



RETAIL BUILDING FLOOR PLAN

170 NEEDHAM STREET
NEWTON, MA

RETAIL BUILDING

170 NEEDHAM STREET
NEWTON, MA

Date: 06/26/2013
Scale: ---
Project Number: ---
Drawn by: MBD

A
0.0

SITE DEVELOPMENT PLANS

FOR 170 NEEDHAM STREET NEWTON, MA

JUNE 26, 2013

SHEET INDEX					
SHEET No.	DESCRIPTION	LATEST REVISED DATE	CONSTRUCTION	REVISIONS	
1	COVER SHEET				
2	LOCUS PLAN				
3	EXISTING CONDITIONS PLAN				
4	LAYOUT PLAN				
5	SITE PLAN				
6	DETAIL SHEET				

OWNER:

NEEDHAM CHESTNUT REALTY, LLC
310 WASHINGTON STREET, SUITE 202
WELLESLEY, MA 02481

CIVIL ENGINEERS:

KELLY ENGINEERING GROUP, INC.
0 CAMPANELLI DRIVE
BRAintree, MA 02184

ARCHITECT:

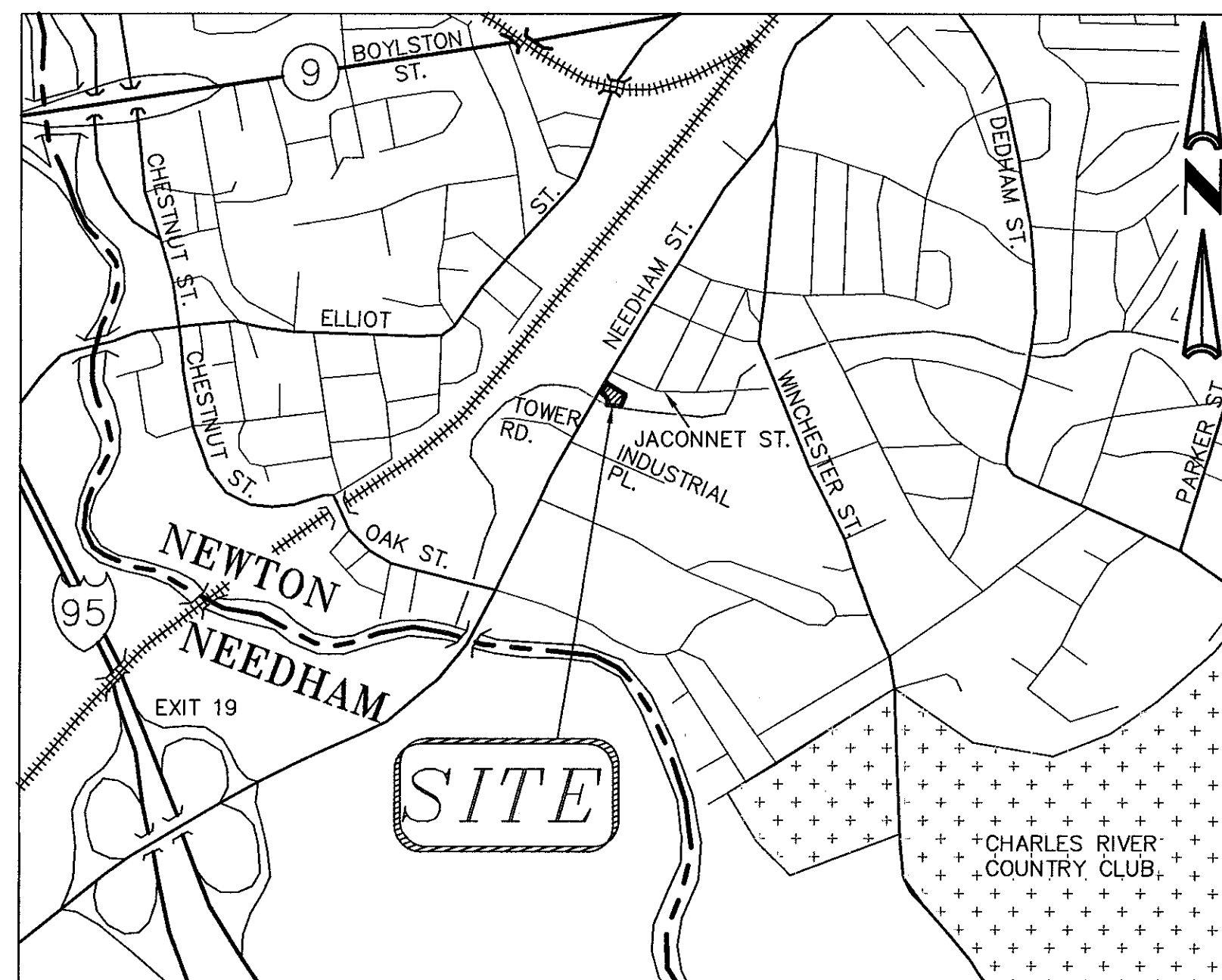
HDS ARCHITECTURE, INC.
625 MT. AUBURN STREET
CAMBRIDGE, MA 02138

LANDSCAPE ARCHITECT:

HAWK DESIGN, INC.
39 PLEASANT STREET
SAGAMORE, MA 02561

ATTORNEY:

SCHLESINGER AND BUCHBINDER, LLP
1200 WALNUT STREET
NEWTON, MA 02461

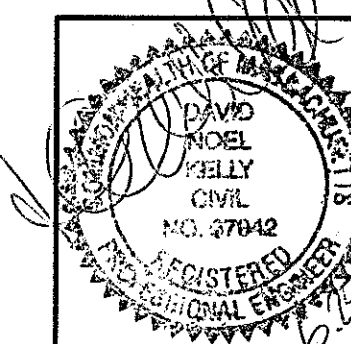


LOCATION MAP

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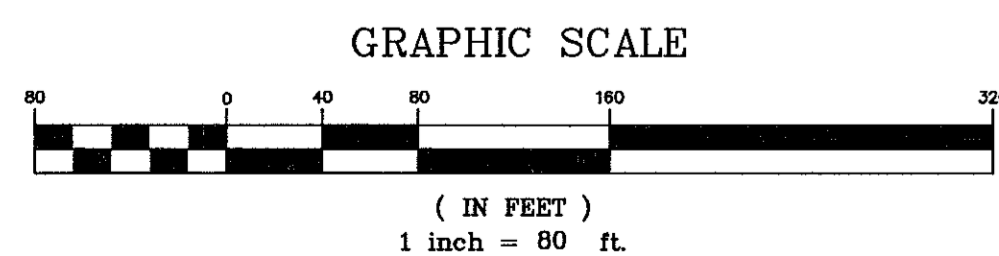
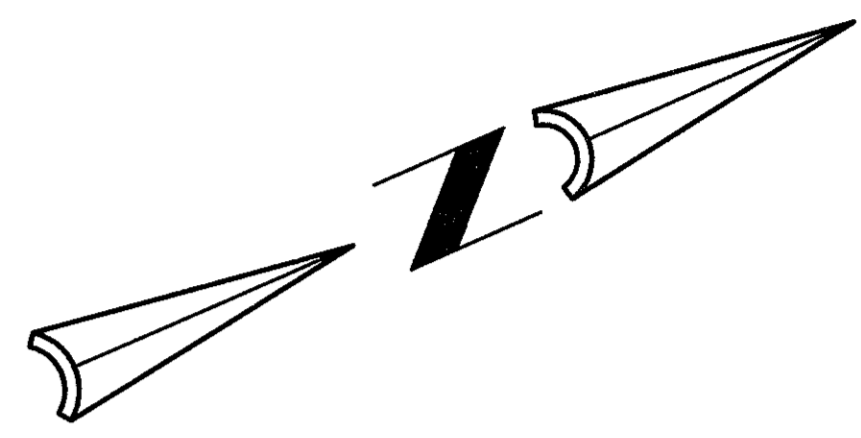
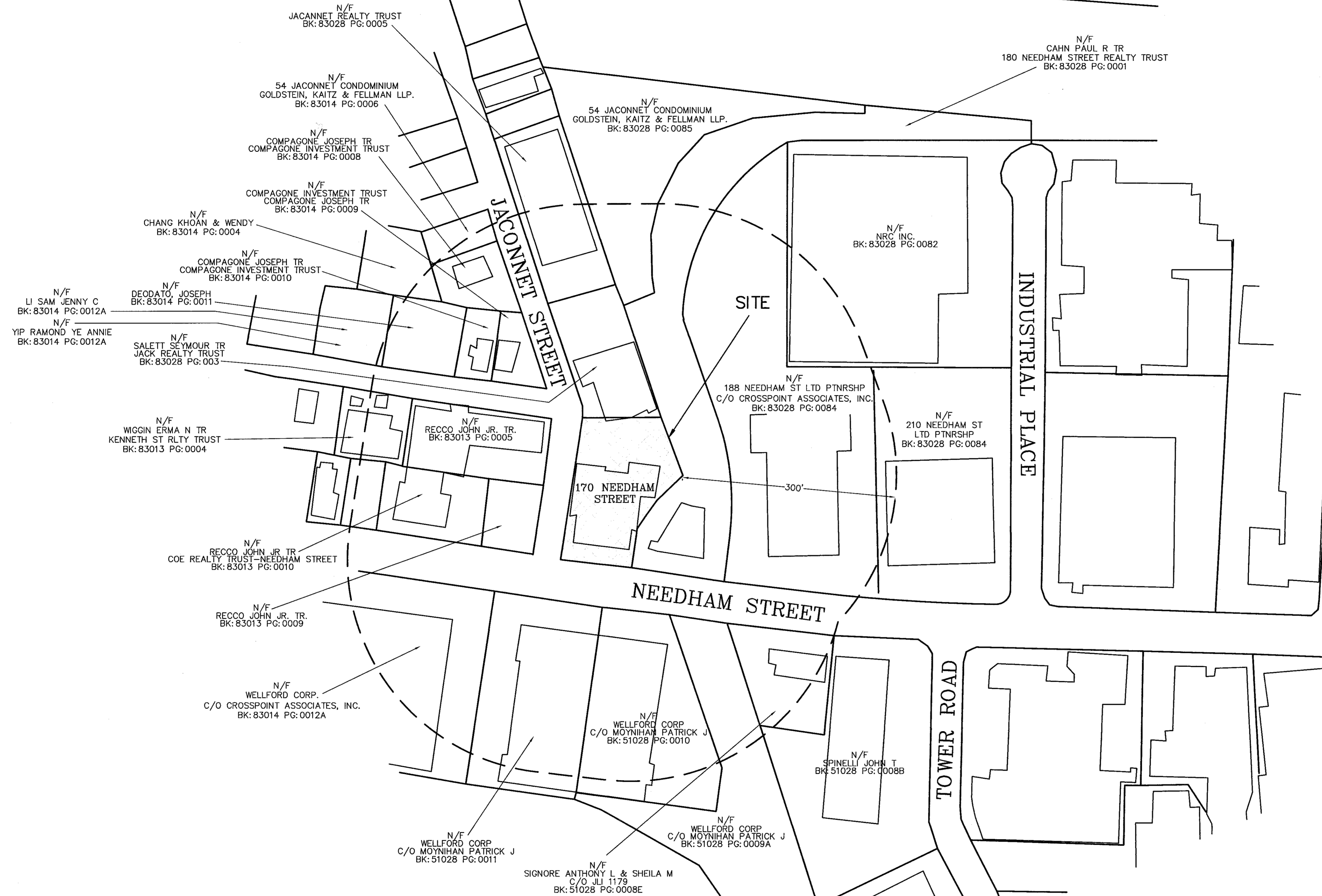
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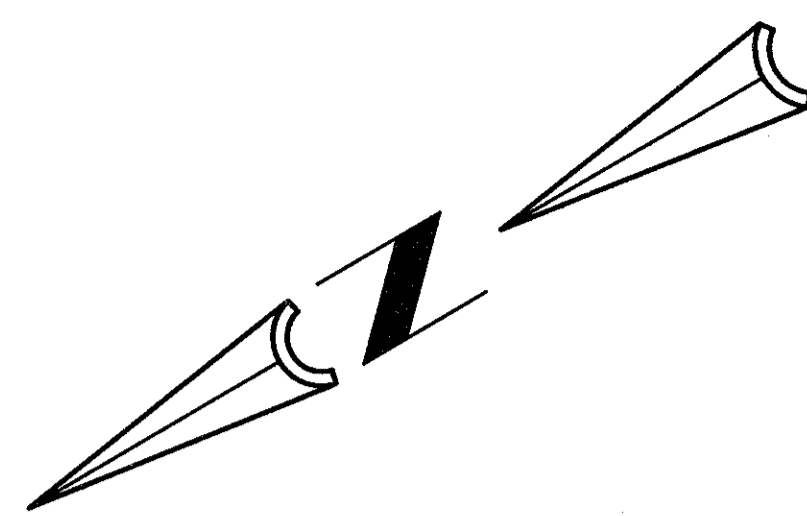
SCALE NA	DISK REF NO. F:\P\2013-028
DATE 06/26/13	DRAWN BY C.J.L.
SHEET 1 OF 6	CHKD BY DAM
PLAN NO. 2013-028-TS00	APPD BY DNK

170 NEEDHAM ST. NEWTON, MA		KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS 0 CAMPANELLI DRIVE • BRAintree, MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028
SHEET NO. 1		



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SCALE 1" = 80'			
DATE 06/26/13	REV	DATE	REVISION
SHEET 2 OF 6	NEEDHAM CHESTNUT REALTY, LLC 170 NEEDHAM STREET NEWTON, MASSACHUSETTS		
PLAN NO. 028-M-LOCUS	LOCUS PLAN		
DISK REF NO. F:\P\2013-028	SHEET NO. 2		
DRAWN BY G/L	KELLY ENGINEERING GROUP CIVIL ENGINEERING CONSULTANTS		
CHKD BY DAM	40 PEARL STREET · BRAINTREE MA · 02184		
APPD BY DNK	PHONE: 781 843 4333 FAX: 781 843 0028		



KENNETH STREET
(40' WIDE)

N/F JOHN RECCO JR. TR.

JACONNET STREET
(PRIVATE - 40' WIDE)

N/F JACK REALTY TRUST
EXISTING BUILDING

N/F CROSSPOINT ASSOCIATES INC.

LOT AREA =
27,178± S.F.
0.62 AC.

EXISTING BUILDING #170

EXISTING BUILDING (BUILT 1955)

N/F 180 NEEDHAM STREET LLC

NEEDHAM STREET
(PUBLIC - 60' WIDE)

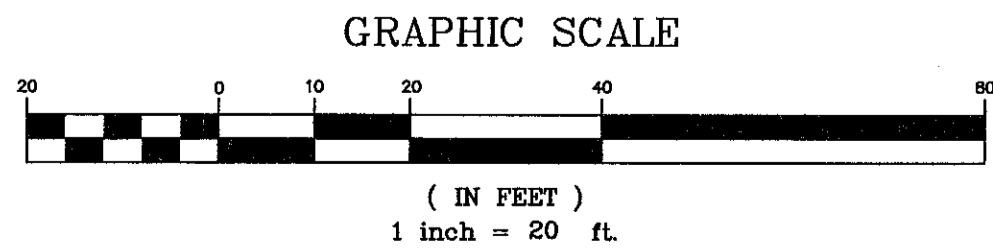
LEGEND	
■	CATCH BASIN
⊙	DRAIN MANHOLE
SD	DRAINLINE
RD	ROOF DRAIN
→	FLOW DIRECTION
⊙	SEWER MANHOLE
SS	SEWER LINE
⊗	WATER VALVE
⊕	HYDRANT
+	WATER LINE
OHE	OVERHEAD ELECTRIC
UGE	UNDERGROUND ELECTRIC
⊠	ELECTRIC METER
⊕	UTILITY POLE
G	GAS LINE
⊗	GAS VALVE
⊠	GAS METER
⊕	TRANSFORMER
⊕	BOLLARD
⊕	LIGHT POLE
VCC	VERTICAL CONCRETE CURB
BCC	BITUMINOUS CONC. CURB
—	SIGN
—	METAL GUARDRAIL
—	RETAINING WALL
L.S.	LANDSCAPED
---	RIVERFRONT LINE
• RB	RIVERFRONT FLAG
x 105.70	SPOT ELEVATION
---	MAJOR CONTOUR
---	MINOR CONTOUR
(R)	RECORD LOCATION

PLAN REFERENCES:

- 1.) SITE PLAN (SPRINKLER - WATER CONNECTION), 170 NEEDHAM STREET, NEWTON, MA REVISION THROUGH 11/14/2001, PREPARED BY CUBELLIS SAIVETZ ASSOCIATES, BRAINTREE, MA.
- 2.) PLAN NO. 1415 OF 1986 RECORDED IN BOOK: 17482 PAGE: END.
- 3.) PLAN NO. 1144 OF 1987 RECORDED IN BOOK: 18470 PAGE: 347.

