

2003 Permit

Holiday Inn Newton - Site # 4BS-0565

INSPECTIONAL SERVICES DEPARTMENT
CITY OF NEWTON
1000 Commonwealth Ave.
Newton, MA 02459-1449

BUILDING PERMIT

JOB WEATHER CARD

617-796-1060

DATE 5/13/03 INSPECTOR DEFFELY PERMIT NUMBER 1732-03
APPLICANT X.S.G. ADDRESS CANTON, MA

AT (LOCATION)	<u>399 GROVE ST.</u>	ZONING DISTRICT	<u>B3-5</u>
	(NO.) (STREET)		
BETWEEN	AND	SBL	<u>42-11-04</u>
	(CROSS STREET)		(CROSS STREET)
PERMIT TO	<u>INSTALL WIRELESS COMMUNICATION FACILITY</u>		ESTIMATED COST \$ <u>43,411.00</u>
		PERMIT FEE \$	<u>807.44</u>

OWNER HOLIDAY INN.
ADDRESS NEWTON, MA

INSPECTIONAL SERVICES DEPARTMENT BY [Signature]

THIS PERMIT CONVEYS NO RIGHT TO OCCUPY ANY STREET, ALLEY, OR SIDEWALK OR ANY PART THEREOF, EITHER TEMPORARILY OR PERMANENTLY. ENCROACHMENTS ON PUBLIC PROPERTY, NOT SPECIFICALLY PERMITTED UNDER THE BUILDING CODE, MUST BE APPROVED BY THE JURISDICTION. STREET OR ALLEY GRADES AS WELL AS DEPTH AND LOCATION OF PUBLIC SEWERS MAY BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. THE ISSUANCE OF THIS PERMIT DOES NOT RELEASE THE APPLICANT FROM THE CONDITIONS OF ANY APPLICABLE SUBDIVISION RESTRICTIONS.

- MINIMUM OF THREE CALL INSPECTIONS REQUIRED FOR ALL CONSTRUCTION WORK:
1. EXCAVATION PRIOR TO FOUNDATIONS OR FOOTINGS
 2. PRIOR TO COVERING STRUCTURAL MEMBERS
 3. FINAL INSPECTION BEFORE OCCUPANCY

APPROVED PLANS MUST BE RETAINED ON JOB AND THIS CARD KEPT POSTED UNTIL FINAL INSPECTION HAS BEEN MADE. WHERE A CERTIFICATE OF OCCUPANCY IS REQUIRED, SUCH BUILDING SHALL NOT BE OCCUPIED UNTIL FINAL INSPECTION HAS BEEN MADE.

WHERE APPLICABLE SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, AND MECHANICAL INSTALLATIONS.

POST THIS CARD SO IT IS VISIBLE FROM STREET

BUILDING INSPECTION APPROVALS	PLUMBING INSPECTION APPROVALS	ELECTRICAL INSPECTION APPROVALS
	1	1
	2	2
	HEATING INSPECTION APPROVALS	HEALTH DEPARTMENT
	1	1
OTHER		FIRE DEPARTMENT APPROVALS
	2	1

WORK SHALL NOT PROCEED UNTIL THE INSPECTOR HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION.

PERMIT WILL BECOME NULL AND VOID IF CONSTRUCTION WORK IS NOT STARTED WITHIN SIX MONTHS OF DATE THE PERMIT IS ISSUED AS NOTED ABOVE.

INSPECTIONS INDICATED ON THIS CARD CAN BE ARRANGED BY TELEPHONE OR WRITTEN NOTIFICATION.

zoning file copy

City of Newton



David B. Cohen
Mayor

Inspectional Services Department

Mark A. Gilroy, Commissioner
1000 Commonwealth Avenue
Newton Centre, MA 02459-1449
Telephone: 617 - 796-1060
Fax: 617 - 796-1086

Building /Zoning Inspectors
617 - 796-1060
Zoning Board of Appeals
617 - 796-1065
Plumbing and Gas Division
617 - 796-1070
Electrical Division
617 - 796-1075
Zoning Administrator
617 - 796-1080
www.ci.newton.ma.us

4B50505A

MEMORANDUM

TO: Gerald A. Brown, Plans Examiner

FROM: Peter R. Bronson, Zoning Administrator *Peter R. Bronson*

DATE: April 22, 2003

SUBJECT: 399 Grove Street
Property located in a Business 5 zoning district
Application for Permit for Wireless Telecommunications Equipment
Omnipoint Holdings, Inc. ["Omnipoint"]

I have reviewed the subject application.

In my opinion, this application can be approved in conformity with the Newton Zoning Ordinance, but only if there is conformity at all times with all of the following conditions, which should be made conditions of the building permit:

1. As used herein, the term "equipment" shall include (1) any device or other apparatus that is for transmission and/or reception of telecommunication and that performs the function of antennas, and (2) any supporting structure, equipment, or facility ancillary and/or accessory thereto.

2. All of the equipment shall be located, constructed, installed, operated, and maintained at all times in compliance with all applicable Federal, Massachusetts, and Newton laws, ordinances, codes, and regulations.

3. Without limiting the generality of the preceding conditions, the equipment shall be constructed, operated and maintained at all times in compliance with the following requirements:

(1) The equipment shall be kept in good appearance and good operating order at all times.

(2) If the equipment is not used for wireless communication purposes during any period of 30 consecutive calendar days, the owner of the equipment, the operator of the equipment, and the owner of the building shall each be separately responsible for removing the equipment by no later than the end of that 30-day period.

(3) If new technological changes permit smaller or internal equipment, the owner of the equipment and the operator of the equipment shall each be separately responsible to take advantage of such changes and replace the equipment approved herein.

(4) The equipment shall be painted in whatever color(s) necessary to ensure that, as much as possible, they are inconspicuous and blend in with the sky, the building, and other equipment on the site.

(5) All of the antennae shall be "façade-mounted".

(6) None of the wireless telecommunications equipment shall extend above the face of any wall, or of any exterior surface in the case of a structure that has no wall.

(7) None of the wireless telecommunications equipment shall extend more than 18 inches out from the face of the building or structure to which it is attached.

(8) None of the wireless telecommunications equipment shall obscure any window or other architectural feature.

4. Without limiting the generality of the preceding conditions, the equipment shall be constructed, operated and maintained at all times in conformity with the following plans and other documents:

Letter dated April 15, 2003 to Peter R. Bronson, Zoning Administrator, from John R. Coste, Real Estate Specialist, Omnipoint Holdings, Inc., 50 Vision Blvd., East Providence, RI 02914, Main: (401) 588-5600, Fax: (401) 588-5658. Attached thereto were the following:

Affidavit Of Radio Frequency Expert B. Thomas Zachariah, signed by B. Thomas Zachariah, RF Engineer, under the penalties of perjury, on March 27, 2003, before Richard J. Duddy, Jr., Massachusetts Notary Public.

Memorandum to City of Newton dated March 24, 2003 from – and stamped and signed by – Marc R. Chretien, Registered Professional Engineer, Civil, MRC Engineering, Inc., 31 Trowbridge Drive, N. Kingstown, RI 02852, PH/Fax: (401) 667-0511. It was subscribed and sworn on March 24, 2003 before Richard J. Duddy, Jr., Massachusetts Notary Public.

