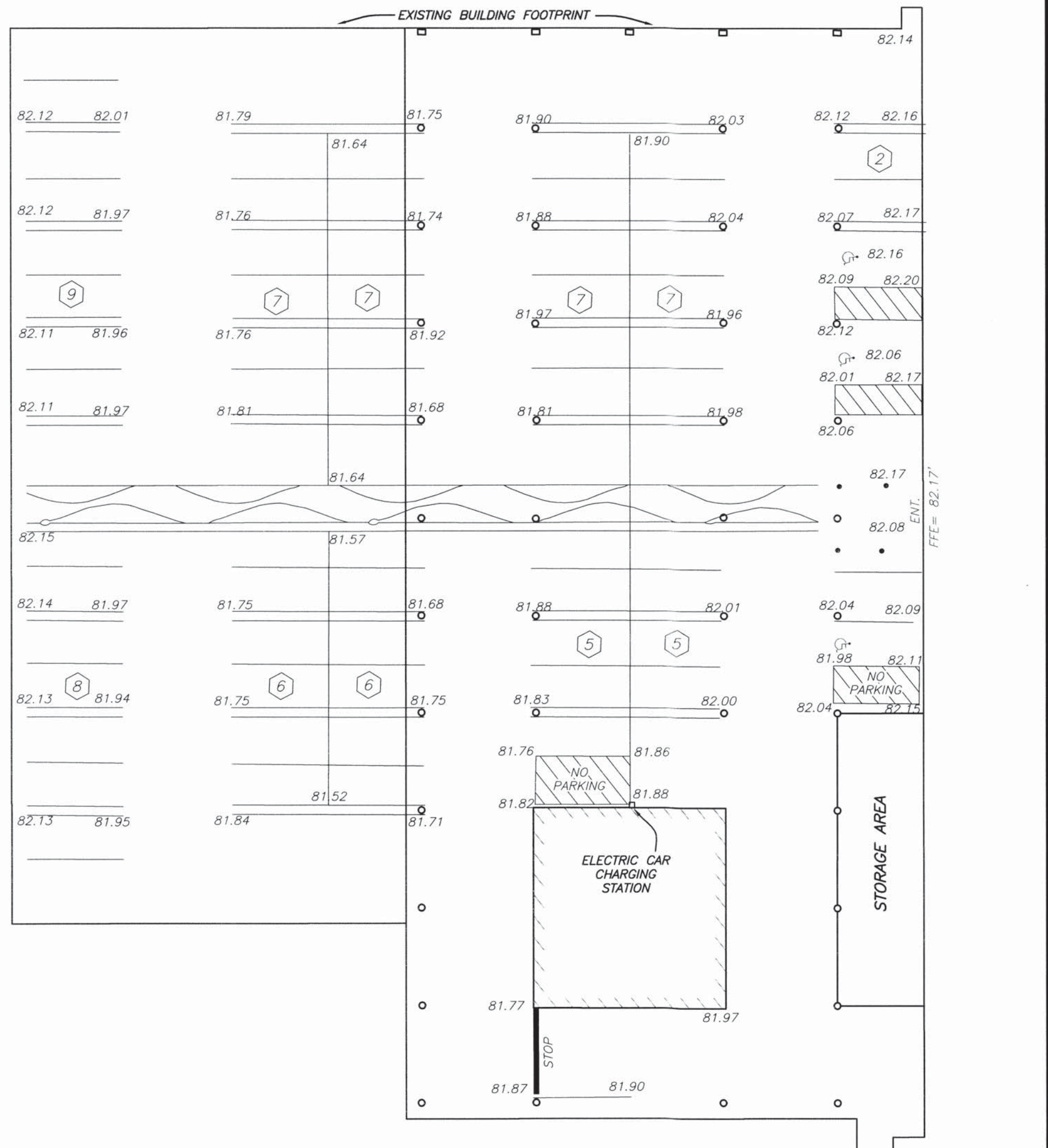
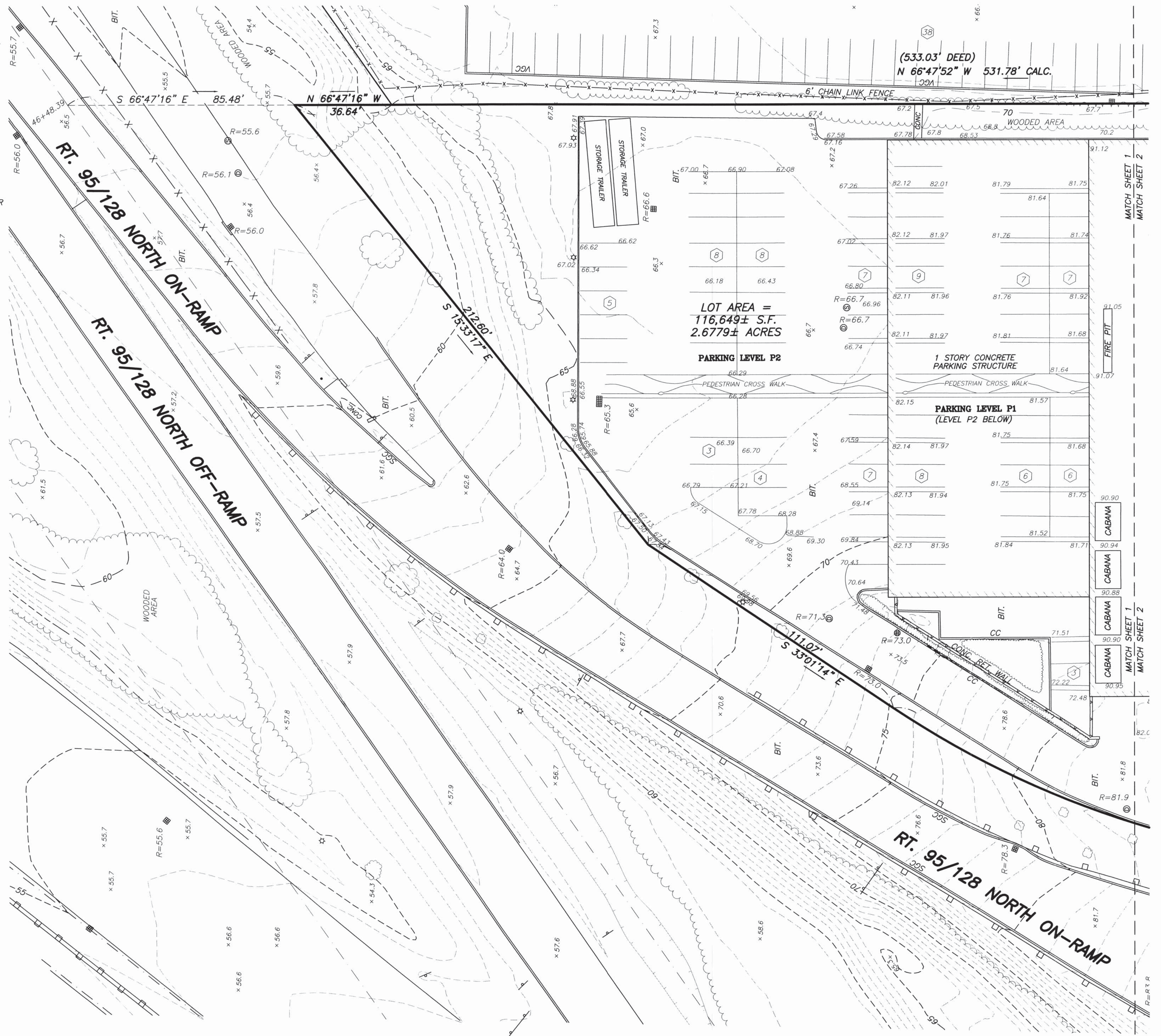
3) ELEVATIONS REFER TO N.A.V.D 88.

4) CONTOUR INTERVAL EQUALS ONE (1) FOOT.

5) THIS PLAN IS BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY EASTERN TOPOGRAPHICS IN A CAD FILE DATED FEBRUARY 4, 2009, AS WELL AS ON-THE-GROUND SURVEY WORK.

6) BUILDING, PARKING LEVEL, SPOT GRADES AND INTERIOR DETAIL FROM FIELD SURVEY PERFORMED BY HARRY R. FELDMAN ON APRIL 24, 2012.

7) LOWEST LEVEL OF PARKING EXISTS AT LEVEL P2.



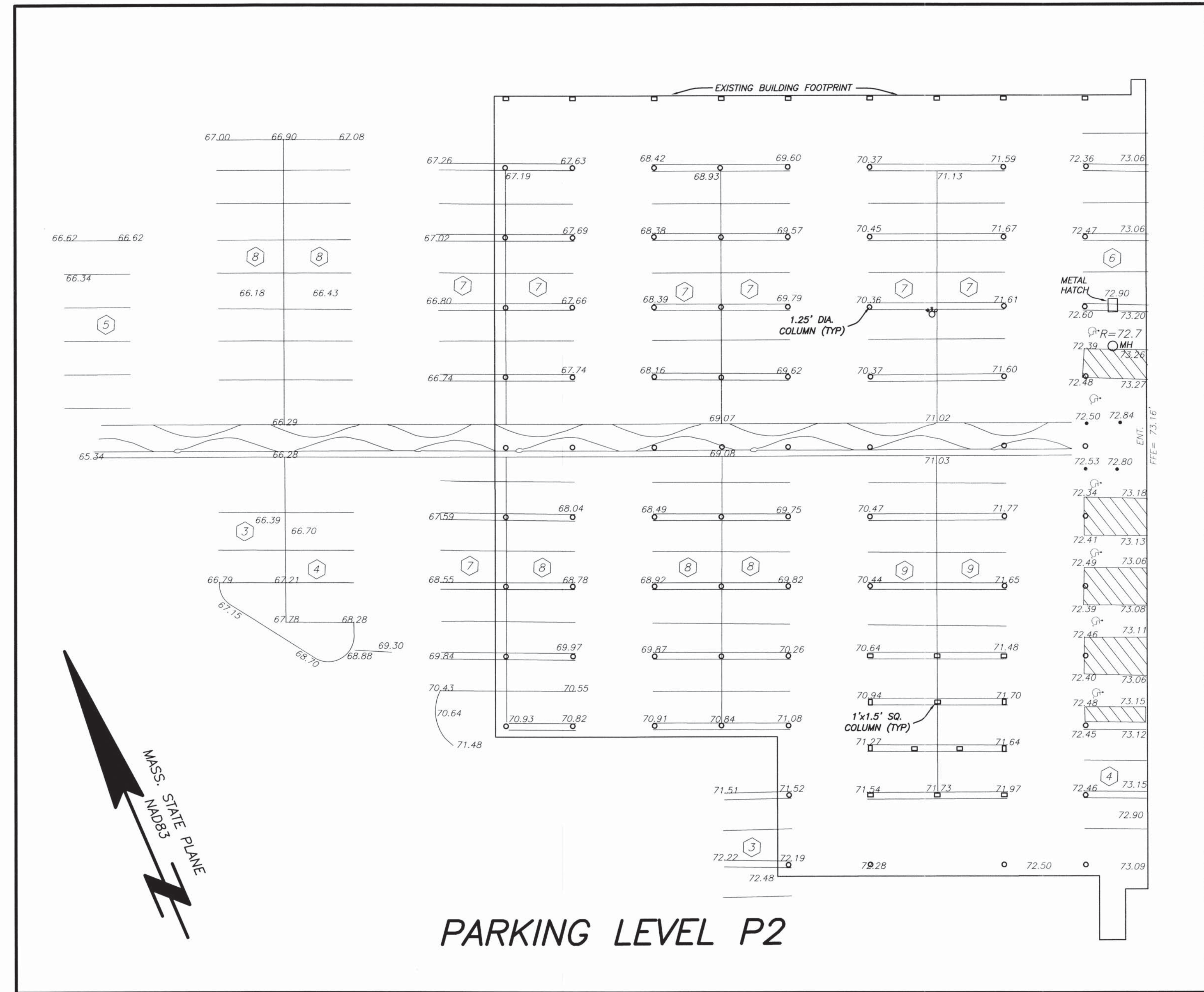
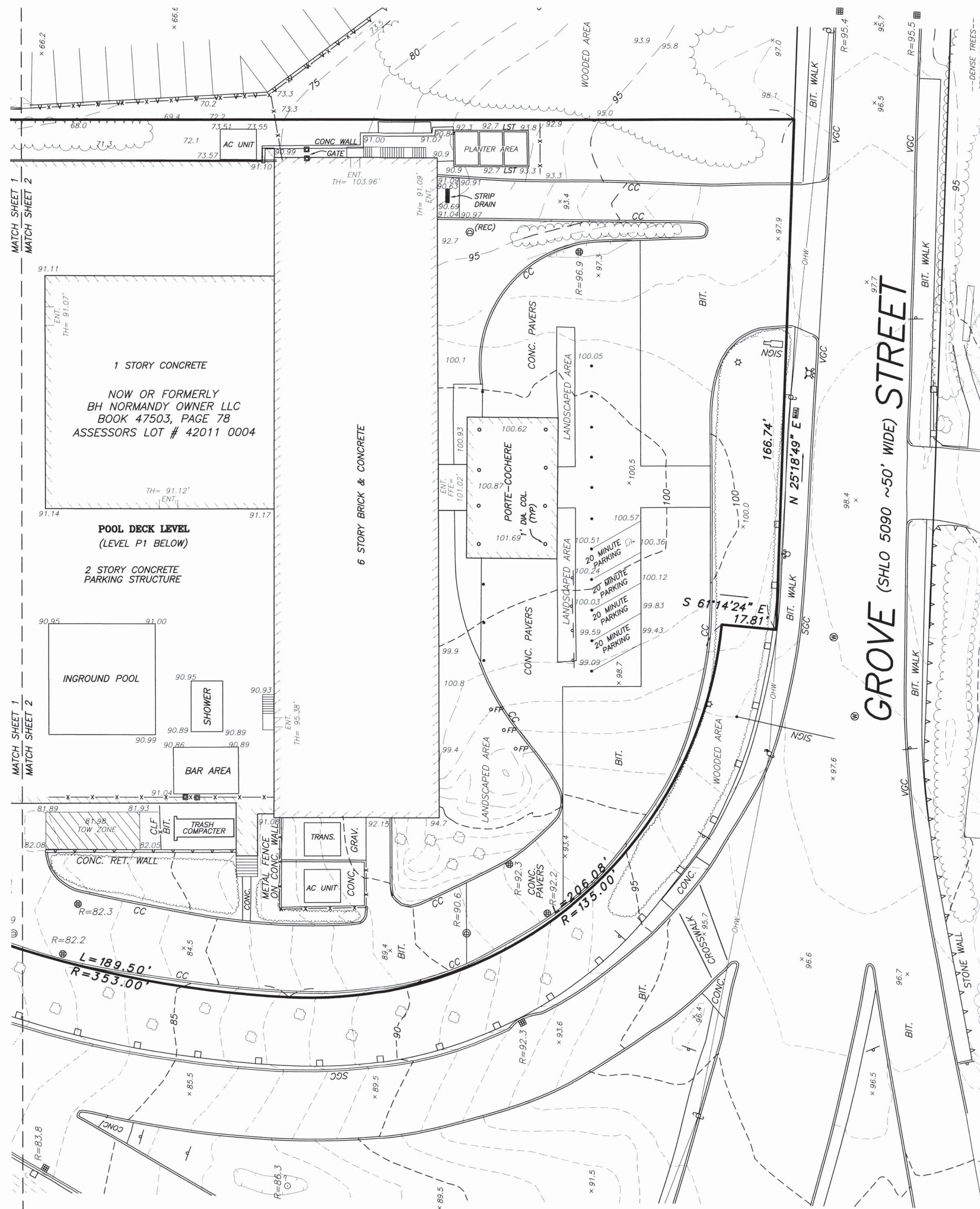
PARKING LEVEL P1

MATCH SHEET 1

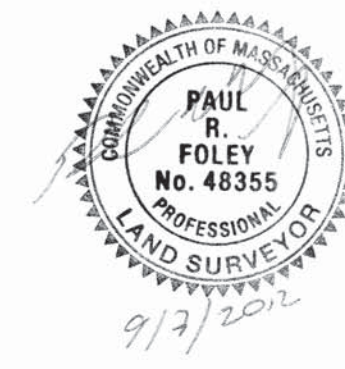
MATCH SHEET 2

MATCH SHEET 1

MATCH SHEET 2



- LEGEND**
- DRAIN MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊕ MBTA MANHOLE
 - ⊖ SEWER MANHOLE
 - ⊗ TELEPHONE MANHOLE
 - ⊘ MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ CATCH BASIN-ROUND
 - ⊙ GAS SHUT OFF
 - ⊙ WATER SHUT OFF
 - ⊙ HYDRANT
 - ⊙ OBSERVATION WELL
 - ⊙ UTILITY POLE
 - ⊙ LIGHT POLE
 - ⊙ WALK LIGHT
 - ⊙ ELECTRIC HANDHOLE
 - ⊙ TRAFFIC SIGNAL
 - ⊙ TRAFFIC CONTROL BOX
 - ⊙ SIGN
 - ⊙ BOLLARD
 - ⊙ FLAG POLE
 - ⊙ HANDICAP RAMP
 - TREE
 - ⑥ NO. OF PARKING SPACES
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - CC CONC. CURB
 - BB BIT. CONC. BERM
 - SGC SLOPED GRANITE CURB
 - VGC VERTICAL GRANITE CURB
 - CLF CHAIN LINK FENCE
 - WF WOOD FENCE
 - FFE FINISHED FLOOR ELEVATION
 - ENT ENTRANCE
 - TH THRESHOLD
 - FND FOUND
 - REC RECORD
 - TYP. TYPICAL
 - LST LANDSCAPE TIMBER
 - x-x-x-x- METAL FENCE
 - o-o-o-o- WOOD FENCE
 - o-o-o-o- MISCELLANEOUS FENCE
 - GUARD RAIL



