



PROJECT NAME
Herrick Road Residences

PROJECT ADDRESS
 17-31 HERRICK ROAD
 NEWTON, MA

CLIENT
HERRICK ROAD REALTY TRUST

ARCHITECT
 KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

Project number 06037
 Date 06-14-2008
 Drawn by MG
 Checked by JSK
 Scale As indicated

REVISIONS

No.	Description	Date
	SUBMISSION	09/08/09

COVER SHEET

A-00

Herrick Road Residences

SHEET LIST

- A-00 COVER SHEET
- A-01 RENDERING
- L-1 LANDSCAPE PLAN
- A-1 ARCHITECTURAL SITE PLAN
- A-2 GARAGE & FIRST FLOOR PLANS
- A-3 SECOND & THIRD FLOOR PLANS
- A-4 BUILDING FRONT & REAR ELEVATIONS
- A-5 BUILDING SIDE ELEVATION
- A-6 ARCHITECTURAL SITE SECTION

- PARKING STUDY FIGURE 1
- PARKING STUDY FIGURE 2
- TOPOGRAPHIC SITE PLAN
- GRADE CHANGE PLAN
- CROSS SECTION
- DETAIL SHEET 1
- DETAIL SHEET 2



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RENDERING

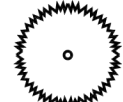

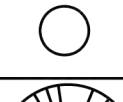


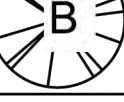
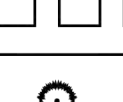

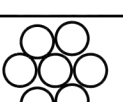




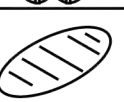

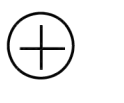


A-01

Herrick Road Residences

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CITY OF NEWTON
PROPERTY

LANDSCAPE LEGEND

	WHITE PINE (8-10FT)		JAPANESE BLOOD GOOD TREE (12FT)
	RHODODENDRUN SCINTILLATION (2.0-2.5) GAL.		HOSTA - BLUE MOON
	HAWTHORNE BIRCH TREE (2-3 CAL)		BRADFORD PEAR TREE (2-3 CAL)
	YEWS (2.0-2.5) GAL.		AZALEAS - BLAUS PINK (2.0-2.5)
	DWARF ALBERTA SPRUCE (4FT)		PJM
	DAY LILLIES		AZALEAS - DELAWARE PINES (2.0-2.5)
	JUNIPERS (8-10FT)		JAPANESE HOLLY (2.0-2.5)
	WEeping CHERRY TREE - PINK (2-3 CAL)		VINCA
	ROSE OF SHARON (4-5FT)		ANDROMEDA BUSH (2.0-2.5) GAL

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CONSULTANTS:

REGISTRATION

Project number 06037
Date 06-14-2008
Drawn by SEA
Checked by JSK
Scale 1/8" = 1'-0"

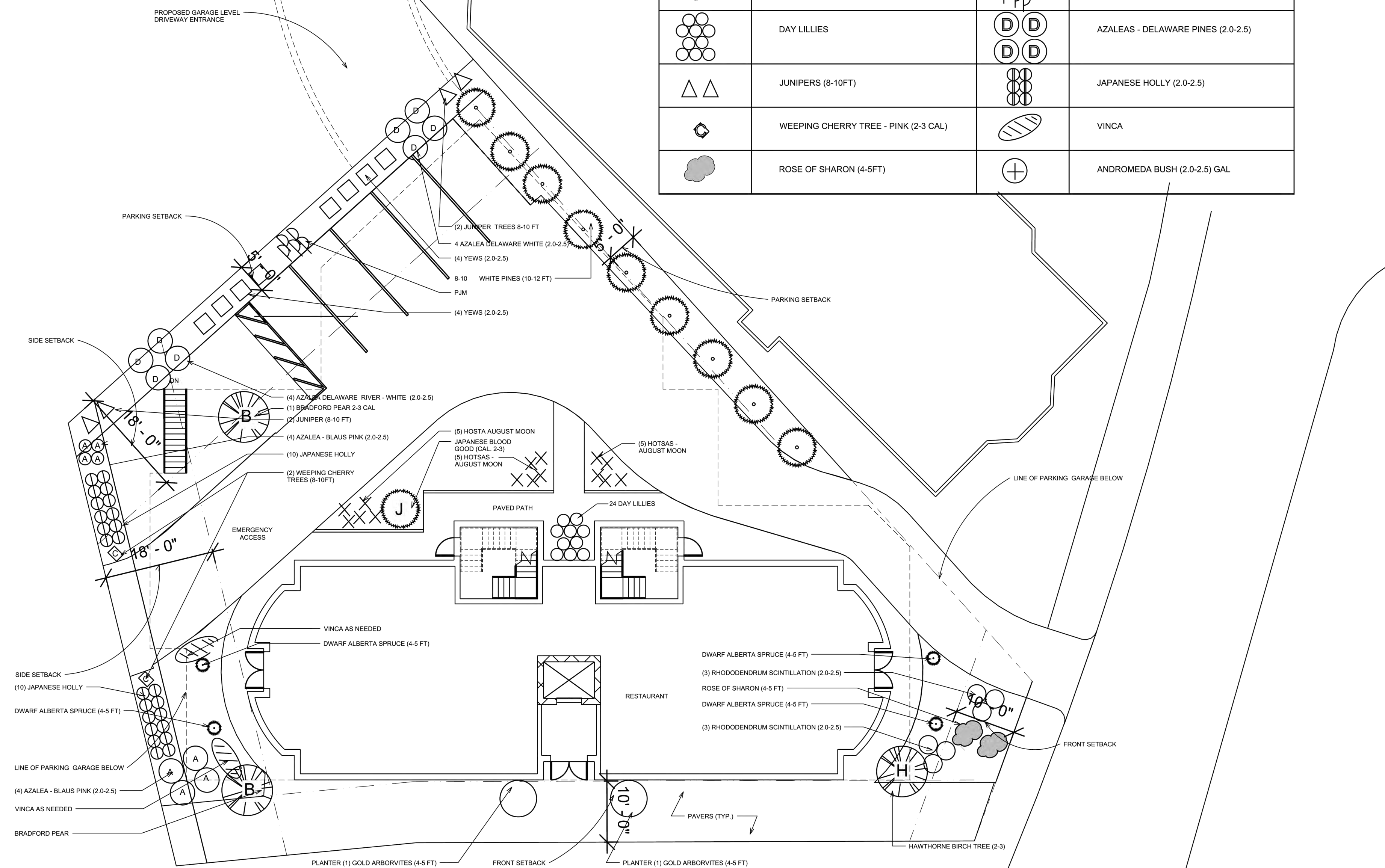
REVISIONS

No.	Description	Date
REV 1	SUBMISSION	11/07/08
		09/08/09

LANDSCAPE PLAN

L-1

Herrick Road Residences



1 Landscape Plan
1/8" = 1'-0"

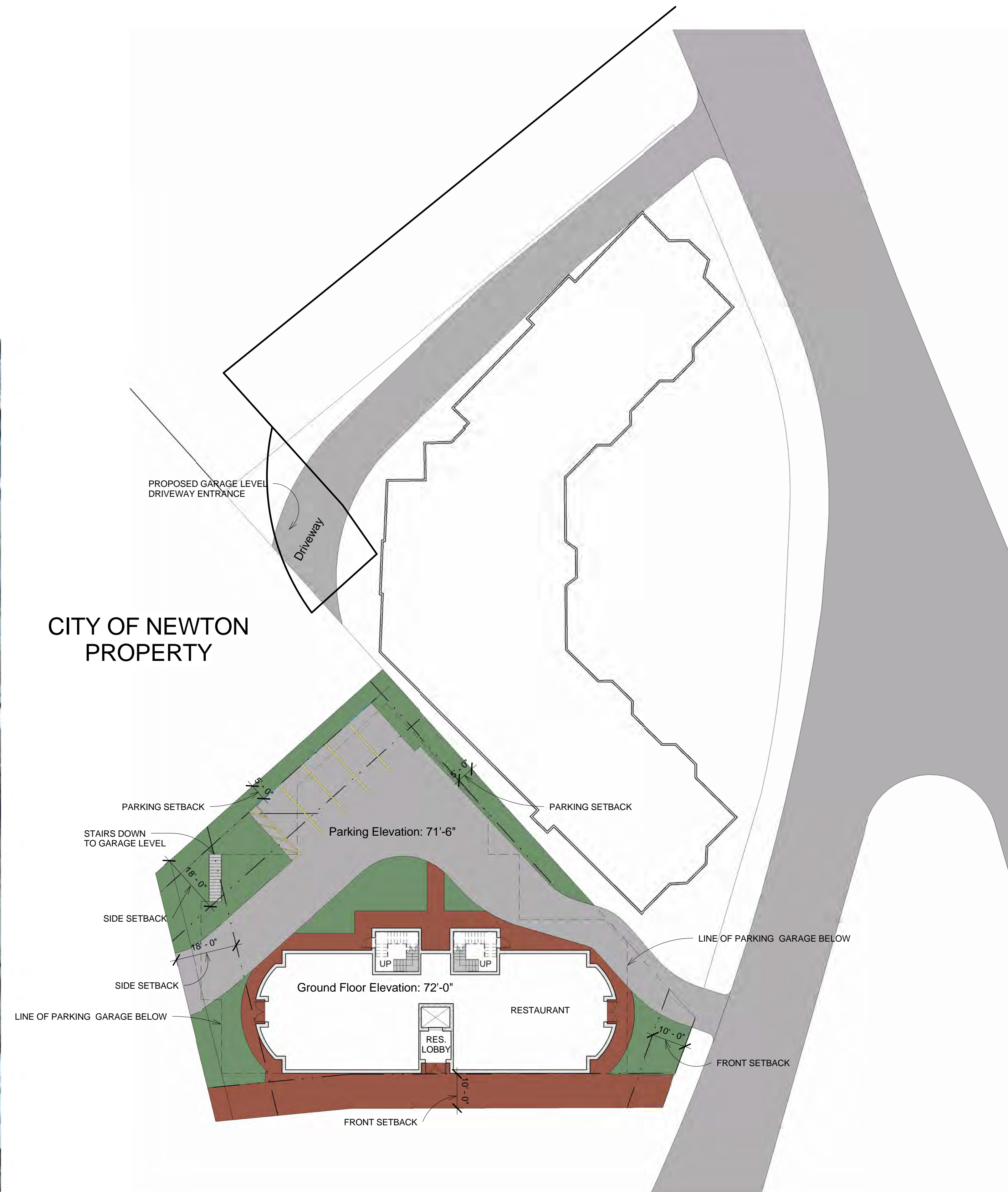
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#	Item	Allowed Base Zoning B-1 Zone	Design B-1 Zone	Approach B-1 ZONE
1.	Zone	B-1	B-1	SP_30-11 & 8
2.	Use	BUSINESS RESIDENTIAL	RESTAURANT RESIDENTIAL	COMPLIES
3.	Lot Size (Min. s.f.)	10,000 sf	12,979 sf	COMPLIES
4.	FAR	1.0	0.86	COMPLIES
5.	LOT FRONTAGE	80	130.88 feet	SPECIAL PERMIT
6.	HEIGHT	2 STORIES, 24 ft 3 STORIES, 36 ft w/SP	3 STORIES, 36 ft	SPECIAL PERMIT
7.	LOT AREA / DU	12,979 sf 1,200 SF per DU =10.8 DU	4 DU	COMPLIES
8.	Setbacks (Min.) (ft.)	BLDG AVERAGE 10' Front Yard Side Yards Rear Yards	10 ft 18 ft 0 ft	COMPLIES COMPLIES COMPLIES
9.	LOT COVERAGE	NA	NA	COMPLIES
11.	PARKING RESIDENTIAL	18 PS EXISTING 2 per DU, 1.25 PER W/SP=5 PS REST. 1 PER 3 SEATS + 1 PER 3 EMPLOYEE	27 PS PROVIDED	SPECIAL PERMIT
12.	AFFORDABLE HOUSING			COMPLIES
13.	OTHER REQUIREMENTS	SITE PLAN APPROVAL 10,000 sf - 19,999 sf	11,253 SF	REQUIRED UNDER SEC. 30-15, TABLE 3 SEC. 30-23