NOTES:

- 1.) TOPOGRAPHICAL INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY KELLY ENGINEERING GROUP, INC. IN FEBRUARY 2013.
 - 2.) AT THE TIME OF SURVEY, SNOW WAS PRESENT ON THE GROUND.
 - 3.) UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE BASED UPON FIELD LOCATIONS OF VISIBLE STRUCTURES COMBINED WITH AVAILABLE RECORD INFORMATION.
 - 4.) ELEVATIONS SHOWN HEREON ARE BASED ON NGVD DATUM OF 1929.
- THE ELEVATION WAS DETERMINED USING ELEVATION REFERENCE MARK "RM 15"... (NORTH NUT OF HYDRANT NEAR POLE 85 ON SOUTH SIDE JACONNET STREET, OPPOSITE INTERSECTION OF KENNETH STREET), AS SHOWN OF FLOOD INSURANCE RATE MAP, FOR THE CITY OF NEWTON, MA, DATED JUNE 4, 1980, COMMUNITY-PANEL NUMBER 250208 0004 D.

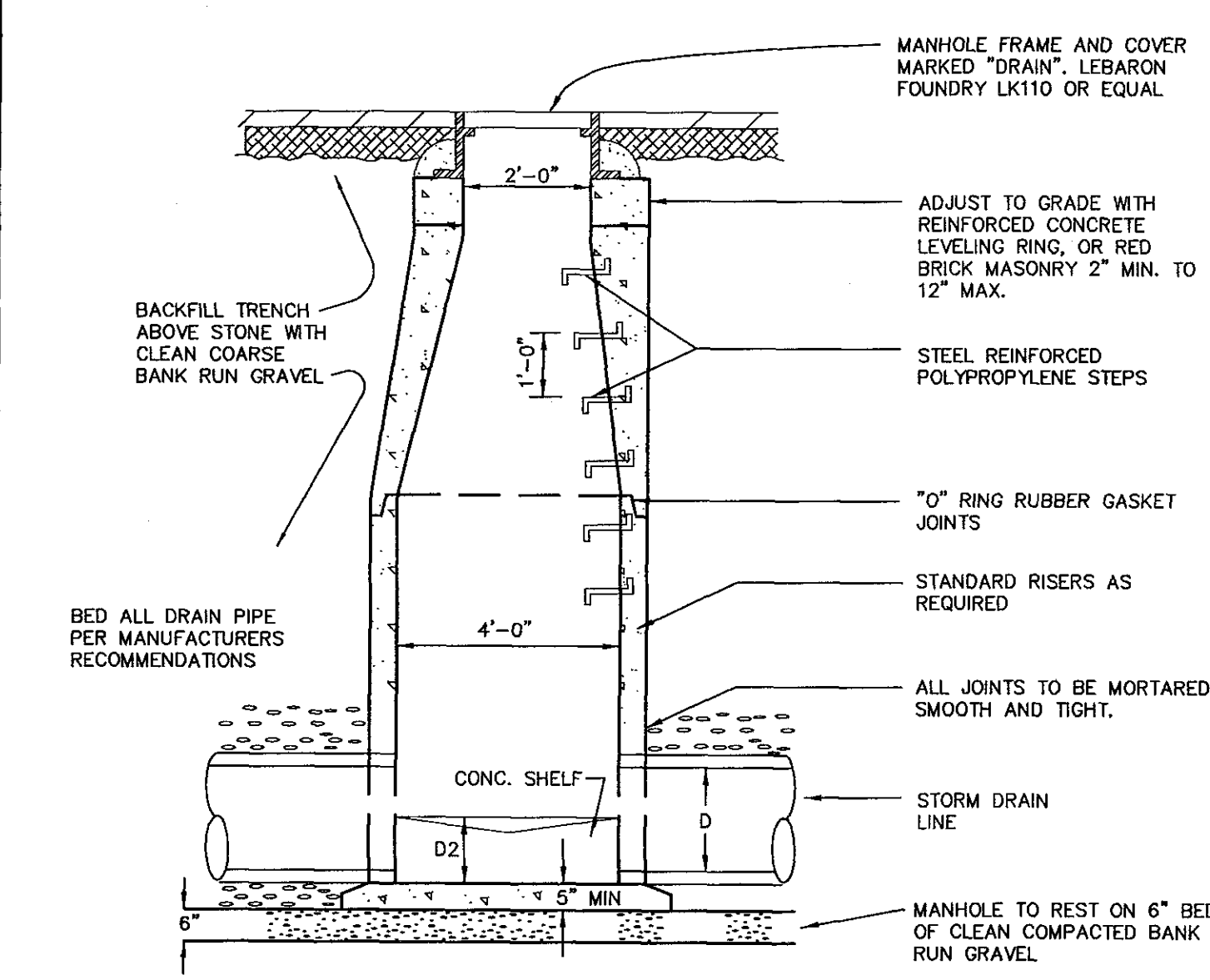


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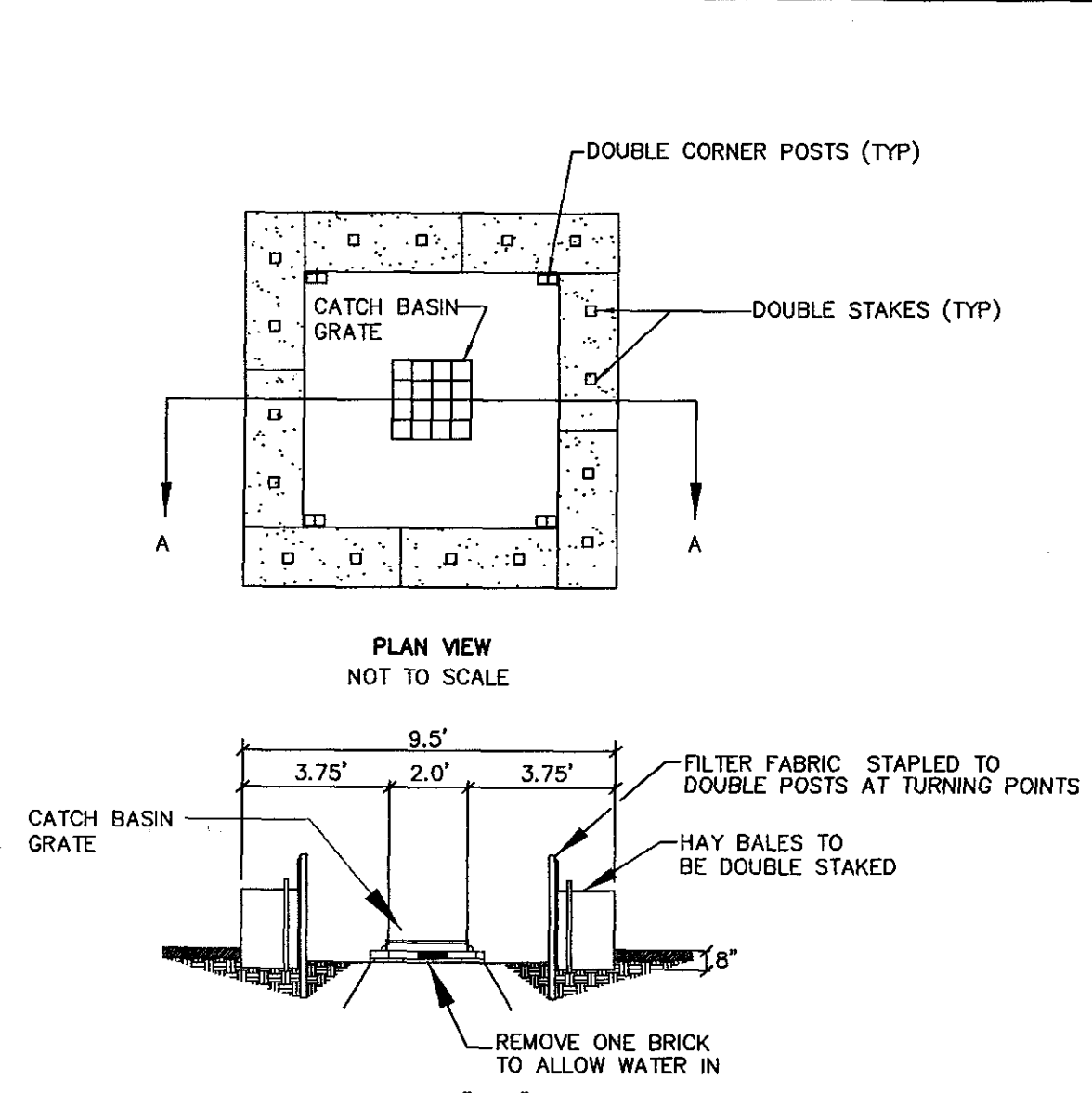
SCALE 1" = 20'			
DATE 06/26/13	REV	DATE	REVISION
SHEET 3 OF 6	NEEDHAM CHESTNUT REALTY, LLC 170 NEEDHAM STREET NEWTON, MASSACHUSETTS		
PLAN NO. 2013-028-SU00	EXISTING CONDITIONS PLAN		
DISK REF NO. F:\P\2013-028	DRAWN BY JFM		
CHKD BY DAM	KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS		
APPD BY SMH	0 CAMPANELLI DRIVE • BRAINTREE MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028		

STEVEN M. HORSFALL
No. 41838
6-25-13

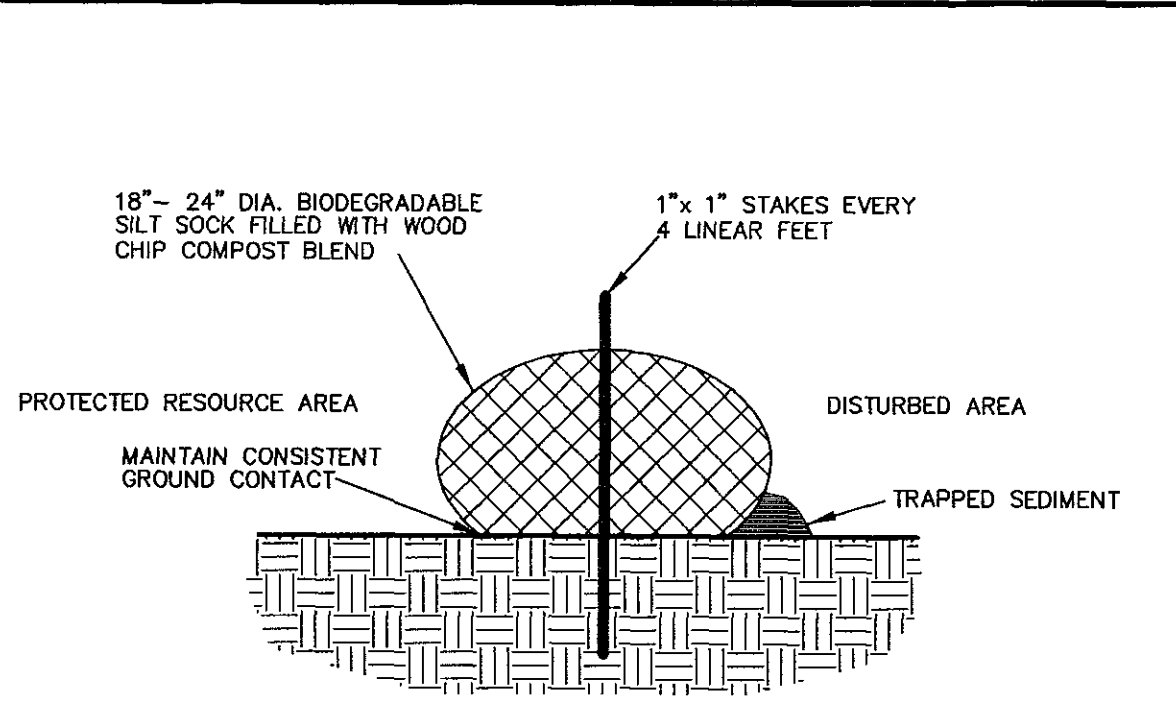
SHEET NO.
3



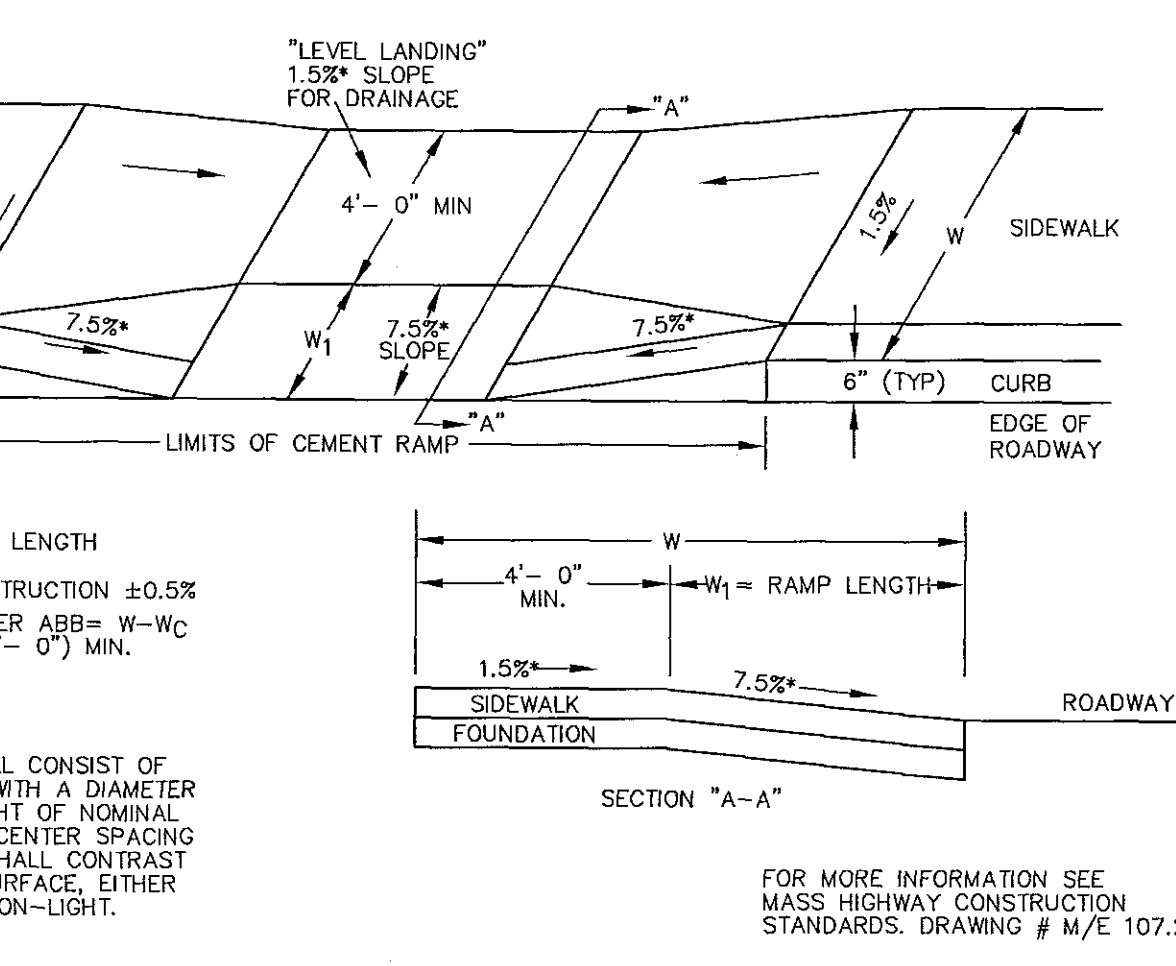
PRECAST DRAIN MANHOLE DETAIL
 NOT TO SCALE (PRECAST-DRAIN-MANHOLE) KELLY ENGINEERING GROUP, INC. ©