SHEET 2 OF 2

EXISTING CONDITIONS PLAN
INDIGO HOTEL
399 GROVE STREET
NEWTON, MASSACHUSETTS
 SCALE: 1"=20' APRIL 24, 2012
 HARRY R. FELDMAN, INC. LAND SURVEYORS
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 WWW.HARRYRFELDMAN.COM

FELDMAN
 Professional Land Surveyors

GRAPHIC SCALE
 0 10 20 40 80

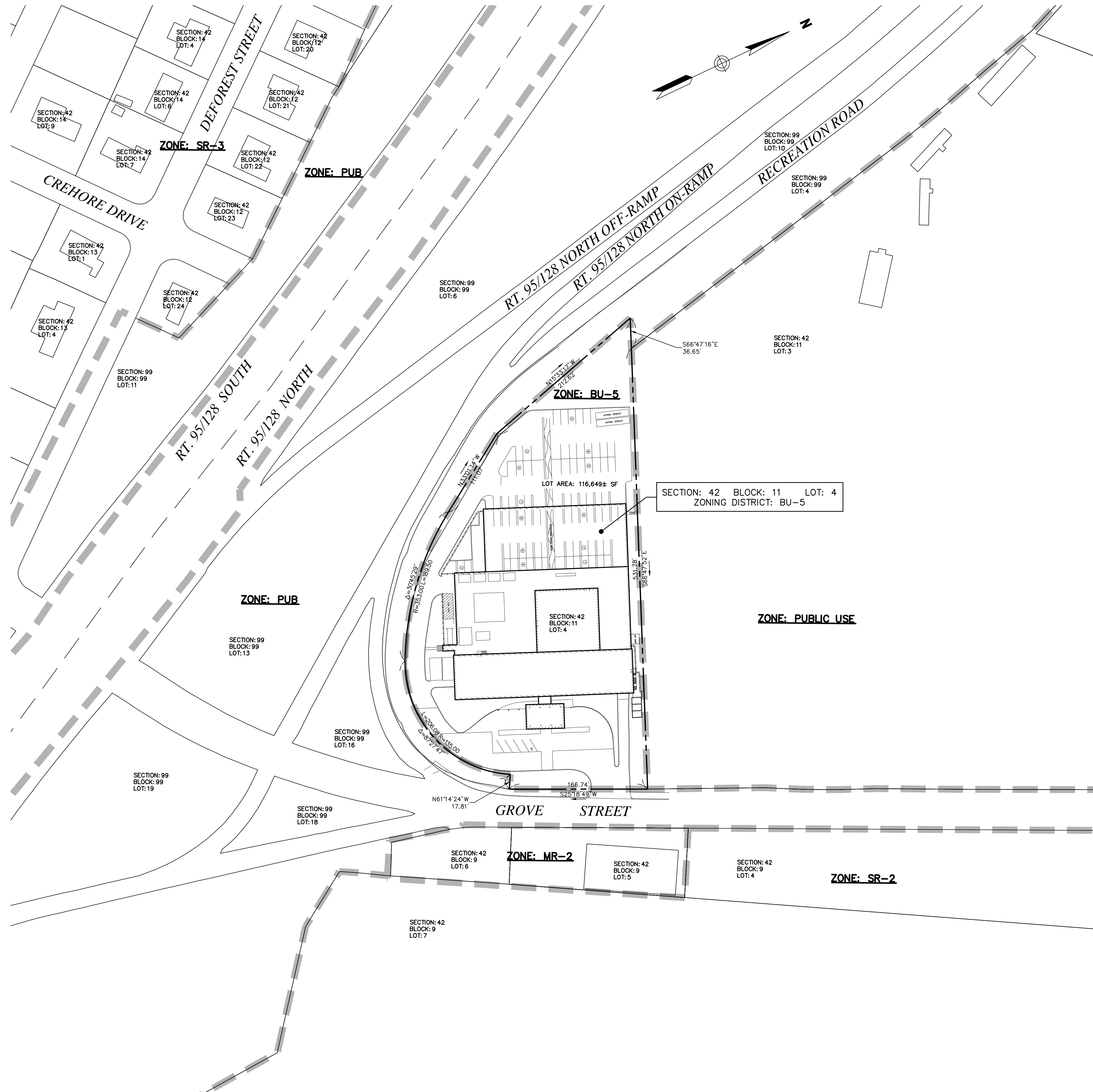
RESEARCH PRF	FIELD CHIEF KP	CHECKED PRF	APPROVED PRF	FILE NAME 13439ASBT
CALC PRF	CADD MDS	FIELD CHECKED	CRD FILE 13439	JOB NO. 13439



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



No.	Revision	Date	Appr.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=60'	Date	September 10, 2012
Project Title		

Hotel Indigo

Grove Street
Newton, Massachusetts

Issued for
**Special Permit and
Site Plan Review**

Not Approved for Construction
Drawing Title

Area Plan



Drawing Number

C-1

Sheet of 1 6

Project Number 10865.02

9/10/12

Saved: Monday, September 10, 2012 1:21:16 PM CTNN Plotted: Monday, September 10, 2012 2:39:19 PM Finn, Craig



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

Existing Zoning District: Business 5 (BUS)				
Use: Hotel (allowed in BUS by Special Permit)				
	Required Allowed by Right	Required Allowed by Special Permit	Existing	Proposed/Interim
Lot Area (sf)	87,120 (min)	87,120 (min)	116,649	116,649
Frontage (ft)	N/A	N/A	166.7	166.7
Front Setback (ft)	15 (min)	15 (min)	72.3	72.3
Side Setback (ft)	10 (min)	10 (min)	12.4	12.4
Rear Setback (ft)	15 (min)	15 (min)	60.5	60.5
Gross Floor Area (sf)	10,000-19,999	N/A	118,900 (1)	119,575
Floor Area Ratio (FAR)	1.0 (max)	1.5 (max)	1.0	1.0
Height (ft)	36 (max)	48 (max)	89.9 *	89.9
Stories	3 (max)	4 (max)	8 *	8
Lot Coverage	25% (max)	25% (max)	41% *	41%
Landscaped Area	25% (min)	25% (min)	21% *	26%
Parking Spaces	279 (min)	279 (min)	216 (2)	224 (3)

- Notes:**
- (1) Gross floor area determined as the sum of the habitable building space noted on the Nov. 18, 1985 Building Dept. record site plan (95,900 sf), the bar and shower on the pool deck (485 sf), the porte-cochere (1,515 sf), and the covered parking on parking level P1 (21,000 sf).
 - (2) Existing parking count includes 4 short term spaces in drop off area.
 - (3) Includes 10 accessible parking spaces.

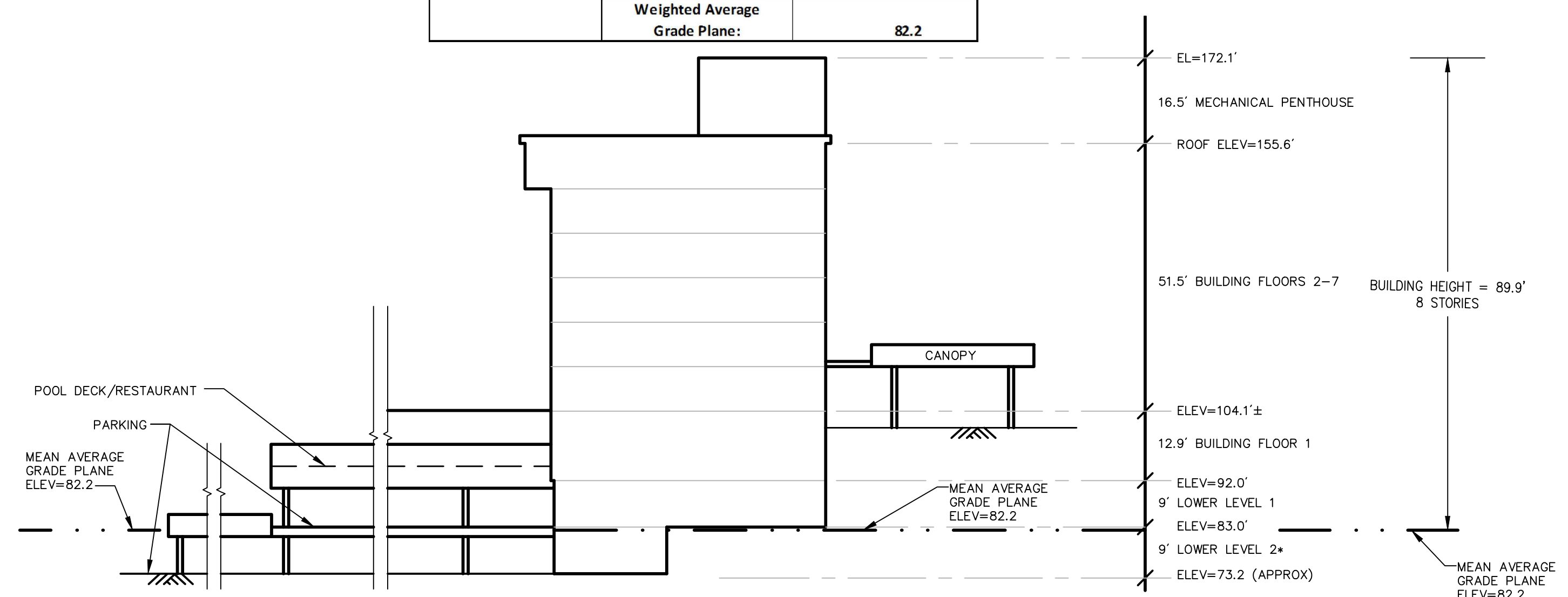
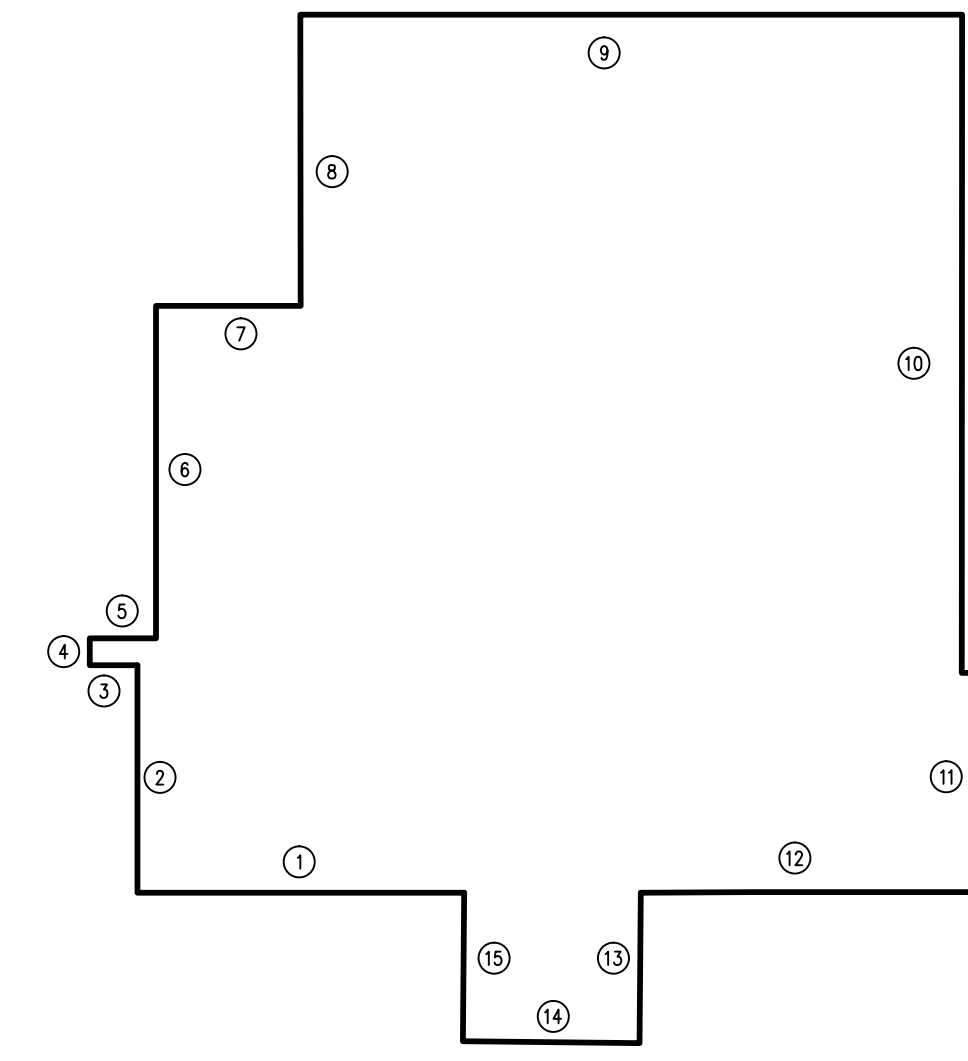
* Existing Non-Conforming

Parking Requirements:

Hotel: 1 space/room + 1 space/3 employees of largest shift
Restaurant: (1 space/3 seats for restaurant + 1 space/3 employees of largest shift)/2

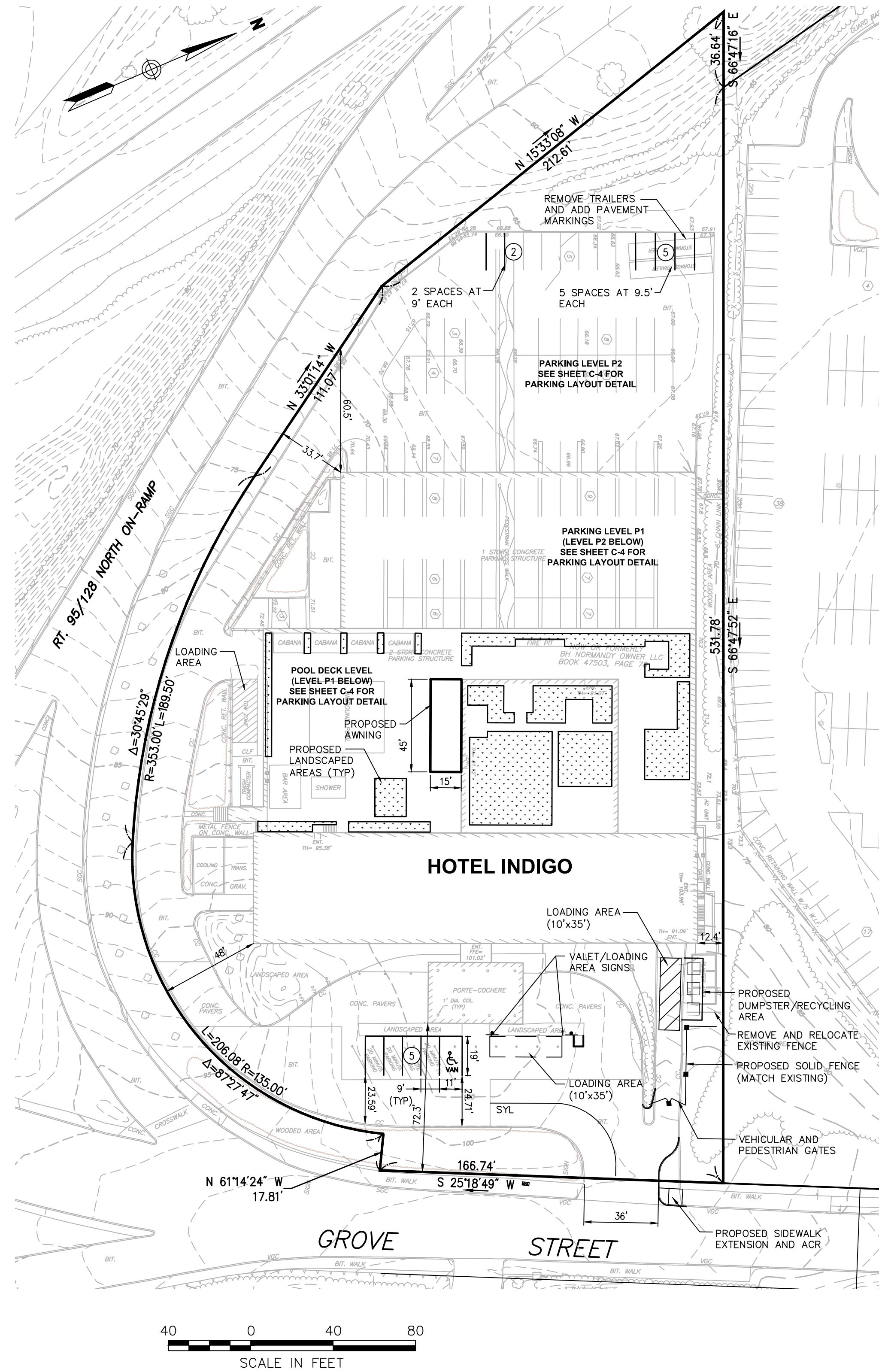
	Required Spaces
Hotel:	
191 Rooms @ 1 space/room	191
21 Emp @ 1 space/3 emp	7
Restaurant:	
458 Seats @ (1 space/3 seats)/2	77
20 Emp @ (1 space/3 emp)/2	4
Total:	279

Weighted Average Grade Plane				
segment	e1	e2	Length	Length-Weighted Mean
1	100.5	94.5	84.9	8,277.8
2	94.5	86.9	53.8	4,879.7
3	86.9	86.9	13.7	1,190.5
4	86.9	86.1	7.0	606.4
5	86.1	82	17.3	1,454.1
6	82	81.9	86.6	7,096.9
7	72.5	71.2	37.6	2,701.6
8	71.2	72.2	75.8	5,434.9
9	72.2	67.6	172.2	12,036.8
10	67.6	73.6	171.4	12,100.8
11	74.9	90.9	53.2	4,410.3
12	90.9	100.5	84.5	8,086.7
13	100.5	100.5	39.2	3,939.6
14	100.5	100.5	46	4,623.0
15	100.5	100.5	38.6	3,879.3
sum:	981.81			80,718.1
Weighted Average Grade Plane:				82.2



*PARKING LEVEL 2 IS MORE THAN 2/3 BELOW MEAN GRADE PLANE, AND IS THEREFORE "BASEMENT" AND IS NOT COUNTED AS A STORY.