AREIAL VIEW OF THE CONTEXT



1 Site Plan
1" = 20'-0"

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	SUBMISSION	09/08/09

ARCHITECTURAL SITE PLAN

A-1

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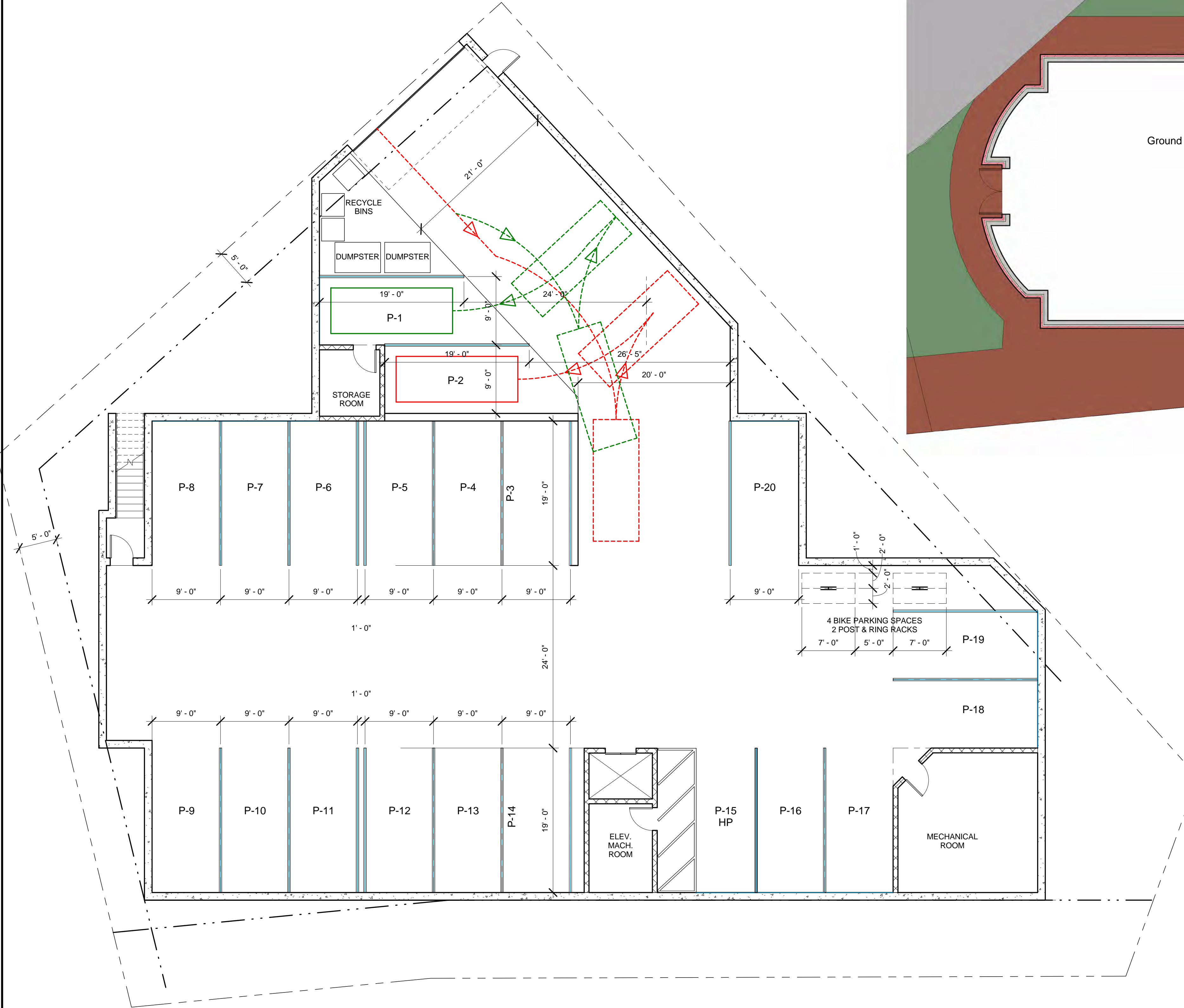
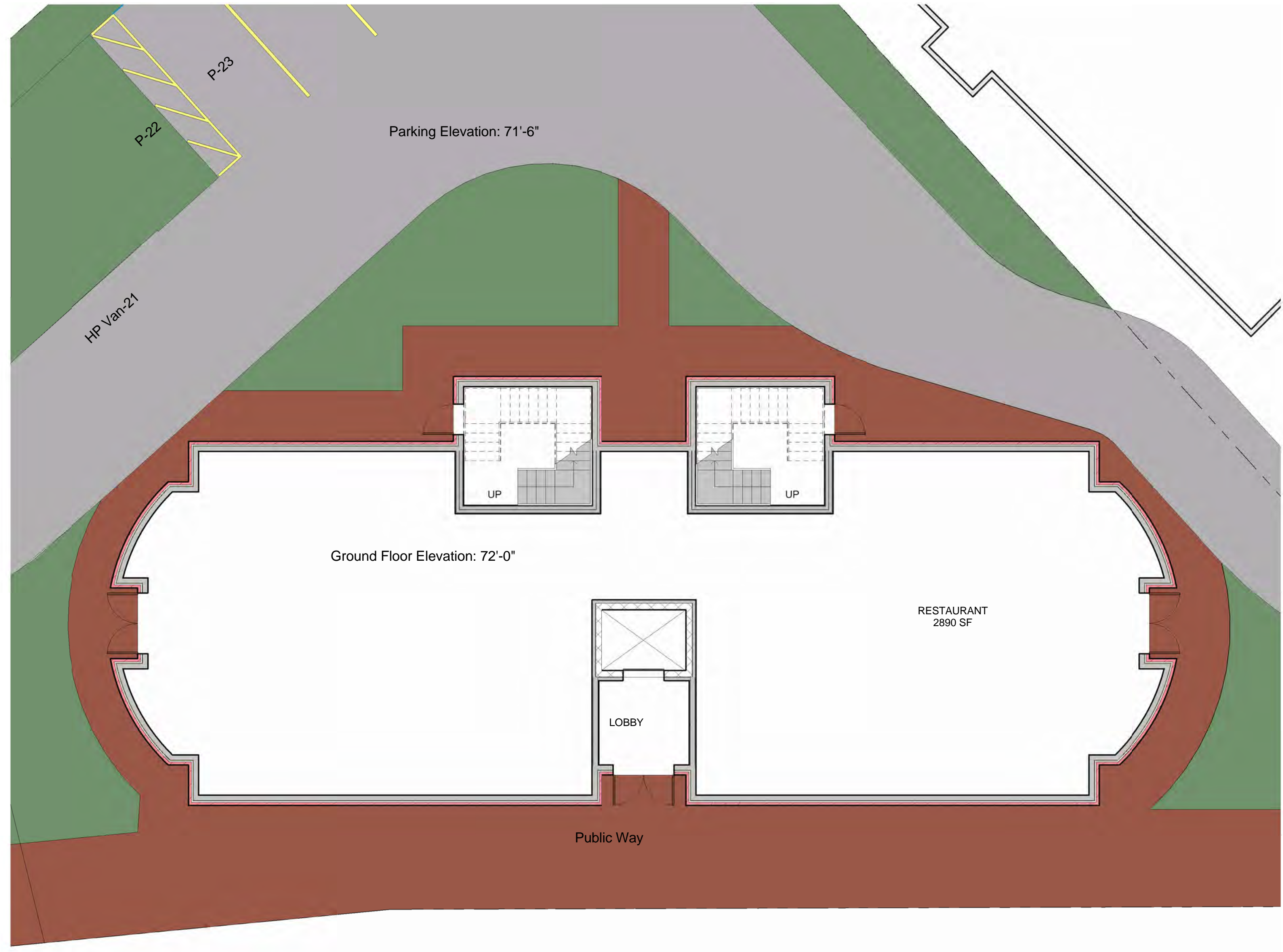
REVISIONS

No.	Description	Date
1	SUBMISSION	09/08/09

GARAGE & FIRST FLOOR PLANS

A-2

Herrick Road Residences



1 Garage Level
 1/8" = 1'-0"

2 1st Floor Level
 1/8" = 1'-0"

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CONSULTANTS:

REGISTRATION

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 Scale 1/4" = 1'-0"

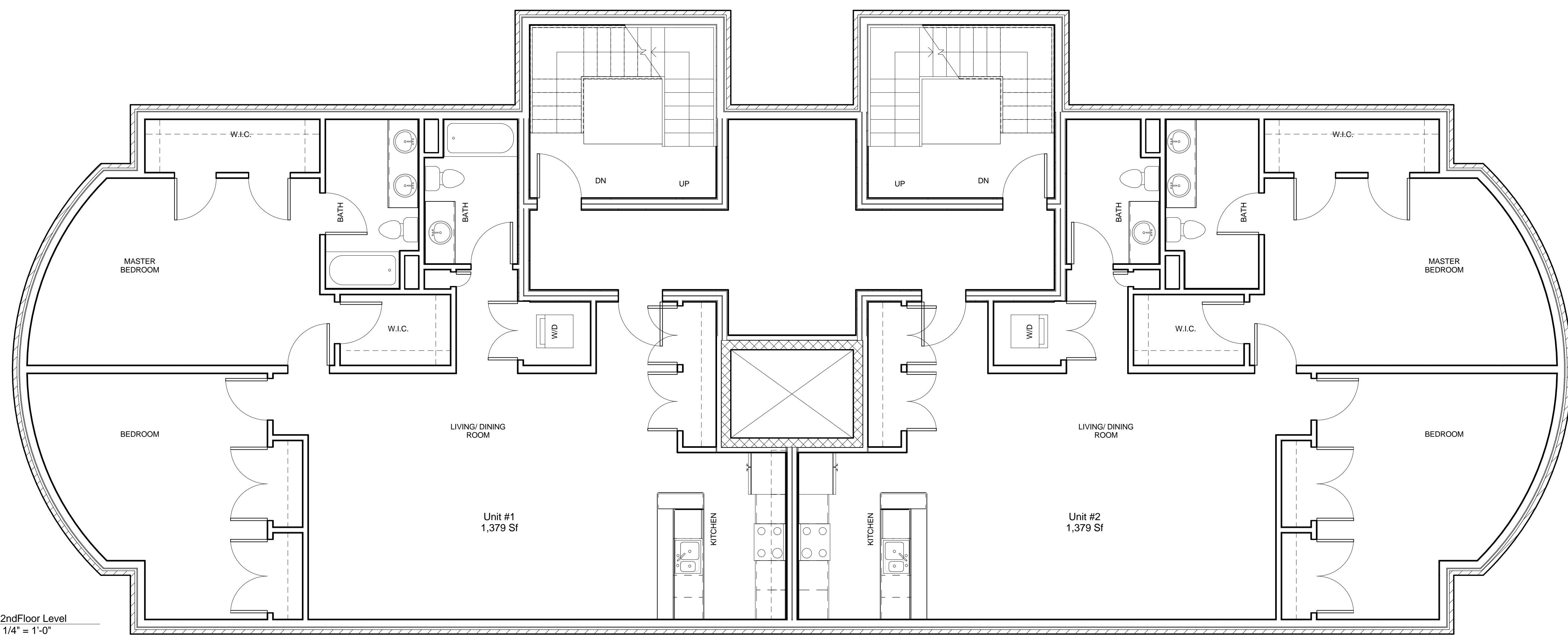
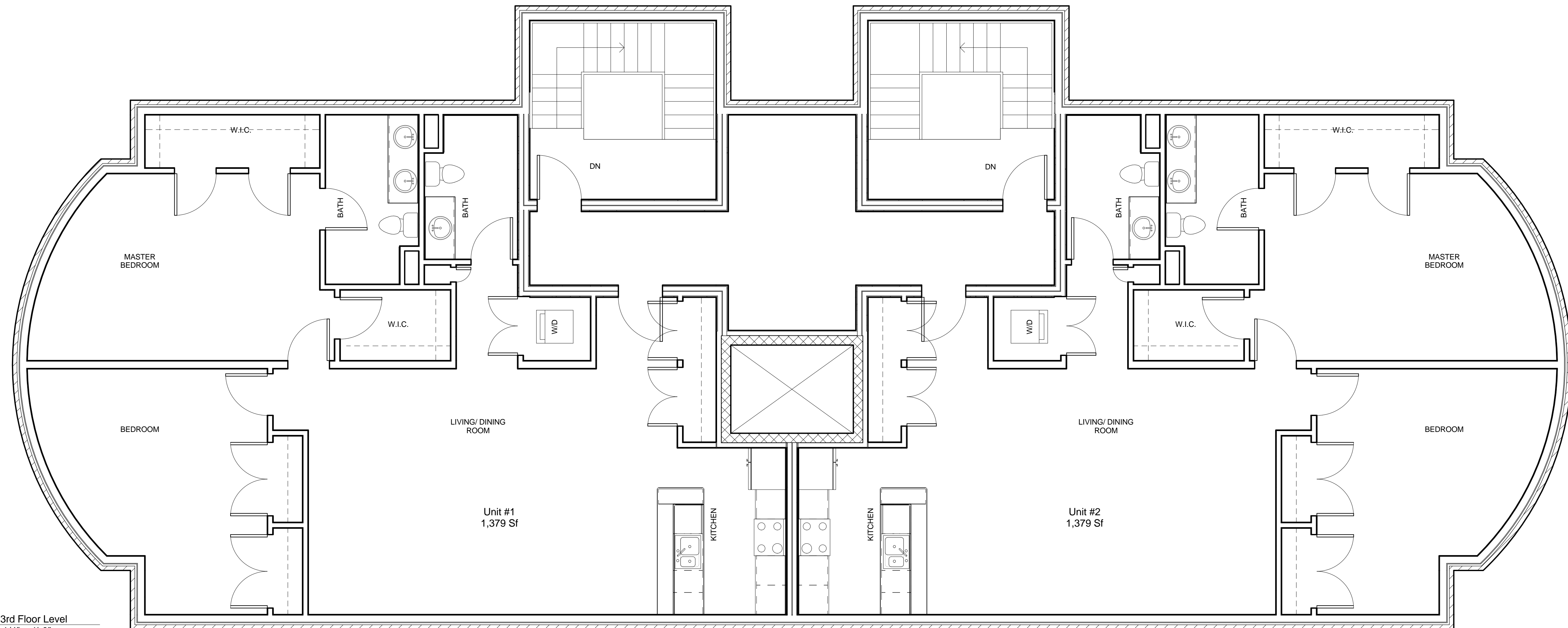
REVISIONS

No.	Description	Date
1	SUBMISSION	09/08/09

SECOND & THIRD FLOOR PLANS

A-3

Herrick Road Residences



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FRONT ELEVATION




REAR ELEVATION

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CONSULTANTS:

REGISTRATION

Project number 06037
 Date 06-14-2008
 Drawn by Author
 Checked by Checker
 Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

BUILDING FRONT & REAR ELEVATIONS

A-4

Herrick Road Residences

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CONSULTANTS:



TYPICAL SIDE ELEVATION

① Building Side Elevations
 1/4" = 1'-0"

REGISTRATION

Project number	06037
Date	06-14-2008
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Checked by	Checker
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

BUILDING SIDE ELEVATION

A-5

Herrick Road Residences

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 FAX: 617-591-2086

CONSULTANTS:

Consultant
 Address
 Address
 Phone
 Fax
 e-mail

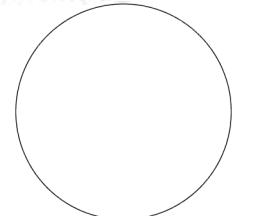
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REGISTRATION