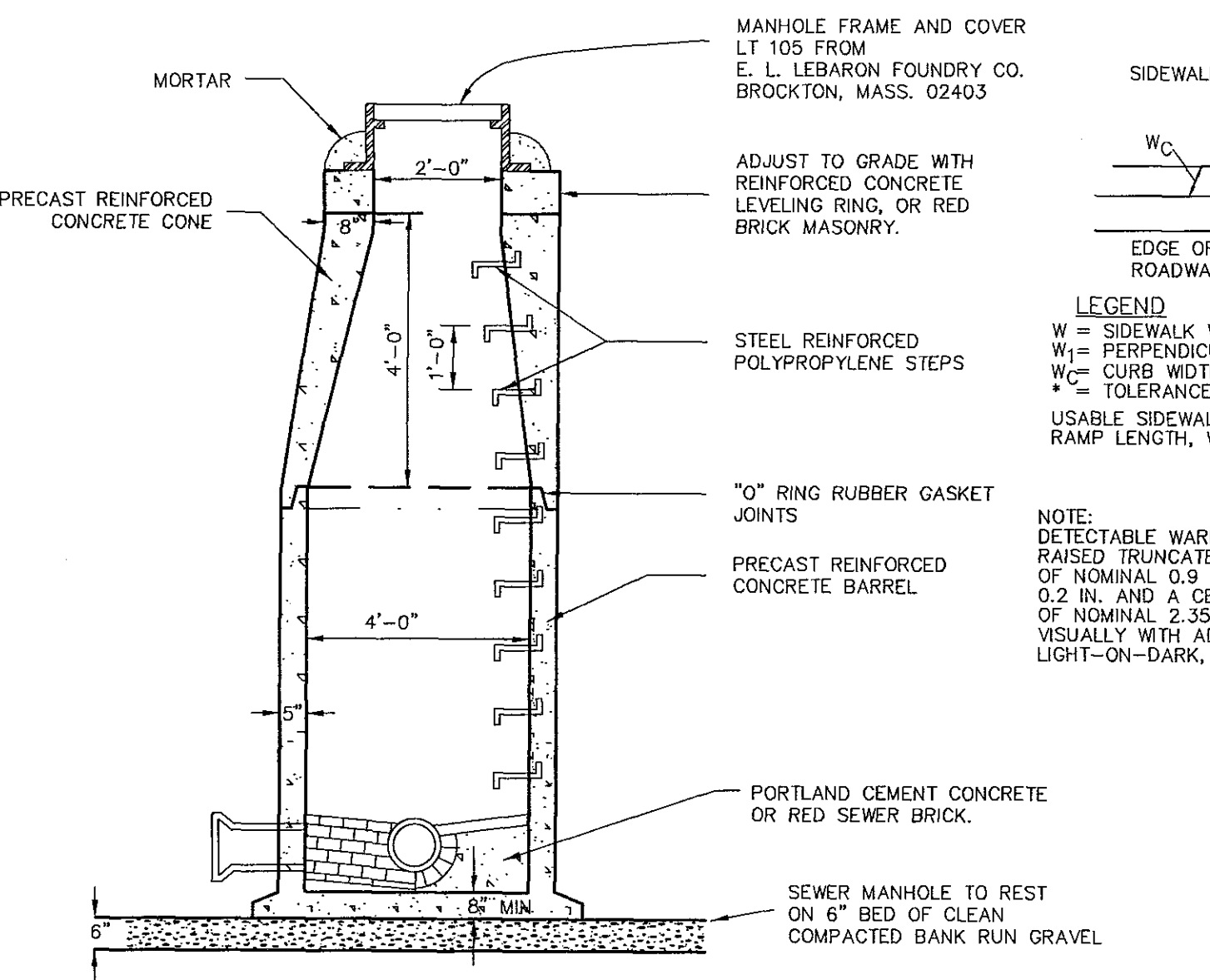
HAYBALE DIKE DETAIL
 (HAYBALE-INSTALL-DETAIL) NOT TO SCALE KELLY ENGINEERING GROUP, INC. ©



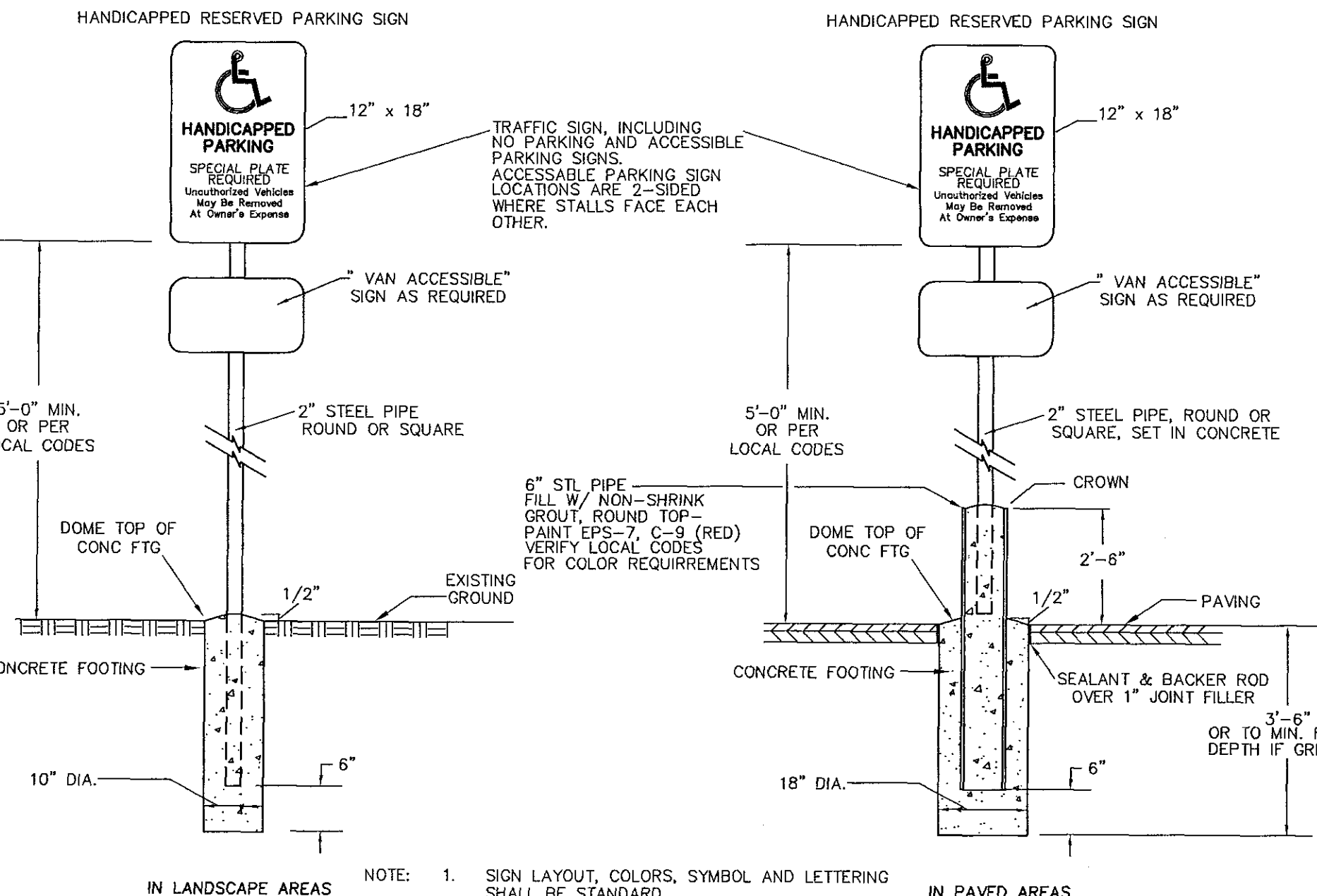
SILT SOCK LINE DETAIL
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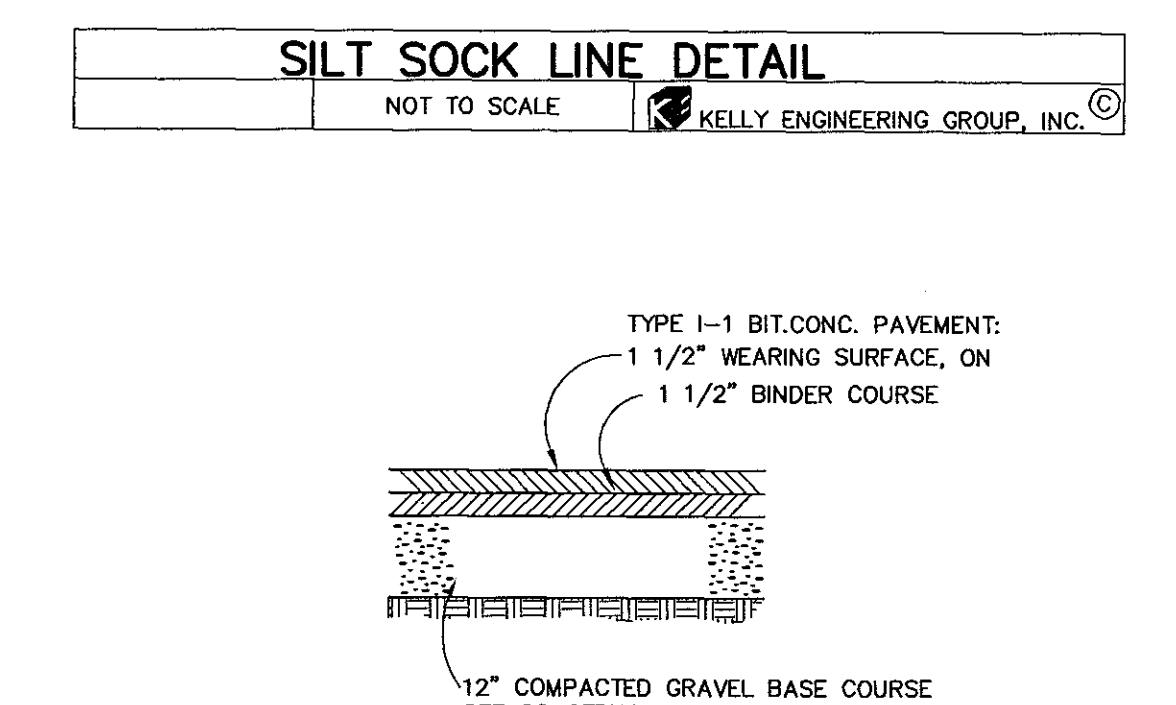
WHEELCHAIR RAMPS
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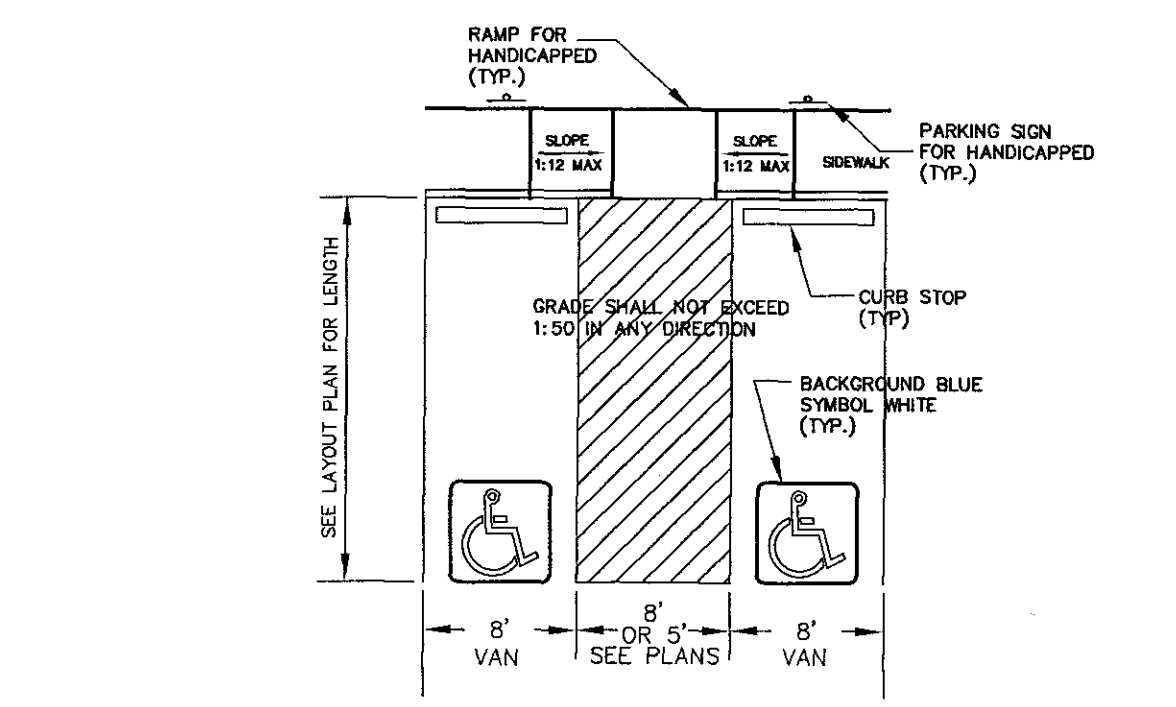
SEWER MANHOLE DETAIL
 NOT TO SCALE (SEWER-MANHOLE) KELLY ENGINEERING GROUP, INC. ©



HANDICAP SIGN DETAIL
 (HND-PARK-DETAIL) NOT TO SCALE KELLY ENGINEERING GROUP, INC. ©



BITUMINOUS CONCRETE PAVEMENT (STANDARD)
 (PAVEMENT-SECTION-DETAIL) NOT TO SCALE KELLY ENGINEERING GROUP, INC. ©



HANDICAP PARKING DETAIL
 (HND-PRK-DETAIL) NOT TO SCALE KELLY ENGINEERING GROUP, INC. ©

CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY AND WATER CONNECTIONS.
3. REFER TO ELECTRICAL PLANS FOR THE LIGHTING CIRCUITS, FIXTURE DETAIL AND BUILDING CONNECTION LOCATION.
4. ALL WORK SHALL CONFORM TO AN ORDER OF CONDITIONS TO BE ISSUED BY THE CITY OF NEWTON.
5. ALL WORK SHALL CONFORM TO AN ORDER OF CONDITIONS TO BE ISSUED BY THE CITY OF NEWTON.
6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-888-344-7233.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSION AND DOOR LOCATIONS.
9. REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY AND WATER CONNECTIONS.
10. ALL H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. SEWER SHALL BE 30" WITH RUBBER RING JOINTS. WATER LINES SHALL BE CL 52 D.I.P. (DUCTILE IRON PIPE), REINFORCED CONCRETE PIPE RCP SHALL BE CLASS III.
11. NO LEDGE, BOULDERS, OR OTHER UNDESIRABLE MATERIALS ARE TO BE LEFT WITHIN 6" OF THE SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
12. WALKS SHALL BE 4" THICK AND SHALL BE CONSTRUCTED ON 6" OF COMPACTED BANK GRAVEL. CONCRETE FOR WALKS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 P.S.I. WALKS SHALL BE REINFORCED WITH W/M 6x6 W1.4/W1.4 CONFORMING TO ASTM A184.
13. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M.D.S.T. WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL. PULVERIZED MATERIAL MAY BE USED AS BASE MATERIAL PROVIDED IT MEETS THIS SPECIFICATION. AREAS TO BE REPAIRED SHALL BE PULVERIZED AND REGRADED TO PROVIDE POSITIVE FLOW TO DRAINAGE AND AWAY FROM BUILDING. PAVE WITH 1 1/2" WEARING COURSE ON 1 1/2" BINDER COURSE. ALL VALVES, BOXES, MANHOLES AND OTHER UTILITIES APPURTENANCES SHALL BE ADJUSTED TO CONFORM TO FINAL GRADE.
14. TRANSFORMER PAD SHALL BE INSTALLED PER PROVIDER'S SPECIFICATIONS. CONCRETE PADS SHALL BE INSTALLED PER MANUFACTURING SPECIFICATIONS.
15. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE 1-1.
16. THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID OUT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE", 1988 EDITION, SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, AS SPECIALLY SET FORTH IN SECTION 460.2D AND 460.8C.
17. DUMPSTER PAD SHALL BE 8" THICK REINFORCED CONCRETE SLAB WITH CONTROL JOINTS EVERY 10'. THE PAD SHALL BE CONSTRUCTED OVER 6" OF GRAVEL. BASE COMPACT TO 95% REINFORCEMENT SHALL BE W/M 6x6-2 W1.4 PLACED AT THE CENTER OF THE SLAB. THE FRONT END OF CONCRETE PAD SHALL HAVE EMBEDDED A 6"x 6"x 3/8" STEEL ANGLE.
18. THE DOLLY PADS SHALL BE 6" THICK REINFORCED CONCRETE SLABS WITH CONTROL JOINTS EVERY 10' AND ISOLATION JOINTS WHERE SLAB ADJUTS BUILDING. THE PADS SHALL BE CONSTRUCTED OVER 12" OF GRAVEL. BASE COMPACTED TO 95% REINFORCEMENT SHALL BE W/M 6x6-2 W1.4 PLACED AT CENTER OF SLAB.
19. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS, BUTT NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN AND TACK COAT THE JOINT.
20. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1 1/2" WEARING COURSE OVERLAYING A 1 1/2" BINDER COURSE OVERLAYING A 12" COMPACTED GRAVEL BASE COURSE.
21. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 100 POUNDS OF GROUND LIME/STONE PER 1,000 S.F. OF AREA PLANTED. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE FERTILIZED WITH 10-10-10 AT THE RATE OF 1,000 POUNDS PER ACRE OR AS REQUIRED BY SOIL TEST. 40% OF THE NITROGEN SHALL BE ORGANIC FORM.
22. ALL LANDSCAPED AREAS TO BE LOAMED AND SEEDED SHALL HAVE THE FOLLOWING MIX:
 PERENNIAL RATE 25%
 CREEPING RED FESCUE OR PENNUN FESCUE 50%
 SEED AT THE RATE OF 5#/1,000 S.F.
23. ALL AREAS INDICATED TO BE LOAMED AND SEEDED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SOIL STABILITY UNTIL VEGETATION IS ESTABLISHED.
24. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEANUP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
25. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES AROUND DRAINAGE INLETS, MULCHING AND PLANTING OF DISTURBED AREAS.
26. PRIOR TO THE COMMENCEMENT OF ANY OTHER WORK A SILT SOCK SHALL BE INSTALLED IN EACH EXISTING DRAINAGE INLET.
27. AFTER INSTALLATION OF EACH DRAINAGE INLET A SILT SOCK SHALL BE INSTALLED IN EACH INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
28. AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
29. DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE CLEANED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.
30. STABILIZATION MEASURES (SEEDING OR PLANTING, APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT) OF EXPOSED SOILS SHALL BEGIN AS SOON AS PRACTICABLE AND IMMEDIATELY AFTER EARTH-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED. STABILIZATION TO BE COMPLETED WITHIN 14 DAYS.
31. SILT SOCKS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF ALL STOCK PILES.
32. SPARE EROSION/SEDIMENT CONTROL MATERIALS SHALL BE AVAILABLE ON SITE FOR USE IN EMERGENCY CONDITIONS OR AT THE DIRECTION OF HANOVER'S CODE ENFORCEMENT PERSONNEL.
33. ALL STORM DRAIN INLETS SHOWN TO BE ABANDONED SHALL BE ABANDONED AS FOLLOWS SUCH THAT THE TOPS ARE NO LESS THAN 3" FROM FINISHED GRADE:
 (A) PRECAST DRAINAGE INLETS SHALL HAVE THE GRATE, FRAME AND CONE SECTION REMOVED. THE STORM DRAIN PIPE SHALL BE PLUGGED USING BRICK AND MORTAR AND THE REMAINING STRUCTURE SHALL BE BACK FILLED AND COMPACTED, OR THE ENTIRE STRUCTURE SHALL BE REMOVED AND REMAINING VOID SHALL BE BACKFILLED AND COMPACTED.
 (B) BLOCK DRAINAGE INLETS SHALL BE GRATE AND FRAMED REMOVED AND THE STORM DRAIN PLUGGED AS IN (A) ABOVE. THE STRUCTURE SHALL THEN BE CRUSHED, BACKFILLED AND COMPACTED.
34. ALL STORM DRAINS TO BE ABANDONED WHICH ARE WITHIN 3' OF FINISHED GRADE SHALL BE REMOVED. ALL OTHERS SHALL BE PLUGGED AT EACH END.