Building Height Detail (NTS)



PLAN NOTES:

- EXISTING CONDITIONS TOPOGRAPHIC MAPPING PROVIDED BY HARRY R. FELDMAN, INC. TAKEN FROM AERIAL PHOTOGRAMMETRY PROVIDED BY EASTERN TOPOGRAPHICS ON APRIL 2009. PROPERTY BOUNDARY IS BASED UPON GROUND SURVEY.
- BUILDING, PARKING LEVEL, SPOT GRADES, AND INTERIOR DETAIL FROM FIELD SURVEY PERFORMED BY HARRY R. FELDMAN ON APRIL 24, 2012.
- HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- BUILDING HEIGHT DETAIL DEVELOPED FROM BUILDING ELEVATIONS PREPARED BY CBT ARCHITECTS, MARCH 2007.

No.	Revision	Date	Appvd.

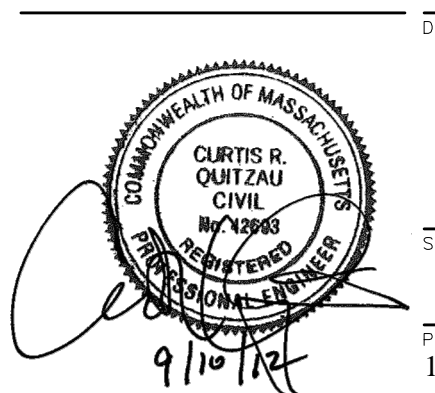
Hotel Indigo

Grove Street
Newton, Massachusetts

Issued for
Special Permit and Site Plan Review

Not Approved for Construction

Proposed Interim Site Plan



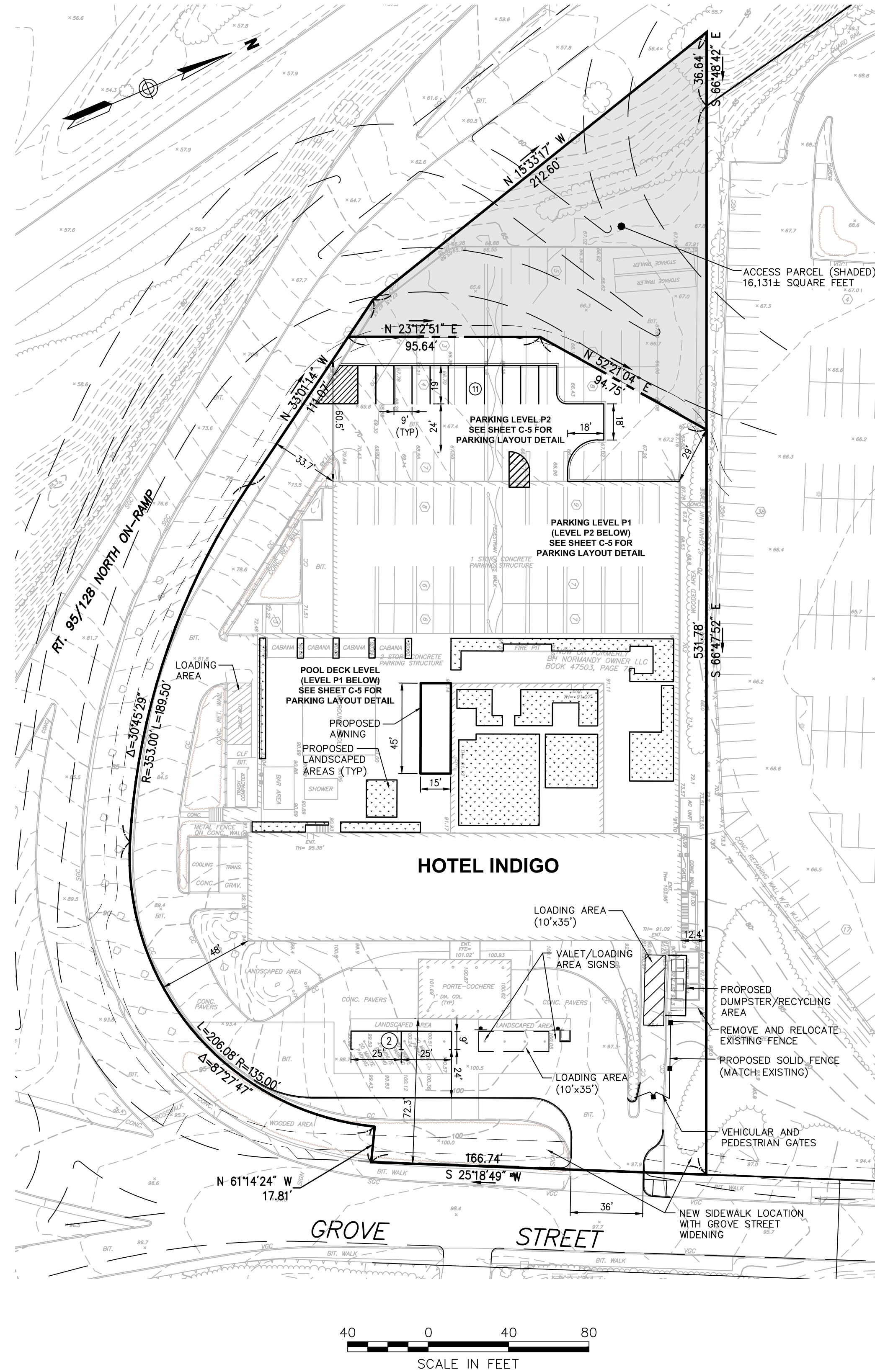
Drawing Number
C-2
Sheet of 2 6
Project Number
10865.02



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



Existing Zoning District:	Business 5 (BU5)				
Use:	Hotel (allowed in BU5 by Special Permit)				
	Required Allowed by Right	Required Allowed by Special Permit	Existing	Interim	Proposed with Riverside Access/Egress
Lot Area (sf)	87,120 (min)	87,120 (min)	116,649	116,649	100,518
Frontage (ft)	N/A	N/A	166.7	166.7	166.7
Front Setback (ft)	15 (min)	15 (min)	72.3	72.3	72.3
Side Setback (ft)	10 (min)	10 (min)	12.4	12.4	12.4
Rear Setback (ft)	15 (min)	15 (min)	60.5	60.5	29
Gross Floor Area (sf)	10,000-19,999	N/A	118,900 (1)	119,575	119,575
Floor Area Ratio (FAR)	1.0 (max)	1.5 (max)	1.0	1.0	1.2
Height (ft)	36 (max)	48 (max)	89.9 *	89.9	89.9
Stories	3 (max)	4 (max)	8 *	8	8
Lot Coverage	25% (max)	25% (max)	41% *	41%	47%
Landscaped Area	25% (min)	25% (min)	21% *	26%	25%
Parking Spaces	279 (min)	279 (min)	216 (2)	224	204 (3)

Notes:

- (1) Gross floor area determined as the sum of the habitable building space noted on the Nov. 18, 1985 Building Dept. record site plan (95,900 sf), the bar and shower on the pool deck (485 sf), the porte-cochere (1,515 sf), and the covered parking on parking level P1 (21,000 sf).
- (2) Existing parking count includes 4 short term spaces in drop off area.
- (3) Includes 10 accessible parking spaces.

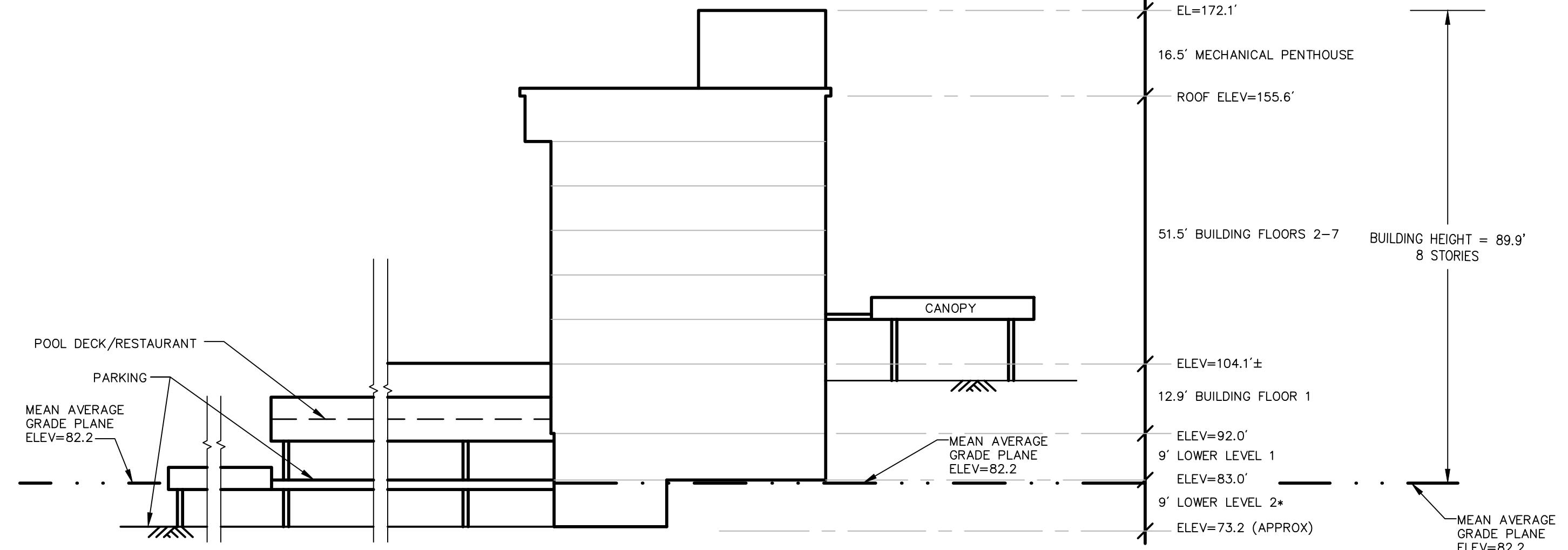
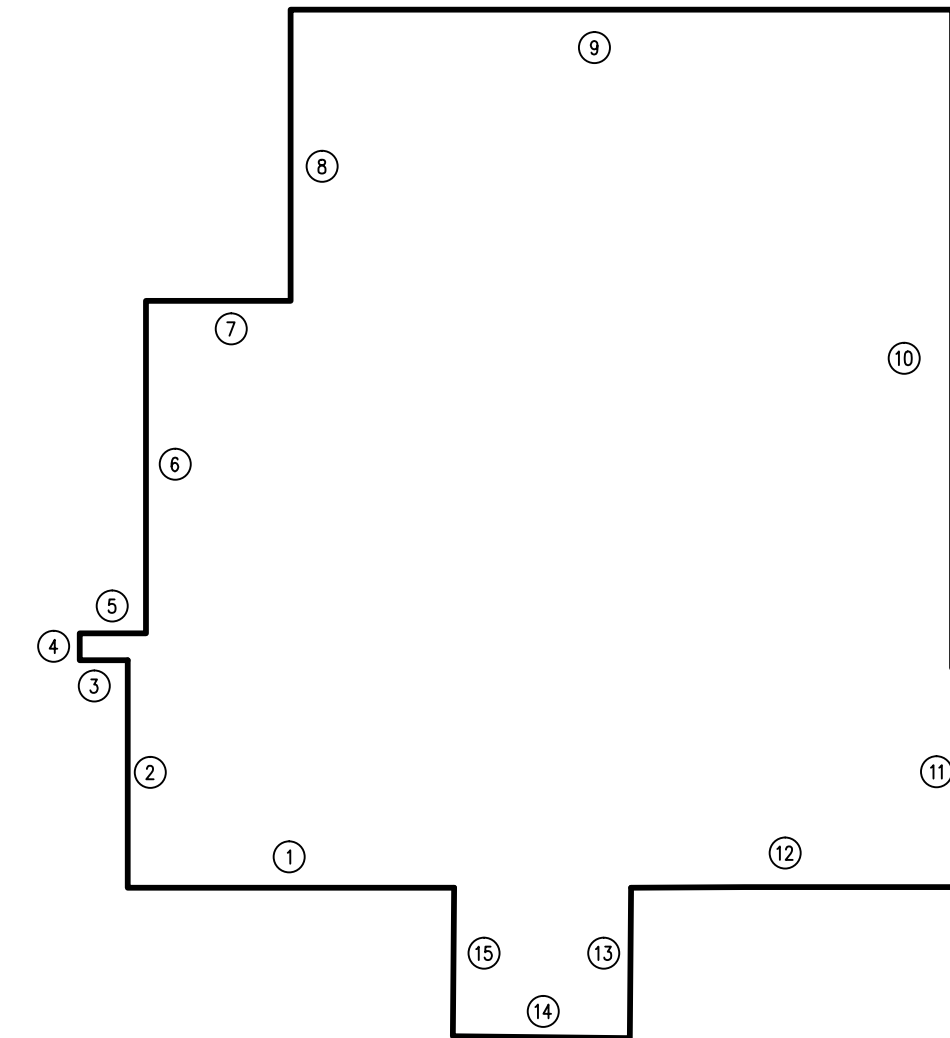
* Existing Non-Conforming

Parking Requirements:

Hotel: 1 space/room + 1 space/3 employees of largest shift
Restaurant: (1 space/3 seats for restaurant + 1 space/3 employees of largest shift)/2

Hotel:	Required Spaces
191 Rooms @ 1space/room	191
21 Emp @ 1 space/3 emp	7
Restaurant:	
458 Seats @ (1 space/3 seats)/2	77
20 Emp @ (1 space/3 emp)/2	4
Total:	279

Weighted Average Grade Plane				
segment	e1	e2	Length	Length-Weighted Mean
1	100.5	94.5	84.9	8,277.8
2	94.5	86.9	53.8	4,879.7
3	86.9	86.9	13.7	1,190.5
4	86.9	86.1	7.0	606.4
5	86.1	82	17.3	1,454.1
6	82	81.9	86.6	7,096.9
7	72.5	71.2	37.6	2,701.6
8	71.2	72.2	75.8	5,434.9
9	72.2	67.6	172.2	12,036.8
10	67.6	73.6	171.4	12,100.8
11	74.9	90.9	53.2	4,410.3
12	90.9	100.5	84.5	8,086.7
13	100.5	100.5	39.2	3,939.6
14	100.5	100.5	46	4,623.0
15	100.5	100.5	38.6	3,879.3
	sum:		981.81	80,718.1
			Weighted Average Grade Plane:	82.2



*PARKING LEVEL 2 IS MORE THAN 2/3 BELOW MEAN GRADE PLANE, AND IS THEREFORE "BASEMENT" AND IS NOT COUNTED AS A STORY.