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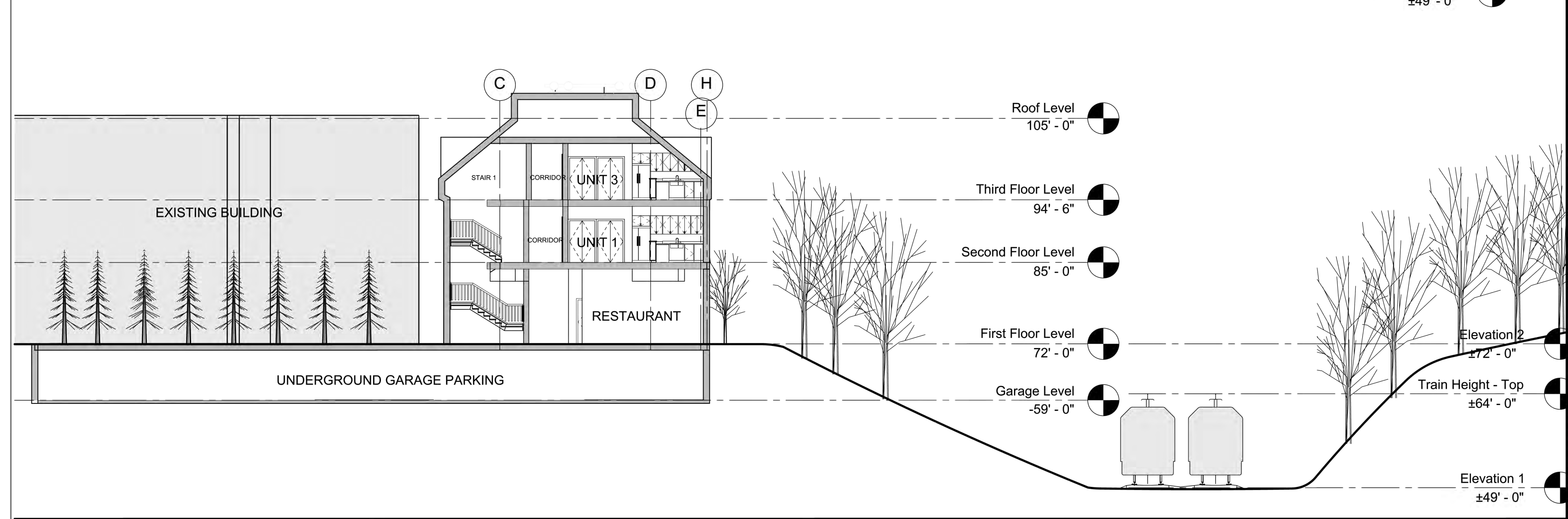
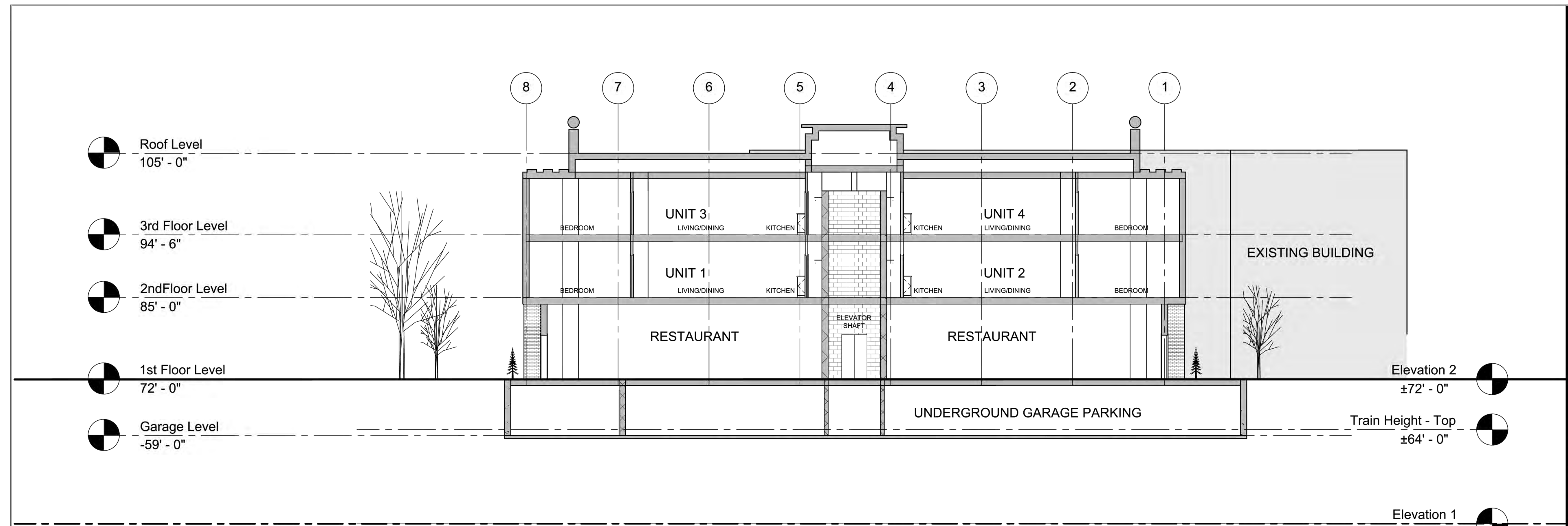
REVISIONS

No.	Description	Date
REV 1	SUBMISSION	11/07/08 09/08/09

ARCHITECTURAL
 SITE SECTION

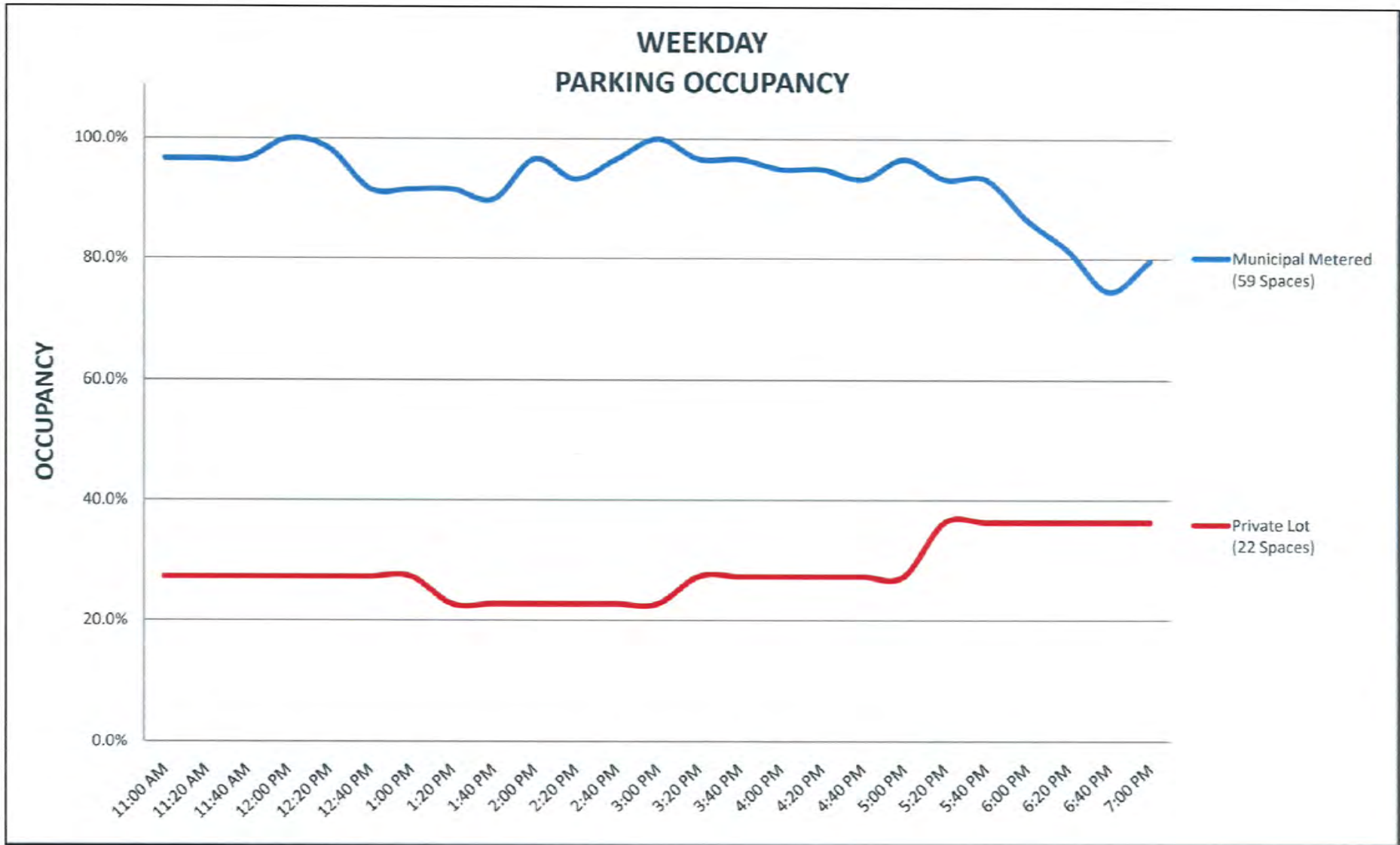
A-6

Herrick Road Residences



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WEEKDAY PARKING OCCUPANCY



PARKING LOT SURVEY WAS DONE ON 10/15/09 FROM THE HOURS OF 11AM TO 7PM

Design Consultants, Inc.

Consulting Engineers and Surveyors



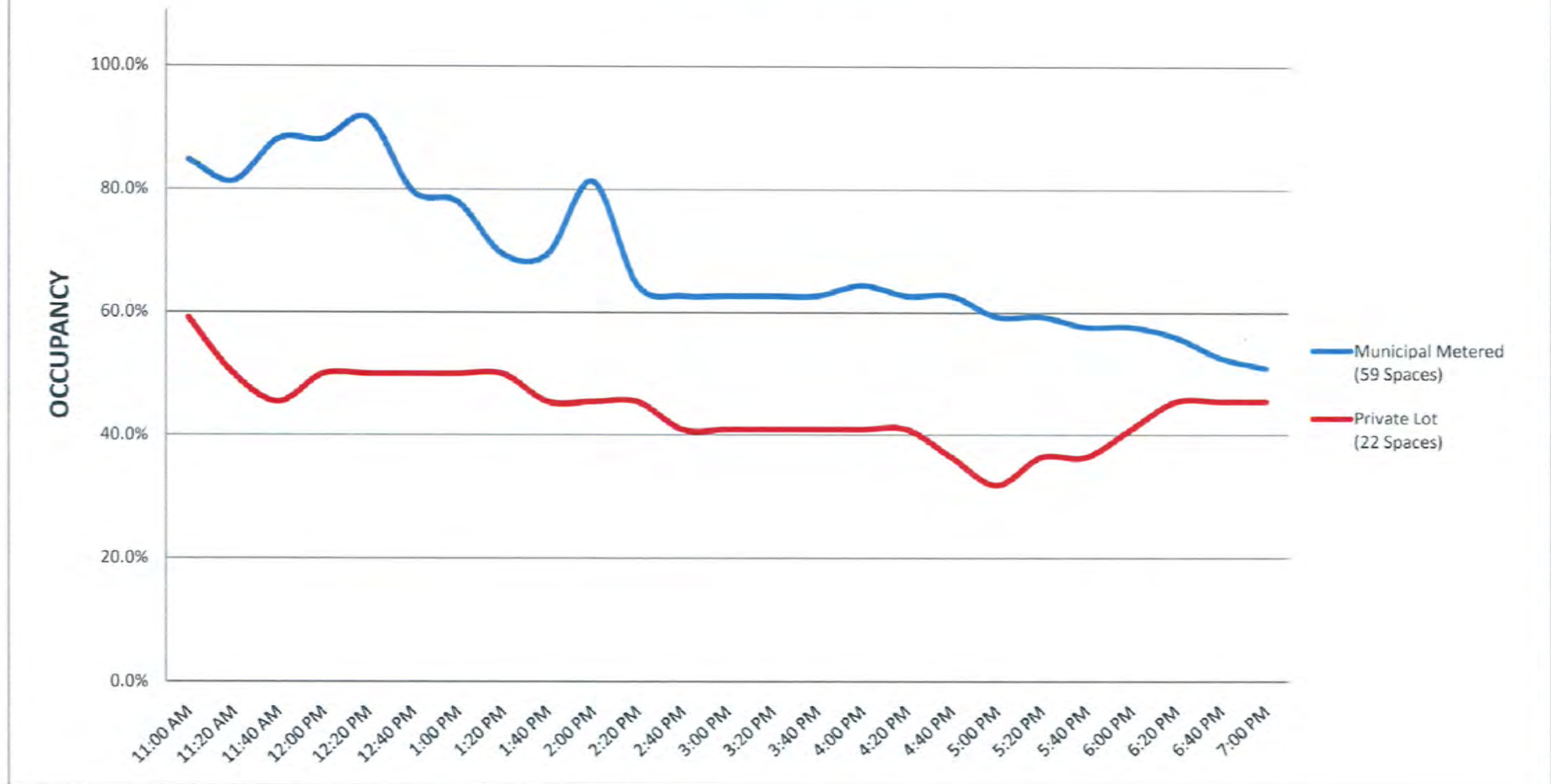
DESIGN CONSULTANTS BUILDING
265 MEDFORD STREET
SOMERVILLE, MA 02143
(617) 776-3350

FIRST CAMBRIDGE REALTY CORP.
NEWTON, MA

17-31 HERRICK ROAD
PARKING STUDY

FIGURE 1

WEEKEND PARKING OCCUPANCY



PARKING LOT SURVEY WAS DONE ON 10/17/09 FROM THE HOURS OF 11AM TO 7PM.

Design Consultants, Inc.

Consulting Engineers and Surveyors



DESIGN CONSULTANTS BUILDING
265 MEDFORD STREET
SOMERVILLE, MA 02143
(617) 776-3350

FIRST CAMBRIDGE REALTY CORP.
NEWTON, MA

17-31 HERRICK ROAD
PARKING STUDY

FIGURE 2

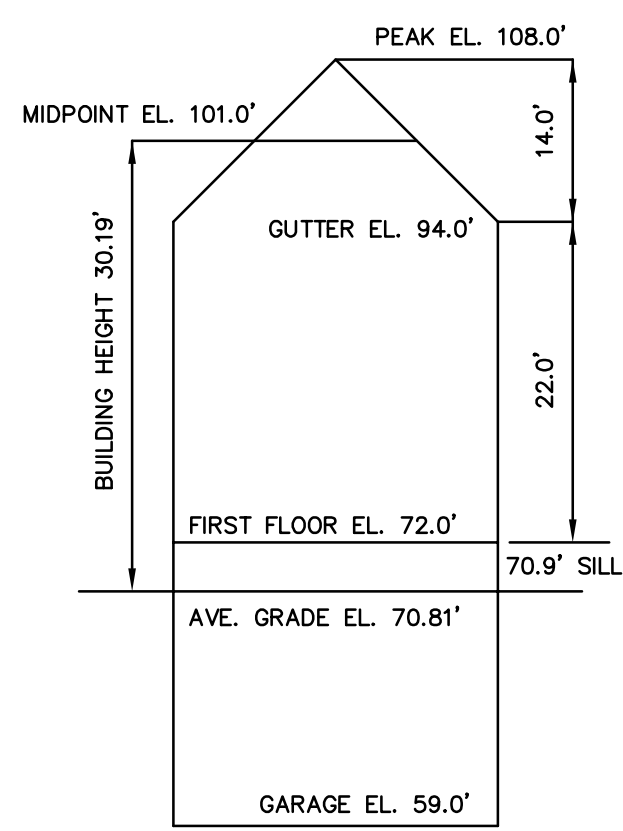
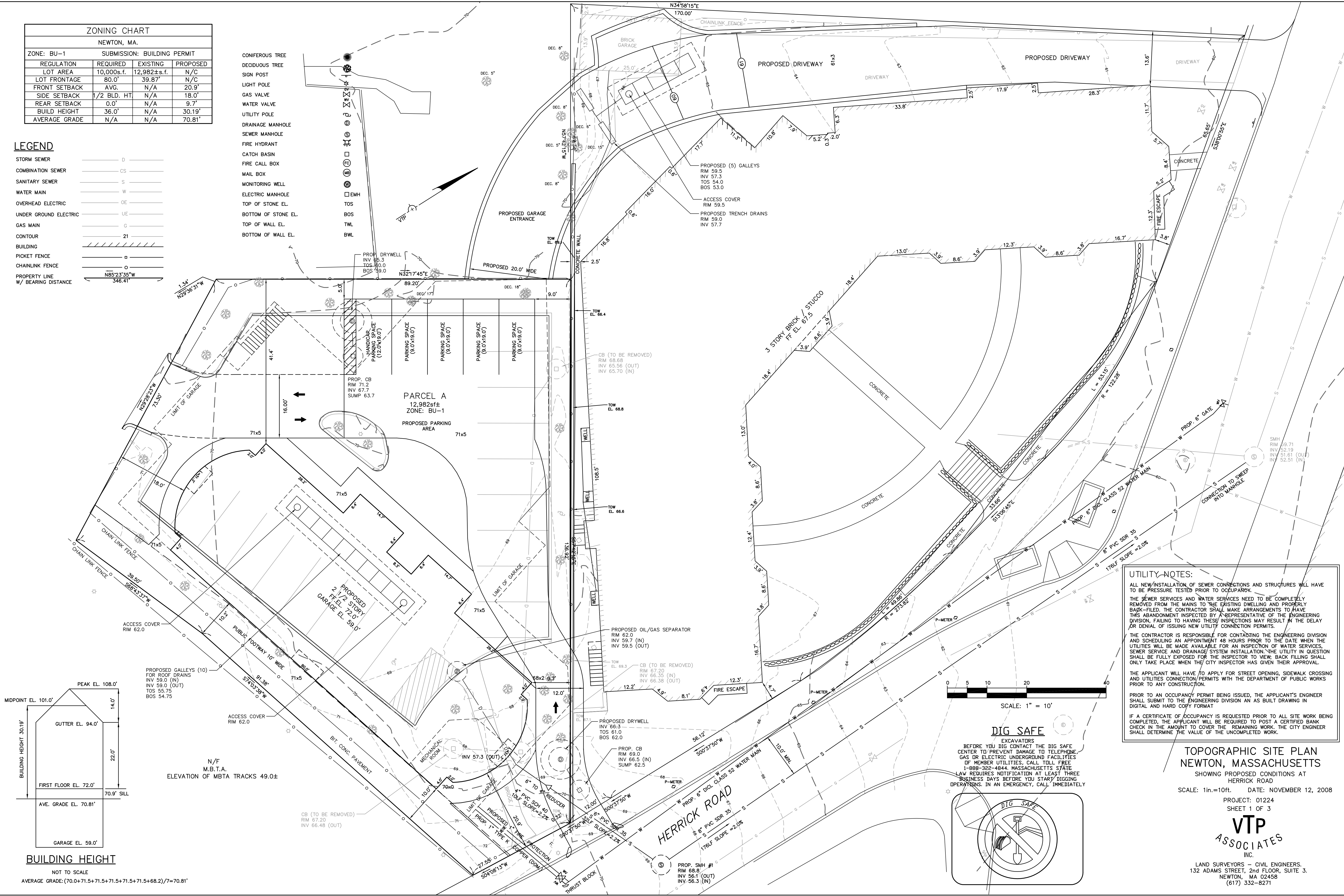
ZONING CHART			
NEWTON, MA.			
ZONE: BU-1		SUBMISSION: BUILDING PERMIT	
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	12,982±s.f.	N/C
LOT FRONTAGE	80.0'	39.87'	N/C
FRONT SETBACK	AVG.	N/A	20.9'
SIDE SETBACK	1/2 BLD. HT.	N/A	18.0'
REAR SETBACK	0.0'	N/A	9.7'
BUILD HEIGHT	36.0'	N/A	30.19'
AVERAGE GRADE	N/A	N/A	70.81'