PAVEMENT MATCH SAWCUT DETAIL
 (PAV-SAWCUT-DETAIL) NOT TO SCALE KELLY ENGINEERING GROUP, INC. ©

VERTICAL GRANITE CURB DETAIL
 NOT TO SCALE (VERT-GRANITE-CURB-DETAIL-1) KELLY ENGINEERING GROUP, INC. ©

INTEGRAL SIDEWALK/ CURB DETAIL
 NOT TO SCALE (INTEGRAL-SIDEWALK-CURB) KELLY ENGINEERING GROUP, INC. ©

CONCRETE WALK DETAIL
 (CON-WALK-DETAIL) NOT TO SCALE KELLY ENGINEERING GROUP, INC. ©

UTILITY ABANDONMENT NOTES

1. ALL EXISTING UTILITIES WITHIN THE FOOTPRINT OF THE PROPOSED BUILDING AND WITHIN 12' OF THE FOOTPRINT SHALL BE REMOVED UNLESS OTHERWISE NOTED.
 2. SUBSIDE THE FOOTPRINT
 1. ALL STORM DRAIN INLETS AND OTHER SEWER STRUCTURES SHOWN TO BE ABANDONED SHALL BE ABANDONED AS FOLLOWS SUCH THAT THE TOPS ARE NO LESS THAN 3" FROM FINISHED GRADE:
 (A) PRECAST DRAINAGE INLETS AND SEWER STRUCTURES SHALL HAVE THE GRATE, FRAME AND CONE SECTION REMOVED. THE STORM DRAIN PIPE SHALL BE PLUGGED USING BRICK AND MORTAR AND THE REMAINING STRUCTURE SHALL BE BACK FILLED AND COMPACTED, OR THE ENTIRE STRUCTURE SHALL BE REMOVED AND REMAINING VOID SHALL BE BACKFILLED AND COMPACTED.
 (B) BLOCK DRAINAGE INLETS AND SEWER STRUCTURES SHALL BE GRATE AND FRAMED REMOVED AND THE STORM DRAIN PLUGGED AS IN (A) ABOVE. THE STRUCTURE SHALL THEN BE CRUSHED, BACKFILLED AND COMPACTED.
 3. ALL STORM DRAINS TO BE ABANDONED WHICH ARE WITHIN 3' OF FINISHED GRADE SHALL BE REMOVED. ALL OTHERS SHALL BE PLUGGED AT EACH END.
 4. ALL UTILITY APPURTENANCES WATER GATES, GAS GATES ETC. SHALL BE ADJUSTED TO MATCH FINISHED GRADE.
 5. ALL TREES WITHIN AREA TO BE REDEVELOPED SHALL BE REMOVED UNLESS OTHERWISE NOTED.

SCALE	N/A
DATE	06/26/13
SHEET	6 OF 6
PLAN NO.	2013-028-DT00
DISK REF NO.	F:\P\2013-028
DRAWN BY	CIL
CHKD BY	DAM
APPD BY	DNK

NEEDHAM CHESTNUT REALTY, LLC
 170 NEEDHAM STREET
 NEWTON, MASSACHUSETTS

DETAIL SHEET

KELLY ENGINEERING GROUP, INC.
 CIVIL ENGINEERING CONSULTANTS
 0 CAMPANELLA DRIVE • BRAintree MA • 02184
 PHONE: 781 843 4333 FAX: 781 843 0028

SHEET NO. 6

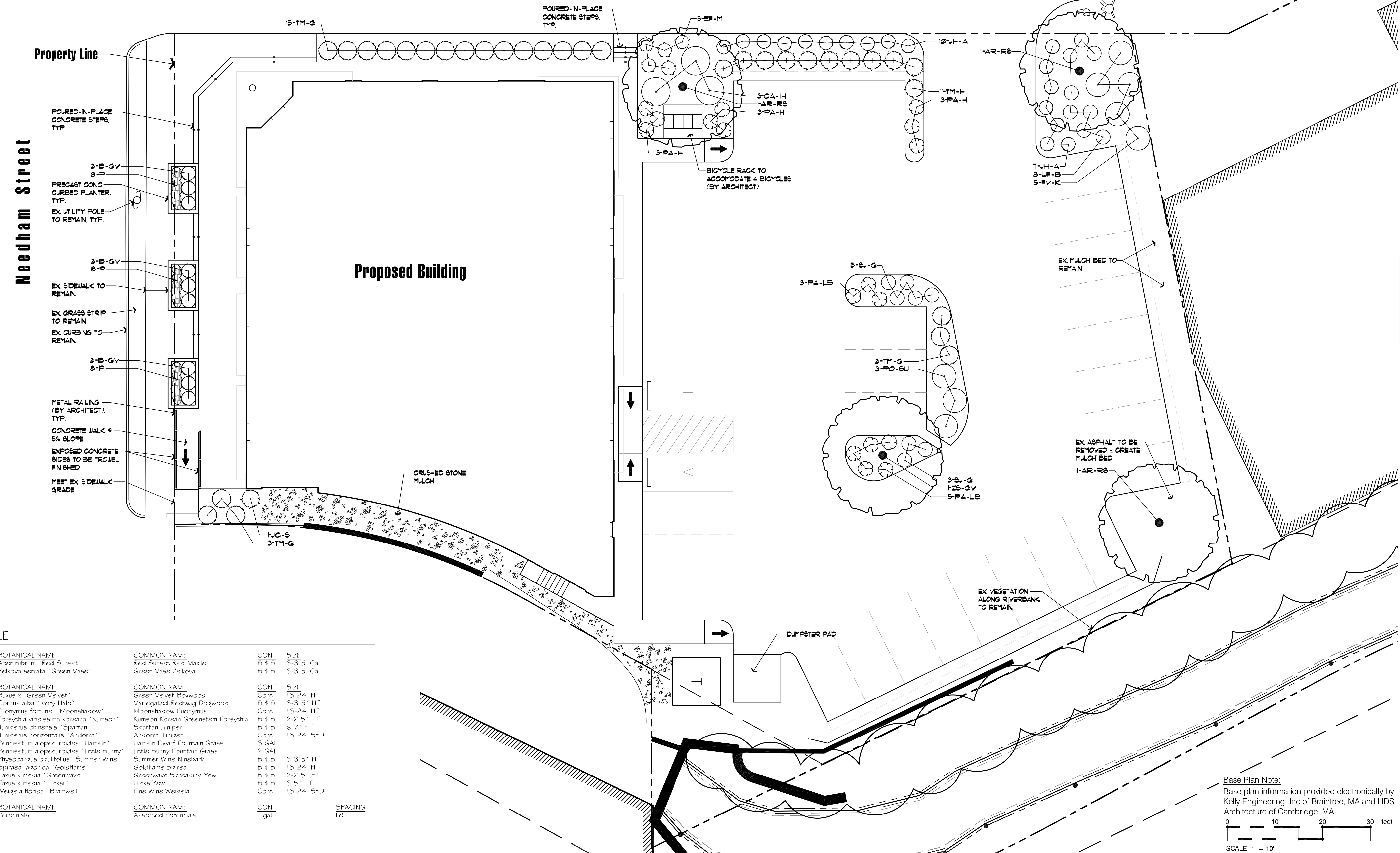
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Parking Facility Landscape Table:

REQUIREMENT:	PROPOSED:
PERIMETER SCREENING ABUTTING A STREET: DENSELY PLANTED SHRUBS AT LEAST 3'-1/2' HIGH AT TIME OF PLANTING AND WILL FORM A YEAR-ROUND SCREEN	11-HICKS YEW AT 35' HT.
PARKING FACILITY INTERIOR LANDSCAPING: AT LEAST ONE 3' CALIPER TREE FOR EVERY 10 PARKING STALLS (33 PARKING STALLS PROPOSED)	4-3' CAL SHADE TREES

Jaconnet Street



PLANT SCHEDULE

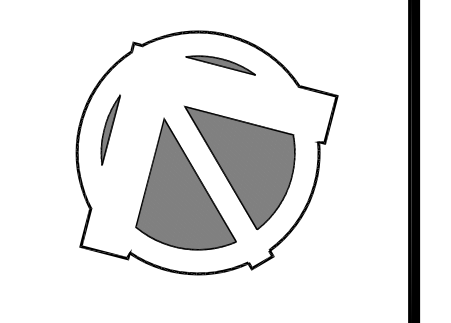
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
AR-RS	3	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	B & B	3-3.5' Cal.
ZS-GV	1	Zelkova serrata 'Green Vase'	Green Vase Zelkova	B & B	3-3.5' Cal.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
B-GV	9	Buxus x 'Green Velvet'	Green Velvet Boxwood	Cont.	18-24" HT.
CA-IH	3	Cornus alba 'Ivory Halo'	Vanedged Redtwig Dogwood	B & B	3-3.5' HT.
EF-M	5	Euonymus fortunei 'Moonshadow'	Moonshadow Euonymus	Cont.	18-24" HT.
FV-K	5	Forsythia viridissima koreana 'Kumson'	Kumson Korean Greenstem Forsythia	B & B	2-2.5' HT.
JC-S	1	Juniperus chinensis 'Spartan'	Spartan Juniper	B & B	6-7' HT.
JH-A	17	Juniperus horizontalis 'Andorra'	Andorra Juniper	Cont.	18-24" SPD.
PA-H	9	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	3 GAL	
PA-LB	8	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	2 GAL	
PO-SW	3	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	B & B	3-3.5' HT.
SJ-G	3	Spiraea japonica 'Goldflame'	Goldflame Spirea	B & B	18-24" HT.
TM-G	21	Taxus x media 'Greenwave'	Greenwave Spreading Yew	B & B	2-2.5' HT.
TM-H	11	Taxus x media 'Hicksii'	Hicks Yew	B & B	3.5' HT.
WF-B	8	Weigela florida 'Bramwell'	Fine Wine Weigela	Cont.	18-24" SPD.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
P	24	Perennials	Assorted Perennials	1 gal	18"

Base Plan Note:
Base plan information provided electronically by Kelly Engineering, Inc of Braintree, MA and HDS Architecture of Cambridge, MA

SCALE: 1" = 10'

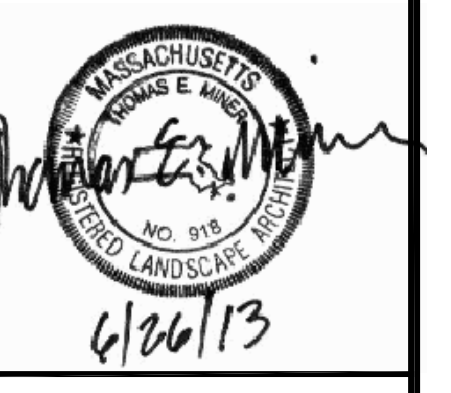
Hawk Design, Inc.
Landscape Architecture
Land Planning
Sagamore, MA
508-833-8800
info@hawkdesigninc.com

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Date: 6/26/13

Revisions:
Num. Date Description



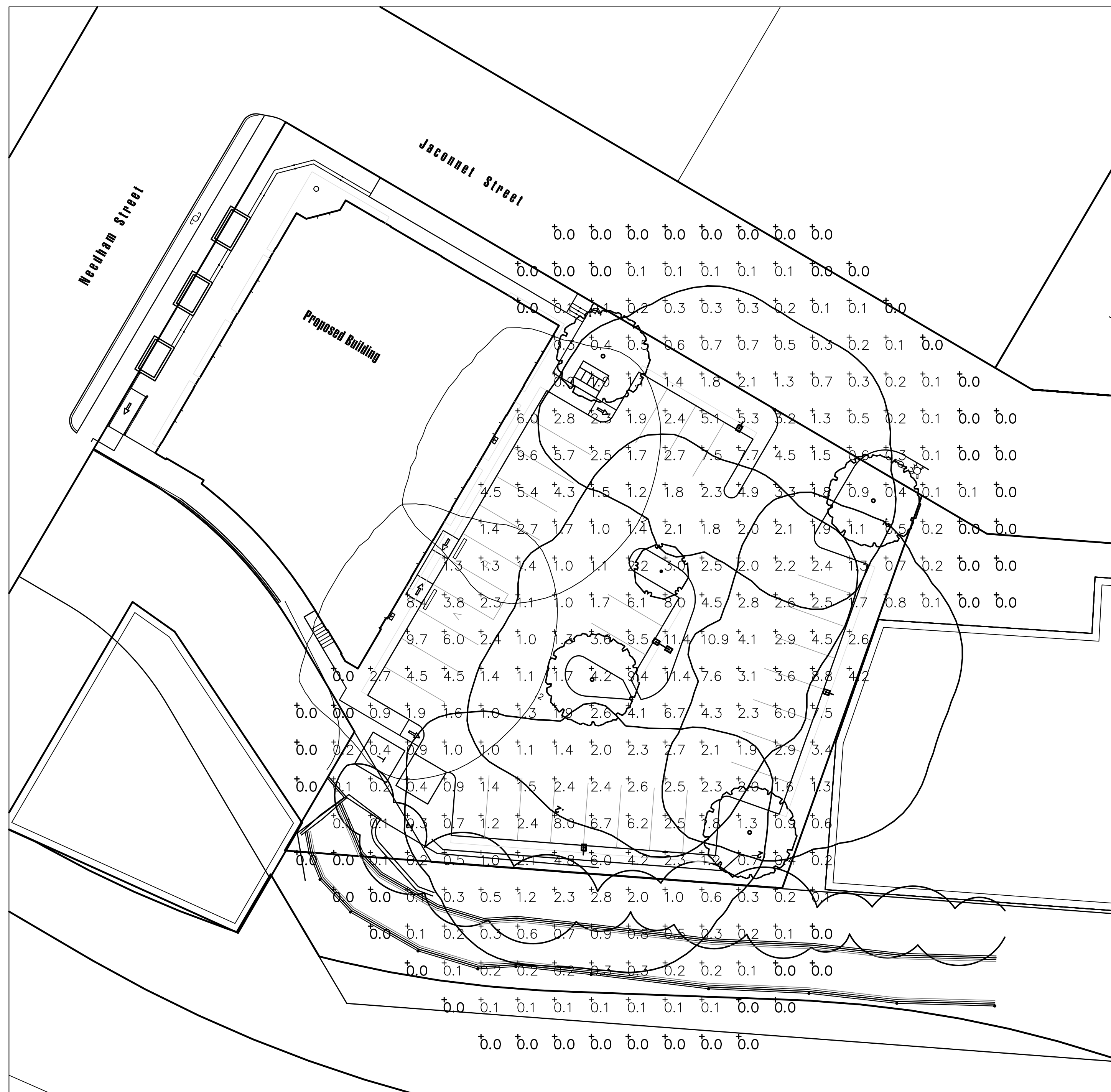
170 Needham Street
Prepared for: Needham Chestnut Realty, LLC
310 Washington Street, Suite 202, Wellesley, MA

Drawn By: BNL Checked By: TM

Planting Plan

Scale: 1" = 10'-0"

Sheet: **L1**



Symbol	Qty	Label	Arrangement	Lumens	Watts	LLF	BUG Rating	Description
	2	A	SINGLE	13000	150	0.830	B3-U0-G1	Hadco PW2, 150w MH, Forward Throw, 15ft Mtg Ht
	3	B	SINGLE	13000	150	0.830	B3-U1-G3	Hadco PA2, 150w MH, Type III, 15ft Pole
	1	C	BACK-BACK	26000	300	0.830	B3-U1-G3	Hadco PA2, 150w MH, Type III, 15ft Pole

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Parking Lot	Illuminance	Fc	3.34	11.40	1.00	3.34	11.40	10ft Grid

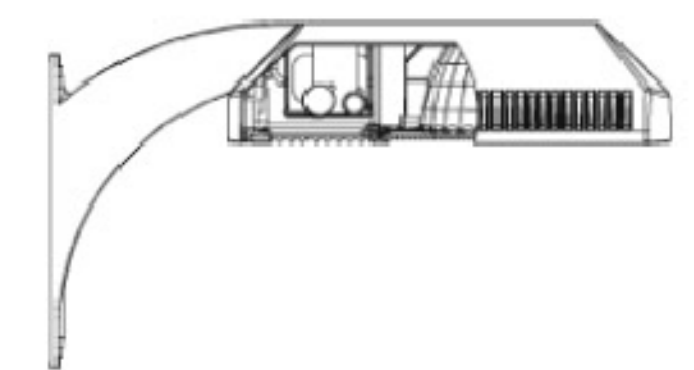
100 Craftway P.O. Box 128 Littlestown, PA 17340 Phone: 717-359-7131 Fax: 717-359-9515 www.hadco.com	Date: 06/25/2013	Project ID# 130624-21-80	REV: B	Issued By: PMD	Program: AGI32 -V2.04 REV01	JOB NAME: 170 Needham St Application Report
	Contact: Robert Stacey - Hurry Associates - 339.200.8377					

PHILIPS HADCO



Profiler (small) (PA2) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	City:



Height:
6' (183cm)
30.78" (78cm)

Max. EPA:
PA2: 0.94 sq. ft.