Building Height Detail (NTS)

PLAN NOTES:

- EXISTING CONDITIONS TOPOGRAPHIC MAPPING PROVIDED BY HARRY R. FELDMAN, INC. TAKEN FROM AERIAL PHOTOGRAMMETRY PROVIDED BY EASTERN TOPOGRAPHICS ON APRIL 2009. PROPERTY BOUNDARY IS BASED UPON GROUND SURVEY.
- BUILDING, PARKING LEVEL, SPOT GRADES, AND INTERIOR DETAIL FROM FIELD SURVEY PERFORMED BY HARRY R. FELDMAN ON APRIL 24, 2012.
- HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- BUILDING HEIGHT DETAIL DEVELOPED FROM BUILDING ELEVATIONS PREPARED BY CBT ARCHITECTS, MARCH 2007.

No.	Revision	Date	App'd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date	September 10, 2012
Project Title		

Hotel Indigo

Grove Street
Newton, Massachusetts
Issued for
Special Permit and Site Plan Review

Not Approved for Construction
Drawing Title

Proposed Site Plan with Riverside Access/Egress

Drawing Number

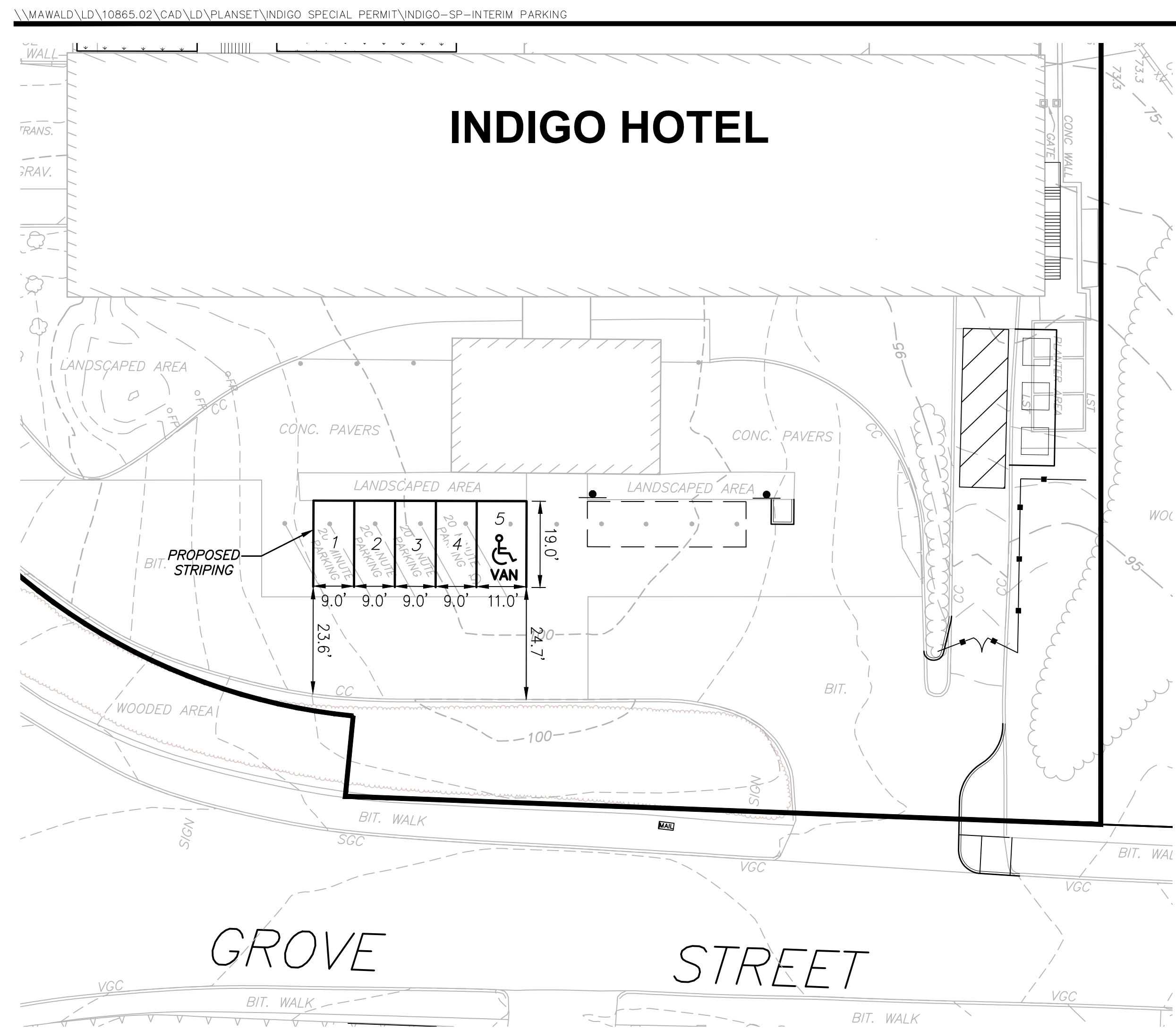
C-3

Sheet of 3 6

Project Number 10865.02

9/10/12

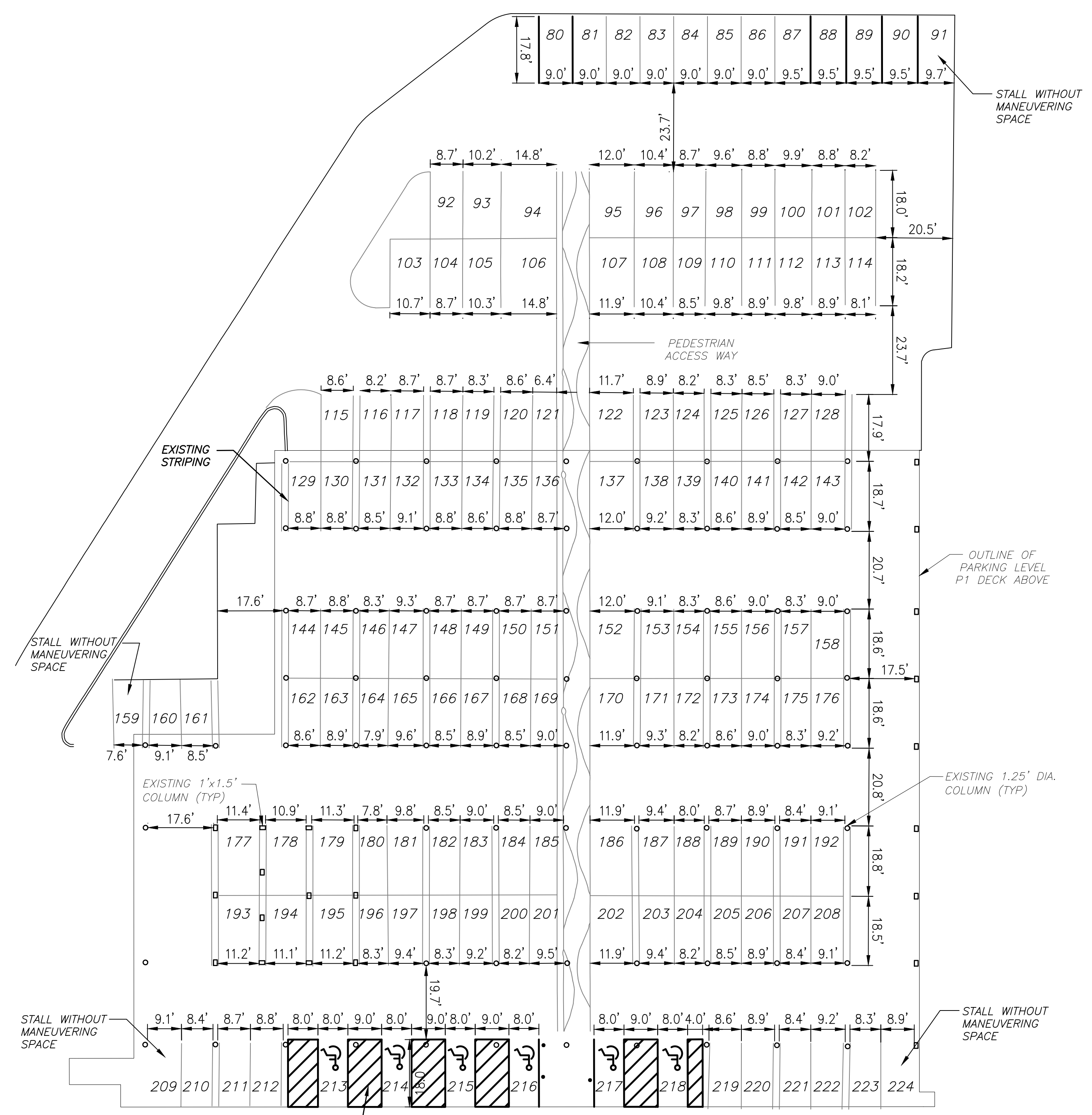
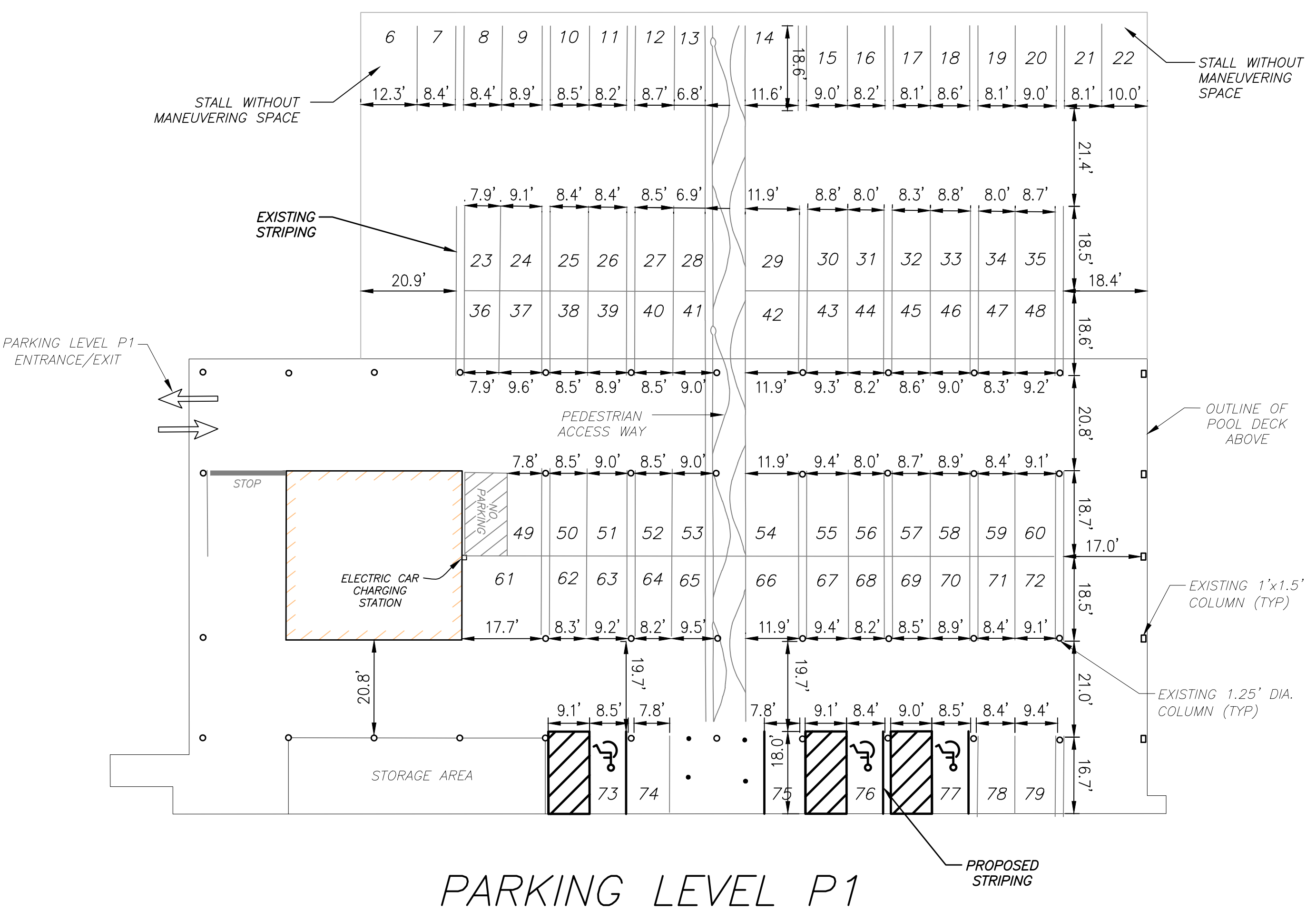
Save Friday, September 07, 2012 2:59:50 PM CFINN Plotted Monday, September 10, 2012 2:41:03 PM Fin, Craig



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



No.	Revision	Date	Appr.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=20'	Date	September 10, 2012
Project Title		