LEGEND

STORM SEWER	— D —
COMBINATION SEWER	— CS —
SANITARY SEWER	— S —
WATER MAIN	— W —
OVERHEAD ELECTRIC	— OE —
UNDER GROUND ELECTRIC	— UE —
GAS MAIN	— G —
CONTOUR	— 21 —
BUILDING	▨
PICKET FENCE	— o —
CHAINLINK FENCE	— □ —
PROPERTY LINE	— NB5°23'35"W 346.41' —

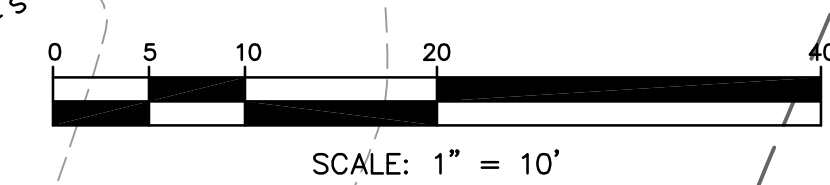
- CONIFEROUS TREE
- DECIDUOUS TREE
- SIGN POST
- LIGHT POLE
- GAS VALVE
- WATER VALVE
- UTILITY POLE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- FIRE HYDRANT
- CATCH BASIN
- FIRE CALL BOX
- MAIL BOX
- MONITORING WELL
- ELECTRIC MANHOLE
- TOP OF STONE EL.
- BOTTOM OF STONE EL.
- TOP OF WALL EL.
- BOTTOM OF WALL EL.

- EMH
- TOS
- BOS
- TWL
- BWL

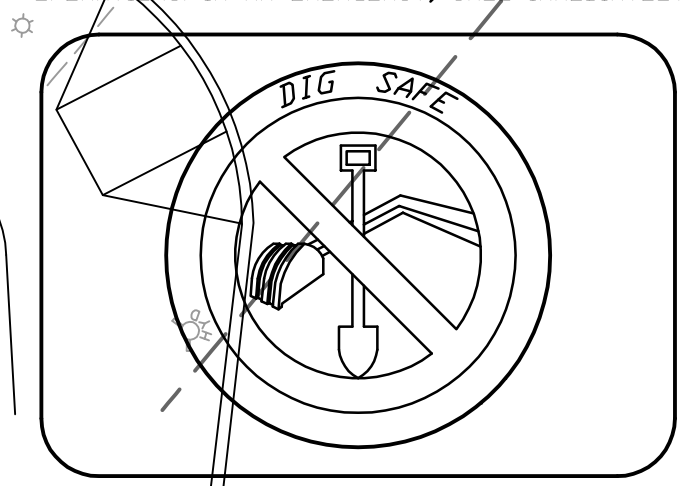


BUILDING HEIGHT
 NOT TO SCALE
 AVERAGE GRADE: (70.0+71.5+71.5+71.5+71.5+71.5+68.2)/7=70.81'

UTILITY NOTES:
 ALL NEW INSTALLATION OF SEWER CONNECTIONS AND STRUCTURES WILL HAVE TO BE PRESSURE TESTED PRIOR TO OCCUPANCY.
 THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, FAILING TO HAVE THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.
 THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACK FILING SHALL ONLY TAKE PLACE WHEN THE CITY INSPECTOR HAS GIVEN THEIR APPROVAL.
 THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING AND UTILITIES CONNECTION/PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
 PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, THE APPLICANT'S ENGINEER SHALL SUBMIT TO THE ENGINEERING DIVISION AN AS BUILT DRAWING IN DIGITAL AND HARD COPY FORMAT.
 IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.



DIG SAFE
 EXCAVATORS
 BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-322-4844. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY

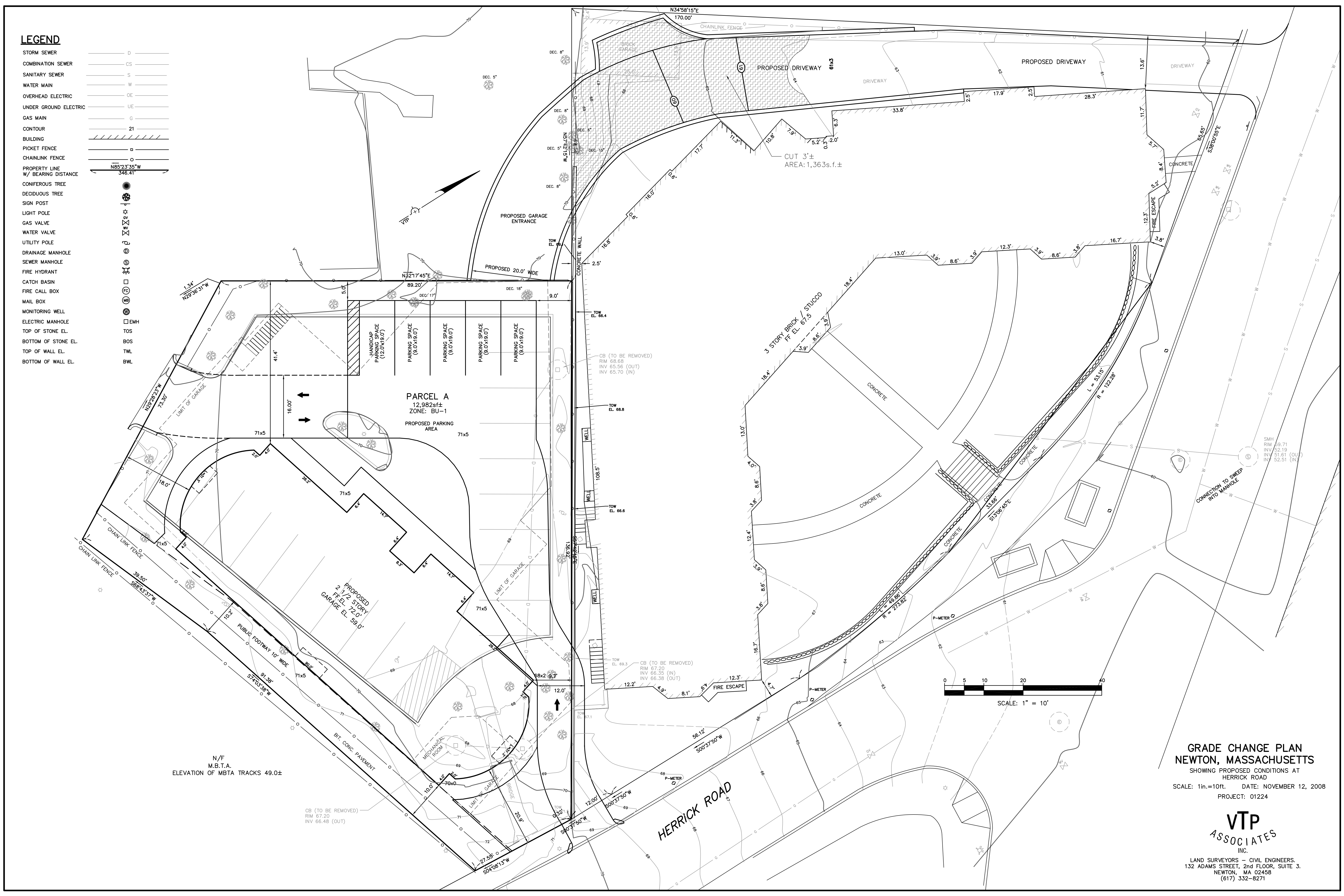


**TOPOGRAPHIC SITE PLAN
 NEWTON, MASSACHUSETTS**

SHOWING PROPOSED CONDITIONS AT
 HERRICK ROAD
 SCALE: 1in.=10ft. DATE: NOVEMBER 12, 2008
 PROJECT: 01224
 SHEET 1 OF 3
VTP ASSOCIATES
 INC.
 LAND SURVEYORS - CIVIL ENGINEERS.
 132 ADAMS STREET, 2nd FLOOR, SUITE 3.
 NEWTON, MA 02458
 (617) 332-8271

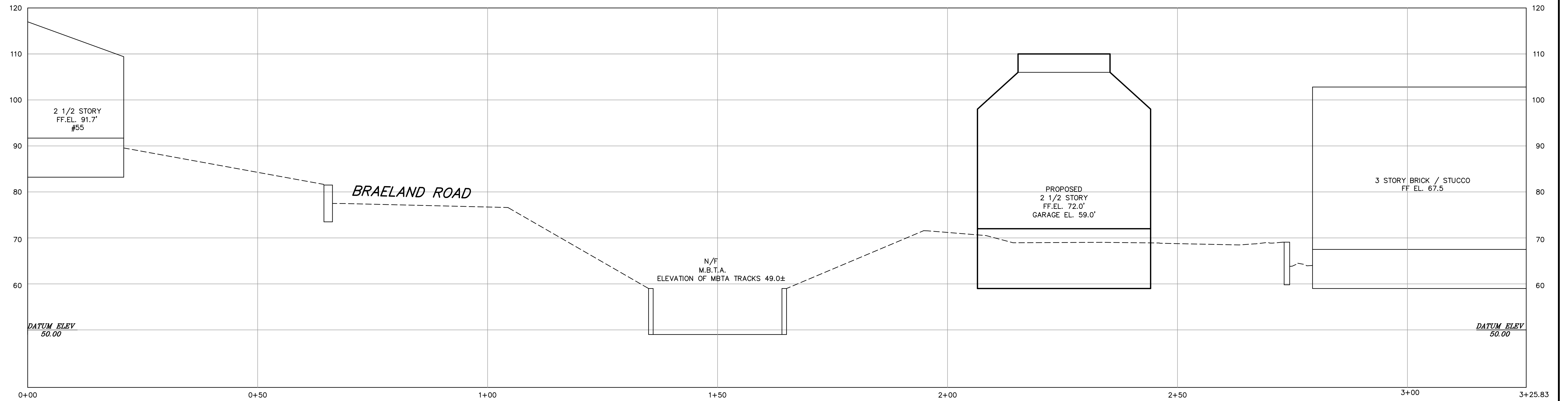
LEGEND

- STORM SEWER
- COMBINATION SEWER
- SANITARY SEWER
- WATER MAIN
- OVERHEAD ELECTRIC
- UNDER GROUND ELECTRIC
- GAS MAIN
- CONTOUR
- BUILDING
- PICKET FENCE
- CHAINLINK FENCE
- PROPERTY LINE W/ BEARING DISTANCE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SIGN POST
- LIGHT POLE
- GAS VALVE
- WATER VALVE
- UTILITY POLE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- FIRE HYDRANT
- CATCH BASIN
- FIRE CALL BOX
- MAIL BOX
- MONITORING WELL
- ELECTRIC MANHOLE
- TOP OF STONE EL.
- BOTTOM OF STONE EL.
- TOP OF WALL EL.
- BOTTOM OF WALL EL.