Plans titled “4BS-0565-A, Newton Holiday Inn, 399 Grove Street, Newton, Massachusetts 02458”, Sheets Nos. T-1, A-1, A-2, S-1, and E-1, all prepared by T-Mobile, 50 Vision Boulevard., East Providence, RI 02914, Main: (401)-588-5600, Fax: (401)-588-5658, and by MRC Engineering, Inc., 31 Trowbridge Drive, North Kingstown, RI 02852, (401) 667-0511, all stamped and signed by Marc R. Chretien, Registered Professional Engineer, Civil, all dated 6/17/02, all revised 10/7/02, 3/10/03, and 4/10/03.

Memorandum dated March 28, 2003 from Michael Kruse, Director of Planning and Development, and Robert Merryman, Senior Planner, to Mark Gilroy, Commissioner of Inspectional Services.

Letter dated March 19, 2003 to Peter R. Bronson, Zoning Administrator, from John R. Coste, Real Estate Specialist, Omnipoint Holdings, Inc., 50 Vision Blvd., East Providence, RI 02914, Main: (401) 588-5600, Fax: (401) 588-5658. Attached thereto were copy of certified mail return receipts for “notices sent to Ward Aldermen and immediate abutters”.

The following documents, which were attached to a letter dated March 11, 2003 to Mark A. Gilroy, Commissioner of Inspectional Services, from John R. Coste, Real Estate Specialist, Omnipoint Holdings, Inc., 50 Vision Blvd., East Providence, RI 02914, Main: (401) 588-5600, Fax: (401) 588-5658.

Copy of three separate letters each dated March 13, one each addressed to Alderman D. Pauline Bryson, Alderman, John Stewart, and Amy Mah Sangialo [sic], each from John R. Coste, Real Estate Specialist, a division of T Mobile USA, Inc., 50 Vision Blvd., East Providence, RI 02914, Main: (401) 588-5600, Fax: (401) 588-5658. According to the March 11, 2003 Cover Letter, these letters were "sent" to the addressees.

Copy of a notice dated March 13, 2003, sent by John R. Coste, Real Estate Specialist, a division of T Mobile USA, Inc., 50 Vision Blvd., East Providence, RI 02914, Main: (401) 588-5600, Fax: (401) 588-5658. Accompanying it was an undated list of abutters, attested as "A True Copy" by Edward G. English, City Clerk of Newton, Mass. According to the March 11, 2003 Cover Letter, this notice was "sent to immediate abutters as provided by the Assessor's Office, City of Newton."

cc: John R. Coste
Real Estate Specialist
Omnipoint Holdings, Inc.
50 Vision Blvd.
East Providence, RI 02914

2009 Permit

Bos 0283B

INSPECTIONAL SERVICES DEPARTMENT CITY OF NEWTON 1000 COMMONWEALTH AVENUE NEWTON, MA 02459-1449 617-796-1060	JOB WEATHER CARD	BUILDING PERMIT
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DATE: 08/26/2009	INSPECTOR: 3 Case <input checked="" type="checkbox"/>	PERMIT NO:09080271
APPLICANT: STEPHEN R SHURTLEFF	ADDRESS:214 WAKEBY ROAD MARSTONS MILLS , MA 02648	PHONE:508-888-4383
AT (LOCATION) 399 GROVE ST AUBURNDALE , MA 02466		ZONING DISTRICT: BU5
BETWEEN _____ AND _____ (CROSS STREET) (CROSS STREET)		SBL: 42011 0004

PERMIT TO: mount antennas on penthouse facade. equipment room within penthouse interiors.	ESTIMATED COST: \$40000 PERMIT FEE: \$744.00
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OWNER BH NORMANDY OWNER LLC ADDRESS 67 PARK PLACE EAST 8TH FL MORRISTOWN, NJ 07960	INSPECTIONAL SERVICES DEPARTMENT <i>For John</i>
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PERSONS CONTRACTING WITH UNREGISTERED CONTRACTORS DO NOT HAVE ACCESS TO THE GUARANTY FUND

MINIMUM OF THREE CALL INSPECTIONS REQUIRED FOR ALL CONSTRUCTION WORK: 1. EXCAVATION PRIOR TO FOUNDATIONS OR FOOTINGS 2. PRIOR TO COVERING STRUCTURAL MEMBERS 3. FINAL INSPECTION BEFORE OCCUPANCY	APPROVED PLANS MUST BE RETAINED ON JOB AND THIS CARD KEPT POSTED UNTIL FINAL INSPECTION HAS BEEN MADE. WHERE A CERTIFICATE OF OCCUPANCY IS REQUIRED, SUCH BUILDING SHALL NOT BE OCCUPIED UNTIL FINAL INSPECTION HAS BEEN MADE.	WHERE APPLICABLE SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, AND MECHANICAL INSTALLATIONS.
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BUILDING INSPECTION APPROVALS 617-796-1060	PLUMBING INSPECTION APPROVALS 617-796-1070	ELECTRICAL INSPECTION APPROVALS 617-796-1075
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1.	1.	
2.	2.	

	HEATING INSPECTION APPROVALS 1.	HEALTH DEPARTMENT 1.
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OTHER:	2.	FIRE DEPARTMENT APPROVALS 1.
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POST THIS CARD SO IT IS VISIBLE FROM STREET

WORK SHALL NOT PROCEED UNTIL THE INSPECTOR HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION.	PERMIT WILL BECOME NULL AND VOID IF CONSTRUCTION WORK IS NOT STARTED WITHIN SIX MONTHS OF DATE THE PERMIT IS ISSUED AS NOTED ABOVE.	INSPECTIONS INDICATED ON THIS CARD CAN BE ARRANGED BY TELEPHONE OR WRITTEN NOTIFICATION.
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BOS 0283B

CITY OF NEWTON
MASSACHUSETTS

Permit No.: _____

District No.: _____

Date Issued: _____

APPLICATION FOR PLAN EXAMINATION

Inspector: _____

AND BUILDING PERMIT

Date Received: _____

IMPORTANT: Applicants must complete all items on this page

LOCATION OF BUILDING	LOCATION <u>399 Grove St</u> ZONING DISTRICT: <u>Bus 5</u>
	BETWEEN _____ AND _____
	SECTION: <u>42</u> BLOCK: <u>11</u> LOT: <u>4</u> MAP NO.: _____ YEAR HOUSE BUILT: _____

TYPE AND USE OF BUILDING		HISTORIC DISTRICT <input type="checkbox"/>
TYPE OF IMPROVEMENT	PROPOSED USE	Non-Residential
<input type="checkbox"/> New building <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Repair, replacement <input type="checkbox"/> Demolition <input type="checkbox"/> Moving (relocation) <input type="checkbox"/> Foundation only	Residential <input type="checkbox"/> One family <input type="checkbox"/> Two or more family No. of units: _____ <input type="checkbox"/> Transient hotel, motel, or dormitory No. of units: _____ <input type="checkbox"/> Garage <input type="checkbox"/> Carport <input type="checkbox"/> Other: _____	<input type="checkbox"/> Amusement, recreational <input type="checkbox"/> Church, other religious <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Hospital, institutional <input type="checkbox"/> Public Utility <input type="checkbox"/> Tanks, towers <input checked="" type="checkbox"/> Other: <u>Antennas</u>