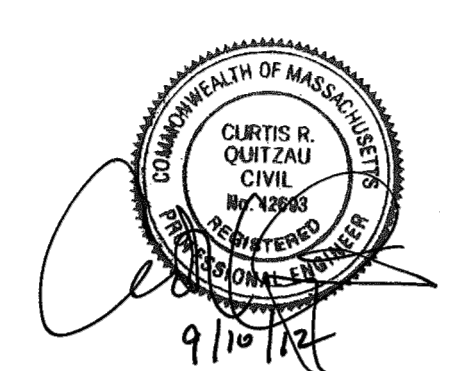
Hotel Indigo

Grove Street
Newton, Massachusetts

Issued for
**Special Permit and
Site Plan Review**

Not Approved for Construction

**Proposed Interim
Parking Plan**



C-4

Sheet of 4 of 6

Project Number
10865.02

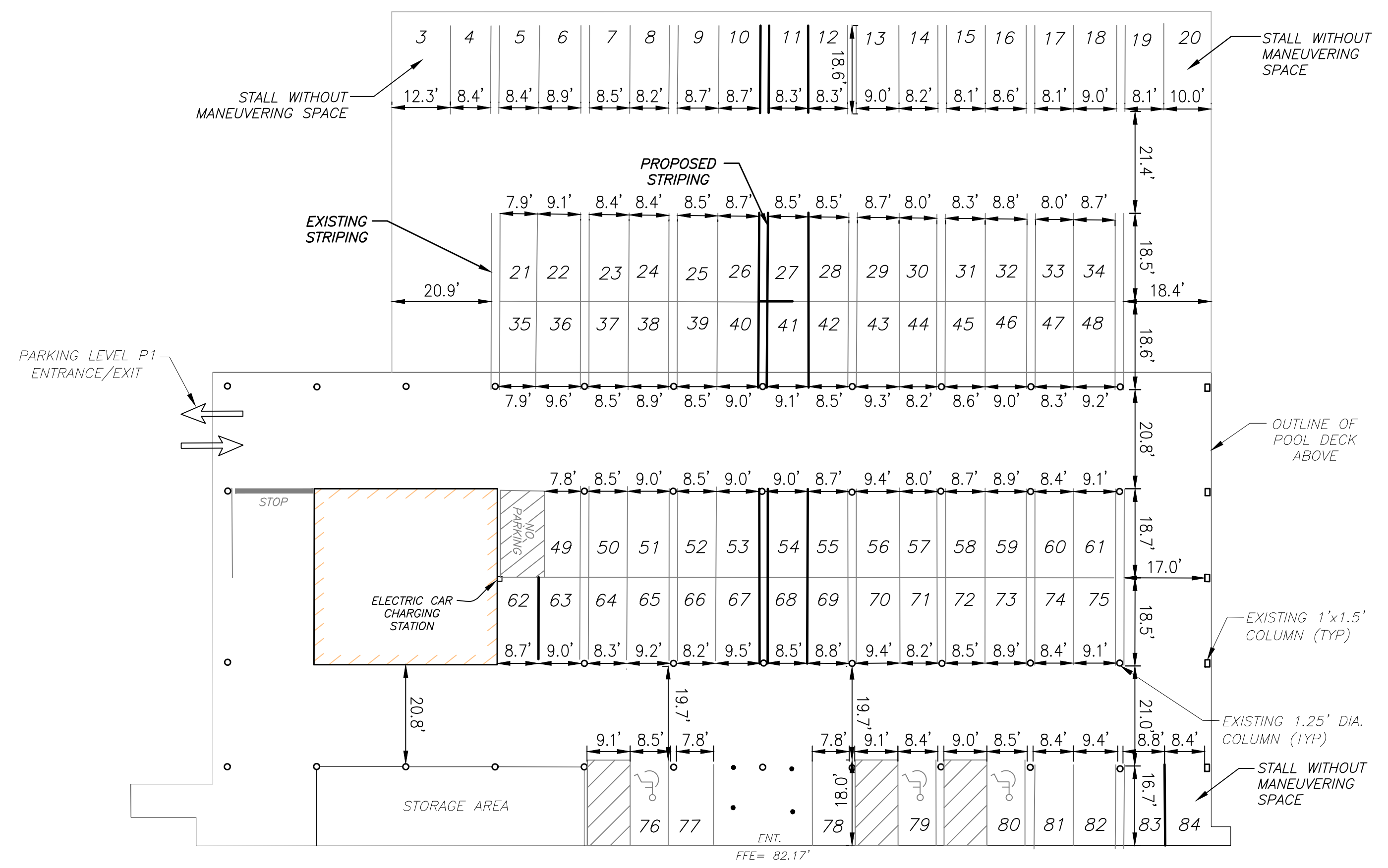
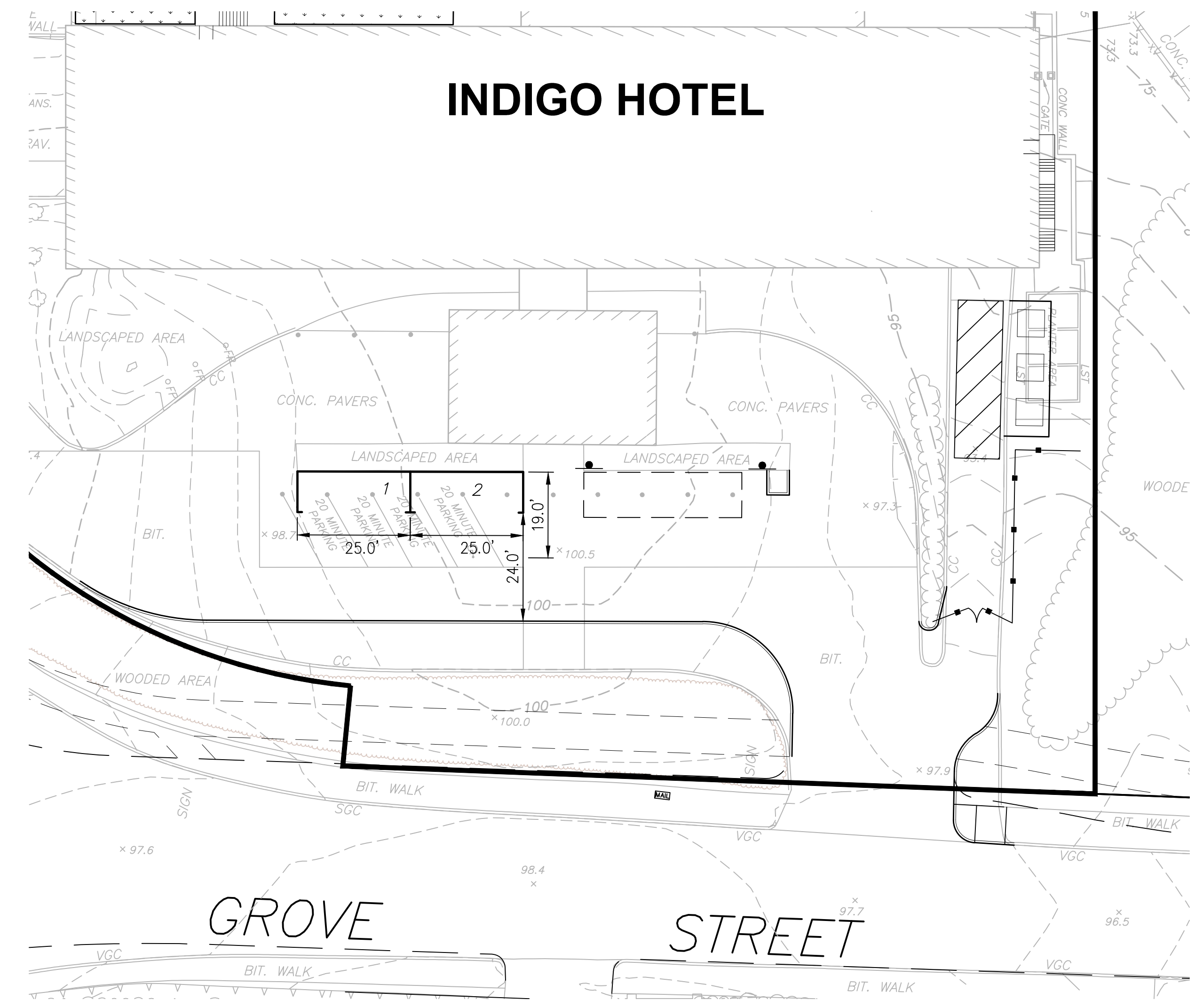
Saved Friday, September 07, 2012 3:05:28 PM CFINN Plotted Monday, September 10, 2012 2:41:28 PM Fin, Craig



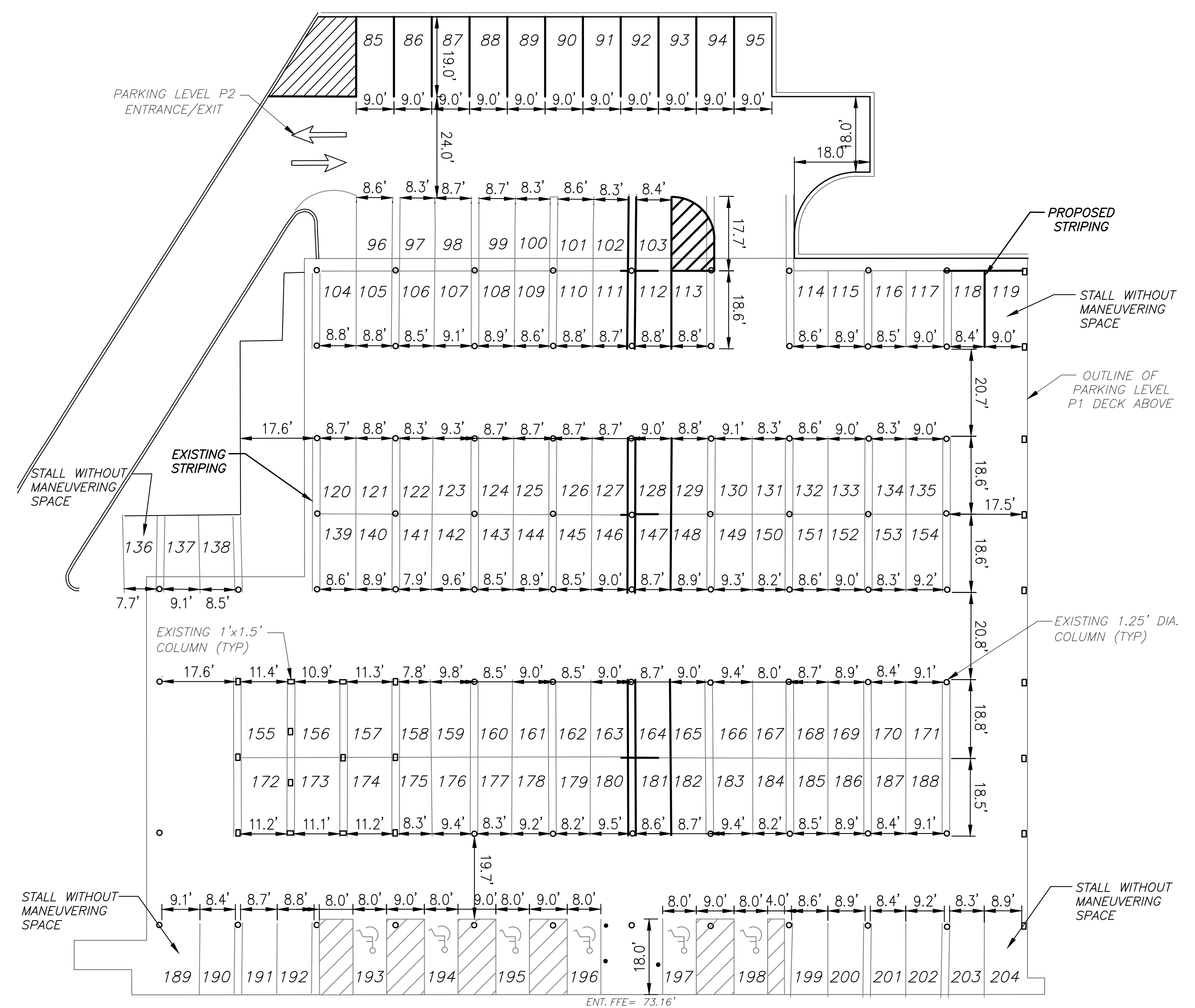
Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



PARKING LEVEL P1



PARKING LEVEL P2



No.	Revision	Date	Appr.

Designed by _____ Drawn by _____ Checked by _____
 CAD checked by _____ Approved by _____
 Scale 1"=20' Date September 10, 2012
 Project Title

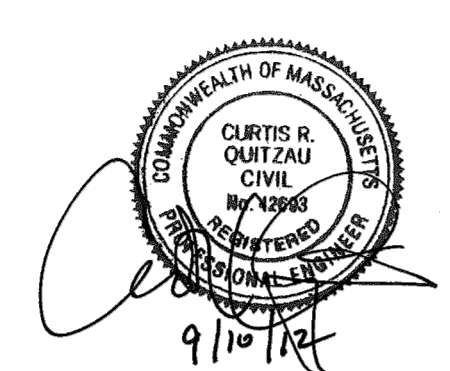
Hotel Indigo

Grove Street
Newton, Massachusetts

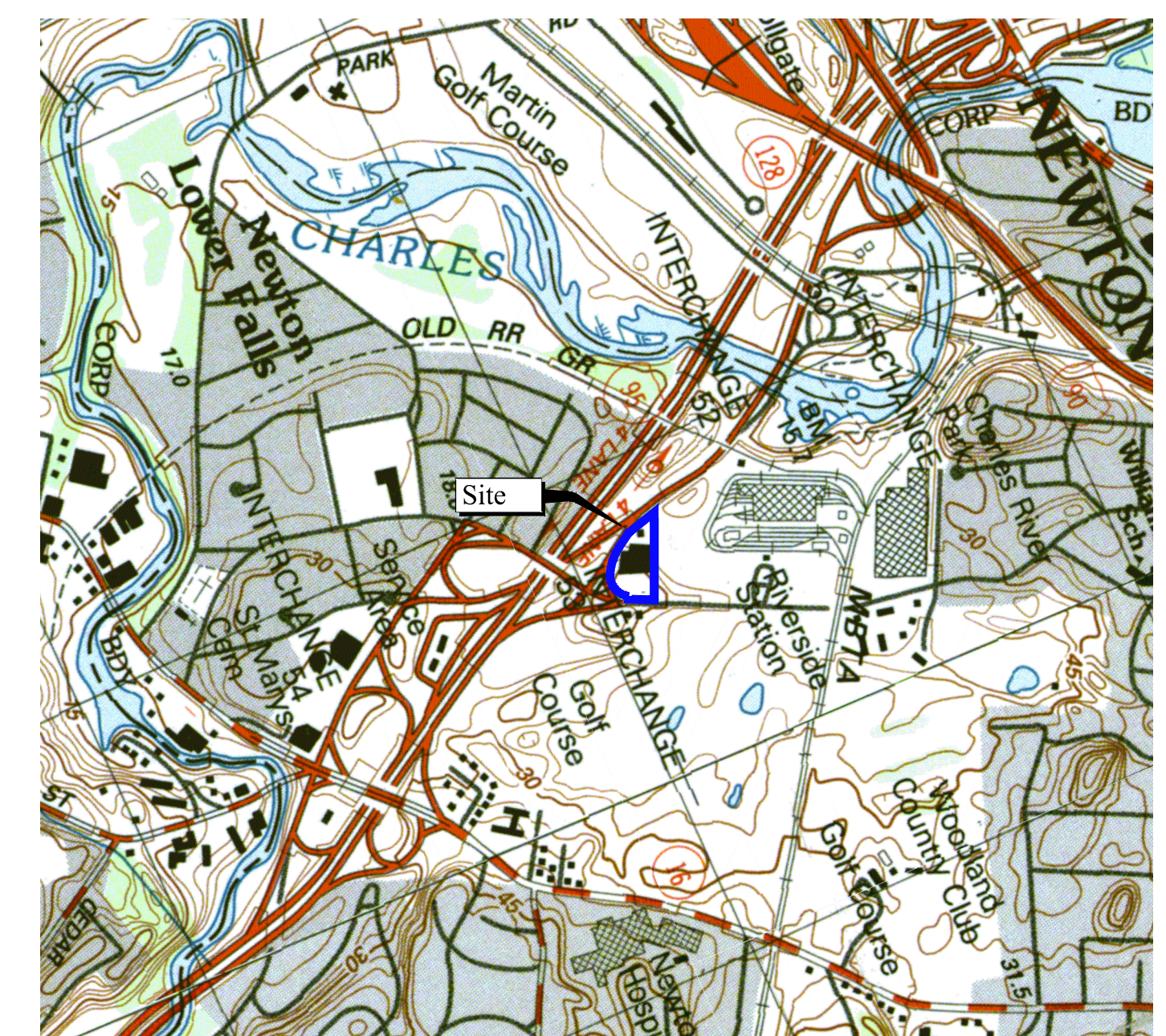
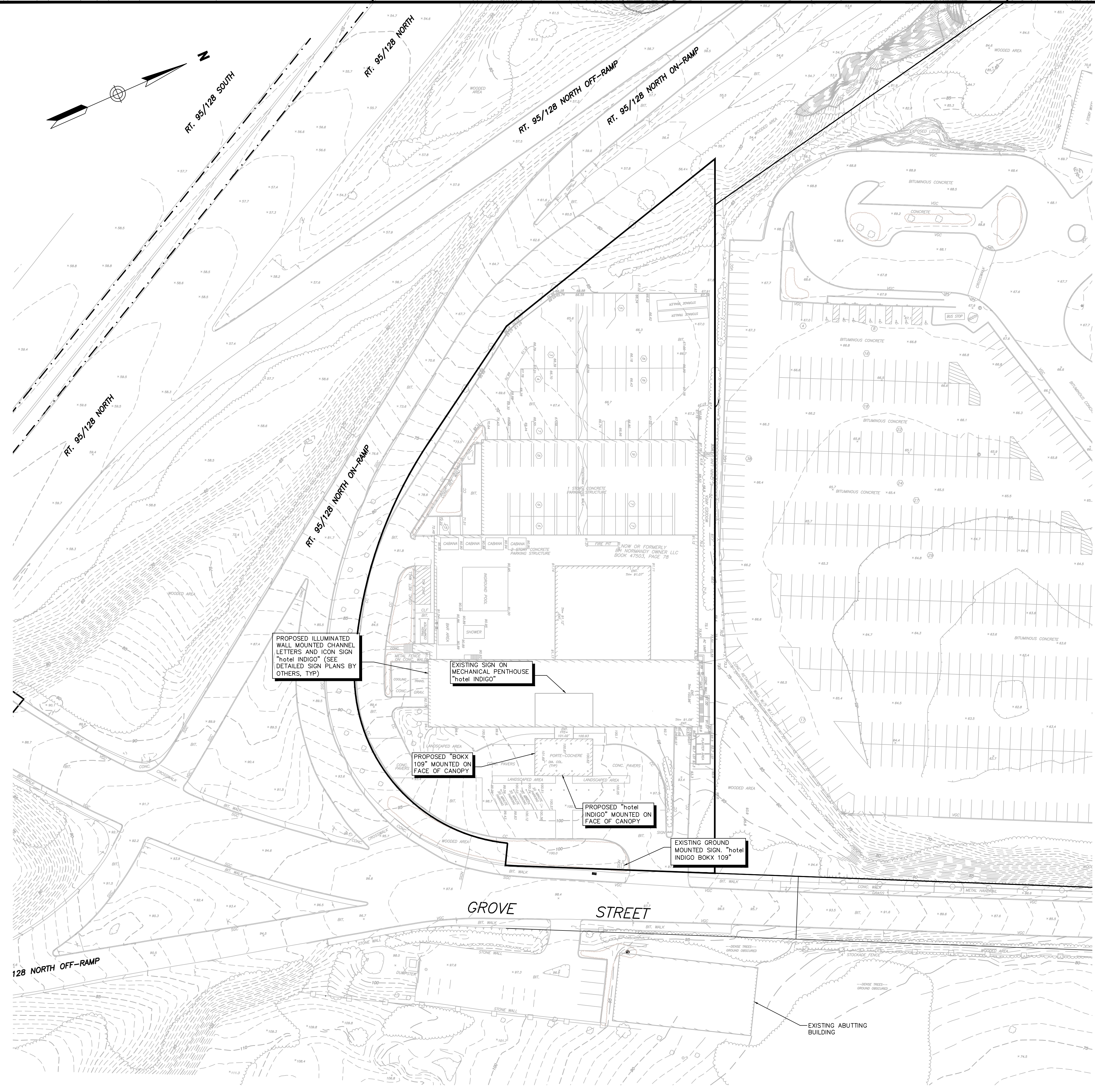
Issued for
**Special Permit and
Site Plan Review**

Not Approved for Construction

Proposed Parking Plan
with Riverside
Access/Egress



Drawing Number
C-5
Sheet of 5/6
Project Number
10865.02



Site Location Map

1. EXISTING CONDITIONS TOPOGRAPHIC MAPPING PROVIDED BY HARRY R. FELDMAN, INC. SURVEYORS FROM AERIAL PHOTOGRAPHY TAKEN IN FEBRUARY 2009. PROPERTY BOUNDARY IS BASED UPON GROUND SURVEY.
2. HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
3. EXISTING ZONING DISTRICT: BUSINESS 5

Vanasse Hangen Brustlin, Inc.
 Transportation
 Land Development
 Environmental Services

PROPOSED ILLUMINATED WALL MOUNTED CHANNEL LETTERS AND ICON SIGN "hotel INDIGO" (SEE DETAILED SIGN PLANS BY OTHERS, TYP)

EXISTING SIGN ON MECHANICAL PENTHOUSE "hotel INDIGO"

PROPOSED "BOKX 109" MOUNTED ON FACE OF CANOPY

PROPOSED "hotel INDIGO" MOUNTED ON FACE OF CANOPY

EXISTING GROUND MOUNTED SIGN, "hotel INDIGO BOKX 109"

No.	Revision	Date	Appr.