**GRADE CHANGE PLAN
NEWTON, MASSACHUSETTS**
 SHOWING PROPOSED CONDITIONS AT
 HERRICK ROAD
 SCALE: 1in.=10ft. DATE: NOVEMBER 12, 2008
 PROJECT: 01224

**VTP
ASSOCIATES
INC.**
 LAND SURVEYORS - CIVIL ENGINEERS.
 132 ADAMS STREET, 2nd FLOOR, SUITE 3.
 NEWTON, MA 02458
 (617) 332-8271



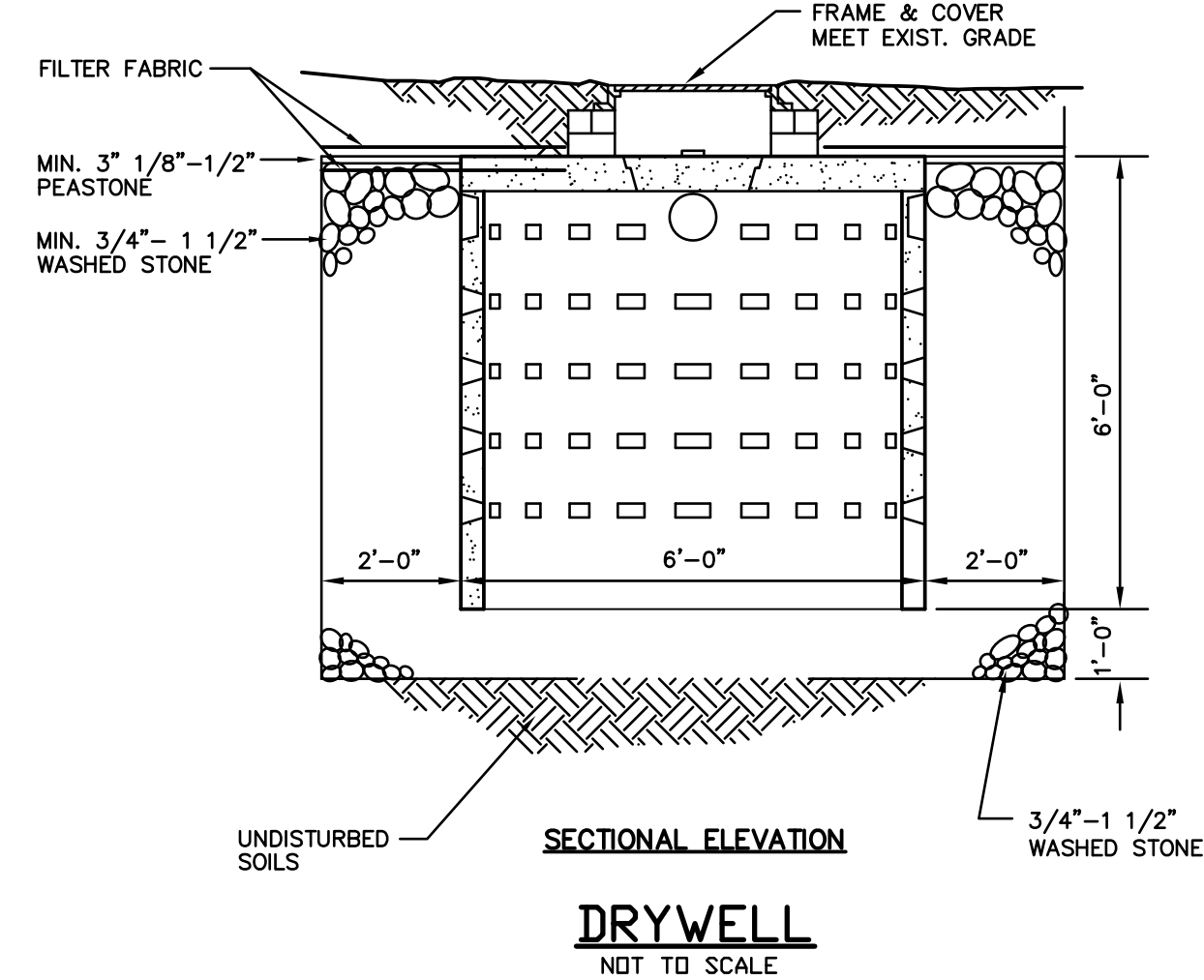
CROSS-SECTION

SCALE: 1" = 10' (HORIZONTAL)
SCALE: 1" = 1' (VERTICAL)

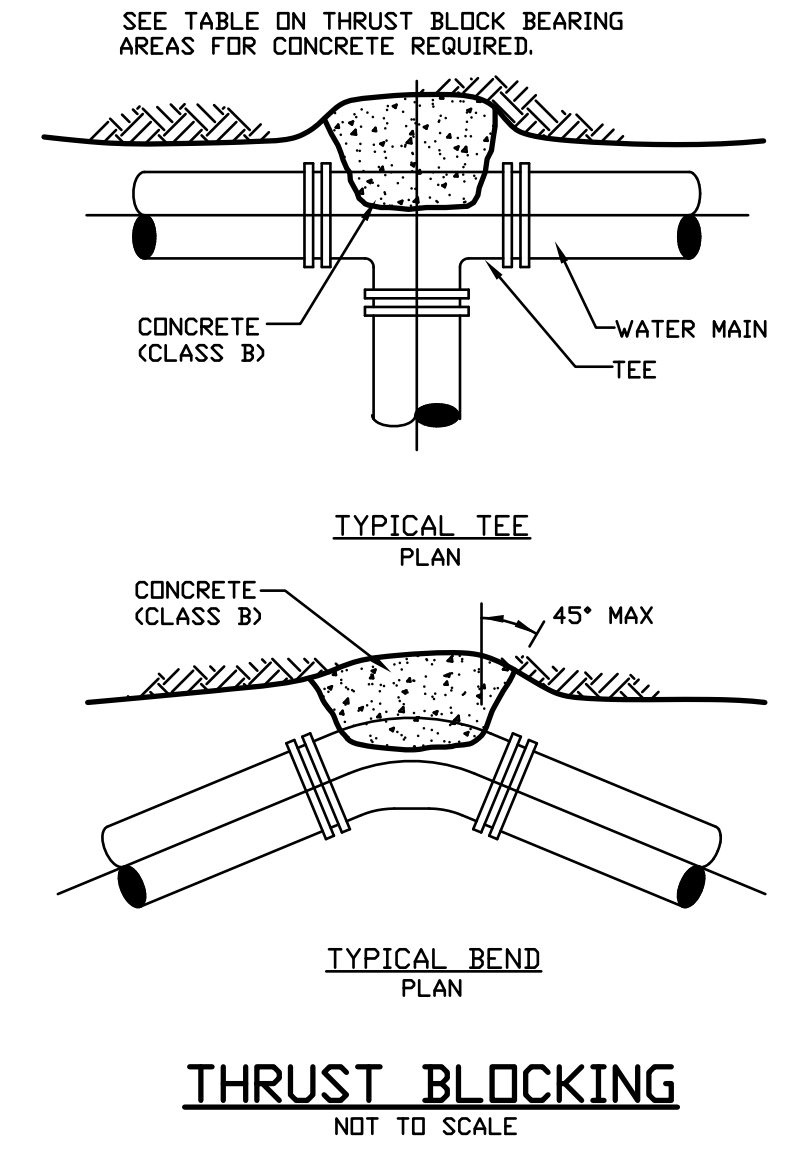
**CROSS-SECTION
NEWTON, MASSACHUSETTS**
SHOWING PROPOSED CONDITIONS AT
HERRICK ROAD
SCALE: AS-SHOWN DATE: NOVEMBER 3, 2008
PROJECT: 01224

VTP
ASSOCIATES
INC.

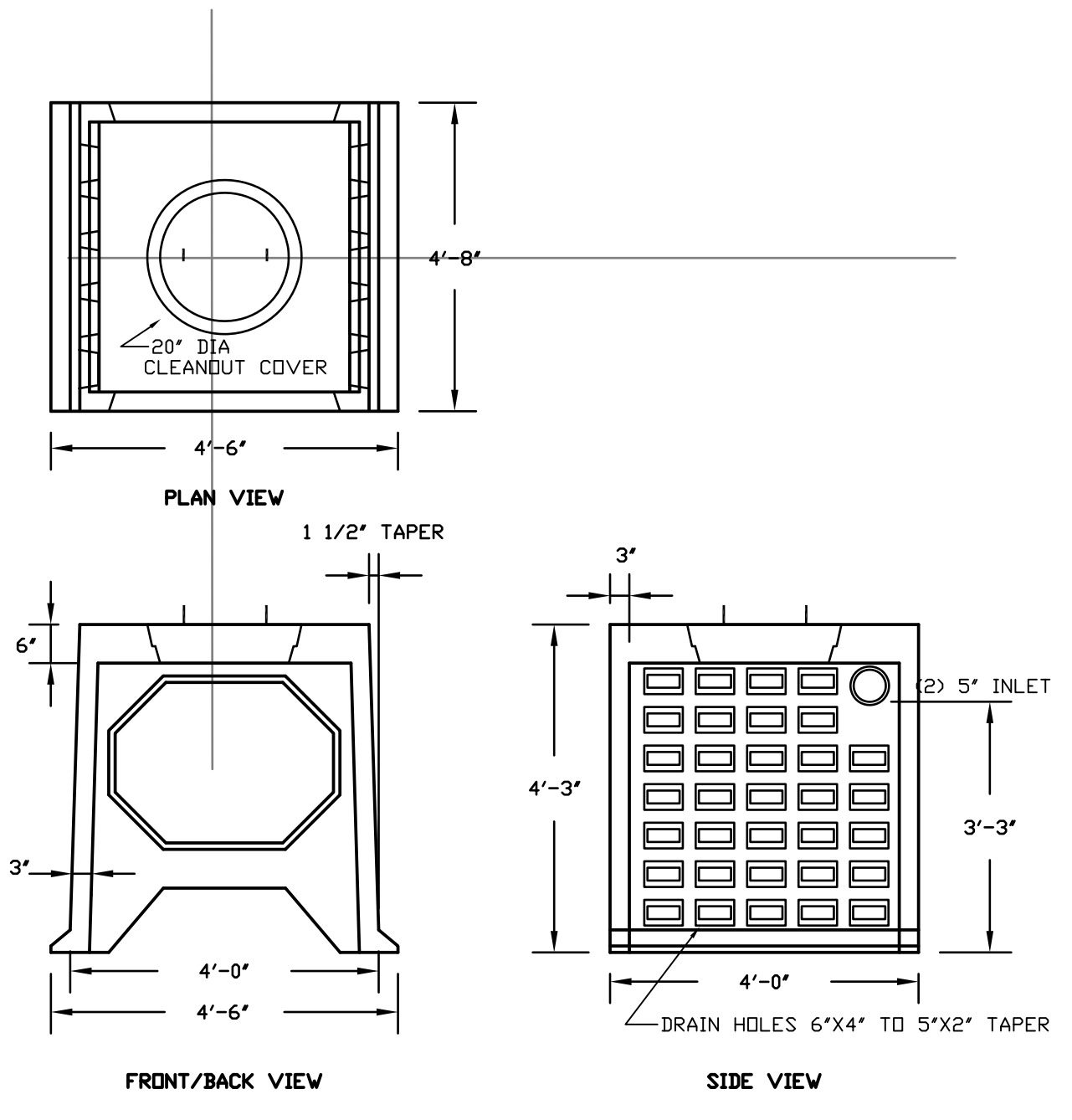
LAND SURVEYORS - CIVIL ENGINEERS.
132 ADAMS STREET, 2nd FLOOR, SUITE 3.
NEWTON, MA 02458
(617) 332-8271



DRYWELL
NOT TO SCALE

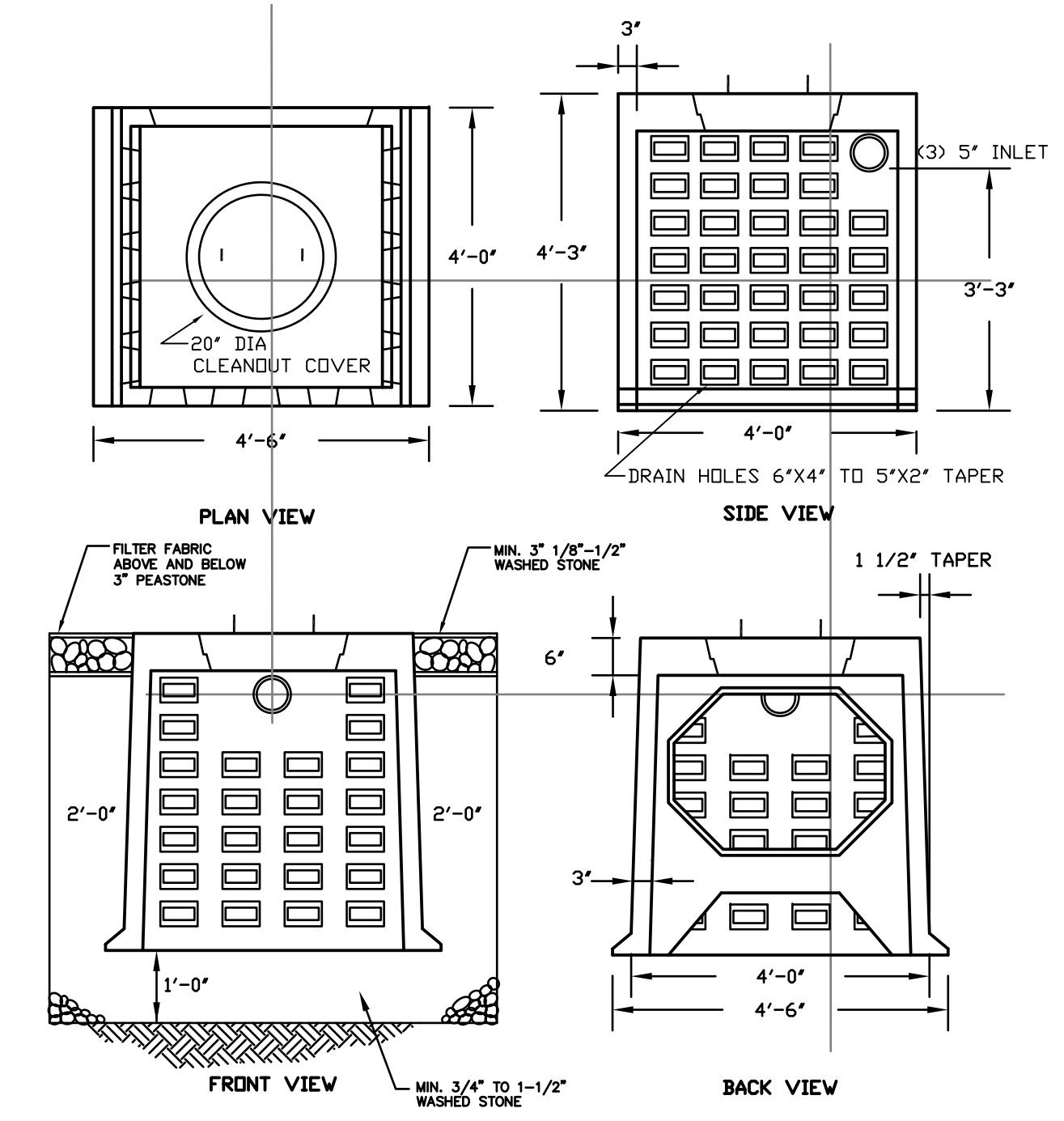


THRUST BLOCKING
NDT TO SCALE



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALSO AVAILABLE IN H-20 LOADING.
 3. SECTIONS AVAILABLE WITHOUT 20\"/>

GALLEY CENTER SECTION
NOT TO SCALE

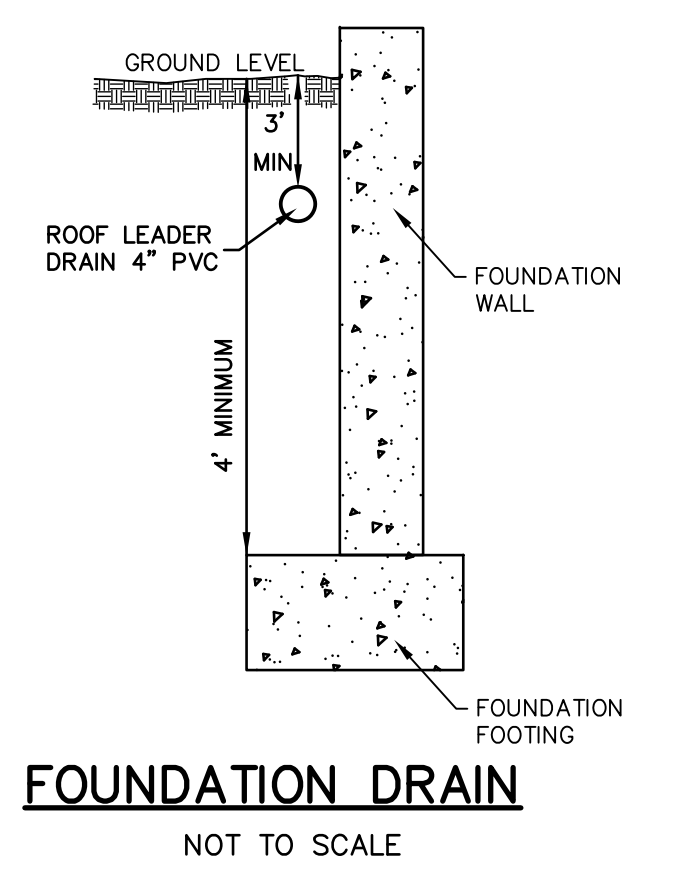


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. ALSO AVAILABLE IN H-20 LOADING.
 3. SECTIONS AVAILABLE WITHOUT 20\"/>