Max. EPA:
PA2C: 1.10 sq. ft.

Max. Weight:
36 lbs

Ordering Guide
Example: PA2 AT 3 A 2 70S E N

Product Code	PA2	Profiler (small)
Arm	AT C HT S	Adjustable Arm Curved Arm Horizontal Slip Filter Straight Arm
Mounting	3 4 5 6 7 8 W	3" O.D. Round Pole 4" O.D. Round Pole 6" O.D. Round Pole 8" O.D. Round Pole Square Pole Wall Mount
Finish	A B H I	Black White Bronze Gray
Optics	2 3 D F	Type II Type III Forward Throw
Voltage	10S 10SS 50H 70H 100H 150H	70W HPS 100W HPS 50W MH 70W MH 100W MH 150W MH
Voltage	E F G H K J	120V 208V 240V 277V 347V 480V
Options	N A B P G H Q R V	None Air Filter Button Eye Photo Control Fluor Polycarbonate Shield House-Side Shield Quartz Restrike Twist-Lock Photo Control Receptacle Vandal Resistant Latch

*1 Do not specify "Mounting" option with these arms.
 *2 Available with Straight Arm (S) only.
 *3 Not available in 480V (J).
 *4 Not available with Type V (B) or Forward Throw (F) optics.
 *5 Quartz Restrike option is not available in 480V.
 *6 Order pole matched for this fixture.

Specifications

HOUSING: 350 low-sloper die-cast aluminum alloy. Tool-less lamp access. Hinged lens frame is cast aluminum with stainless steel spring latch for tool-less lamp access. A weatherproof ballast assembly isolates the ballast from water and heat for longer life. The optional photo control eye or twist-lock receptacle is located in the ballast enclosure for easy access via a removable door. All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH: Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion clearing process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

ISO 9001:2008 Registered Page 1 of 2
 PHILIPS HADCO Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice. 100 Craftway Drive, Littlestown, PA 17340 | P: +1-717-359-7131 F: +1-717-359-9289 | http://www.hadco.com | Copyright 2013 Philips HW1

Wall Mount Flood Light (PW2) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	City:



Height:
8 1/2" (220mm)
22" (550mm)

Width:
16 1/2" (420mm)

Max. Weight:
36 lbs

Ordering Guide
Example: PW2 D A 2 50S E N

Product Code	PW2	Wall Mount Flood Light
Mounting	D U	Down Up
Finish	A B H I	Black White Bronze Gray
Optics	2 3 F G	Type II Type III Forward Throw Grazing
Voltage	10S 10SS 50H 70H 100H 150H	50W HPS 70W HPS 100W HPS 50W MH 70W MH 100W MH 150W MH
Voltage	E F G H K J	120V 208V 240V 277V 347V 480V
Options	N B P H Q	None Button Eye Photo Control Fluor House-Side Shield Quartz Restrike

*1 Not available with Forward Throw (F) or Grazing (G) optics

Specifications

HOUSING: 350 low-sloper die-cast aluminum alloy. Easy access to lamp. The lens frame assembly mounts to the housing via four (4) captive 1/8"-20 stainless steel screws and two (2) galvanized steel hinges. The optional photo control eye is located in the ballast enclosure for easy access. A weatherproof ballast assembly isolates the ballast from water and heat for longer life. All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH: Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion clearing process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

OPTICAL ASSEMBLY: Type II Cutoff, Type III Cutoff, Forward Throw, Grazing. Precision formed, segmented specular aluminum internal cutoff reflector with horizontal lamp mounting. Reflector is rotatable in 90° increments. Sealed optical chamber. Interchangeable reflectors. Clear tempered flat glass lens.

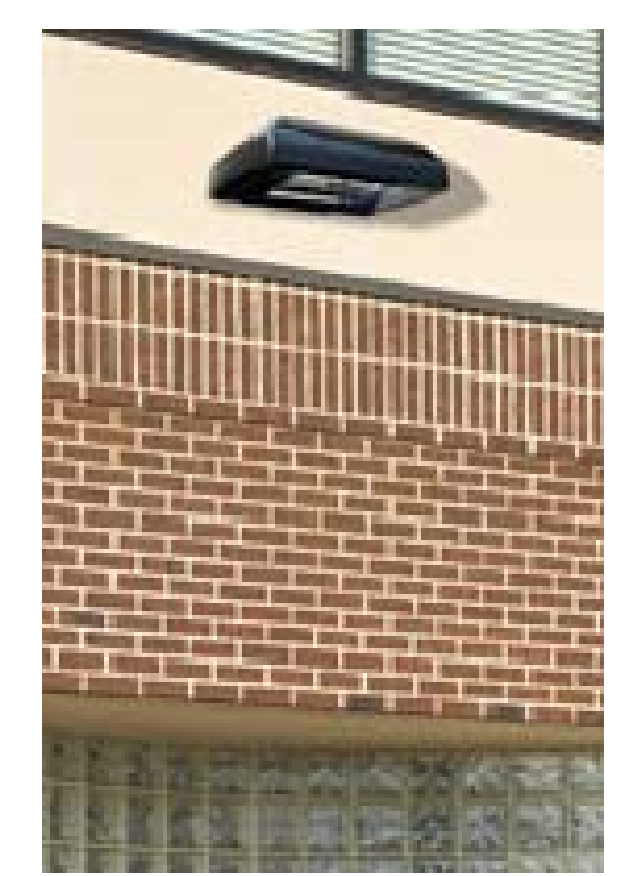
LAMPING: MH and HPS medium base, E17.

ELECTRICAL ASSEMBLY: Ballast assemblies are mounted to an aluminum plate or spinning, which is mounted inside the ballast housing. 48v rated porcelain mini-can base. Nickel-plated screw shell with center contact.

BALLAST: All HID ballasts are core and coil and regulated with power factors better than 90% (PF). Ballast provides +/- 5% to mp power regulation with +/- 10% input voltage regulation. Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at -20° F or -30° C and HPS at -40° F or -40° C. NOTE: All ballasts are EISA / ISE 20 / ISE 24 compliant where applicable.

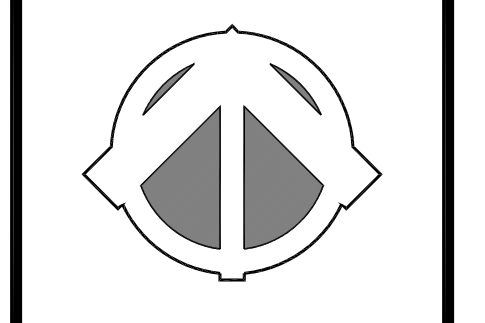
MOUNTING:

ISO 9001:2008 Registered Page 1 of 2
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Date: 6/26/13

Revisions:
 Num. Date Description

Robert Stacey
 6/26/13

170 Needham Street
 Prepared for: Needham Chestnut Realty, LLC
 310 Washington Street, Suite 202, Wellesley, MA

Drawn By: BNL Checked By: TM

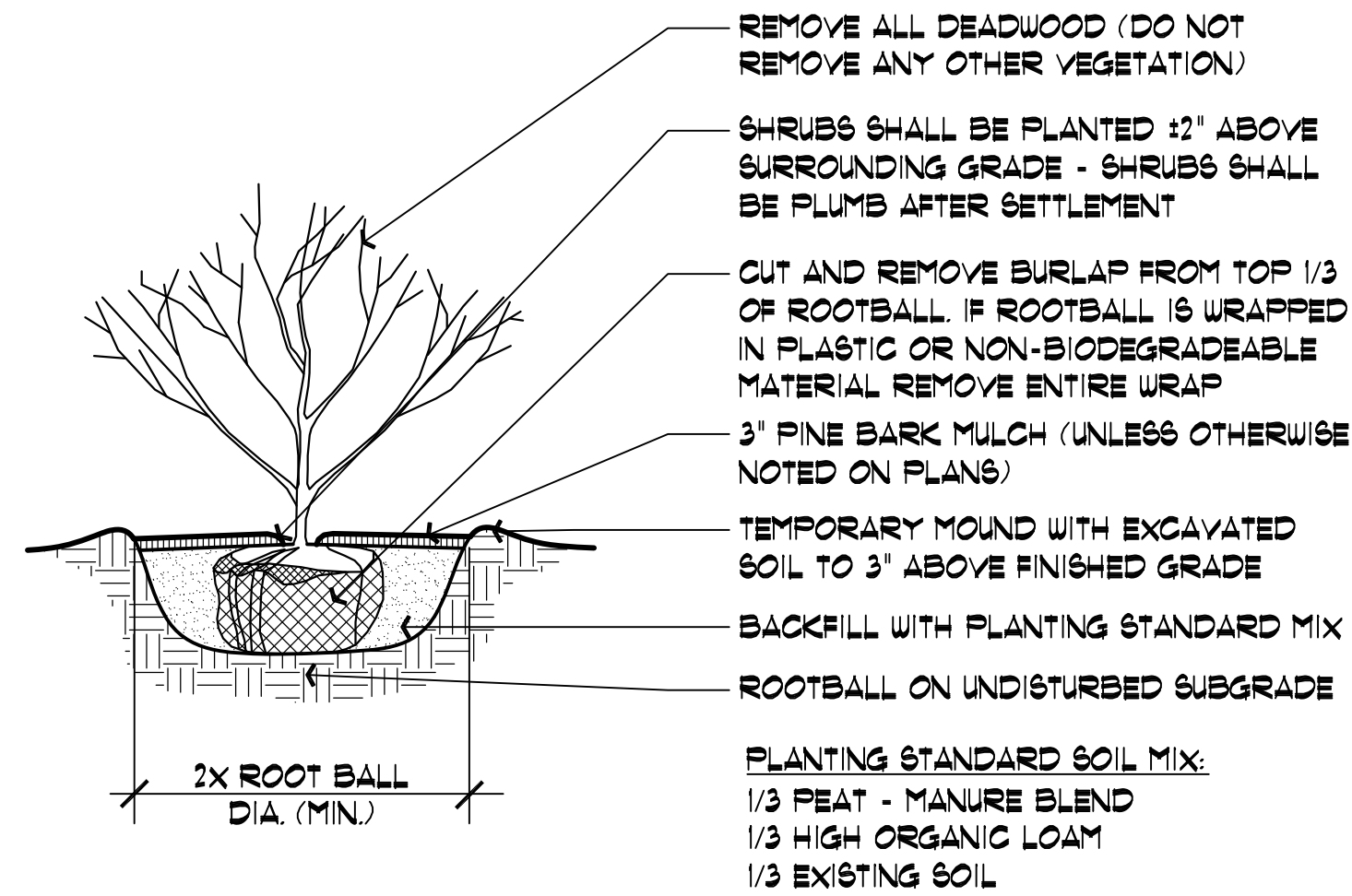
Lighting Plan

Scale: 1" = 20'-0"

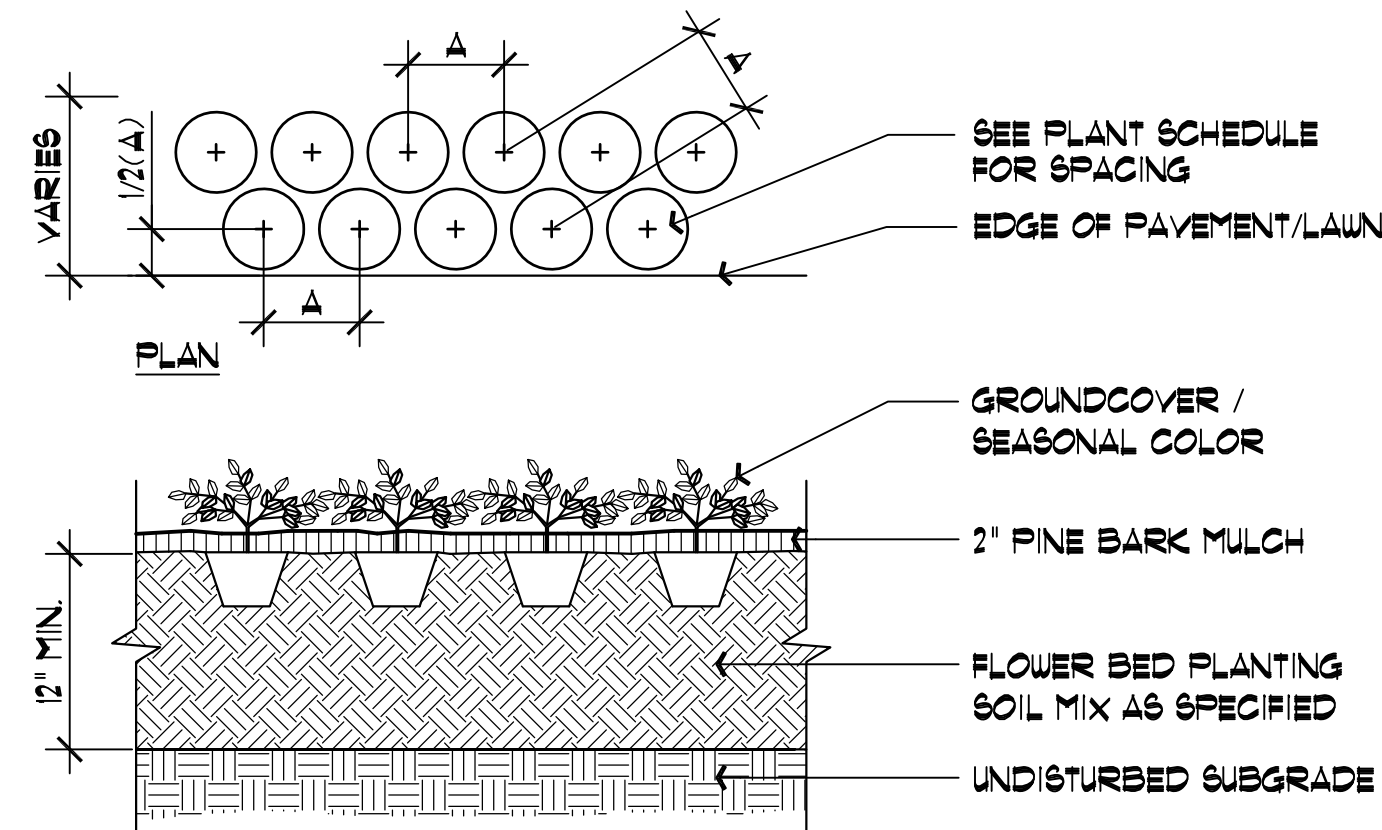
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Base Plan Note:
 Base plan information provided electronically by Kelly Engineering, Inc of Braintree, MA and HDS Architecture of Cambridge, MA

SCALE: 1" = 20'