Designed by	Drawn by	Checked by
CAD checked by		Approved by
Scale 1"=40'	Date	September 10, 2012
Project Title		

Hotel Indigo

Grove Street
 Newton, Massachusetts

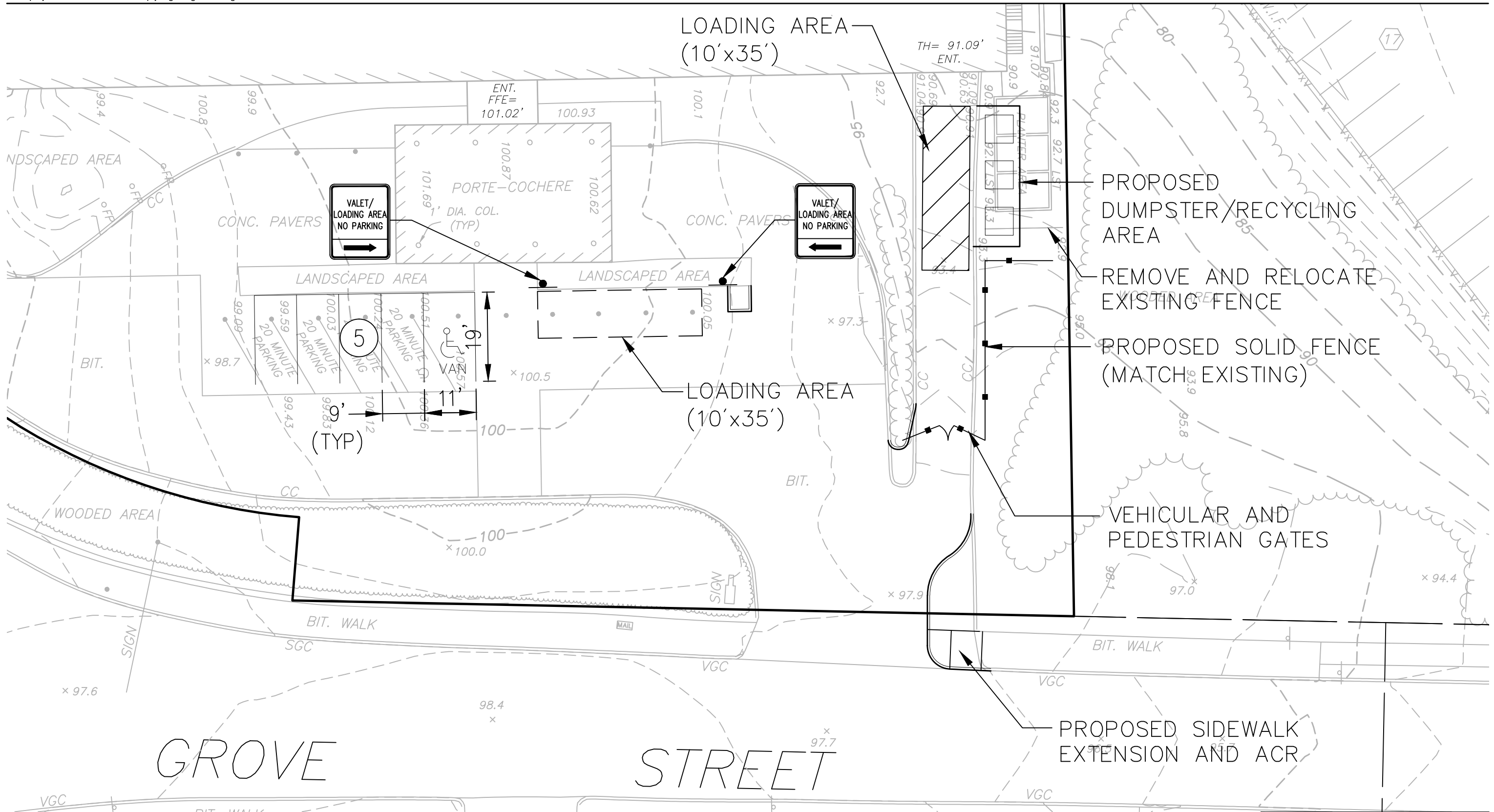
Issued for
Special Permit and Site Plan Review

Not Approved for Construction
 Drawing Title

Signage



	Drawing Number C-6
Project Number 10865.02	Sheet of 6 6



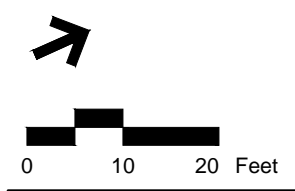
- PROPOSED DUMPSTER/RECYCLING AREA
- REMOVE AND RELOCATE EXISTING FENCE
- PROPOSED SOLID FENCE (MATCH EXISTING)
- VEHICULAR AND PEDESTRIAN GATES

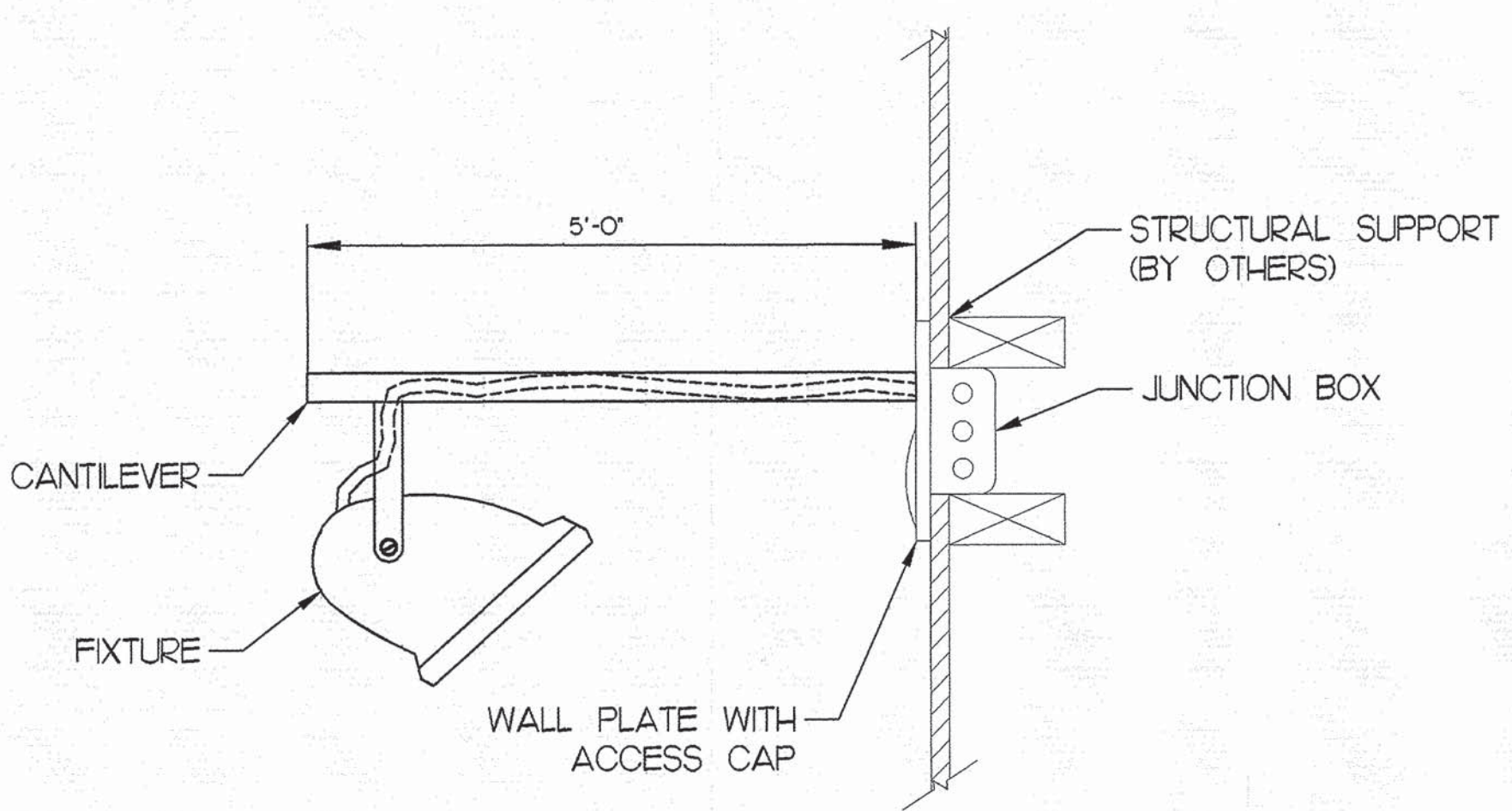
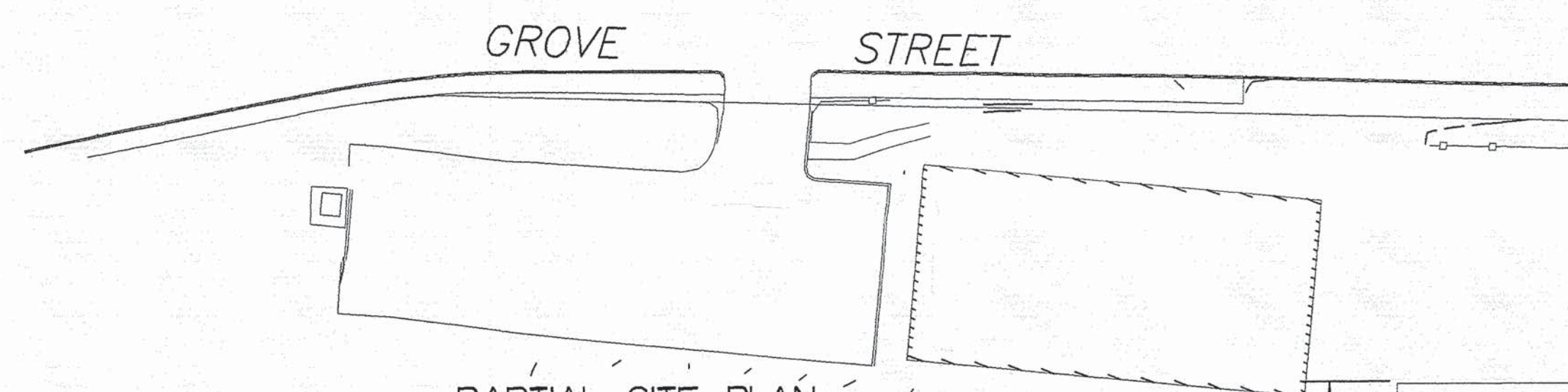
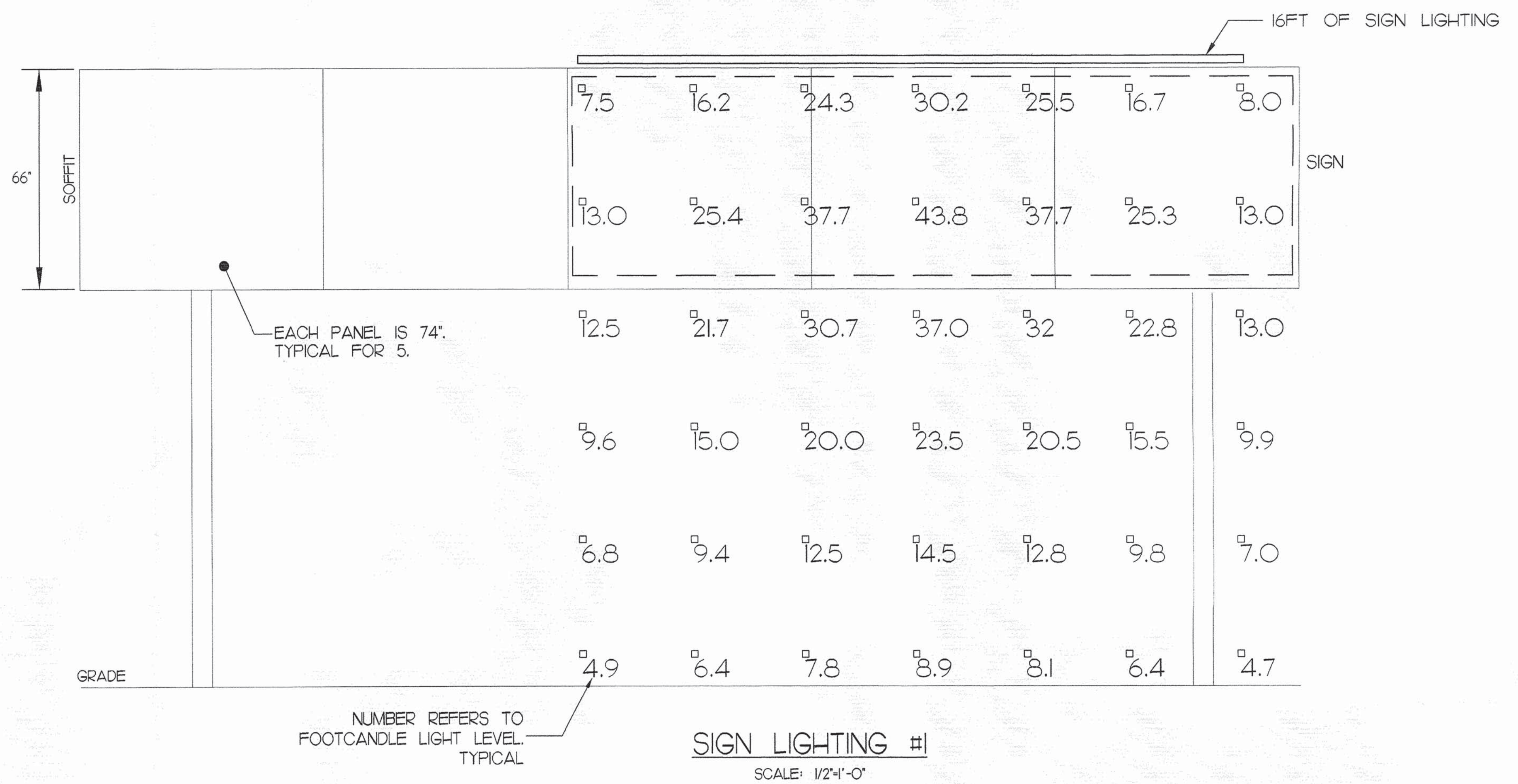
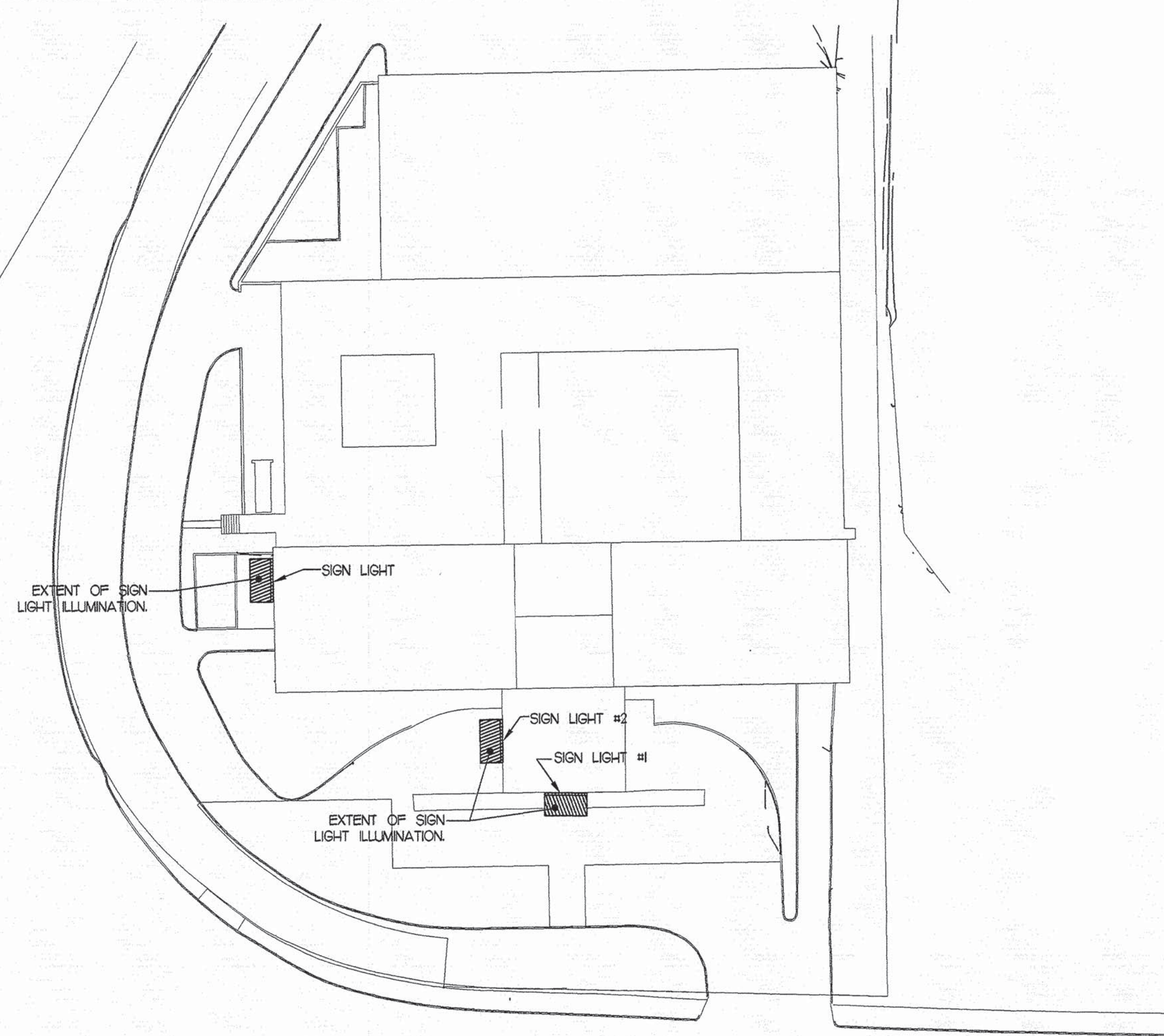
GROVE STREET

Vanasse Hangen Brustlin, Inc.