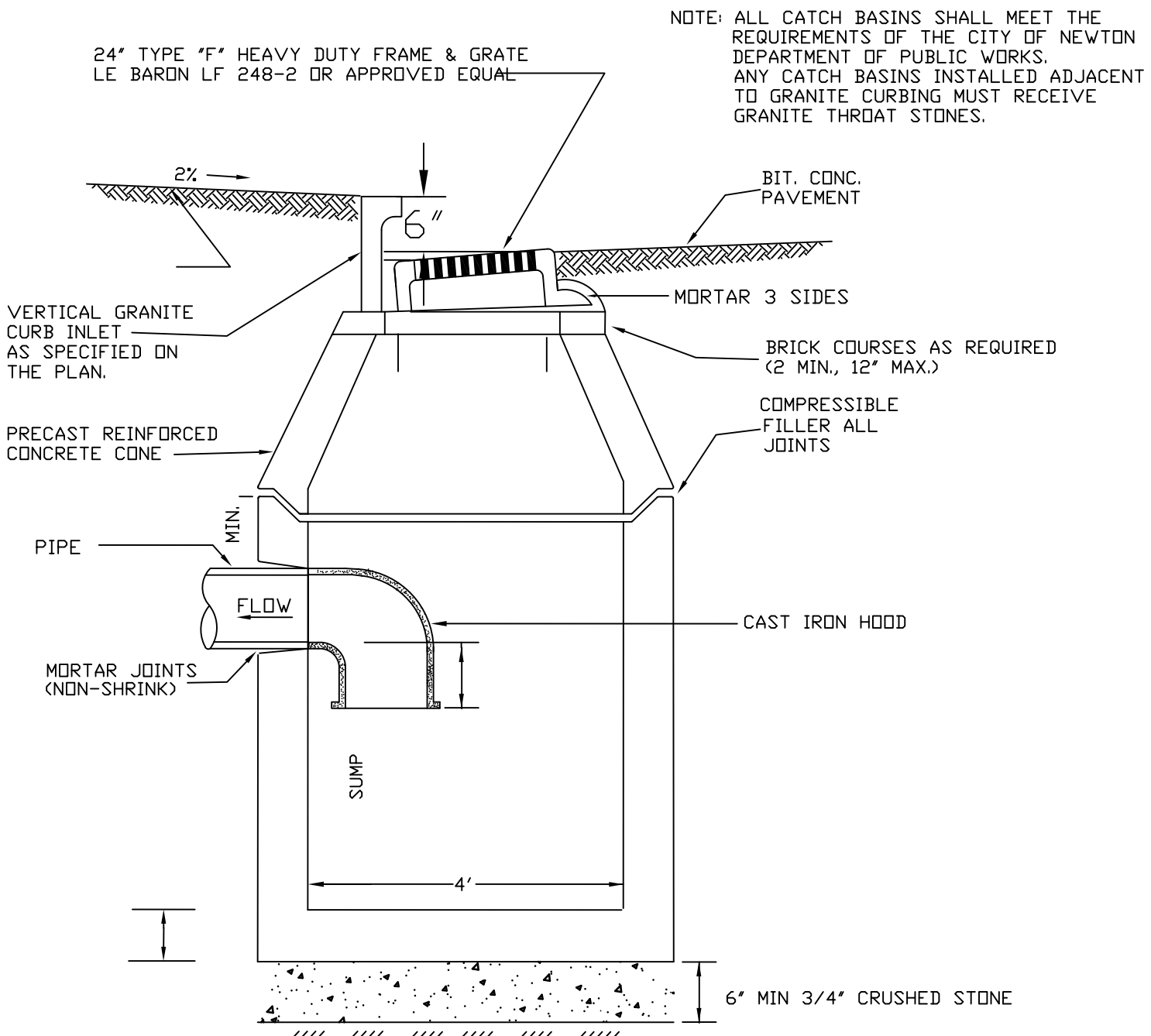
GALLEY END SECTION
NOT TO SCALE

DIG SAFE

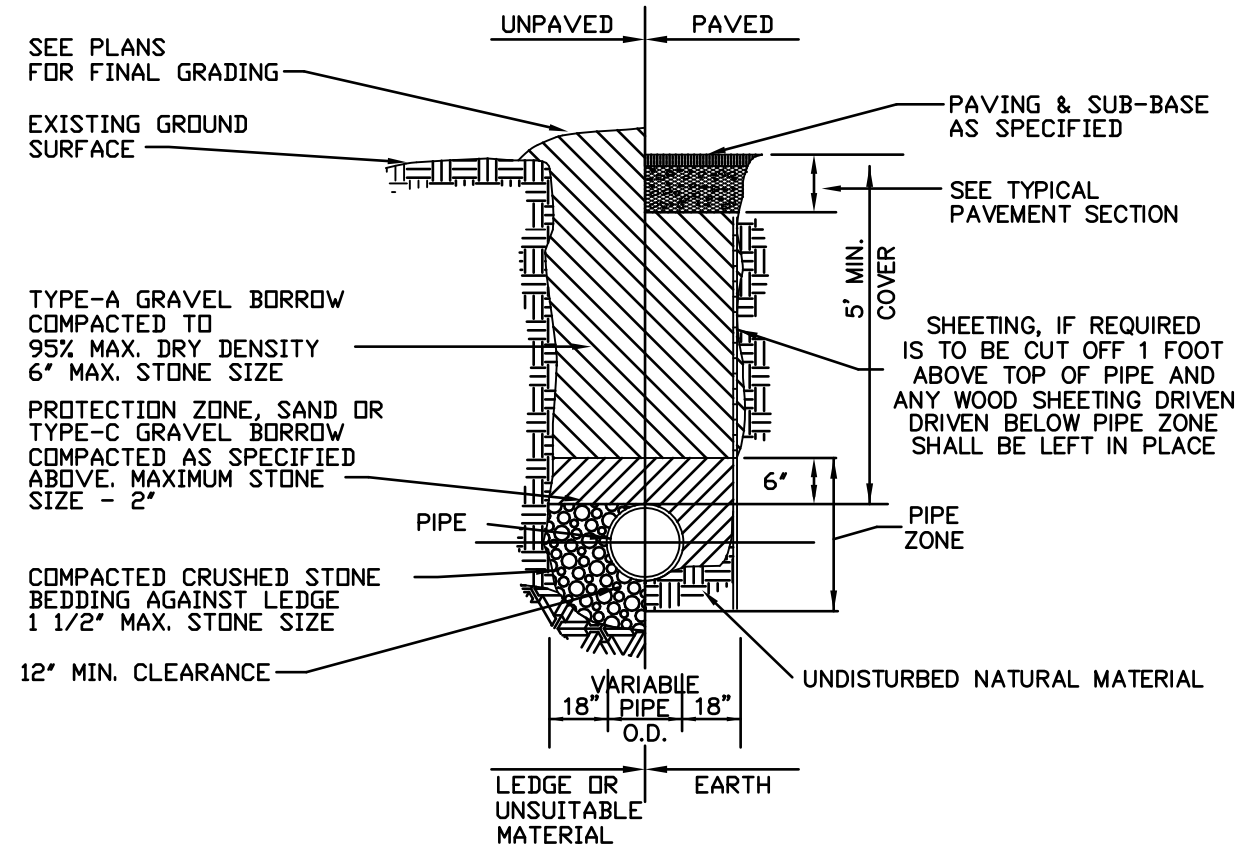
EXCAVATORS
BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-322-4844. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



FOUNDATION DRAIN
NOT TO SCALE

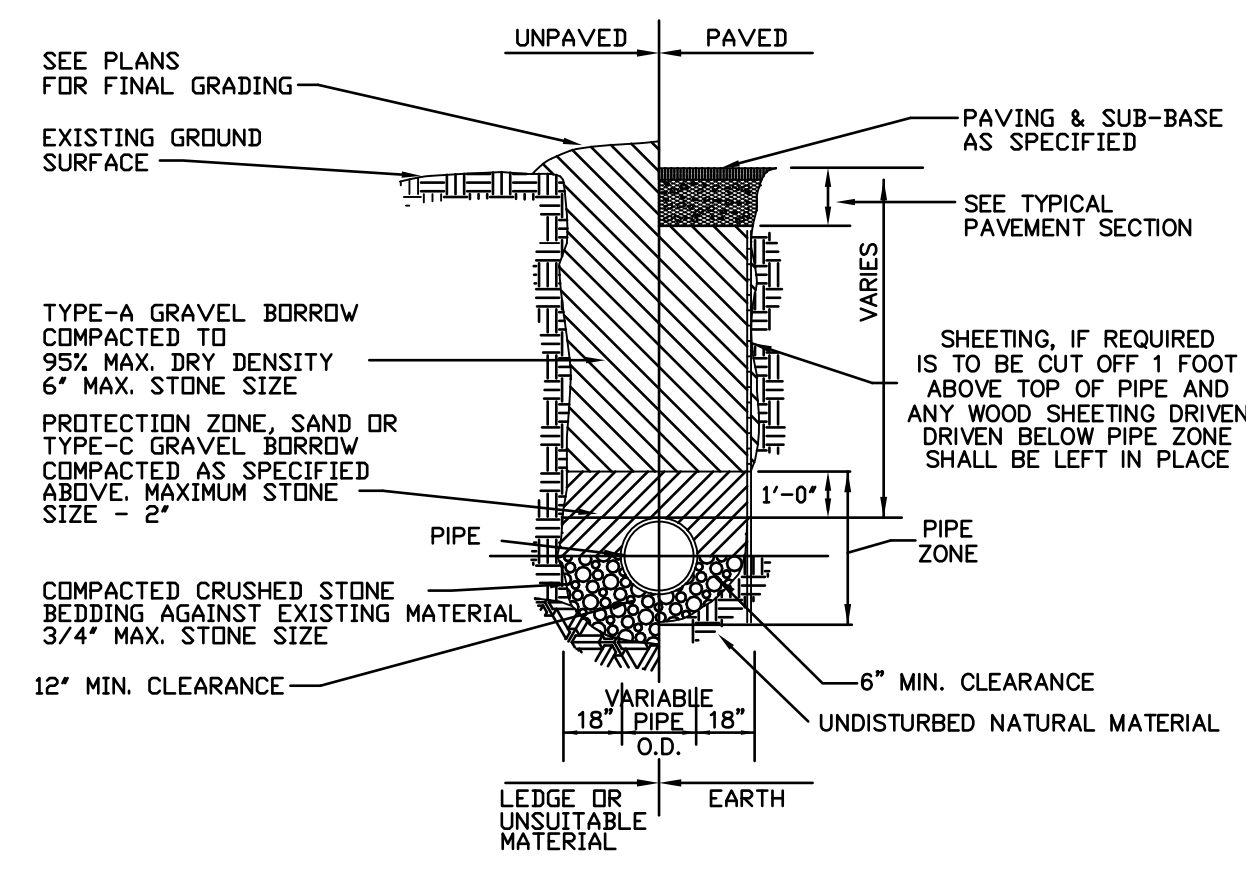


TYPICAL PRECAST CONCRETE CATCH BASIN WITH GAS TRAP
(NOT TO SCALE)



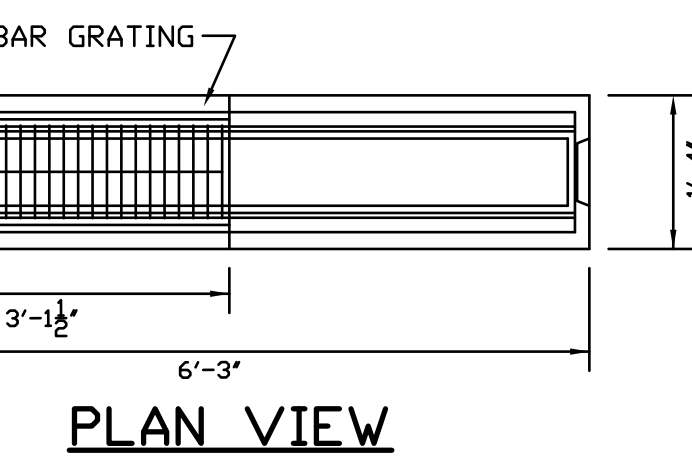
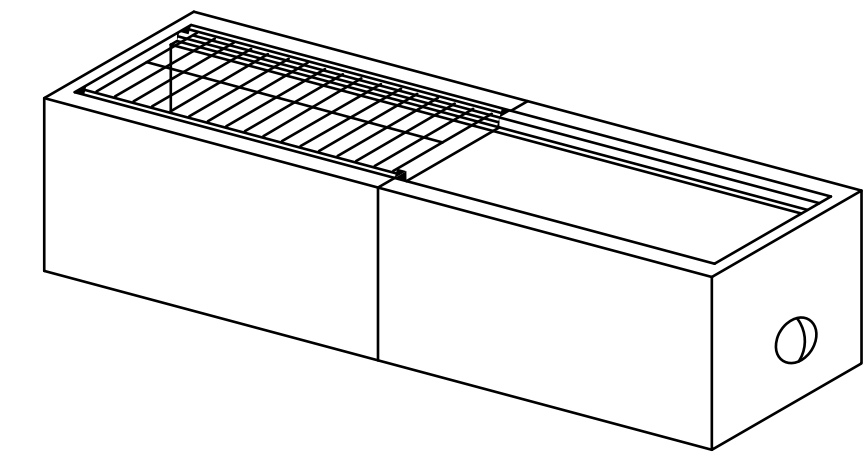
TYPICAL WATER TRENCH DETAIL
NOT TO SCALE

1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1
- * SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

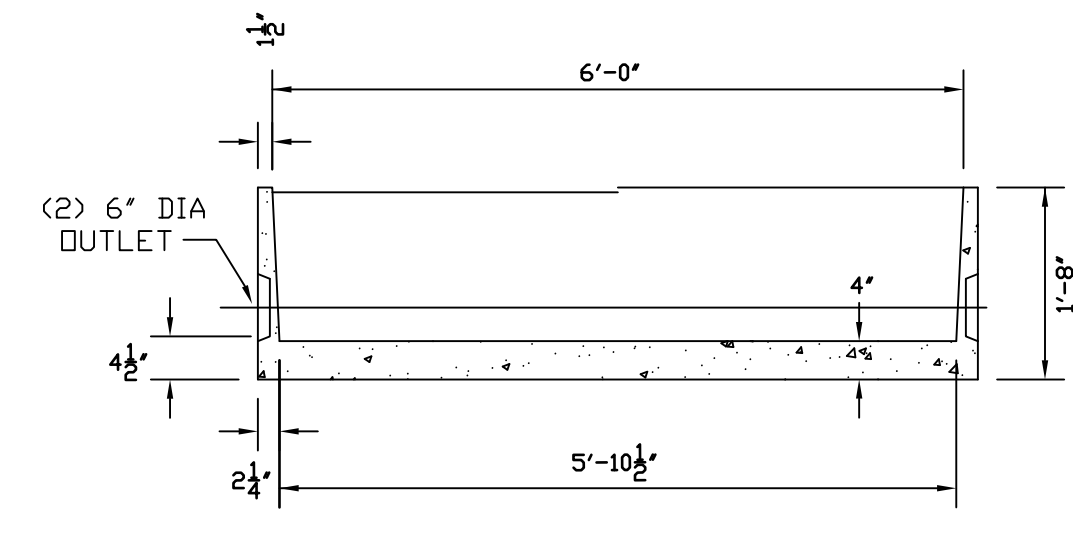


TYPICAL P.V.C. DRAIN TRENCH DETAIL
NOT TO SCALE

1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1
- * SUITABILITY OF MATERIALS IS TO BE DETERMINED BY THE CITY OF NEWTON.