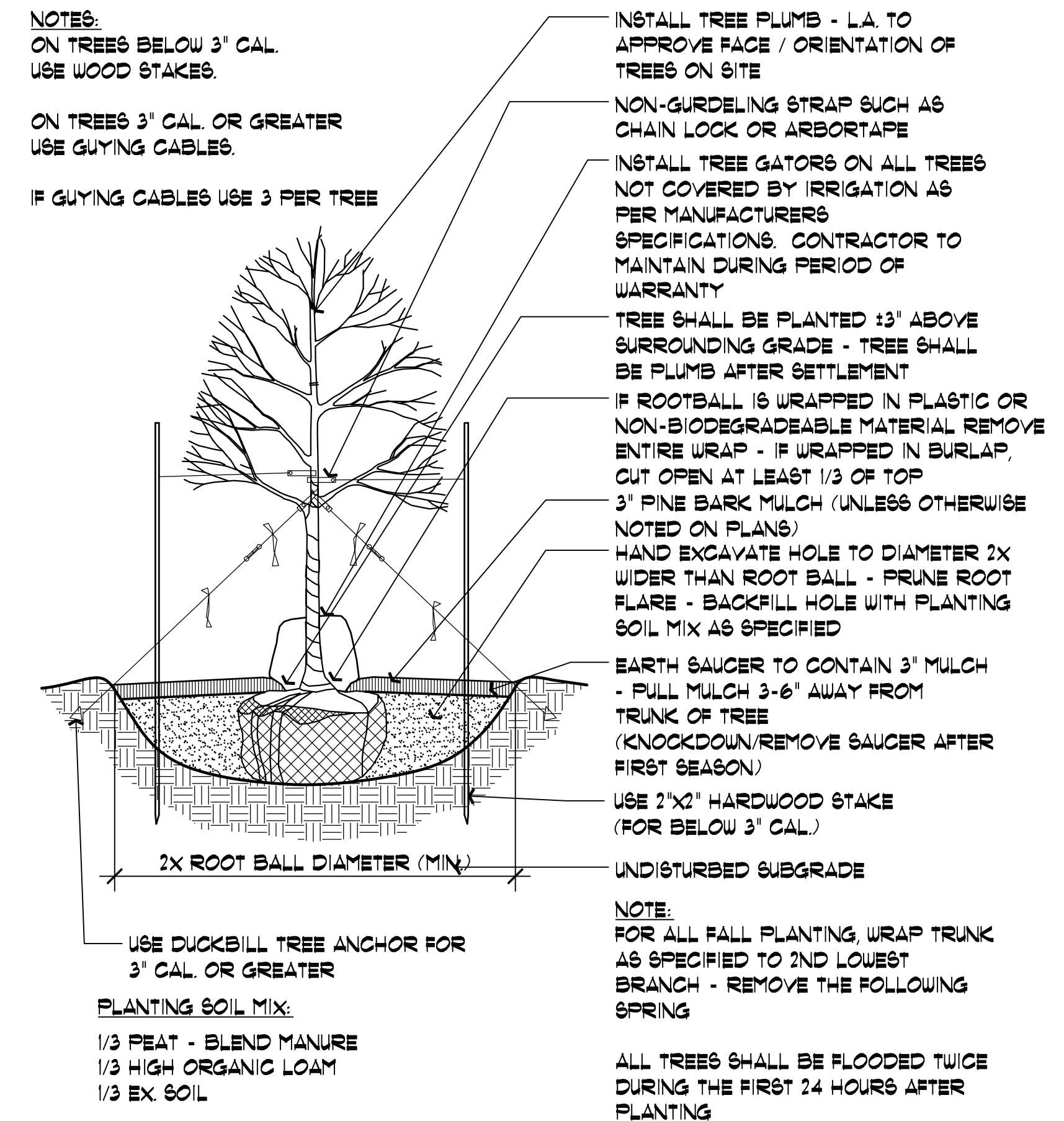
SHRUB DETAIL
NTS



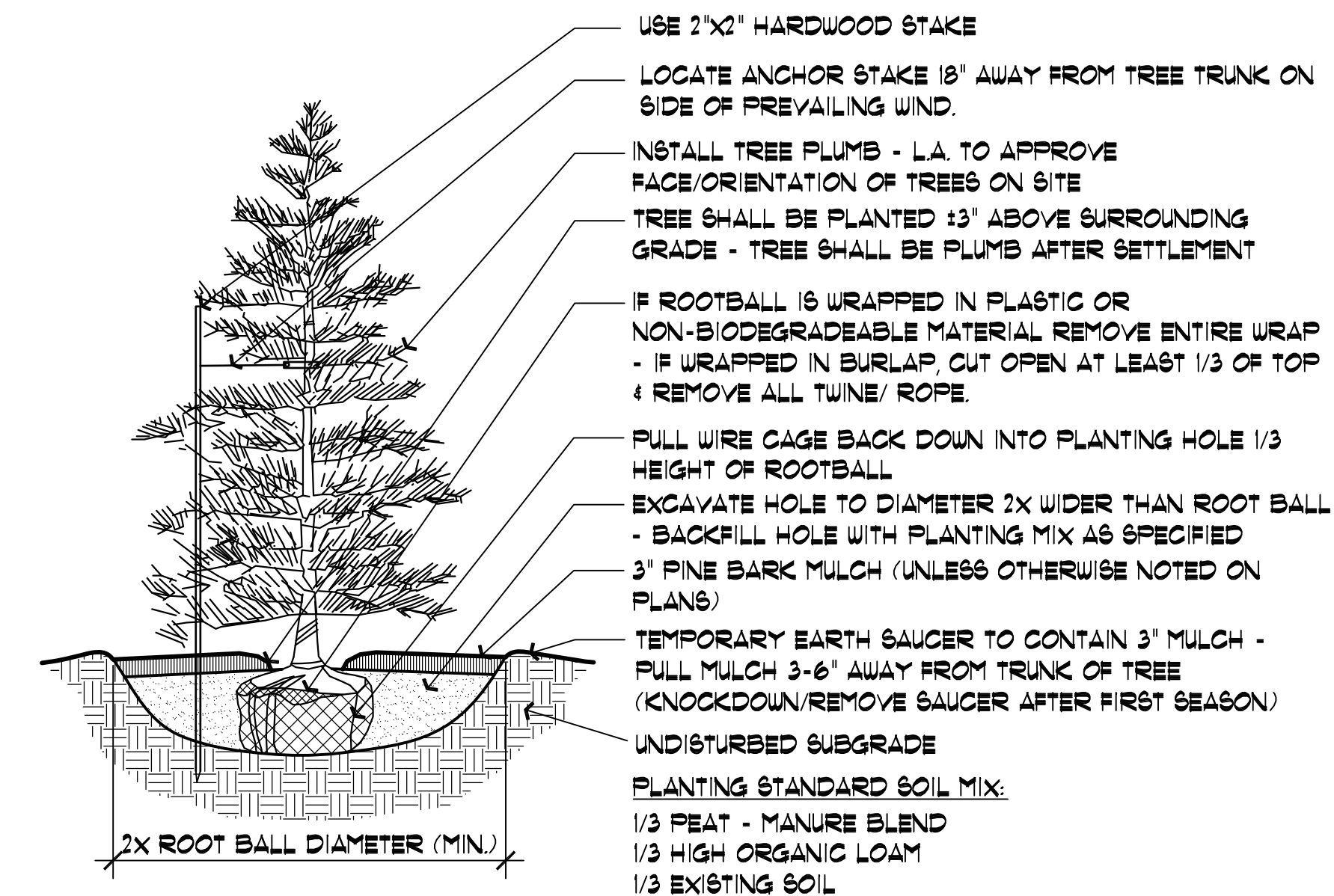
SEASONAL COLOR / PERENNIAL / GROUNDCOVER PLANTING
NTS

SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOIL & SEED	6"	6" SCREENED LOAM



SHADE / FLOWERING TREE DETAIL
NTS

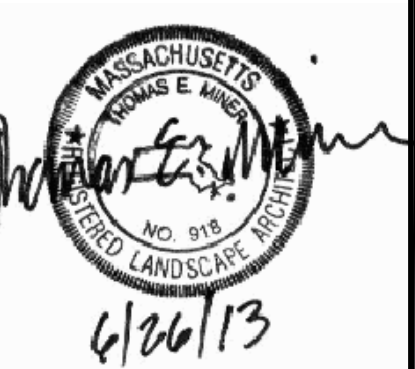


EVERGREEN TREE DETAIL
NTS

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Date: 6/26/13

Revisions:
 Num. Date Description



170 Needham Street
 Prepared for: Needham Chestnut Realty, LLC
 310 Washington Street, Suite 202, Wellesley, MA

Drawn By: BNL Checked By: TM

Planting Details

Scale: As Noted

Sheet: **D1**

1.0 GENERAL LANDSCAPE NOTES

1.1) CONTRACTOR REQUIREMENTS:

A) ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS FROM ALL FEDERAL, STATE AND LOCAL AUTHORITIES.

B) THE CONTRACTOR SHALL ARRANGE FOR AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE COMPLETE WORK SPECIFIED HEREIN AND SHOWN ON ALL THE DRAWINGS. THE CONTRACTOR SHALL PAY FOR ANY FEES NOT WAIVED.

1.2) UTILITIES:

A) LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION ON THE SITE. IF ANY WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, THE APPROPRIATE AUTHORITY OF THAT UTILITY MUST BE NOTIFIED OF THE IMPENDING WORK.

B) UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY INSTALLATION. ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACCOMMODATE UTILITY LOCATIONS. REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

C) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES DONE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1.3) PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS WORK COMPLETED BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN KIND RESULTING FROM THEIR FAILURE TO COMPLY.

1.4) QUANTITIES: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES, AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANT IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLAN SHALL GOVERN. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNLABELED PLANTS IN PLAN FOR CORRECTION. THE LANDSCAPE ARCHITECT SHALL BE ALERTED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION.

1.5) APPLICABLE PLANT MATERIALS STANDARDS: ALL PLANT MATERIALS ARE TO COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN. PLANTING METHODS WILL BE IN ACCORDANCE WITH SITE-SPECIFIC REQUIREMENTS.

1.6) PLANT HARDINESS: ALL TREES AND SHRUBS SHALL BE NURSERY GROWN WITHIN A USDA PLANT HARDINESS ZONE, WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.

1.7) PLANTING SEASONS: PLANTING SHALL ONLY OCCUR DURING SPECIFIED SEASONS. SPRING SEASON SHALL BE FROM MARCH 1 TO JUNE 15. FALL PLANTING SEASON SHALL BE FROM SEPTEMBER 15 THROUGH NOVEMBER 15. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

1.8) PLANT SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASON FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIALS SHALL STATE THE NAMES OF NURSERIES THAT HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.

1.9) THE LANDSCAPE ARCHITECT SHALL RESERVE THE RIGHT TO INSPECT ALL PLANT MATERIALS AT THE NURSERY, UPON SITE DELIVERY AND DURING INSTALLATION TO INSURE SPECIFICATIONS AND PROCEDURES ARE ADHERED TO.

1.10) MINIMUM SIZES: ALL PLANTS 3' OR GREATER IN HEIGHT OR SPREAD SHALL BE BALLED AND BURLAPPED. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUMS ON WHICH THE PLANTS ARE TO BE JUDGED.

1.11) DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY, AND REPLACED WITH THE SAME PLANT & SIZE REGARDLESS OF SEASON, WEEKLY FROM THE JOB BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

1.12) PLANT MATERIAL REMOVAL: NO EXISTING TREES SHALL BE REMOVED WITHOUT THE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT EXCEPT WHERE NOTED ON THE PLANS. CONTRACTORS WHO REMOVE EXISTING TREES WITHOUT WRITTEN APPROVAL WILL BE REQUIRED TO MAKE REMEDIES DETERMINED BY THE GOVERNING URBAN FORESTER OR EQUIVALENT AUTHORITY. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON THE PLANS.

1.13) ALL DISTURBED AREAS NOT TO RECEIVE PLANT MATERIALS ARE TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS. SEE SECTION 4.0.

1.14) LEDGE BOULDERS: IF DURING SITE EXCAVATION, LEDGE BOULDERS ARE AVAILABLE, THESE ARE TO BE STOCKPILED FOR USE IN EARTH BERMS IF APPLICABLE, WITH HAWK DESIGN, INC. PRIOR TO INSTALLATION. THIS ITEM WILL ONLY APPLY IF SO SPECIFIED ON DRAWINGS. BOULDER SIZES TO BE STOCKPILED WILL RANGE FROM TWO TO FIVE FEET IN DIAMETER. SEE APPROPRIATE DETAIL FOR INSTALLATION COORDINATION.

1.15) SLEEVES: LANDSCAPE OR SITE CONTRACTOR SHALL PLACE INDIVIDUAL SLEEVES FOR LIGHTING AND IRRIGATION UNDER ANY PROPOSED WALKWAY OR VEHICULAR ROADWAY PRIOR TO INSTALLATION. COORDINATE SLEEVE LOCATIONS WITH IRRIGATION AND LIGHTING CONTRACTORS PRIOR TO INSTALLATION.

1.16) DO NOT CLOSE OR OBSTRUCT ANY STREET, SIDEWALK, ALLEY OR PASSAGEWAY WITHOUT PRIOR NOTIFICATION AND PERMISSION. CONDUCT OPERATIONS AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE USE ORDINARILY MADE OF ROADS, DRIVEWAYS, ALLEYS, SIDEWALKS OR OTHER FACILITIES NEAR ENOUGH TO THE WORK TO BE EFFECTED THEREBY.

2.0 PLANTING MATERIALS

2.1) PLANTING MATERIAL ITEMS IN SECTION 2.0 ARE TO BE INCORPORATED DURING PLANT INSTALLATION UNLESS OTHERWISE DEEMED UNNECESSARY IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. SEE SECTION 3.1.

MULCH - MULCH WILL BE DOUBLE-SHREDDED PINE BARK MULCH.
- TREES AND SHRUBS SHALL RECEIVE AN EVEN 3" MULCH LAYER.
- GROUNDCOVERS, PERENNIALS AND ANNUALS SHALL RECEIVE AN EVEN 2" MULCH LAYER.

MANURE - TO BE WELL ROTTED, ODORLESS, UNLEACHED COW MANURE, CONTAINING NOT MORE THAN 15% BEDDED MATERIALS SUCH AS STRAW, WOOD CHIPS OR SHAVINGS, AGED NOT LESS THAN TWO YEARS OLD.

HERBICIDE - A PRE-EMERGENCE WEED KILLER IS TO BE USED ON ALL LAWN AND PLANTING AREAS PRIOR TO INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS. *HERBICIDES ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

FERTILIZER - ALL TREES AND SHRUBS TO HAVE SLOW RELEASE PACKET OR PELLET PLACED INTO THE PLANT PIT WITH A MINIMUM ANALYSIS OF 10-10-10. ALL GROUNDCOVERS, PERENNIALS AND ANNUALS ARE TO RECEIVE A BROADCAST APPLICATION OF A 14-14-14 FERTILIZER AT 3 LB PER 100 SQ. FT. APPLY AS PER MANUFACTURER'S INSTRUCTIONS. *FERTILIZERS ARE NOT TO BE APPLIED IN RESTRICTED CONSERVATION AREAS.

TOPSOIL - ACCEPTABLE TOPSOIL SHALL BE FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, DEBRIS AND OTHER EXTRANEOUS MATTER OVER ONE INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE SPECIFICATION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.

SOIL AMENDMENTS: APPLY AS NECESSARY ACCORDING TO SOIL TEST RESULTS, AS PER MANUFACTURER'S SPECIFICATIONS.

ANTI-DESICCANT - 'WILT PRUF' NCF OR EQUAL APPLY AS PER MANUFACTURER'S SPECIFICATIONS.

3.0 INSTALLATION

3.1) SOIL TESTING: LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS PRIOR TO ANY PLANT INSTALLATION TO DETERMINE ANY NECESSARY AMENDMENTS TO THE EXISTING SOIL CONDITIONS FOR SEEDING AND PLANTING. THE ANALYSIS WILL ALSO BE REQUIRED FOR ESTABLISHING THE FERTILIZER PROGRAM REQUIRED. COORDINATE RESULTS AND PROVIDE WRITTEN RECOMMENDATIONS TO HAWK DESIGN, INC. 15 DAYS PRIOR TO INSTALLATION.

3.2) ALL PLANTS SHALL BE TRANSPORTED TO THE SITE IN COVERED TRUCKS, TARPULIN COVERS SHALL BE UTILIZED TO PREVENT WIND DAMAGE OF LOAD.

3.3) DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS MOIST. DO NOT STORE PLANT MATERIAL ON PAVED AREAS. ROOTS OR BALLS SHALL BE PROTECTED FROM THE SUN OR DRYING WINDS AS REQUIRED BY TEMPERATURE OR WIND CONDITIONS. APPLY ANTI-DESICCANT EMULSION TO PREVENT DRYING OUT OF PLANT MATERIALS.

3.4) CONDITIONS FOR PLANT REJECTION:
A) REJECT PLANTS WHEN BALL OF EARTH SURROUNDING ROOTS HAS BEEN CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING.

B) WHEN BURLAP, STAVES AND ROPES REQUIRED IN CONNECTION WITH TRANSPLANTING HAVE BEEN DISPLACED PRIOR TO ACCEPTANCE.

C) WIND DAMAGED PLANT MATERIAL FROM POOR TARPULIN COVER PROCEDURES ARE SUBJECT TO REJECTION.