DESCRIPTION OF WORK TO BE PERFORMED: Mount panel antennas to the penthouse wall on the roof. Equipment will be in interior space of the penthouse

IDENTIFICATION (Please Type or Print Clearly)

OWNER Name: BH Normandy Owner, LLC Phone: 301-571-4356
Address: 67 Park Pl, Morristown NJ 07960

CONTRACTOR Name: Stephen Shurtleff Phone: 508 888 4383
Address: c/o Turning Mill PO Box 1159 Sandwich, MA 02563

Supervisor's Construction License: 76301 Exp. Date: 10/6/09
Home Improvement License: _____ Exp. Date: _____

ARCHITECT/ENGINEER Name: Rahnel Hamm Phone: 978 244 7260
Address: 285 Billerica Rd Chelmsford, MA Reg. No.: 40720

FEE SCHEDULE: BUILDING PERMIT: \$ 18.60 PER \$ 1000.00 OF THE TOTAL ESTIMATED COST
SIGN PERMIT: \$ 10.20 PER \$ 100.00 OF THE TOTAL ESTIMATED COST

Total cost of the job: \$ 40,000 x .0186 = FEE: \$ 744⁰⁰

Check No.: _____ Receipt No.: _____

TYPE OF SEWAGE DISPOSAL	DIMENSIONS	NO. OF OFF STREET PARKING SPACES
Public or private company <input type="checkbox"/>	Number of Stories: _____	Enclosed: _____
Private (septic tank, etc.) <input type="checkbox"/>	Total square feet of floor area, based on exterior dimensions: _____	Outdoors: _____
	Total land area, sq. ft.: _____	

Signature of Agent/Owner *J. Costello* Signature of Contractor _____

THE FOLLOWING SECTIONS FOR OFFICE USE ONLY

Plans Submitted Plans Waived Certified Plot Plan Stamped Plans

DEPARTMENT APPROVALS: APPROVED DISAPPROVED NOT APPLICABLE

PLANNING AND DEVELOPMENT	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
CONSERVATION	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
HISTORIC	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
HEALTH	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
FIRE	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
ENGINEERING	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
PUBLIC WORKS	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
SIDEWALK BOND	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
WATER & SEWER	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____

ZONING BOARD OF APPEALS; VARIANCE; PETITION NO.: _____

BOARD OF ALDERMAN; SPECIAL PERMIT; BOA NO.: _____

COMMENTS: _____

BUILDING PERMIT APPROVED AND ISSUED BY: _____



David B. Cohen
Mayor

CITY OF NEWTON, MASSACHUSETTS

Department of Planning and Development
Michael J. Kruse, Director

Telephone
(617)-796-1120

Telefax
(617) 796-1142

E-mail
mkruse@newtonma.gov

TO: John Lojek, Commissioner of Inspectional Services

FROM: Michael Kruse, Director of Planning and Development
Maurya Sullivan, Principal Planner/Telecommunications Specialist

DATE: August 5, 2009

SUBJECT: Request of METROPCS for three façade-mounted antenna arrays and associated equipment on the roof at 399 GROVE STREET, Newton Lower Falls, Ward 4, Section 42, Block 11, Lot 4, containing approximately 121,700 sq. ft of land in a Business 5 District.

RECOMMENDATION: **APPROVE, WITH CONDITIONS**

In accordance with §30-18A(h) of the Zoning Ordinance, the Planning Department has reviewed plans submitted by MetroPCS for the installation of 6 antennas and associated equipment. The plans, dated July 16, 2009 were prepared by Hudson Design and signed and stamped by Daniel Hamm, P.E.

The antennas will be dropped 6" below the top of the penthouse to avoid silhouetting and will be painted to match the background. All associated exterior equipment will be painted to match the building.

The applicant has complied with the Design and Operating Criteria established in Section 30-18A. Staff recommends that this application be approved, in accordance with the plans listed above, with the following conditions:

1. All exterior surfaces must be painted to match the building's background;
2. The equipment should be kept in good appearance and good operating order at all times; and,
3. If the wireless communication use approved through this application ceases, the applicant or the owner of the building shall remove all such equipment within 30 days.

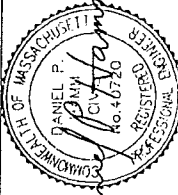
metroPCS
Unlimit Yourself.

785 BELLINGHAM ROAD
THIRD FLOOR
DUNSTON, MA
01924
TEL: (978) 344-7200
FAX: (978) 244-7240



Hudson
Design Group

300 GARDEN STREET
DUNSTON, MA 01924
TEL: (978) 344-7200
FAX: (978) 244-7240



DICKENY/LAND SURVEYOR
IT IS A VIOLATION OF LAW FOR ANY PERSON
TO SIGN AND SEAL UNDER THE DIRECTION
OF A PROFESSIONAL ENGINEER TO ADVICE THE DOCUMENT.

REV. #	DATE	DESCRIPTION
0	12/10/07	ISSUED FOR REVIEW
1	04/21/08	CONSTRUCTION FOR CONSTRUCTION
2	05/02/08	CONSTRUCTION FINAL
3	07/10/08	CONSTRUCTION FINAL