September 10, 2012

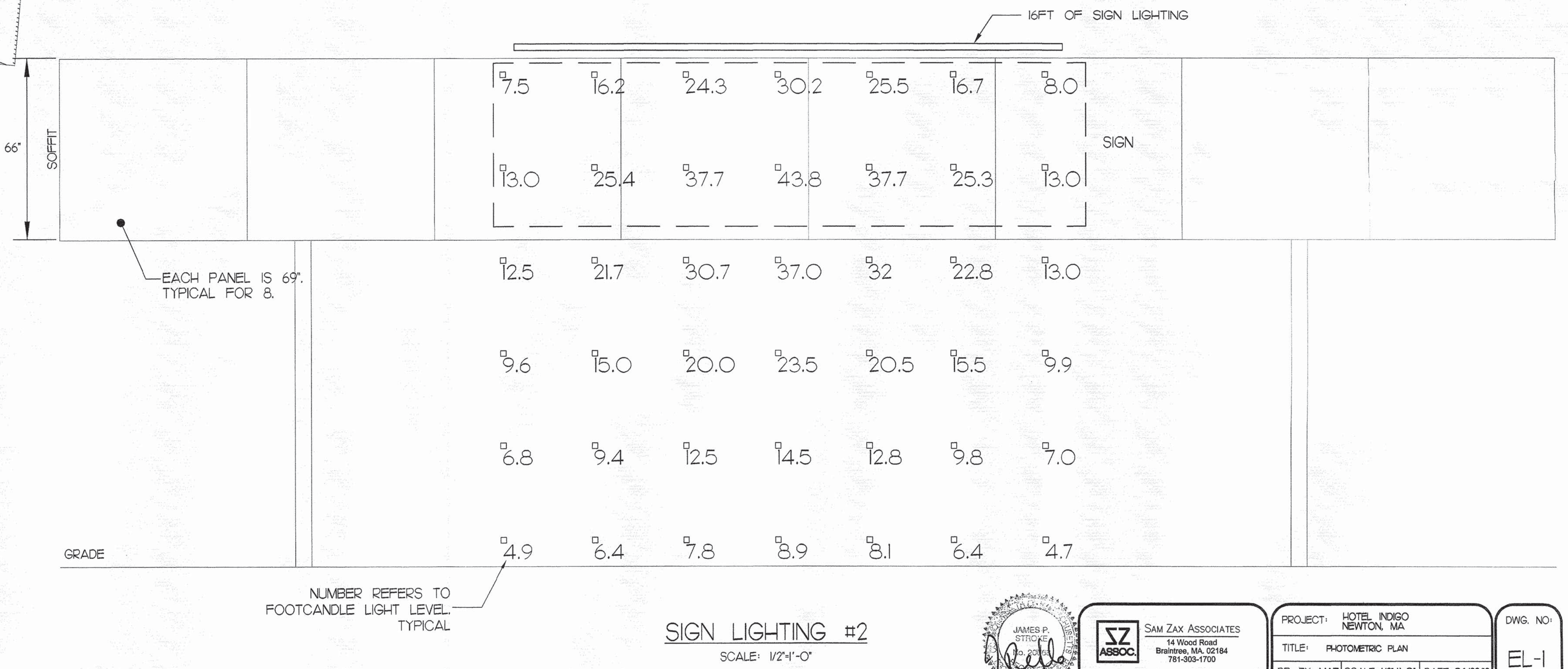
Hotel Indigo
Loading Area Plan





CANTILEVER MOUNTED LIGHTING DETAIL
NOT TO SCALE

NOTE:
LIGHT FIXTURE IS 8'-0" LONG WITH 15,000 LUMEN LAMP/8'

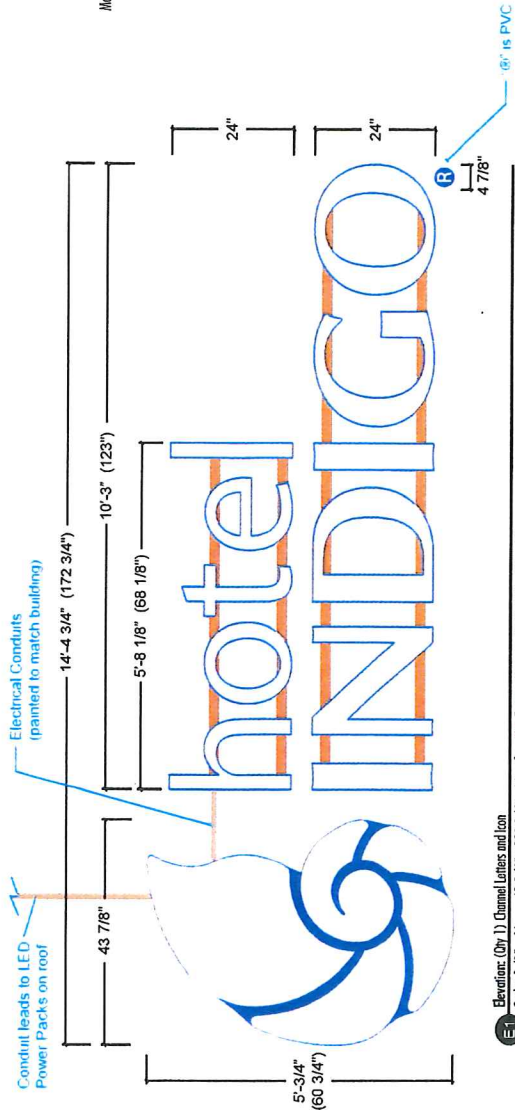


SAM ZAX ASSOCIATES
14 Wood Road
Braintree, MA 02184
781-303-1700

PROJECT: HOTEL INDIGO NEWTON, MA
TITLE: PHOTOMETRIC PLAN
DR. BY: MAZ SCALE: 1/2"=1'-0" DATE: 06/22/12

DWG. NO: EL-1

Channel Letters & Icon



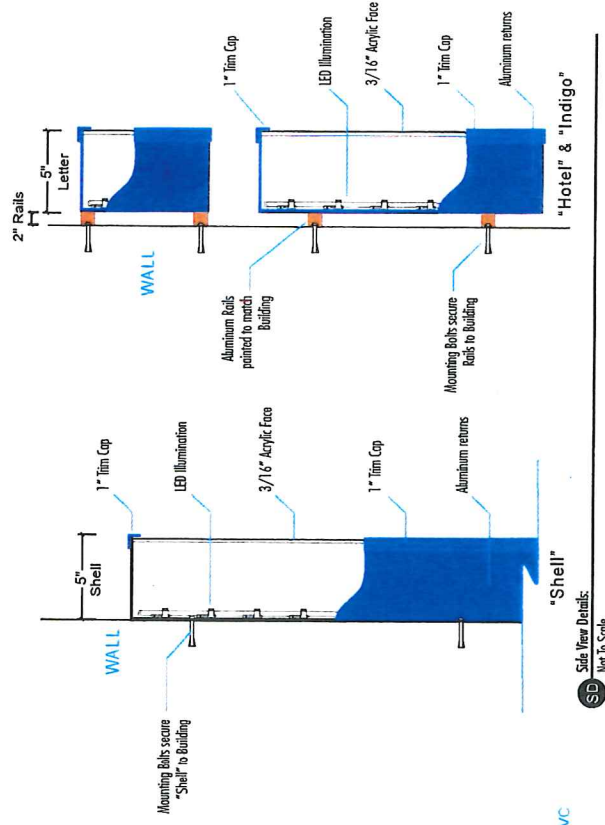
E Elevation: (Otr. L) Channel Letters and Icon
 Scale: 1/2" = 1' 60 3/4" x 172 3/4" = 73 sq.ft. (The Existing Sign was 6'3" x 17' = 75 sq.ft.)

- Description:**
- (Qty 1) Face-It Channel Letters & Icon
 - LED illumination
 - 5" deep aluminum returns
 - 3/16" acrylic faces with trimcap
 - Letters mounted to rails
 - Rails are mounted to exterior brick wall.
 - Exterior 1" conduit and remote power supply on roof.

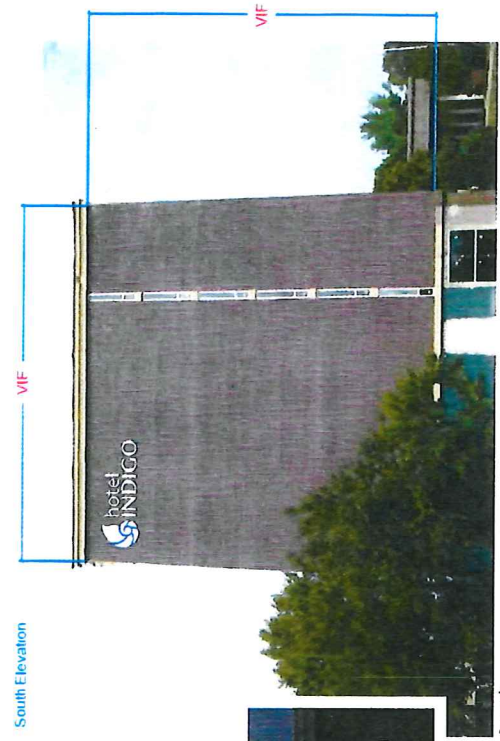
Logo:
 Supplied by Customer
 (Edited by ViewPoint to meet production limitations.)

Note: "HOTEL" has been changed to meet production limitations.
 (Signs Bold Extended (modified))

- Colors:**
- White LEDs
 - Painted to match Blue PMS 2758c
 - Remains - Gentium 2050 Dark Blue (stock)
 - White Acrylic face
 - White Acrylic face
 - 3M 220-37 Sapphire Blue opaque vinyl
 - pointed standard brick color PMS 174c (R0)
- Rails & Conduit -**
 Installation:
 By Viewpoint.
 Mounted to exterior brick wall.



S Side View Details:
 Not to Scale



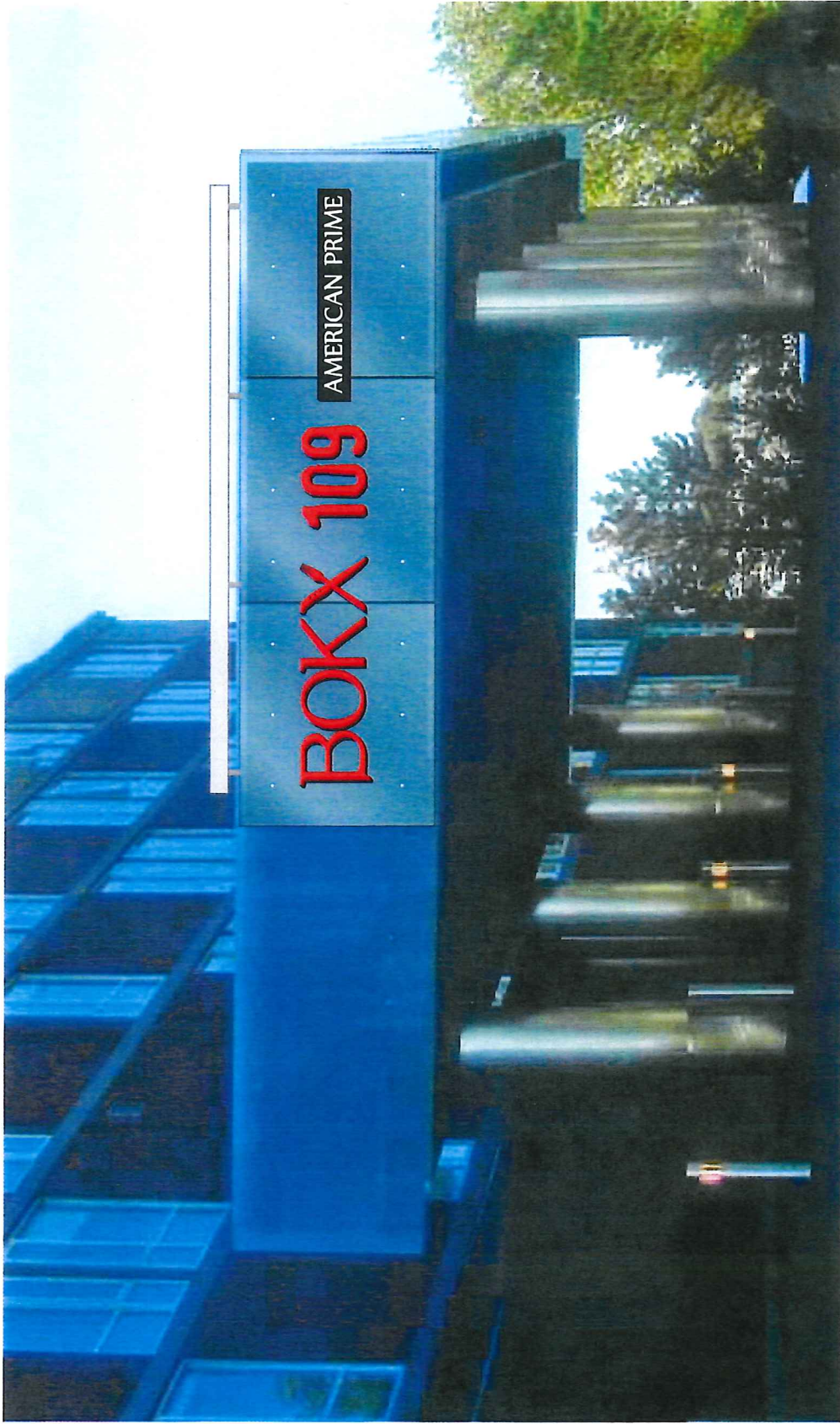
South Elevation
 Not to Scale



Proposed (Simulated Night View):
 Not to Scale

Job: Indigo Hotel Location: Haver, MA	Account Manager: Sean Spaulding File: IndigoHotel_Rev0114_01m_1.rvt	Date: 07.24.12 Designer: Matthew Heard	Revisions: 01.27.12 4.01.15 03.07.12 4.01.15	Revisions: 01.27.12 4.01.15 03.07.12 4.01.15	Customer Approval Act. Manager Approval Production Approval	TBD / VIF
--	--	---	--	--	---	-----------

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.