3.5) ALL PLANT MATERIAL, WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY, SHALL BE SET ON THE GROUND IN A SHADED LOCATION AND SHALL BE TEMPORARILY PROTECTED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. TEMPORARY WATERING OR IRRIGATION SHALL BE INCORPORATED AND REGULARLY CONDUCTED ON PLANTINGS IN HOLD AREAS.

3.6) IN CASE OF CONFLICTS DURING CONSTRUCTION WITH UTILITIES, ROCK MATERIALS, TREE ROOTS OR OTHER OBSTRUCTIONS FOR THE EXCAVATION OF SHRUB BEDS AND TREE PITS, CONTACT LANDSCAPE ARCHITECT FOR APPROVED ALTERNATE LOCATIONS.

3.7) SOIL PERMEABILITY: TEST DRAINAGE OF PLANTING BEDS AND PITS BY FILLING WITH WATER 7/8 IN SUCCESION. CONDITIONS PERMITTING THE RETENTION OF WATER FOR MORE THAN 24 HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3.8) SOIL EXCAVATIONS:
A) EXCAVATE TREE PITS AND SHRUB BEDS TO DEPTHS REQUIRED BY PLANTING DETAILS. ALL PITS SHALL BE CIRCULAR IN OUTLINE, EXCEPT FOR WHOLE BEDS. SEE APPROPRIATE PLANTING DETAILS.

B) SOIL EXCAVATIONS FOR BALLED & BURLAP AND CONTAINER PLANTINGS MUST BE NO LESS THAN 2X ROOT BALL DIAMETER. SEE PLANTING DETAILS. IF QUESTIONABLE SUBSURFACE SOIL CONDITIONS EXIST SUCH AS POOR DRAINAGE CONDITIONS, RUBBLE OR OBSTRUCTIONS, REPORT TO THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER BEFORE PLANTING.

3.9) GRADING:

A) VERIFY GRADES PRIOR TO PLANTING, THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.

B) POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM AND AROUND BUILDINGS (REFER TO ENGINEER'S GRADING PLANS). REPORT ANY CONFLICTS TO HAWK DESIGN, INC. PRIOR TO INSTALLATION.

C) FINISH GRADE OF PLANTINGS SHALL BE EQUIVALENT TO FORMER EXISTING GRADE OF PLANT IN THE NURSERY.

3.10) BALLED AND BURLAPED (B&B) MATERIALS:

A) CUT WIRE BASKETS ONCE IN THE PLANT PIT AND PEEL WIRE BACK.

B) TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM ANY PLANT MATERIAL.

3.0 INSTALLATION CONT.

3.11) CONTAINER GROWN STOCK: SHALL BE REMOVED FROM CONTAINER BY CUTTING CONTAINER AWAY TO AVOID ROOT DAMAGE TO PLANT ROOT SYSTEM. IF PLANT ROOT IS BOUND, SLICE ROOT BALLS APPROXIMATELY 2" DEEP WITH KNIFE OR SHARP SPADE. (2) DO NOT USE MUDDY OR FROZEN SOIL TO BACKFILL PLANTINGS.

3.13) WATERING: THOROUGHLY WATER UNTIL SOIL IS SATURATED AROUND ALL TREES AND SHRUBS AFTER PLANTING AND THROUGHOUT THE TIME PERIOD UNTIL FINAL ACCEPTANCE FROM CLIENT. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT-FREE CONDITION.

3.14) PRUNING: TREES SHALL BE PRUNED TO BALANCE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR NATURAL CHARACTER AND TYPICAL GROWTH HABIT. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SUCKER GROWTH. ALL CUTS TO BE FLUSH WITH TRUNK. DO NOT CUT A LEADER. THE LANDSCAPE ARCHITECT WILL REJECT ALL PLANTS DISFIGURED BY POOR PRUNING PRACTICES. ALL PRUNING CUTS SHALL REMAIN UNPAINTED.

3.15) STAKING AND GUYING: ALL TREES TO BE STAKED AND GUYED WITHIN 48 HOURS OF PLANTING. METHODS AND MATERIALS FOR STAKING AND GUYING ARE ILLUSTRATED IN INDIVIDUAL PLANTING DETAILS. NEATLY FLAG ALL GUY WIRES WITH ROT RESISTANCE YELLOW TREE MARKING RIBBON.

3.16) STAKE OUT PLANT LOCATIONS: PRIOR TO PLANTING THE CONTRACTOR SHALL LAYOUT THE EXTENT OF THE PLANT BEDS AND PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT.

3.17) PLANTING FIELD ADJUSTMENTS:

A) THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES.

B) LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS OR UNDER BUILDING OVERHANGS. NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES IN PLANTING PLAN VS. FIELD CONDITIONS.

C) SHRUBS PLANTED NEAR HVAC UNITS ARE TO BE LOCATED SO THAT SHRUBS AT MATURITY WILL MAINTAIN ONE FOOT (1') AIRSPACE BETWEEN THE UNIT AND THE PLANT. ANY PLANTING SHOWN ADJACENT TO CONDENSER UNITS SHALL BE PLANTED TO SCREEN THE UNITS. SHOULD THE CONDENSER UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL THE MATERIAL AROUND THE CONDENSERS AND ADJUST THE OTHER PLANTING ACCORDINGLY.

3.18) PLANT BED EDGES/LINES: GROUPS OF SHRUBS, PERENNIALS AND GROUNDCOVERS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE, FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN 4 FEET OF PLANT BEDS SHALL SHARE THE SAME MULCH BEDS.

3.19) ADA - THE AMERICAN WITH DISABILITIES ACT STANDARDS REQUIRE THAT A 7 FOOT VERTICAL CLEARANCE BE MAINTAINED FROM TREE BRANCHES TO FINISHED GRADE WHERE PEDESTRIAN SIDEWALKS AND/OR TRAILS ARE LOCATED. THE CONTRACTOR IS TO ADJUST TREE PLANTINGS IN FIELD TO SLIGHTLY MINIMIZE BRANCH OVERHANG AND COMPLY WITH THE ADA ACT.

3.20) TREE SPACING MINIMUMS: TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM WALLS AND WALKS WITHIN THE PROJECT. IF A CONFLICT ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

4.0 SEEDING AND SODDING

4.1) SEEDING OF LAWN AREAS: GRASS SEED APPLICATION SHALL BE SPREAD AT THE RATE OF 5 LBS PER 1000 SQUARE FEET. SEEDING SHALL BE ACCOMPLISHED BY MEANS OF A HYDRO-SEEDING PROCESS.

4.2) WATERING OF SEEDED AREAS: 24 HOURS AFTER HYDRO SEEDING, THE CONTRACTOR SHALL WATER THE SEEDED AREA LIGHTLY AND SUFFICIENTLY TO A DEPTH OF TWO INCHES (2") A MINIMUM OF 2 TIMES A DAY (MID-MORNING AND LATE AFTERNOON), UNTIL THE SEEDS ARE ESTABLISHED.

4.3) SEEDED AREA PROTECTION: THE CONTRACTOR SHALL ERECT SUITABLE SIGNS AND BARRICADES NOTIFYING THE PUBLIC TO KEEP OFF THE SEEDED AREAS UNTIL WELL ESTABLISHED. ANY TRAFFIC DAMAGE AND VANDALISM THAT MAY OCCUR PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE REPAIRED AND RESEEDED AT THE OWNER'S EXPENSE. ANY DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.

4.4) LAYING OF SOD: A KENTUCKY BLUEGRASS SOD MIX - BY LOCAL SOURCE AS SELECTED BY CONTRACTOR, SHALL BE FRESHLY CUT FROM THE SAME FIELD WITH 1/2 - 3/4 INCHES OF SOIL. SOD SHALL BE LAID IMMEDIATELY WITH ANY STORED SOD BEING UNROLLED GRASS SIDE UP AND KEPT WATERED. LAY COURSES TIGHTLY TOGETHER WITHOUT OVERLAPPING WITH THE JOINTS STAGGERED. AFTER SODDING IS COMPLETE, ROLL LIGHTLY. THE CONTRACTOR SHALL WATER THE SODDED AREAS TO A DEPTH OF AT LEAST SIX INCHES AFTER THE SODDING PROCESS. OWNER SHALL THEN BE RESPONSIBLE FOR WATERING. THE FREQUENCY SHALL BE DETERMINED BY RAIN FALL AND WINDS WITH THE UPPER TWO OR THREE INCHES OF SOIL NOT DRYING OUT MARKEDLY.

4.5) SODDED AREA: INSPECTION AND ACCEPTANCE: FOUR WEEKS AFTER CONTRACTOR COMPLETES INSTALLATION, LANDSCAPE ARCHITECT SHALL INSPECT THE LAWN TO DETERMINE THE ACCEPTABILITY OF THE INSTALLATION. SODDED AREAS FAILING TO SHOW ADEQUATE ROOTING INTO THE SUBSOIL, OVERLAPPING, COURSE SEPARATION, UNEVENNESS OF THE SURFACE, UNEVEN COURSE COLOR AND EXCESSIVE BROADLEAF WEED CONTENT SHALL BE REPLACED. THE COST SHALL BE BORNE BY THE CONTRACTOR EXCEPT WHERE VANDALISM OR NEGLIGENCE ON THE PART OF OTHERS NOT UNDER THE CONTRACTOR'S CONTROL, HAS RESULTED IN DAMAGE.

4.6) FINAL APPROVAL: SEEDED AND SODDED AREAS WILL RECEIVE FINAL APPROVAL IF COVERAGE IS FULL AND CONSISTENT, FREE OF BARE SPOTS AND WEED FREE. WHEN GRASS IS CUT AT 2" HEIGHT NO SOIL SHOULD BE VISIBLE. SOD AREAS MUST HAVE RECEIVED A MINIMUM OF TWO MOWINGS. AREAS SODDED AFTER NOVEMBER 1ST WILL BE ACCEPTED THE FOLLOWING SPRING - ONE MONTH AFTER THE START OF THE GROWING SEASON, IF THE ABOVE CRITERIA HAS BEEN MET.

5.0 MAINTENANCE

5.1) MAINTENANCE DURING INSTALLATION: MAINTENANCE OPERATIONS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE AS REQUIRED UNTIL FINAL ACCEPTANCE AND THEN FOR THE GUARANTEE PERIOD. PLANTS SHALL BE KEPT IN A HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING AND ANY OTHER NECESSARY OPERATIONS OF MAINTENANCE. PLANT SAUCERS AND BEDS SHALL BE KEPT FREE OF WEEDS, GRASS AND OTHER UNDESIRABLE VEGETATION. PLANTS SHALL BE INSPECTED AT LEAST ONCE PER WEEK BY THE CONTRACTOR DURING THE INSTALLATION PERIOD AND ANY NEEDED MAINTENANCE IS TO BE PERFORMED PROMPTLY.

5.2) GRASS AND WEED CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING ALL GRASS AROUND LANDSCAPE BEDS AND INDIVIDUAL TREES AND SHRUBS UNTIL FINAL ACCEPTANCE. WEED CONTROL AREAS SHALL INCLUDE ALL LANDSCAPE BEDS AND THE AREA WITHIN 2 FEET OF THE OUTER EDGE OF THE MULCH AREA OR INDIVIDUAL TREE/SHRUBS.

5.3) THE CONTRACTOR SHALL WATER, FERTILIZE, WEED, CULTIVATE, REMULCH, SPRAY TO CONTROL INSESTATION AND DISEASE AND PERFORM ANY OTHER GOOD HORTICULTURAL PRACTICE NECESSARY TO MAINTAIN THE PLANTS IN A LIVING HEALTHY CONDITION UPON THE TIME FOR TERMINATION OF HIS RESPONSIBILITY FOR CARE AS SET OUT HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTS THROUGHOUT LIFE OF THE CONTRACT.

5.4) ALL PLANTS STOLEN, DAMAGED OR DESTROYED BY FIRE, AUTOMOBILES, VANDALISM OR ANY OTHER CAUSE, WITH THE EXCEPTION OF PLANTS DAMAGED OR DESTROYED BY THE OWNER'S MAINTENANCE OPERATIONS, SHALL BE REPLACED BY THE OWNER PRIOR TO THE DATE OF FINAL ACCEPTANCE.

5.5) LANDSCAPE CONTRACTOR SHALL PREPARE MAINTENANCE SPECIFICATIONS AND SCHEDULE ANNUAL CARE OF ALL PLANTED AND LAWN AREAS INCLUDING FERTILIZING, WEEDING, MOWING, BED EDGING, PRUNING AND PEST PREVENTION AND TREATMENT.

6.0 PLANT MATERIAL GUARANTEE

*CONTRACTOR SHALL GUARANTEE IN WRITING ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS FOR A PERIOD OF ONE YEAR. THE GUARANTEE IS TO INCLUDE THE FOLLOWING:

6.1) INSPECTIONS: PERFORM PERIODIC INSPECTIONS DURING GUARANTEE PERIOD WITH RESULTING WRITTEN REPORTS TO OWNER, PROJECT ADMINISTRATOR AND LANDSCAPE ARCHITECT STATING CONDITIONS AND RECOMMEND MAINTENANCE MODIFICATIONS. THE CONTRACTOR MUST CONTACT THE OWNER AND LANDSCAPE ARCHITECT AT LEAST 10 DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS.

6.2) REMOVAL AND REPLACEMENT OF PLANTS PROVIDED BY CONTRACTOR TO BE DONE WITHIN THIRTY DAYS OF NOTIFICATION BY OWNER OF THEIR UNSATISFACTORY CONDITION DURING GROWING SEASONS. REPLACEMENT MATERIALS MUST BE EQUAL IN TYPE AND SIZE PER THE PROJECT'S PLANT LIST.

6.3) WHEN REPLACEMENT PLANT SPECIES IS EITHER NOT READILY AVAILABLE OR NO LONGER SUITABLE TO EXISTING SITE CONDITIONS WRITTEN NOTICE RECOMMENDATION OF SUBSTITUTION TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT WITHIN FIFTEEN DAYS FOR APPROVAL.

6.4) REMOVAL OF TREE'S SUPPORTS AND DEAD LIMBS PRIOR TO END OF GUARANTEE INSPECTION PERIOD.

6.5) CONTINUE WITH MAINTENANCE, SEE SECTION 5.0

6.6) GUARANTEE SHALL BEGIN UPON DATE OF FINAL ACCEPTANCE FROM OWNER AND WILL CONTINUE FOR ONE YEAR.

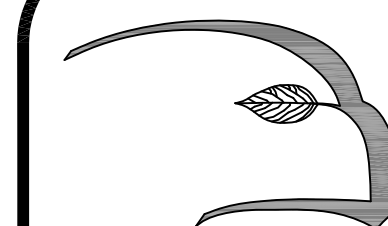
7.0 SITE CLEAN UP

7.1) SITE WORK CONDITIONS: EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY WHEN PLANTING IN AN AREA HAS BEEN COMPLETED. THE AREA SHALL BE CLEARED OF ALL DEBRIS, SOIL PILES AND CONTAINERS DAILY. WHERE EXISTING GRASS AREAS HAVE BEEN DAMAGED OR SCARRED DURING PLANTING OPERATIONS, THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS AT HIS EXPENSE.

7.2) CLEAN PAVED AREAS UTILIZED FOR HAULING OR EQUIPMENT STORAGE AT END OF EACH WORKDAY.

7.3) MAINTAIN VEHICLES AND EQUIPMENT IN CLEAN CONDITION TO PREVENT SOILING OF ROADS, WALKS OR OTHER PAVED OR SURFACED AREAS.

7.4) REMOVE PROTECTIVE BARRIERS AND WARNING SIGNS AT TERMINATION OF LAWN ESTABLISHMENT.