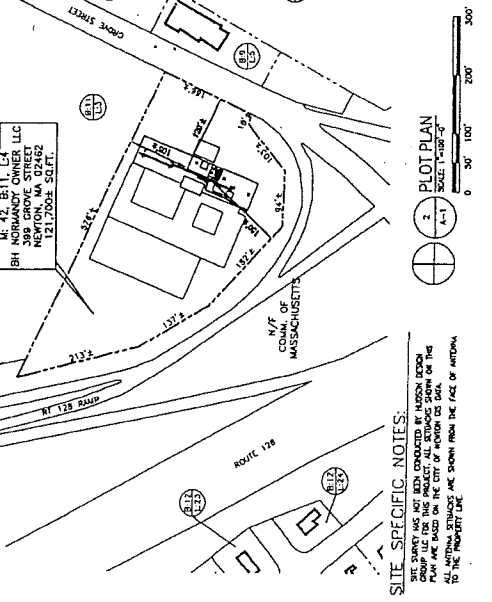
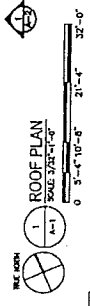
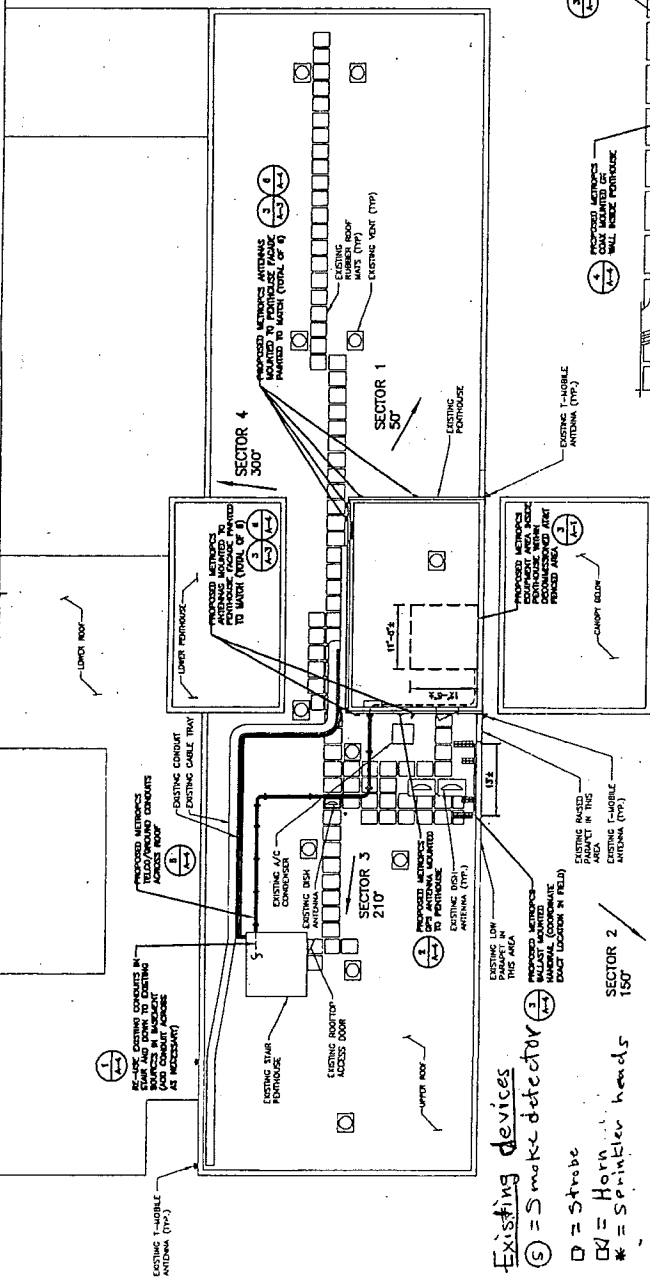
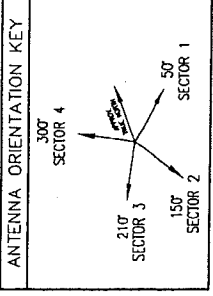
PROJECT NO.	DATE	SCALE	BY	AT
BOS0283B	07/10/08	AS SHOWN		

SITE NAME:
BOS0283B
HOTEL INDIGO

SITE ADDRESS:
199 GROVE STREET
DUNSTON, MA 01924

DRAWING TITLE:
ROOF PLAN &
PLOT PLAN

DRAWING NO.:
A-1



Existing devices
 (C) = Smoke detector
 (D) = Strobe
 (DK) = Horn
 (*) = Sprinkler heads

SITE SPECIFIC NOTES:
 THIS DRAWING HAS NOT BEEN CONDUCTED BY HUDSON GROUP
 AND IS NOT A PART OF ANY SERVICE PROVIDED BY HUDSON GROUP.
 ALL ANTENNA STRUCTURES ARE SHOWN FROM THE FACE OF ANTENNA
 TO THE PROPERTY LINE.

NOTE:
 STRUCTURAL ANALYSIS OF FLOOR
 AND FOUNDATION SYSTEMS
 MUST BE CONDUCTED. DO NOT WELD
 WITHOUT A PERMISSIBLE STRUCTURAL
 ANALYSIS.



Michael P. ...
ENGINEER/LAND SURVEYOR
 I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS AND I HAVE HEREBY CERTIFIED THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT MEETS ALL THE REQUIREMENTS OF A LICENSED PROFESSIONAL ENGINEER TO SEAL THE DOCUMENT.

REVISIONS

NO.	DATE	DESCRIPTION
3	07/11/04	CONSTRUCTION FINAL
2	06/08/04	CONSTRUCTION FINAL
1	04/07/04	ISSUED FOR CONSTRUCTION
0	12/10/03	ISSUED FOR REVIEW
		DESCRIPTION