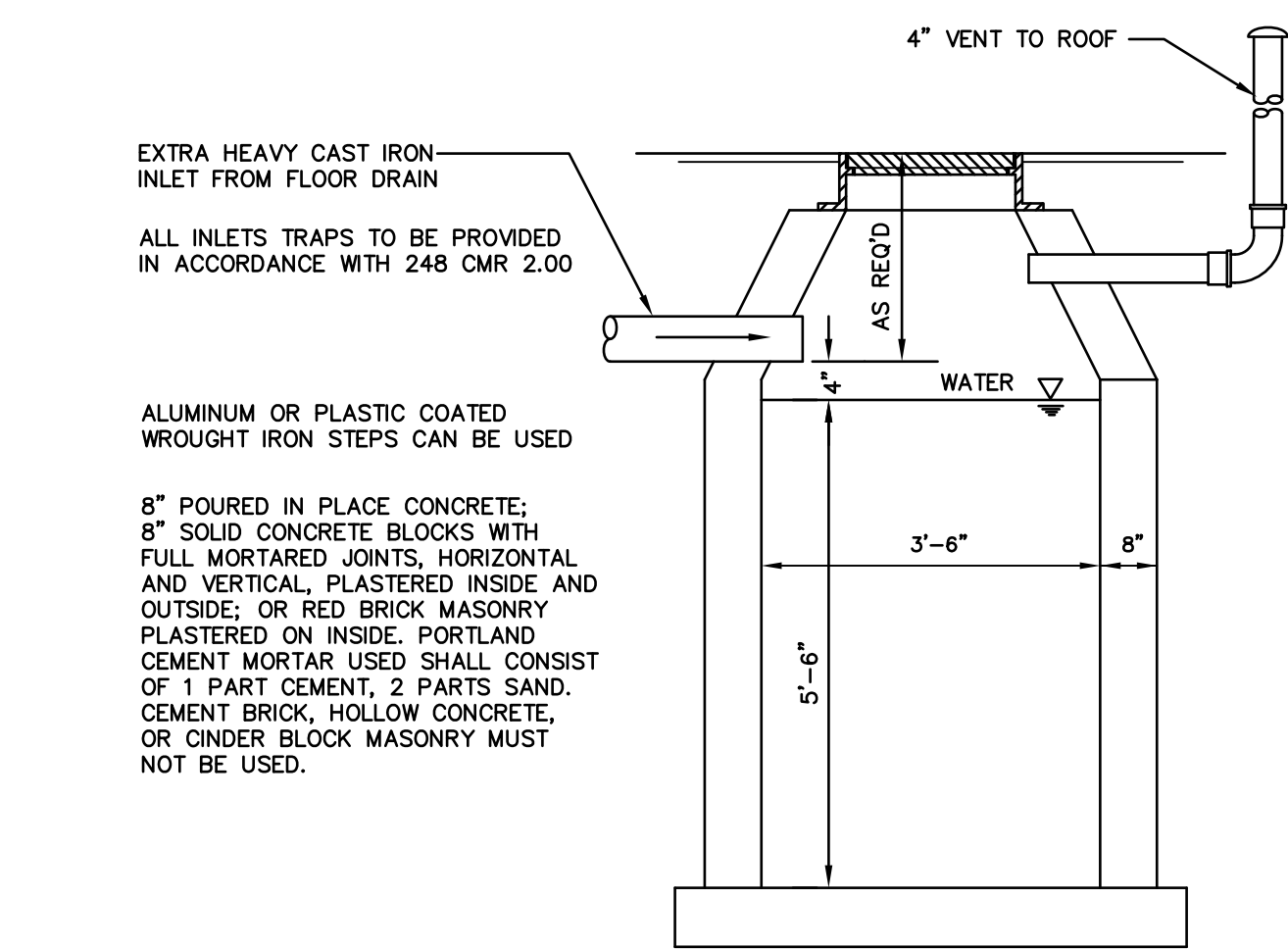
PLAN VIEW



SIDE SECTION VIEW

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. AVAILABLE IN 3\"/>
 - 3. AVAILABLE IN END OR MIDDLE SECTIONS.
 - 4. CONFORMS TO H-20 LOADING.

TRENCH DRAIN DETAIL
NOT TO SCALE



OIL & GREASE SEPARATOR
NOT TO SCALE

- EXTRA HEAVY CAST IRON INLET FROM FLOOR DRAIN
ALL INLETS TRAPS TO BE PROVIDED IN ACCORDANCE WITH 248 CMR 2.00
- ALUMINUM OR PLASTIC COATED WROUGHT IRON STEPS CAN BE USED
- 8\"/>

- GENERAL CONSTRUCTION NOTES**
- A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING.
- OPENING SHALL BE NOT LESS THAN 24\"/>

THE CATCH BASIN SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.

INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE

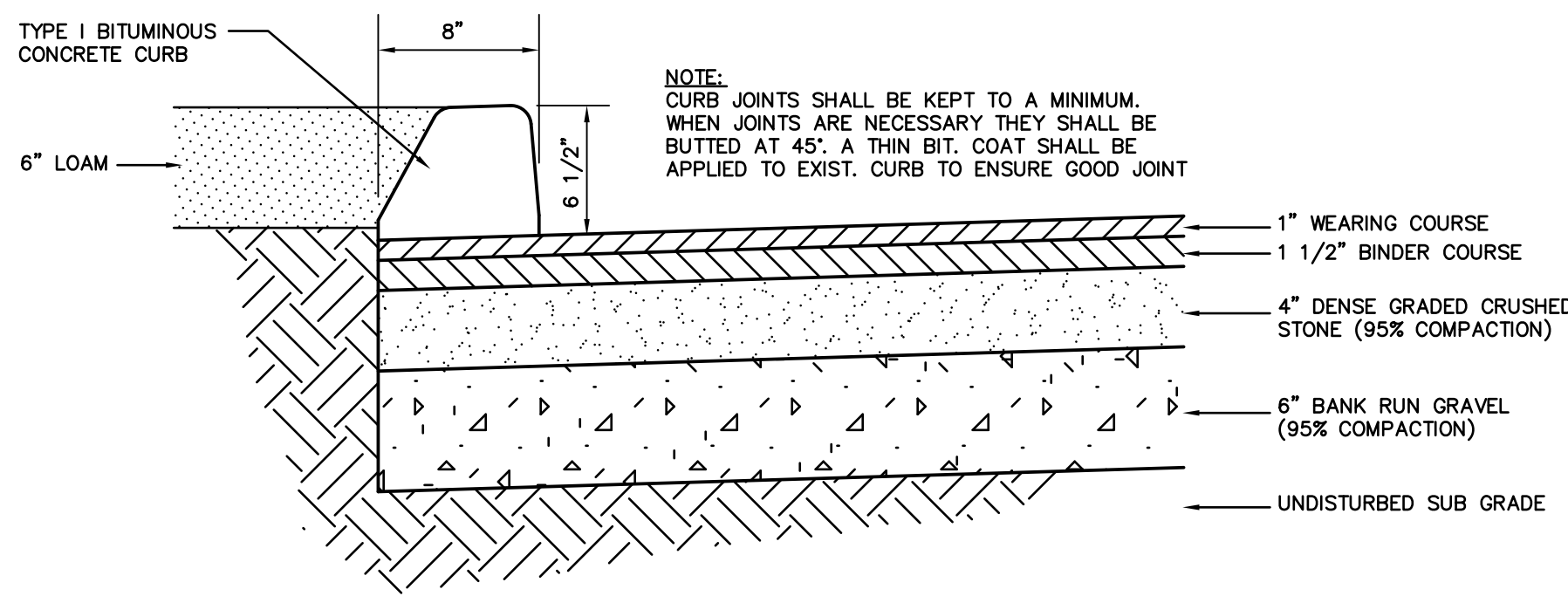
THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.

ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.

SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.

WROUGHT IRON STEPS SHALL BE SPACED ABOUT 18\"/>

VENT SHALL BE EXTENDED INDEPENDENTLY 18\"/>



PAVEMENT DETAIL
NOT TO SCALE

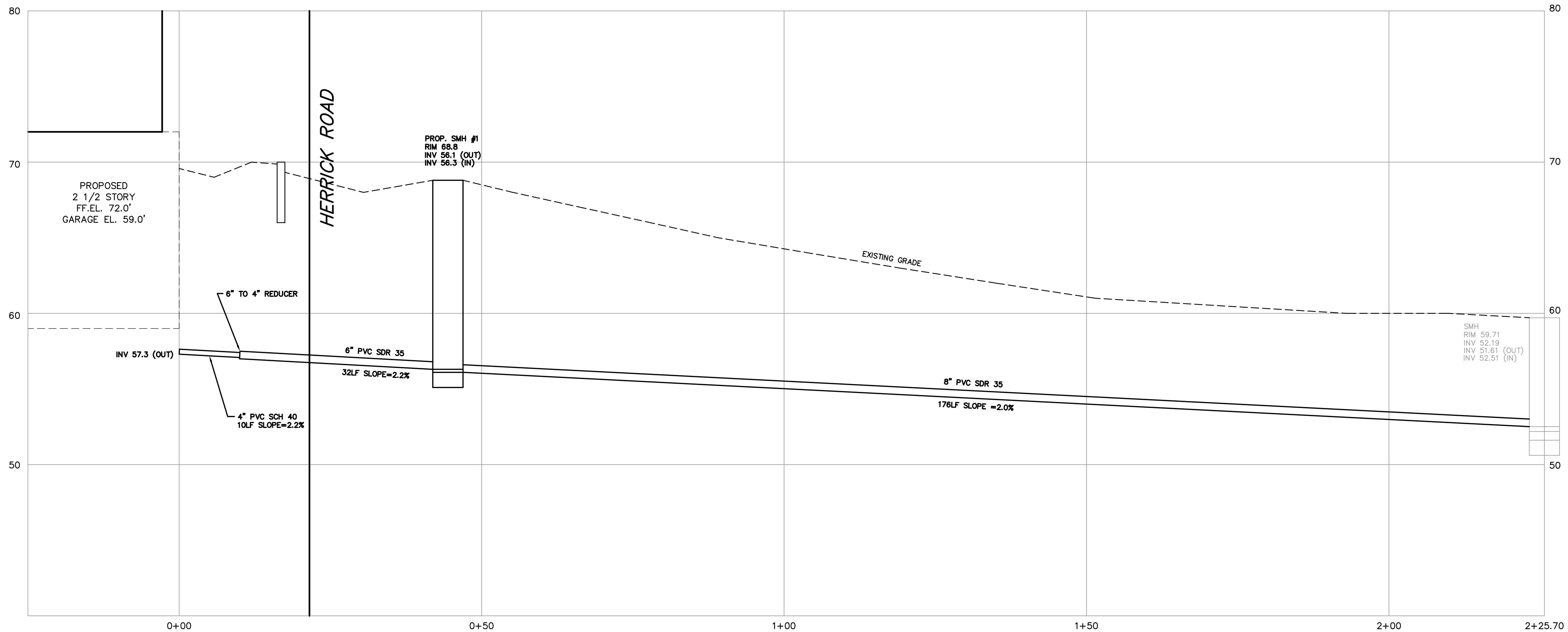
ITEM NO. M-TD6 6' SECTION
M-TD3 3' SECTION

DETAIL SHEET
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT HERRICK ROAD
SCALE: 1in.=10ft. DATE: NOVEMBER 3, 2008
PROJECT: 01224
SHEET 3 OF 3

VTP
ASSOCIATE
INC.

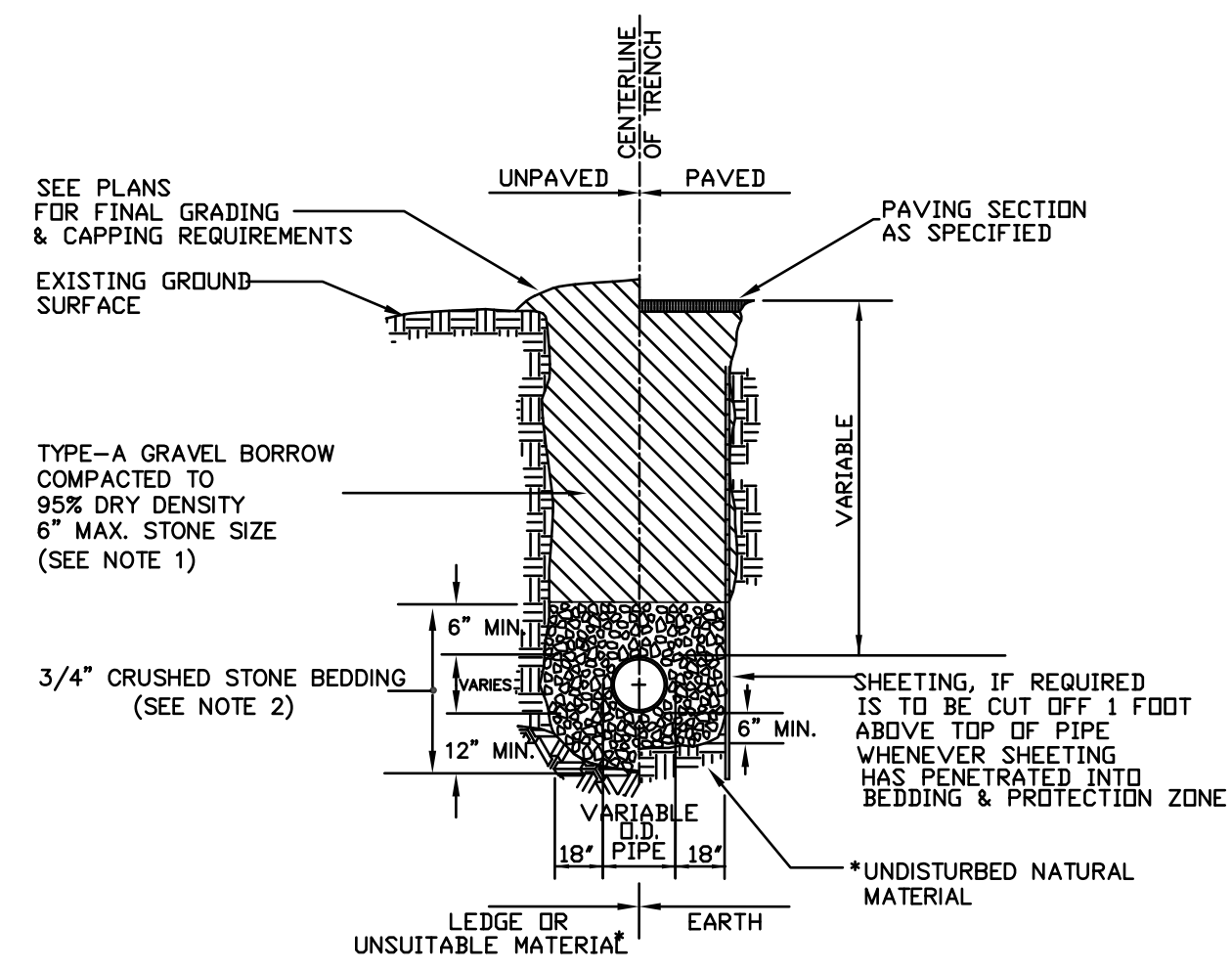
LAND SURVEYORS - CIVIL ENGINEERS.
132 ADAMS STREET, 2nd FLOOR, SUITE 3.