Job: Lodge Hotel
 Location: Newton, MA

Account Manager:
 Scott Spaulding
 File: BOKX109_Hotel_AmericanPrime_Pkg_2.dwg

Date: 04.18.12 10:05
 Designer: Matthew Hoard

Resistor: 04.24.12 10:05

Resistor:

Customer Approved
 1.508.393.8200
 SIGN AND AWNING
 FAX 1.508.393.4244

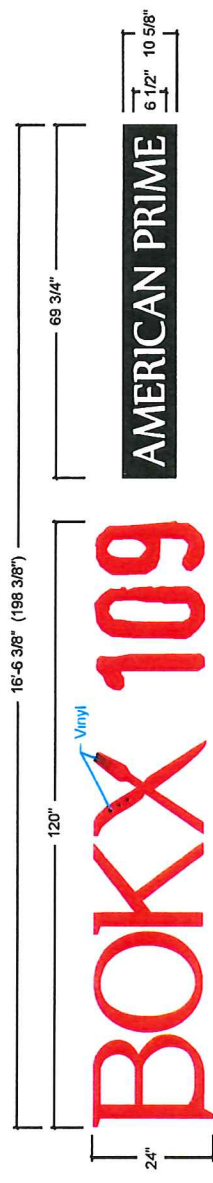
Acct. Manager Approved

Production Approved

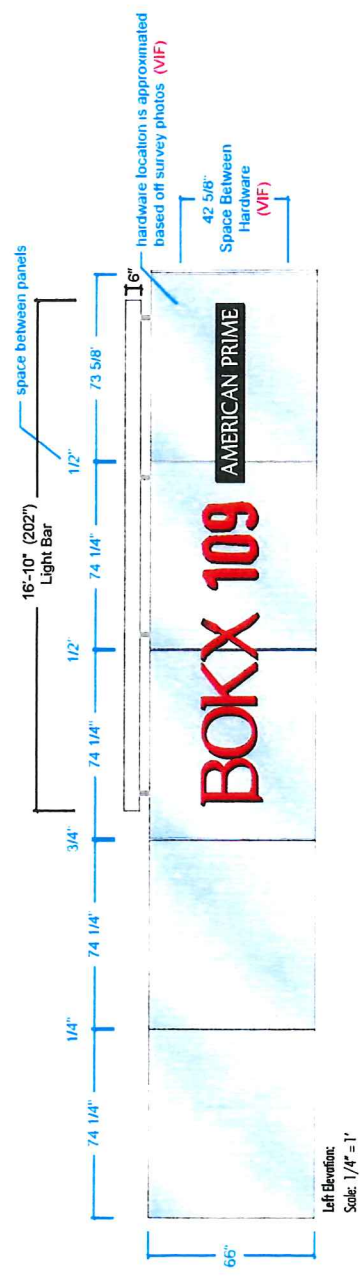


THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS
 CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED.
 UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.



Elevations: #3256 (Qty 1) Dimensional Graphics
 Scale: 1/2" = 1'



- Description:**
 (Qty 1) Dimensional Graphics
 - 1/2" PVC
 - "American Prime" is surface applied vinyl on PVC face.
 - Knife and lock have surface applied vinyl on PVC face.
 - Dimensional graphics are mounted to glass facade with VHB tape and silicone.
 - (1) Custom fabricated light bars. (100)
- Logo:**
 Bokx 109 - Supplied by Customer
 (arrangement adjusted to increase visibility)
- Colors:**
 "Bokx 109"
 Returns - painted Black (exam)
 Face - 3M 220-293 Atomic Red vinyl
 3M 220-12 Black vinyl
- "American Prime" Panel - painted Black (face/returns)
 "American Prime" Copy - 3M 220-10 White vinyl
 Light Bar - painted to match Brushed Aluminum

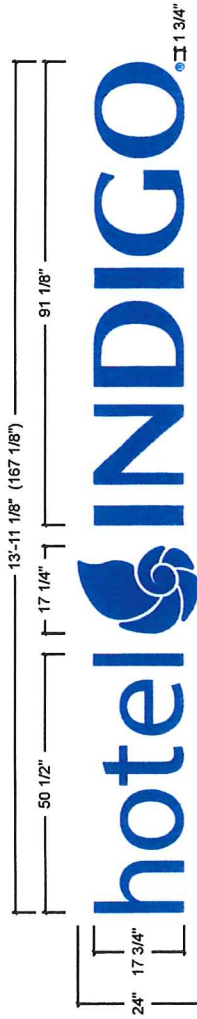
Installation:
 By Viewpoint, VHB tape and silicone.
 See photo elevation.

Account Manager: Scott Spaulding	Date: 04.18.12	Revisions: 04.24.12	Revision: 0.0.25	THE PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.	Customer Approval	Acct. Manager Approval	Production Approval
File: 16'-6 3/8" AMERICAN PRIME BOKX 109 24.6	Designer: Matthew Heard						TBD / VIF

Job: Bridge Hotel
Location: Newry, MA

ViewPoint 1.508.393.8200
SIGN AND AWNING FAX 1.508.393.4244

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.



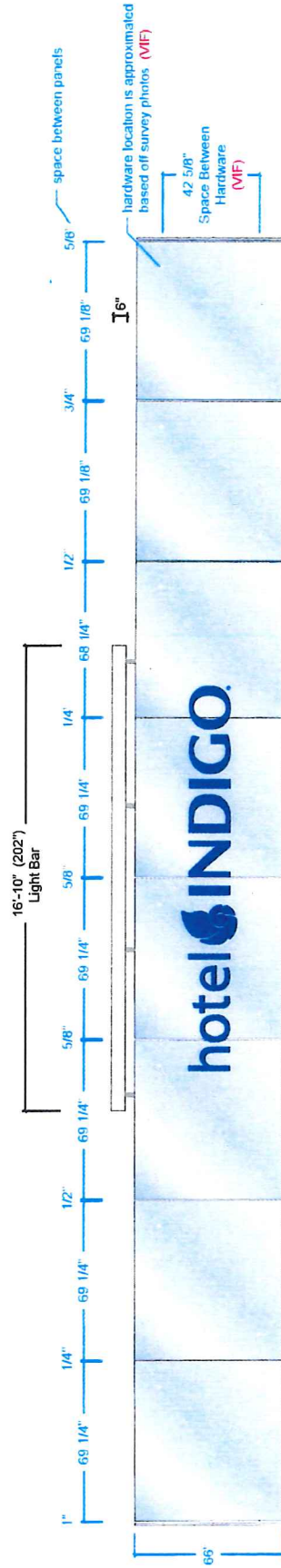
Elevation: #3256 (Qty 1) Dimensional Graphics
 Scale: 1/4" = 1'

- Description:**
 (Qty 1) Dimensional Graphics
 - 1/2" PVC
 - "©" is surface applied vinyl on glass facade.
 - Dimensional graphics are mounted to glass facade with VHB tape and silicone.
 - (1) Custom fabricated light bars. (NB)

Logo:
 Indigo Hotel - Supplied by Customer
 (arrangement adapted to increase visibility)

Colors:
 Indigo Hotel Graphics - painted to match PMS 2758 (face/return)
 © - 3M Z90-37 Sapphire Blue vinyl
 Light Bar - painted to match Brushed Aluminum

Installation:
 By Viewpoint, VHB tape and silicone.
 See photo elevation.



Front Elevation
 Scale: 1/4" = 1'

<p>Account Manager: Scott Spaulding</p> <p>Date: 04.18.12</p> <p>Revision: 04.24.12</p> <p>Revisions: 04.24.12 0.0.5</p>	<p>Customer Approval</p> <p>Acct. Manager Approval</p> <p>Production Approval</p>
<p>Job: Indigo Hotel</p> <p>Location: Hertons, MA</p> <p>File: Indigo_Hotel_LogoDimensionalGraphics_Tp_2.0.1.dwg Matthew Hiseed</p>	<p>1.508.393.8200</p> <p>1.508.393.4244</p> <p>TBD/VIF</p>

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.



Job:
Indigo Hotel
Location:
Meriden, MA

Account Manager:
Scott Spaulding
File:
Indigo_Hotel_Meriden_Signage_P2_21.dwg

Date:
04.18.12 10:0:25
Designer:
Matthew Hoard

Revisions:
0424.12 8:0:25

Revisions:
0424.12 8:0:25

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS
CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED.
UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.



ViewPoint
SIGN AND AWNING
1.508.393.8200
FAX 1.508.393.4244

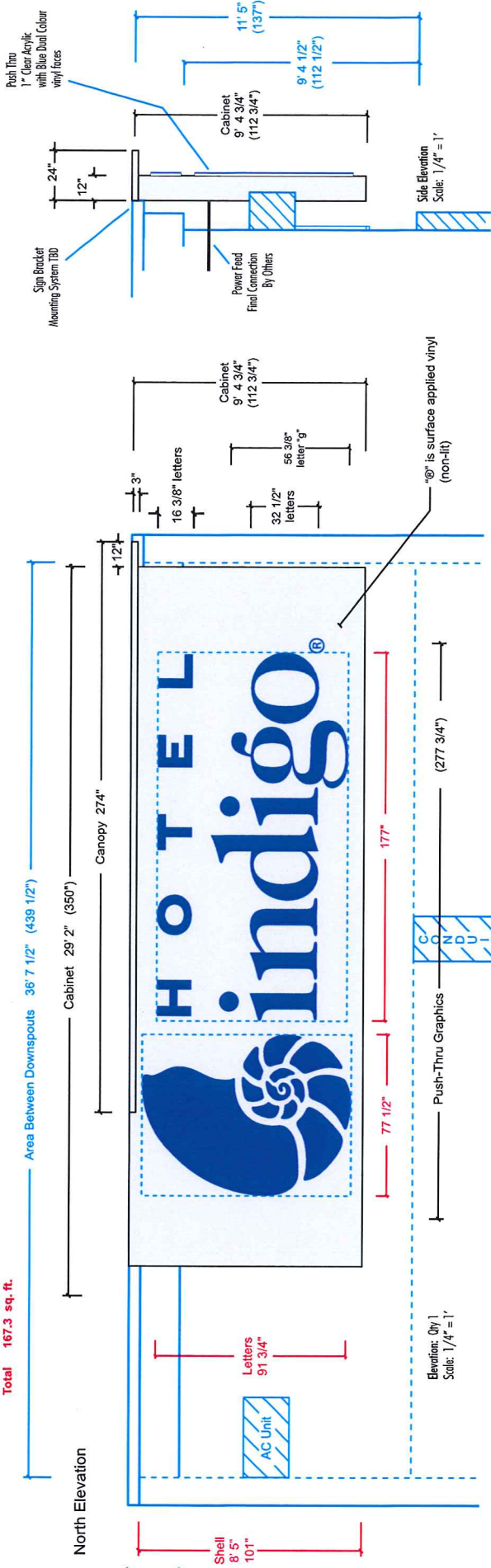
Customer Approval

Acct. Manager Approval

Production Approval

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.

Shell: 101" x 77 1/2" = 54.4 sq. ft.
 Letters: 91 7/8" x 177" = 112.9 sq. ft.
Total 167.3 sq. ft.



Description:

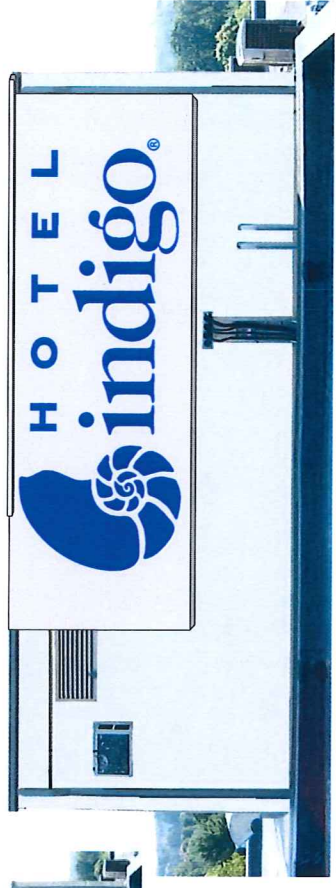
- (1) Custom wall mounted sign Cabinet, with Push-Thru illuminated Graphics.
- Cabinet has Aluminum tube frame construction with 3mm Diamond face and Sides.
- Internal DBO Fluorescent lamps.
- Cabinet paint color to be supplied by GC.
- 3" Aluminum Canopy along top edge as shown, with 12" projection.
- Cabinet paint color to be supplied by GC.
- Push-Thru 1" Clear Acrylic graphics have Dual Colour Blue translucent vinyl graphic on face.
- (looks blue in daytime - lights White at night)

Typeface:
 Indigo artwork supplied
 (layout modified to fit size of sign)

- Colors:**
 Cabinet: painted Benjamin Moore 2111-50 Stone Harbor Gray (Color map 493(6))
- 3" Aluminum Canopy: painted Benjamin Moore 2111-50 Stone Harbor Gray (Color map 493(6))
- Lenses / Logo: 1" Clear Acrylic returns
- Face: 3M Dual Colour 230-87 Royal Blue translucent vinyl
- "®": 3M 220-87 Royal Blue HP vinyl.

Installation: By Viewpoint; mount to building with hardware as required.

North Elevation



Job: Indigo Hotel
Location: Newton, MA

Account Manager: Sean Spalding
File: Indigo_Hotel_wall_sign_A.dwg

Date: 09.25.07 2.0
Design: Linda Clancy

Revisions:
 09.26.07 2.0
 10.05.07 3
 10.08.07 5

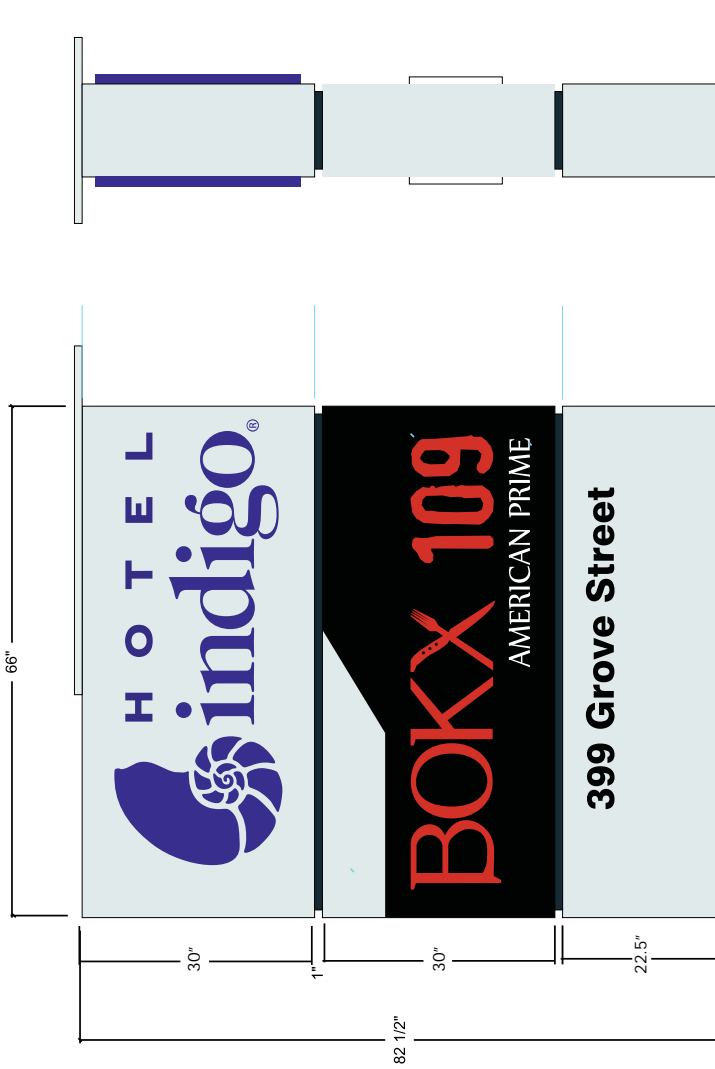
ViewPoint 1.508.303.8400
SIGN AND AWNING FAX 1.508.303.8480

Customer Approval
 Act. Manager Approval
 Production Approval

THIS PROPOSAL DRAWING CONTAINS ORIGINAL ELEMENTS
 CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED.
 UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.

Proposed

East Elevation



E1

Elevation: Push through and stencil cut graphics for existing double sided monument

Scale: 3/4" = 1'

S1

Side Elevation

Scale: 3/8" = 1'

Description:

Push through and stencil cut graphics for existing internally illuminated double sided monument.

- 1" Clear acrylic push thru letters "Bokx 109" with translucent vinyl on first surface and second surface diffuse vinyl.
- Stencil cut "American Prime" backed up with acrylic
- Existing aluminum panels to be reworked: stencilcut & painted (see color details).

Typeweight:

Logo supplied by customer.

Colors:

- Cabinet Face:
 - Painted Black
 - Existing cabinet color reveal (painted brushed aluminum)
- "Box 109":
 - Clear Acrylic with 1st surface optiled Color Red (2500-33) Translucent Vinyl
 - Color 20 White Translucent 2nd Surface Applied (diffuse)
- "American Prime":
 - White Acrylic

Installation:

By Viewpoint / Hardware as needed.
Remove existing middle panels only and bring to shop.



PE Photo Elevation: Proposed & Existing

Scale: NTS

Existing



Job: Indigo - Bokx 109
Location: Newton, MA
Account Manager: Scott Spaulding
File: Indigo-Bokx_Newton_Monument_1b.ai

Date: 12.02.08 1.5
Revisions: 12.29.08 25 IPT
01.12.08 25 IPT
Designer: Steven Mainiero

Revisions:

THIS PROPOSAL DRAWING CONTAINS CONFIDENTIAL ELEMENTS CREATED BY VIEWPOINT SIGN AND AWNING. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION IS PROHIBITED.



ViewPoint
SIGN AND AWNING
Customer Approval
Act. Manager Approval
Production Approval
1.508.303.8400
1.508.303.8480