BOS0283B
HOTEL INDIGO

CLIENT NAME: HOTEL INDIGO
PROJECT NO.: BOS0283B
DATE: 07/11/04

SITE ADDRESS:
 388 GROVE STREET
 NEWTON, MA 02459

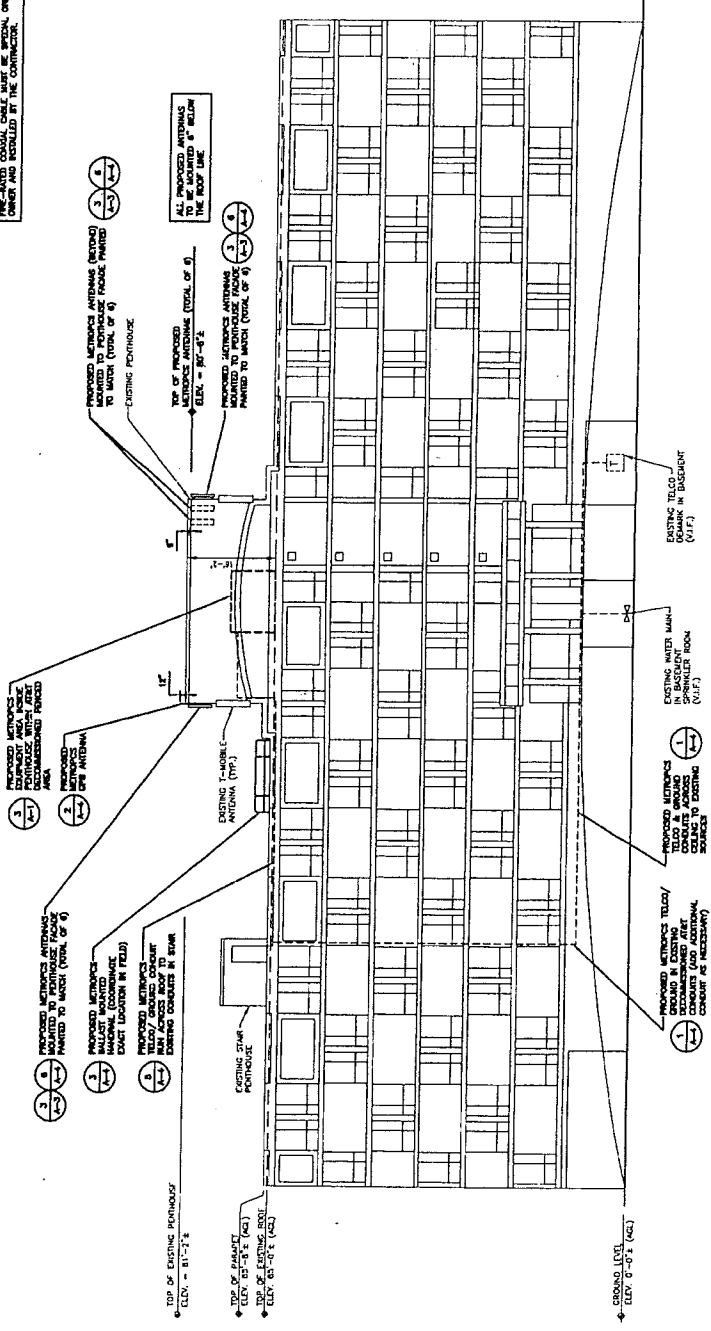
DRAWING TITLE: ELEVATION

DRAWING NO.: A-2

RF SYSTEM SCHEDULE

SECTOR	TYPE	AZIMUTH	ELEVATION	HEIGHT	MODEL	FEED	MAIN FEEDLINE	CABLE	MFG	LENGTH	COLOR	SIZE	TOP JUMPER	LENGTH	SIZE	LOCATION
ALPHA	Tv/Rx	50°	3° 44c	-	78"-6 3/8"	KAYHEIN	742 351	BOTTOM	FAL-780-NHR	OMNIDISK®	80.5 ±	RED 1 STRIKE	1/2"	6'	1/2"	10'
ALPHA	Tv/Rx	50°	3° 44c	-	78"-6 3/8"	KAYHEIN	742 351	BOTTOM	FAL-780-NHR	OMNIDISK®	80.5 ±	RED 1 STRIKE	1/2"	6'	1/2"	10'
BETA	Tv/Rx	150°	3° 44c	-	78"-6 3/8"	KAYHEIN	742 351	BOTTOM	FAL-780-NHR	OMNIDISK®	80.5 ±	RED 1 STRIKE	1/2"	6'	1/2"	10'
BETA	Tv/Rx	210°	3° 44c	-	78"-6 3/8"	KAYHEIN	742 351	BOTTOM	FAL-780-NHR	OMNIDISK®	80.5 ±	RED 1 STRIKE	1/2"	6'	1/2"	10'
GAMMA	Tv/Rx	300°	3° 44c	-	78"-6 3/8"	KAYHEIN	742 351	BOTTOM	FAL-780-NHR	OMNIDISK®	80.5 ±	RED 1 STRIKE	1/2"	6'	1/2"	10'
GAMMA	Tv/Rx	300°	3° 44c	-	78"-6 3/8"	KAYHEIN	742 351	BOTTOM	FAL-780-NHR	OMNIDISK®	80.5 ±	RED 1 STRIKE	1/2"	6'	1/2"	10'
-	GFS	-	-	-	82"-2 1/2"	NOBEE	CPS-080H-20A	BOTTOM	DFP-50A	AHOREF	80.5 ±	-	-	-	-	-

NOTE: PROPOSED CABLES SHALL BE SPONGE CORKED BY PRODUCT WHICH HAS BEEN LISTED BY THE CONTRACTOR.



1 SOUTH-EAST ELEVATION
 1-3
 0 5'-4" 10'-8" 21'-4" 37'-0"
 SCALE: 1/8"=1'-0"

metroPCS
Unlimit Yourself.

285 BILLERICA ROAD
BILLERICA, MASSACHUSETTS
CHELSEA, MA 01824
TEL (978) 244-7200
FAX (978) 244-7240



Hudson
Design Group

180 SADDLE STREET
WILLOW HURST, MA 01890
TEL: 978-244-7200
FAX: 978-244-7240



ENGINEER AND SURVEYOR
I AM A MEMBER OF THE STATE BOARD OF ENGINEERS AND SURVEYORS OF MASSACHUSETTS.
I AM A LICENSED PROFESSIONAL ENGINEER.
I AM A LICENSED PROFESSIONAL SURVEYOR.

REVISIONS

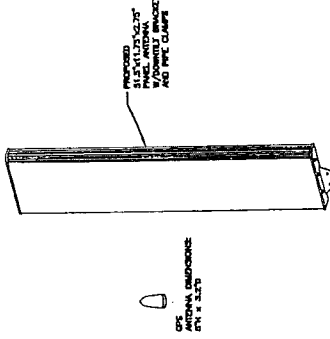
NO.	DATE	DESCRIPTION
3	07/16/08	CONSTRUCTION FINAL
2	06/09/08	CONSTRUCTION FINAL
1	04/01/08	ISSUED FOR CONSTRUCTION
0	12/10/07	ISSUED FOR REVIEW

SITE NAME:
BOS0283B
HOTEL INDIGO

SITE ADDRESS:
388 GROVE STREET
NEWTON, MA 02452

DRAWING TITLE:
EQUIPMENT PLAN, SECTIONS,
AND DETAILS

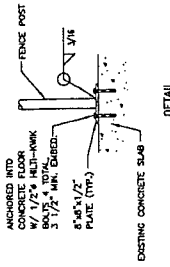
DRAWING NO.:
A-3



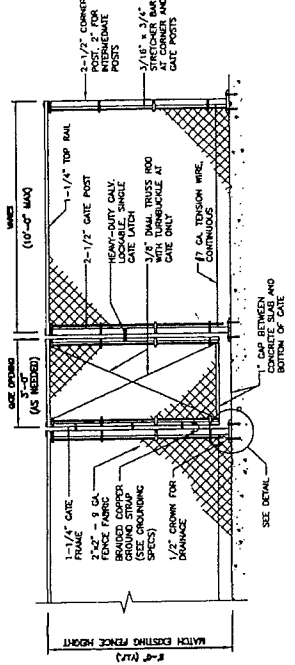
3 ANTENNA DETAIL
SCALE: N.E.S.

FENCE NOTES

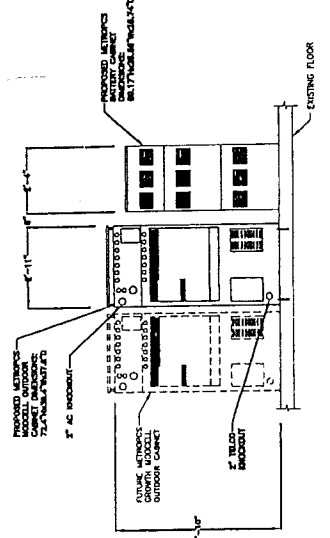
1. IF GATE IS NEEDED, ATTACH WITH 1-1/2" DIA. OF NON-LEFT-OFF TYPE WALLEABLE IRON OR TORQUING PIN-TYPE FINES. ASSEMBLIES SHALL ALLOW FOR TOP OF GATE TUBULE.



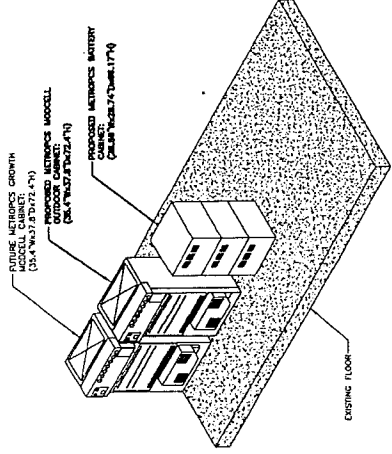
DETAIL



4 FENCE DETAIL
SCALE: N.E.S.



1 SECTION AT EQUIPMENT
SCALE: N.E.S.



2 EQUIPMENT LAYOUT DETAIL
SCALE: N.E.S.

metroPCS.
Unimit Yourself.

205 BILLERICA ROAD
THIRD FLOOR
CHESHAM, MA
01929
TEL. (978) 244-7200
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HUDSON DESIGN GROUP
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ENGINEER/AND SUPERVISOR

THIS SEAL IS VALID FOR THE EXERCISE OF PROFESSIONAL ENGINEERING OR SURVEYING ONLY AND DOES NOT CONSTITUTE AN ENDORSEMENT OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, OR SURVEYOR TO SIGN THIS DOCUMENT.