(617) 332-8271



PROPOSED SEWER PROFILE

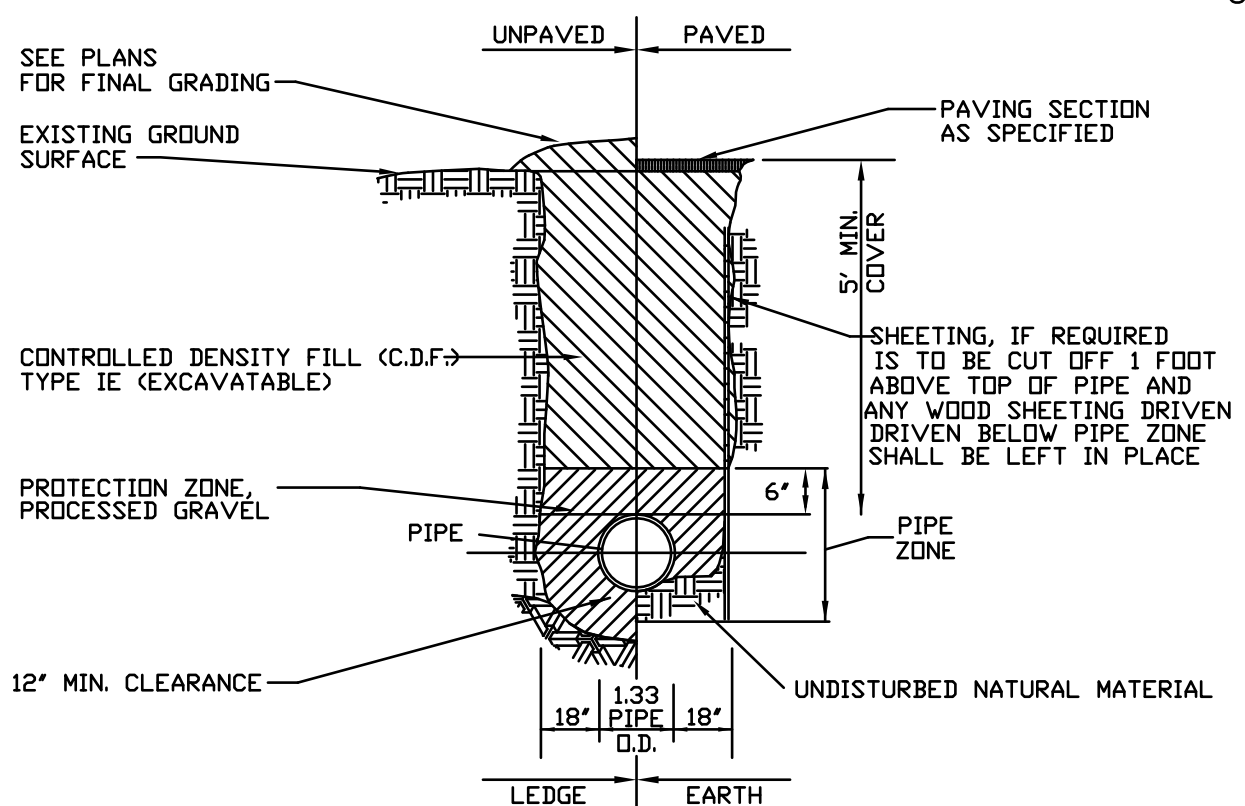
SCALE: 1" = 10' (HORIZONTAL)
SCALE: 1" = 4' (VERTICAL)



GRAVITY SEWER TRENCH DETAIL

NOT TO SCALE

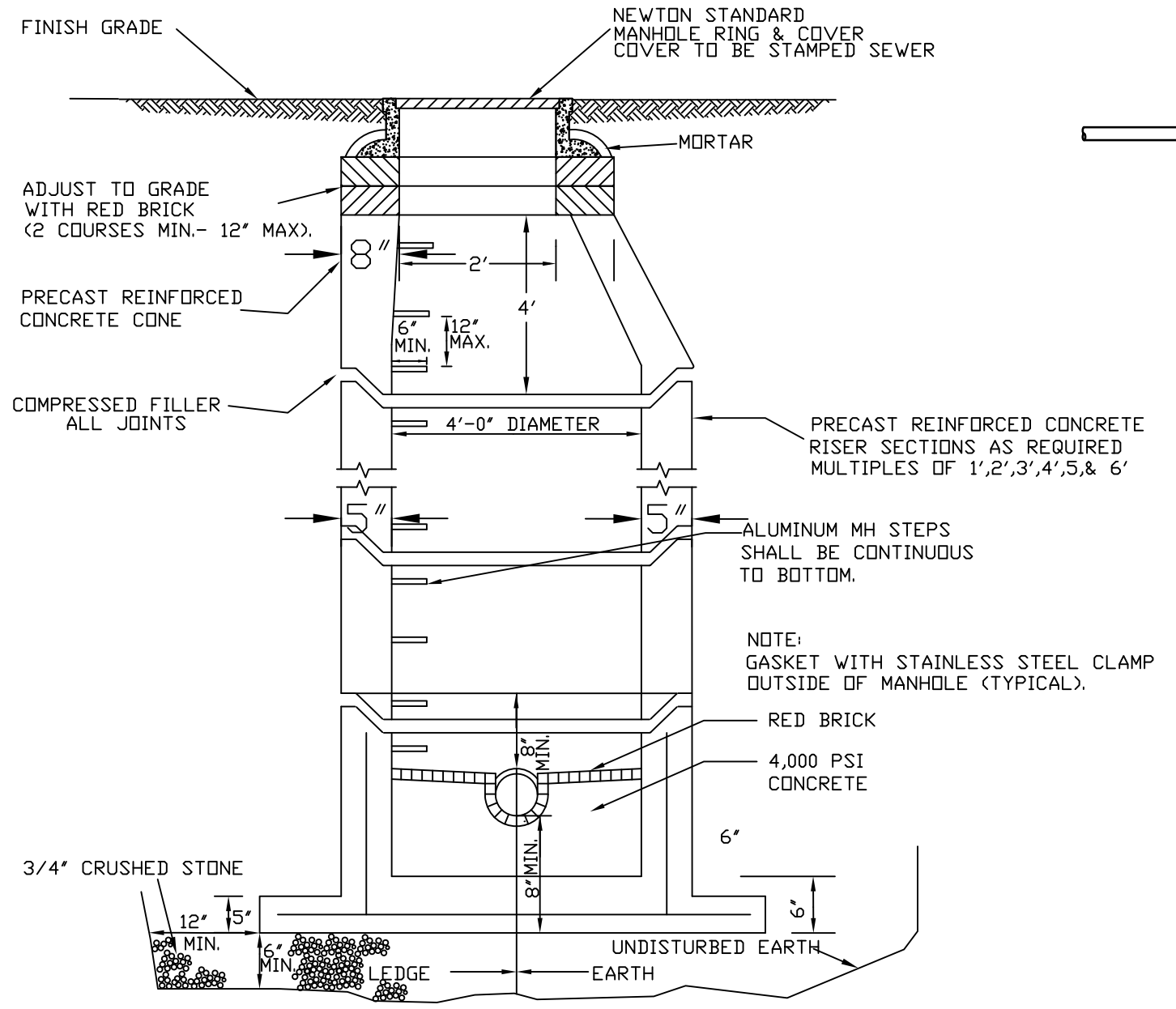
- * SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.
- 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
- 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1



TYPICAL C.D.F. WATER TRENCH DETAIL

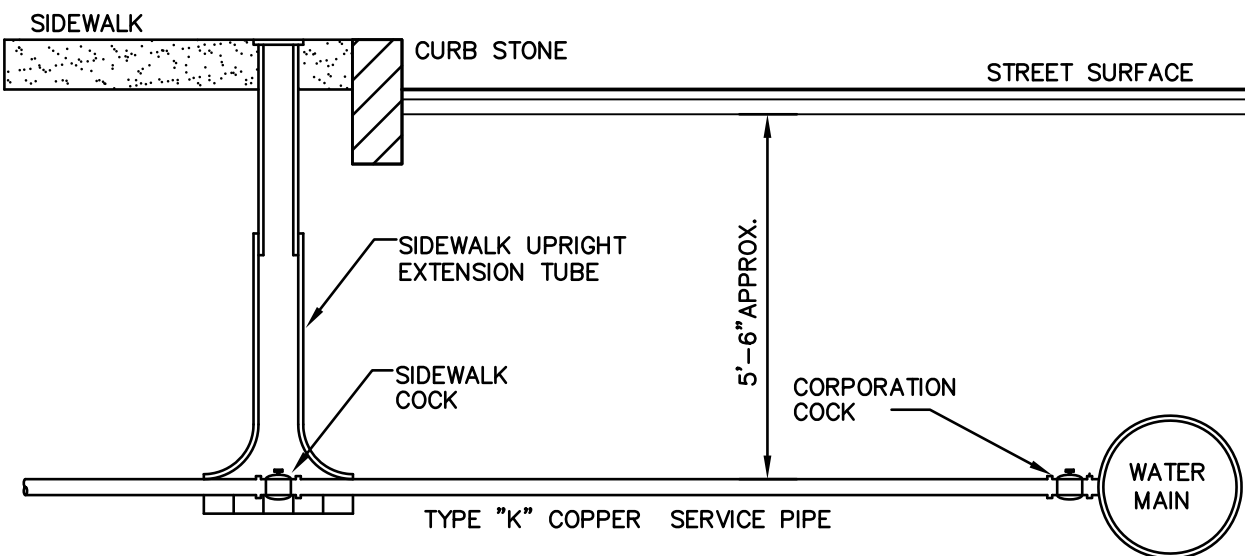
NOT TO SCALE

PROCESSED GRAVEL SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.7



TYPICAL PRECAST CONCRETE SEWER MANHOLE

(NOT TO SCALE)

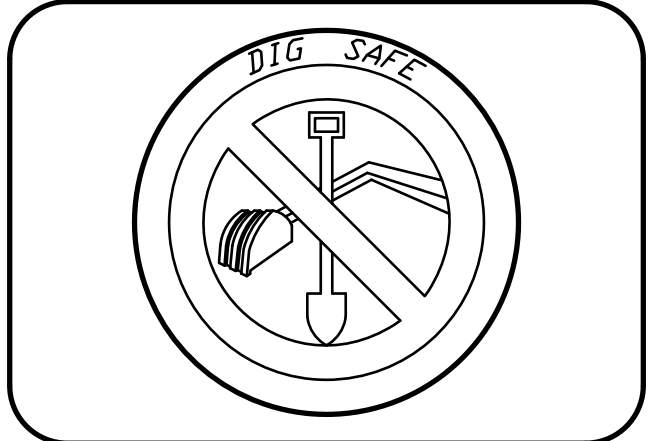


WATER CONNECTION 1" SERVICE PIPES

NOT TO SCALE

DIG SAFE

EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES, CALL TOLL FREE 1-888-322-4644. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



UTILITY NOTES:

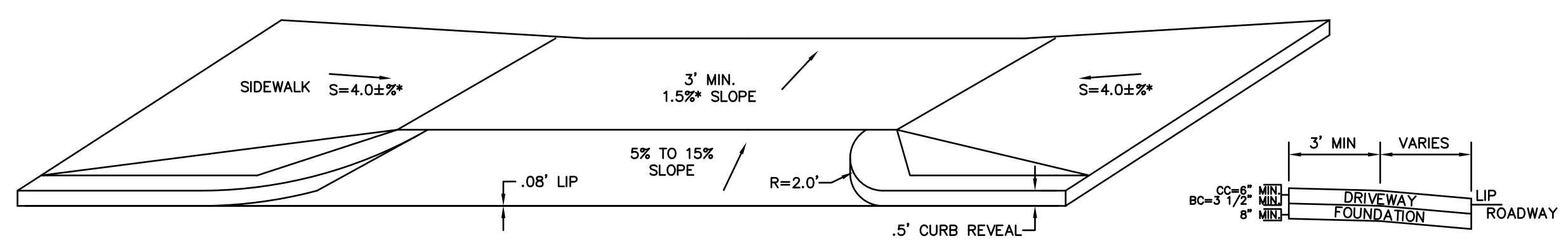
ALL NEW INSTALLATION OF SEWER CONNECTIONS AND STRUCTURES WILL HAVE TO BE PRESSURE TESTED PRIOR TO OCCUPANCY.
THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, FAILING TO HAVING THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.
THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW; BACK FILLING SHALL ONLY TAKE PLACE WHEN THE CITY INSPECTOR HAS GIVEN THEIR APPROVAL.
THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING AND UTILITIES CONNECTION PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, THE APPLICANT'S ENGINEER SHALL SUBMIT TO THE ENGINEERING DIVISION AN AS BUILT DRAWING IN DIGITAL AND HARD COPY FORMAT.
IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.

**DETAIL SHEET
NEWTON, MASSACHUSETTS**

SHOWING PROPOSED CONDITIONS AT
HERRICK ROAD
SCALE: 1in.=10ft. DATE: NOVEMBER 3, 2008
PROJECT: 01224
SHEET 2 OF 3



LAND SURVEYORS - CIVIL ENGINEERS.
132 ADAMS STREET, 2nd FLOOR, SUITE 3.
NEWTON, MA 02458
(617) 332-8271



THROUGH SIDEWALK DRIVEWAYS W/ CURB RETURNS DETAIL

NOT TO SCALE