REV.	DATE	DESCRIPTION
1	12/19/07	ISSUED FOR REVIEW
0	12/19/07	ISSUED FOR CONSTRUCTION
2	05/08/08	CONSTRUCTION FINAL
3	07/16/08	CONSTRUCTION FINAL

PROJECT NO.	ISSUED BY	SCALE	AS SHOWN
BOS0283B	AS	AS	AS

SITE NAME:

BOS0283B
HOTEL INDIGO

SITE ADDRESS:
380 GHOVE STREET
NEWTON, MA 02459

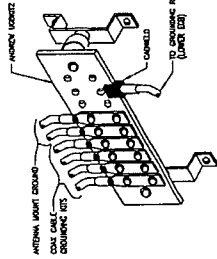
DRAWING TITLE

GROUNDING ONE-LINE
DIAGRAM & DETAILS

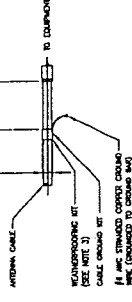
REVISIONS:

E-2

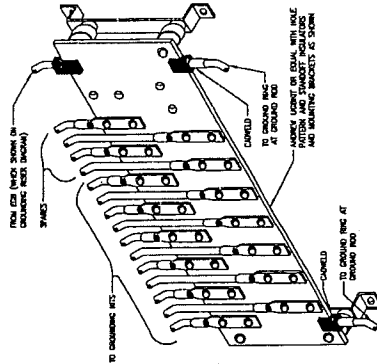
- NOTES:**
- SEE WIRE SCHEDULE FOR ALL WIRE AND JUMPS
 - GROUNDING WIRE SHALL BE CONNECTED TO GROUND BAR
 - CONDUIT SHALL BE EMT AND PVC MANHOLE AS SHOWN OR RECOMMENDED BY CABLE MANUFACTURER
 - WARRANTY PROVISIONS SHALL BE THE SAME AS SUPPLIER'S. ALL WIRE SHALL BE 100% TESTED.



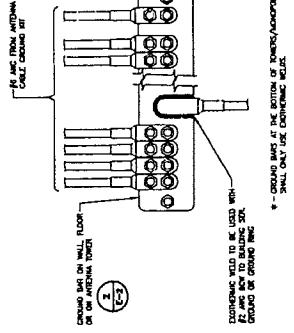
1 GROUNDING RISER DIAGRAM
SCALE: NTS



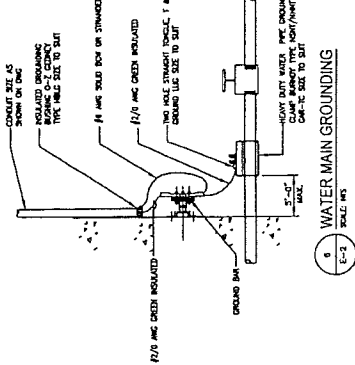
2 CONNECTION OF CABLE GROUND KIT TO ANTENNA CABLE
SCALE: NTS



3 EQUIPMENT GROUND BAR (EGB)
SCALE: NTS



4 INSTALLATION OF GROUND WIRE TO GROUND BAR
SCALE: NTS



5 WATER MAIN GROUNDING
SCALE: NTS

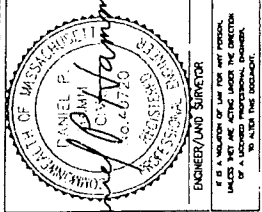
1 GROUNDING RISER DIAGRAM
SCALE: NTS

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ENGINEER/LAND SURVEYOR

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER, TO SEAL THIS DOCUMENT.

REVISIONS	NO.	DATE	DESCRIPTION
3	07/16/09	CONSTRUCTION FINAL	
2	05/01/09	CONSTRUCTION FINAL	
1	04/01/09	ISSUED FOR CONSTRUCTION	
0	12/10/07	ISSUED FOR REVIEW	

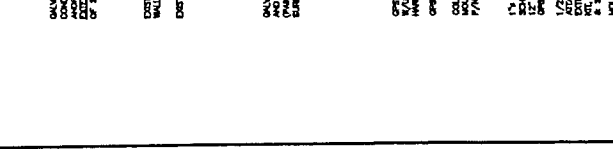
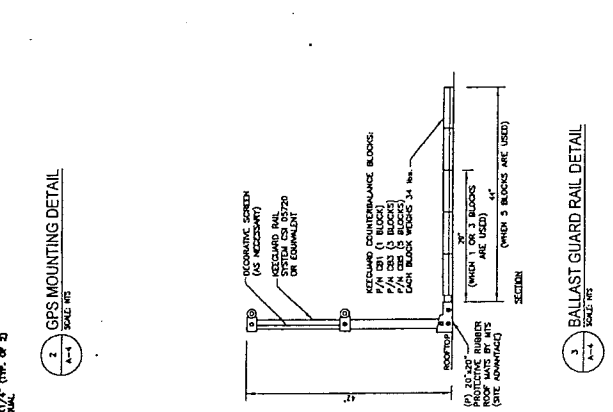
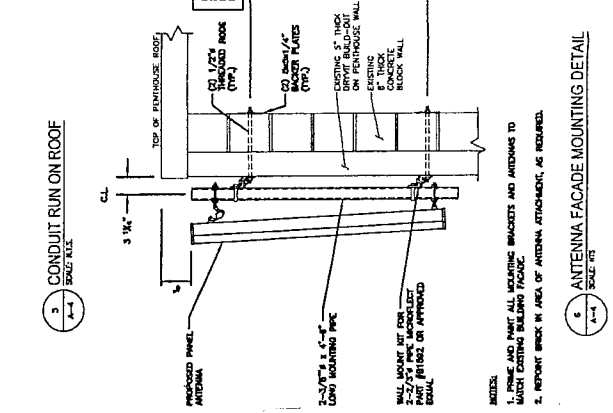
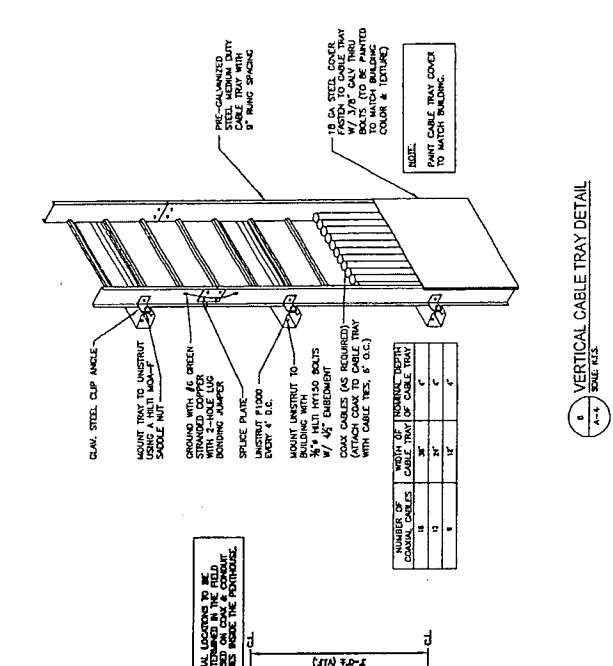
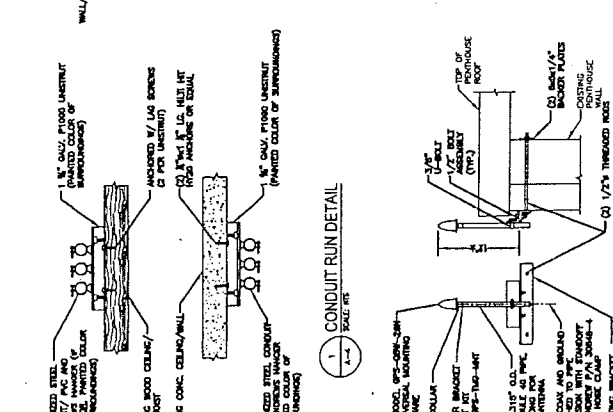
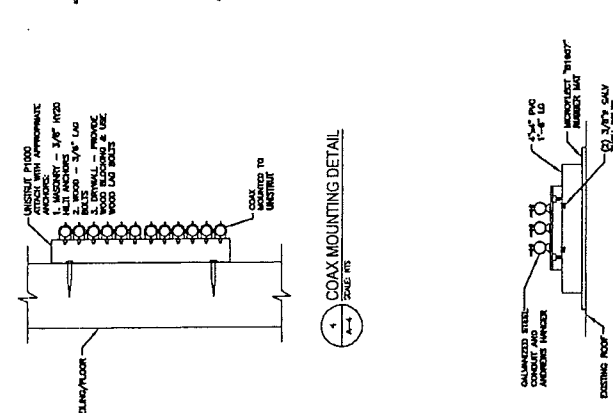
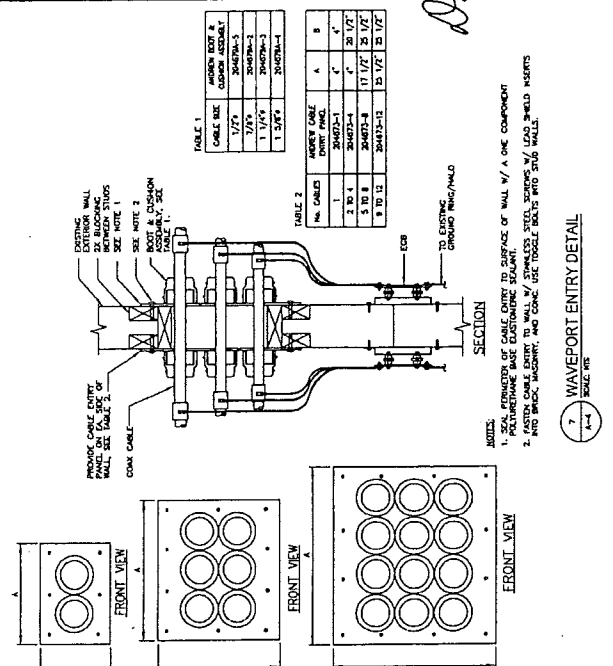
PROJECT NO.	ISSUED BY	CL	DATE	AS SHOWN

BOS0283B
HOTEL INDIGO

SITE ADDRESS:
390 GARDEN STREET
NEWTON, MA 02459

DRAWING TITLE:
DETAILS

DRAWING NO.:
A-4



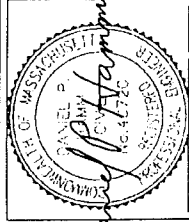
6 VERTICAL CABLE TRAY DETAIL
SCALE: 1/4" = 1'-0"

4 ANTENNA FACADE MOUNTING DETAIL
SCALE: 1/4" = 1'-0"

3 BALLAST GUARD RAIL DETAIL
SCALE: 1/4" = 1'-0"

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ANDOVER, MA 01810
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FAX: 978/374-6348



ENGINEER/ARCHITECT
It is a condition of use that the recipient of this drawing shall not be held responsible for a licensed professional's negligence to a third party beneficiary.

REVISIONS

NO.	DATE	DESCRIPTION
1	07/16/08	CONSTRUCTION FINAL
2	07/08/08	CONSTRUCTION FINAL
0	01/09/07	ISSUED FOR CONSTRUCTION
1	01/09/07	ISSUED FOR REVIEW

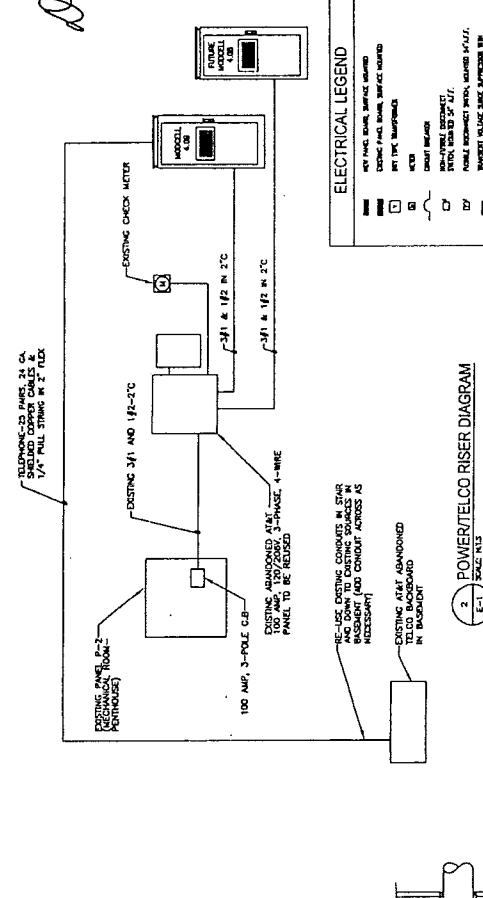
SITE NAME:
**BOS0283B
HOTEL INDIGO**

SITE ADDRESS:
380 GROVE STREET
NEWTON, MA 02462

DRAWING TITLE:
**ELECTRICAL ONE-LINE
DIAGRAM & DETAILS**

DRAWING NO:
E-1

- ### ELECTRICAL AND GROUNDING NOTES
1. ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AS AMENDED, PER THE LOCAL ELECTRICAL CODE, LOCAL ORDINANCES AND ANY OTHER APPLICABLE CODES.
 2. ALL ELECTRICAL WORK SHALL BE U.L. APPROVED OR LISTED AND APPROVED PER SPECIFICATION REQUIREMENTS.
 3. THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATIONS. INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND MAINTENANCE ACCESS SHALL BE INCLUDED.
 4. GENERAL CONTRACTOR SHALL PAY FOR PERMITS AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
 5. ELECTRICAL AND TELL CO WORKING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE PROTECTED BY A WEATHER-RESISTANT COVER. ALL EXPOSED WORK SHALL BE IDENTIFIED BY A WEATHER-RESISTANT LABEL.
 6. BARED CONDUIT SHALL BE SCHEDULE 40 P.C.
 7. ELECTRICAL WORK SHALL BE COVERED WITH TYPE THIN, THIN OR THIN INSULATION.
 8. ALL ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEPARTMENT PROPERTY AND THE PROJECT SHALL BE U.L. APPROVED AND APPROVED PER SPECIFICATION REQUIREMENTS.
 9. ALL ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEPARTMENT PROPERTY AND THE PROJECT SHALL BE U.L. APPROVED AND APPROVED PER SPECIFICATION REQUIREMENTS.
 10. ABOVE GROUND PORTION OF CONDUIT BETWEEN ITS AND PROJECT OWNER'S SITE SHALL BE SCHEDULE 40 P.C. CONDUIT.
 11. ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
 12. GROUNDING SHALL COMPLY WITH NEC ART. 250. ADDITIONALLY, GROUNDING SHALL BE IDENTIFIED BY A WEATHER-RESISTANT LABEL.
 13. GROUNDING SHALL BE IDENTIFIED BY A WEATHER-RESISTANT LABEL.
 14. USE 16 AWG COPPER WIRE WITH GREEN INSULATION FOR GROUNDING. USE 18 AWG COPPER WIRE WITH GREEN INSULATION FOR GROUNDING. USE 18 AWG COPPER WIRE WITH GREEN INSULATION FOR GROUNDING.
 15. ALL GROUND CONNECTIONS TO BE IDENTIFIED BY WEATHER-RESISTANT LABELS. ALL GROUND CONNECTIONS TO BE IDENTIFIED BY WEATHER-RESISTANT LABELS.
 16. ROUTE CONDUITS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. ALL CONDUITS SHALL BE IDENTIFIED BY WEATHER-RESISTANT LABELS.
 17. CONDUIT SHALL BE IDENTIFIED BY WEATHER-RESISTANT LABELS.
 18. APPLY CODE MARKING COMPARED TO ALL CONDUITS TYPE GROUND CONNECTIONS.



ELECTRICAL LEGEND

KEY: [Symbol] 100 AMP, 3-Pole C.B. [Symbol] 100 AMP, 3-Pole C.B. [Symbol] 100 AMP, 3-Pole C.B.

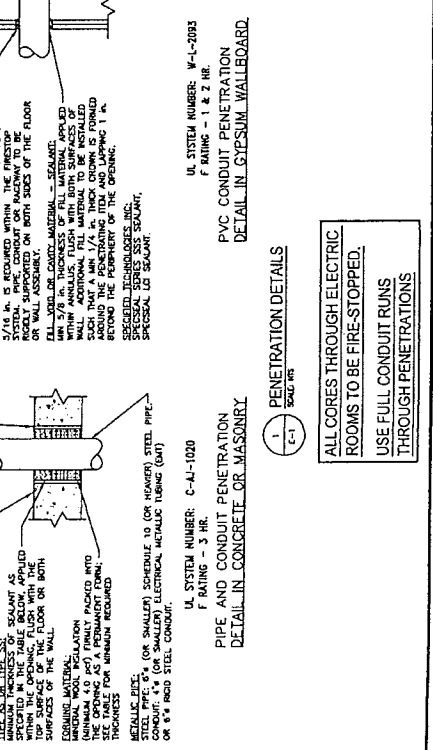
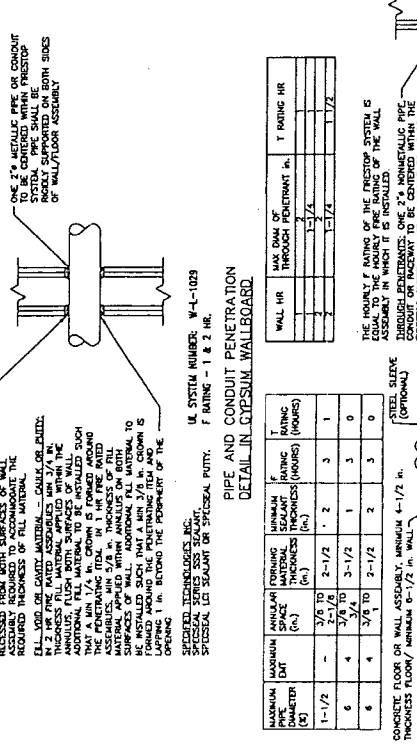
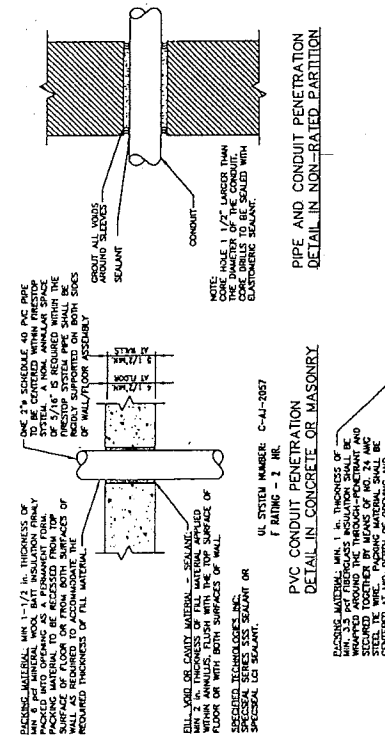
KEY: [Symbol] 100 AMP, 3-Pole C.B. [Symbol] 100 AMP, 3-Pole C.B. [Symbol] 100 AMP, 3-Pole C.B.

POWER/TELECO RISER DIAGRAM

NO.	DESCRIPTION	AMP	TYPE
1	100 CBL #1	100	LOAD CENTER
2	100 CBL #2 (DUPLEX)	100	SHAKE
3	SHAKE	20	SHAKE
4	SHAKE	20	SHAKE
5	SHAKE	20	SHAKE
6	SHAKE	20	SHAKE
7	SHAKE	20	SHAKE
8	SHAKE	20	SHAKE
9	SHAKE	20	SHAKE
10	SHAKE	20	SHAKE
11	SHAKE	20	SHAKE
12	SHAKE	20	SHAKE
13	SHAKE	20	SHAKE
14	SHAKE	20	SHAKE
15	SHAKE	20	SHAKE
16	SHAKE	20	SHAKE
17	SHAKE	20	SHAKE
18	SHAKE	20	SHAKE
19	SHAKE	20	SHAKE
20	SHAKE	20	SHAKE

PANEL SCHEDULE

NO.	DESCRIPTION	AMP	TYPE
1	100 CBL #1	100	LOAD CENTER
2	100 CBL #2 (DUPLEX)	100	SHAKE
3	SHAKE	20	SHAKE
4	SHAKE	20	SHAKE
5	SHAKE	20	SHAKE
6	SHAKE	20	SHAKE
7	SHAKE	20	SHAKE
8	SHAKE	20	SHAKE
9	SHAKE	20	SHAKE
10	SHAKE	20	SHAKE
11	SHAKE	20	SHAKE
12	SHAKE	20	SHAKE
13	SHAKE	20	SHAKE
14	SHAKE	20	SHAKE
15	SHAKE	20	SHAKE
16	SHAKE	20	SHAKE
17	SHAKE	20	SHAKE
18	SHAKE	20	SHAKE
19	SHAKE	20	SHAKE
20	SHAKE	20	SHAKE



PIPE AND CONDUIT PENETRATION
DETAIL IN CONCRETE OR MASONRY

PIPE AND CONDUIT PENETRATION
DETAIL IN GYPSUM WALLBOARD

PIPE AND CONDUIT PENETRATION
DETAIL IN CONCRETE OR MASONRY