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Date: 6/26/13

Revisions:

Num. Date Description

6/26/13

170 Needham Street
Prepared for: **Needham Chestnut Realty, LLC**
310 Washington Street, Suite 202, Wellesley, MA

Drawn By: BNL

Checked By: TM

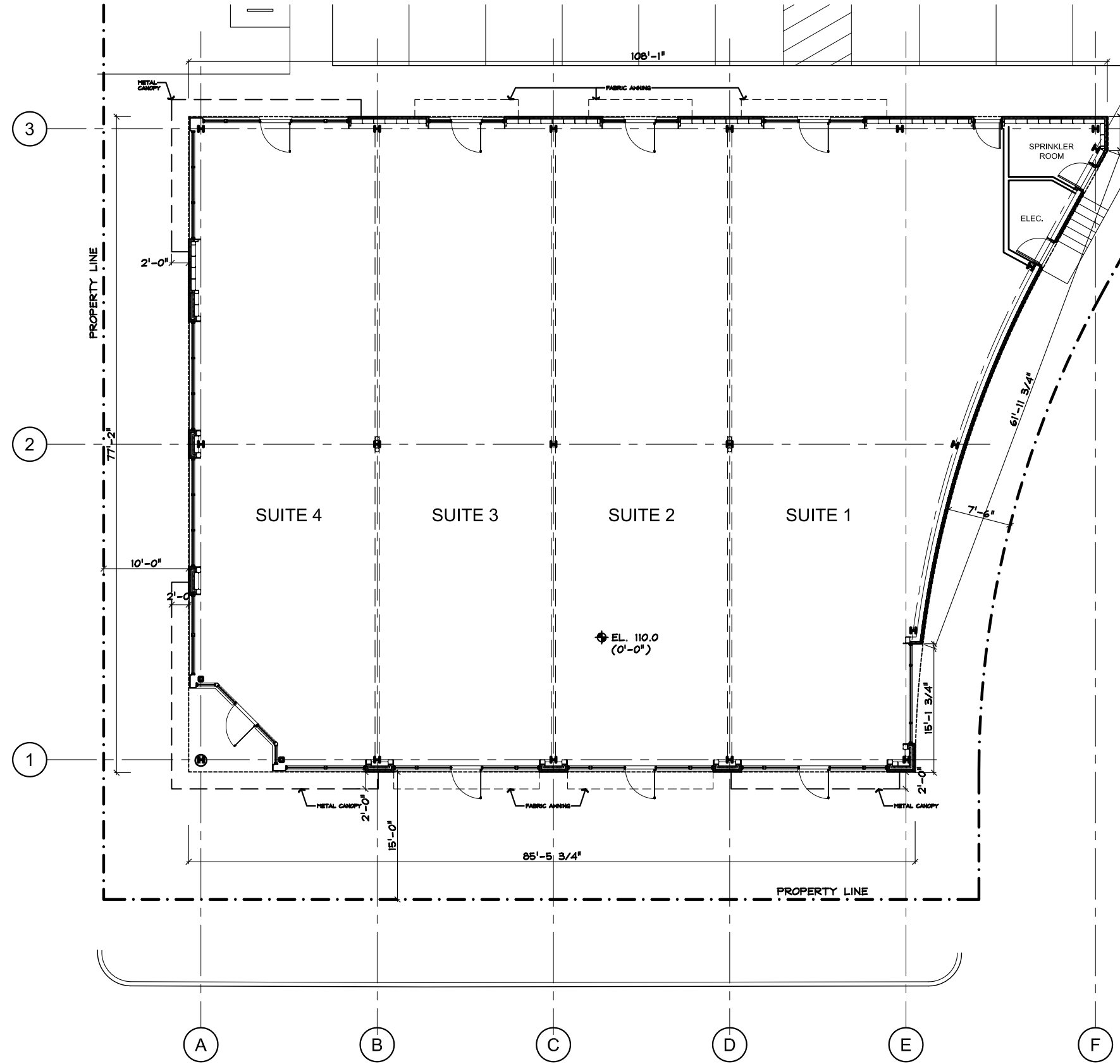
Planting
Notes

Scale: N/A

Sheet:

D2

JACONNET STREET
(PRIVATE - 40' WIDE)



NEEDHAM STREET
(PUBLIC - 60' WIDE)

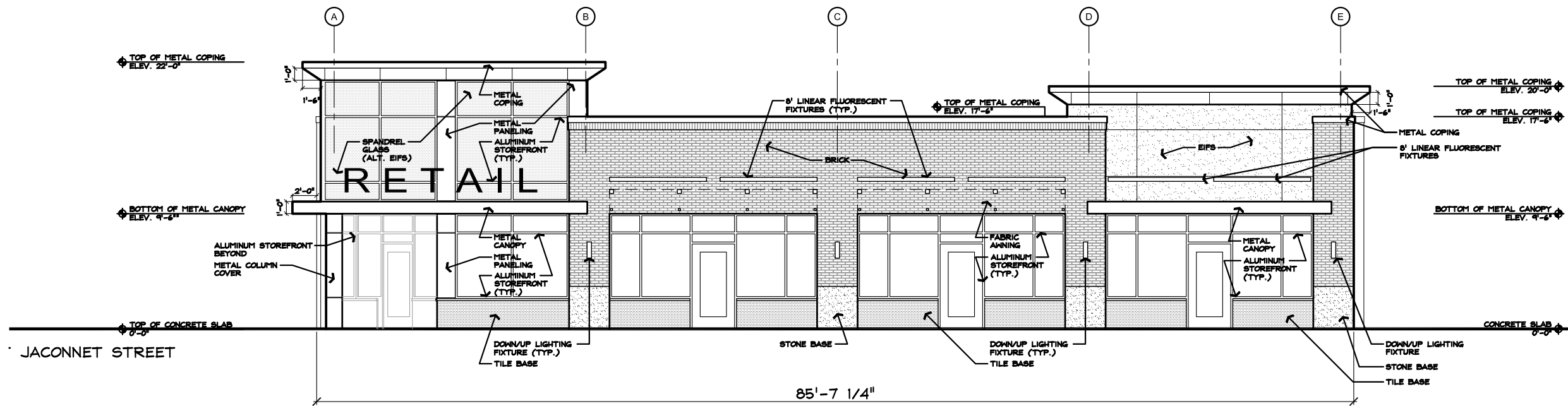
SCHEMATIC FLOOR PLAN
1/16" = 1'-0"



RETAIL BUILDING FLOOR PLAN
170 NEEDHAM STREET
NEWTON, MA

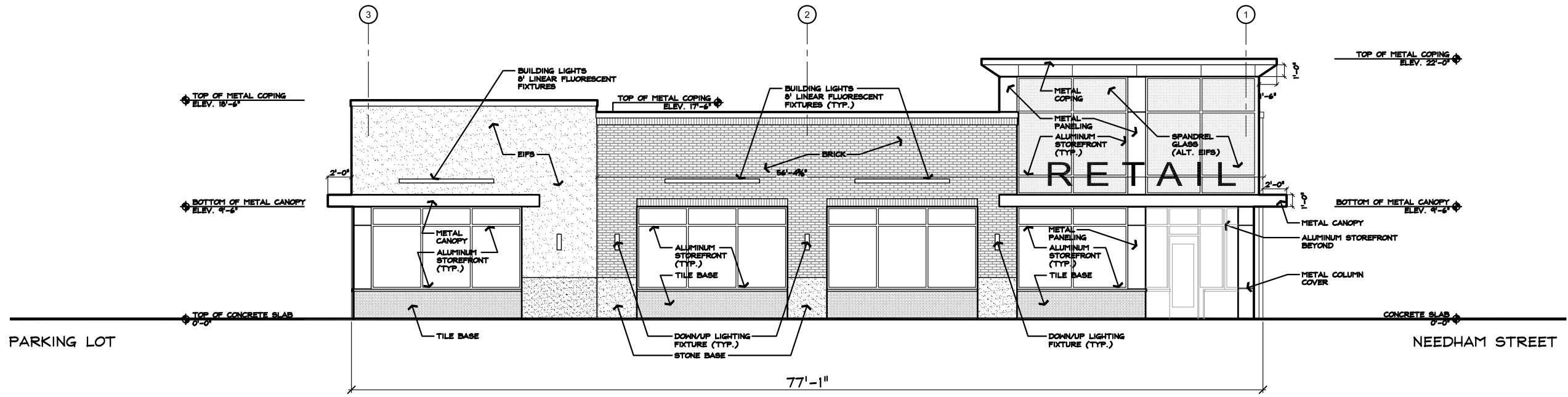
Date: 06/26/2013
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Project Number: ---
Drawn by: MBD

A
1.0



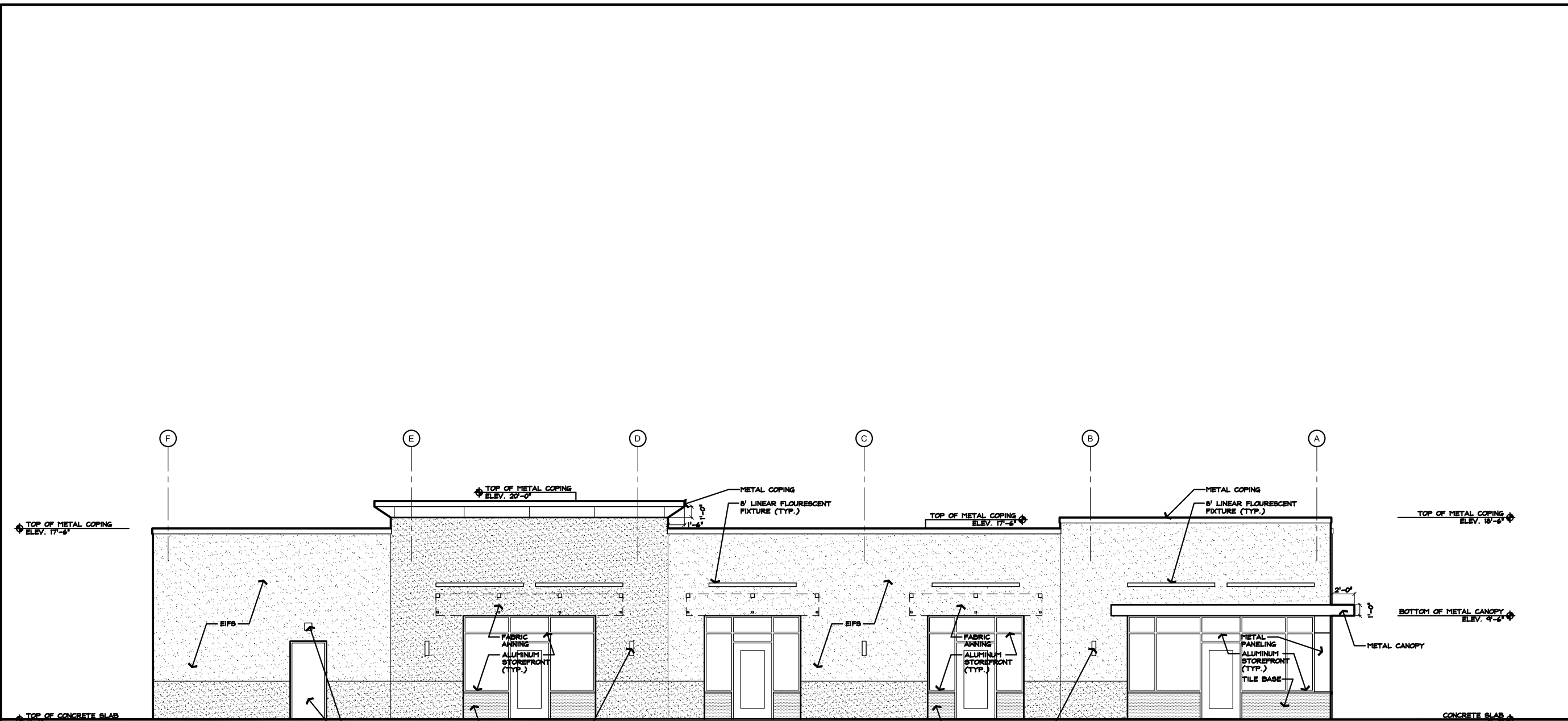
SCHEMATIC
NEEDHAM STREET ELEVATION
SCALE: 1" = 10'-0"





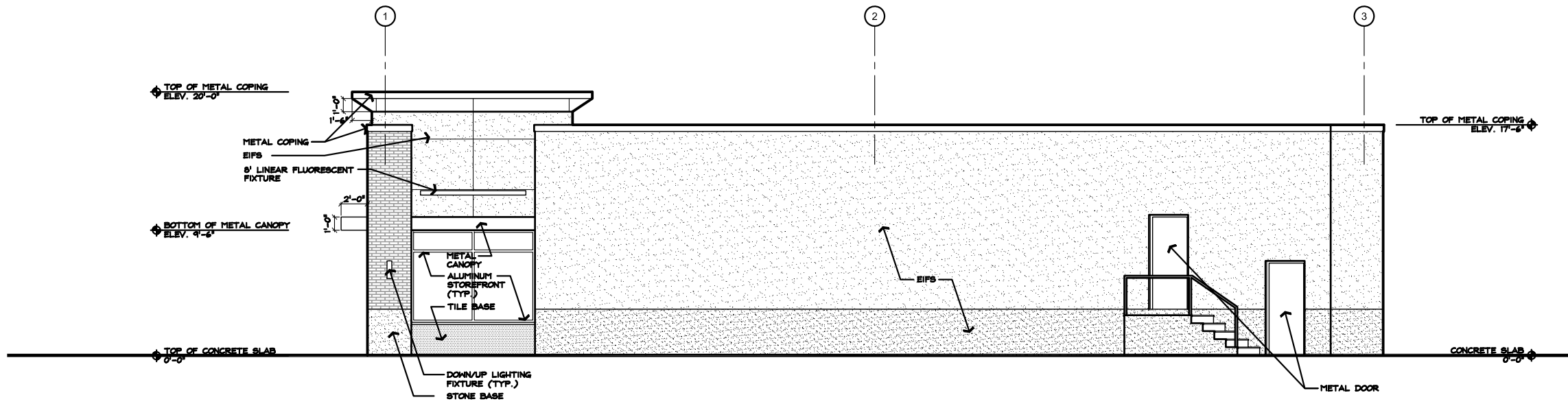
SCHEMATIC
JACONNET STREET ELEVATION
SCALE: 1" = 10'-0"





SCHEMATIC
PARKING LOT ELEVATION
SCALE: 1" = 10'-0"

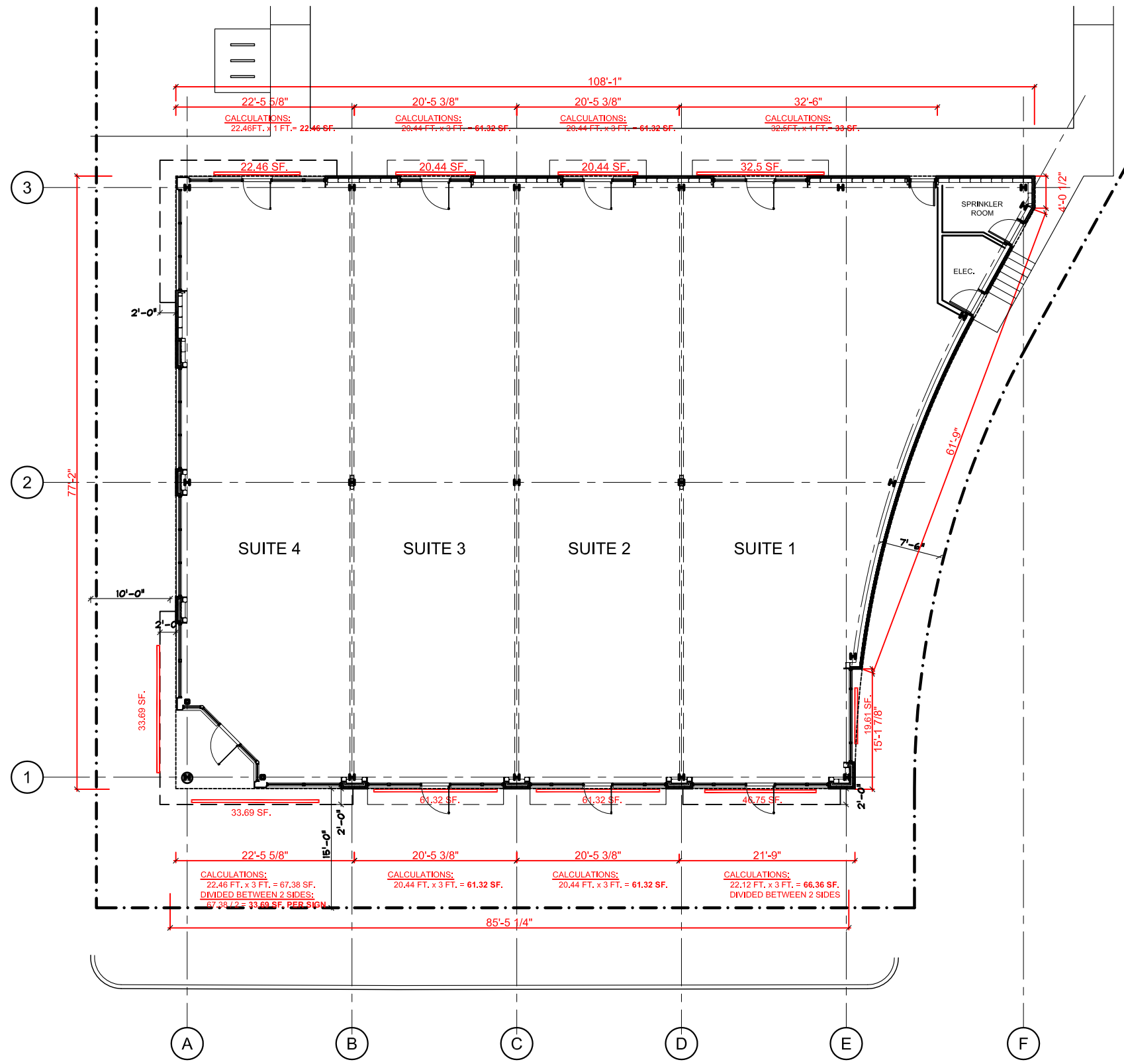




SCHEMATIC
SIDE ELEVATION
SCALE: 1" = 10'-0"



JACONNET STREET
(PRIVATE - 40' WIDE)



NEEDHAM STREET
(PUBLIC - 60' WIDE)

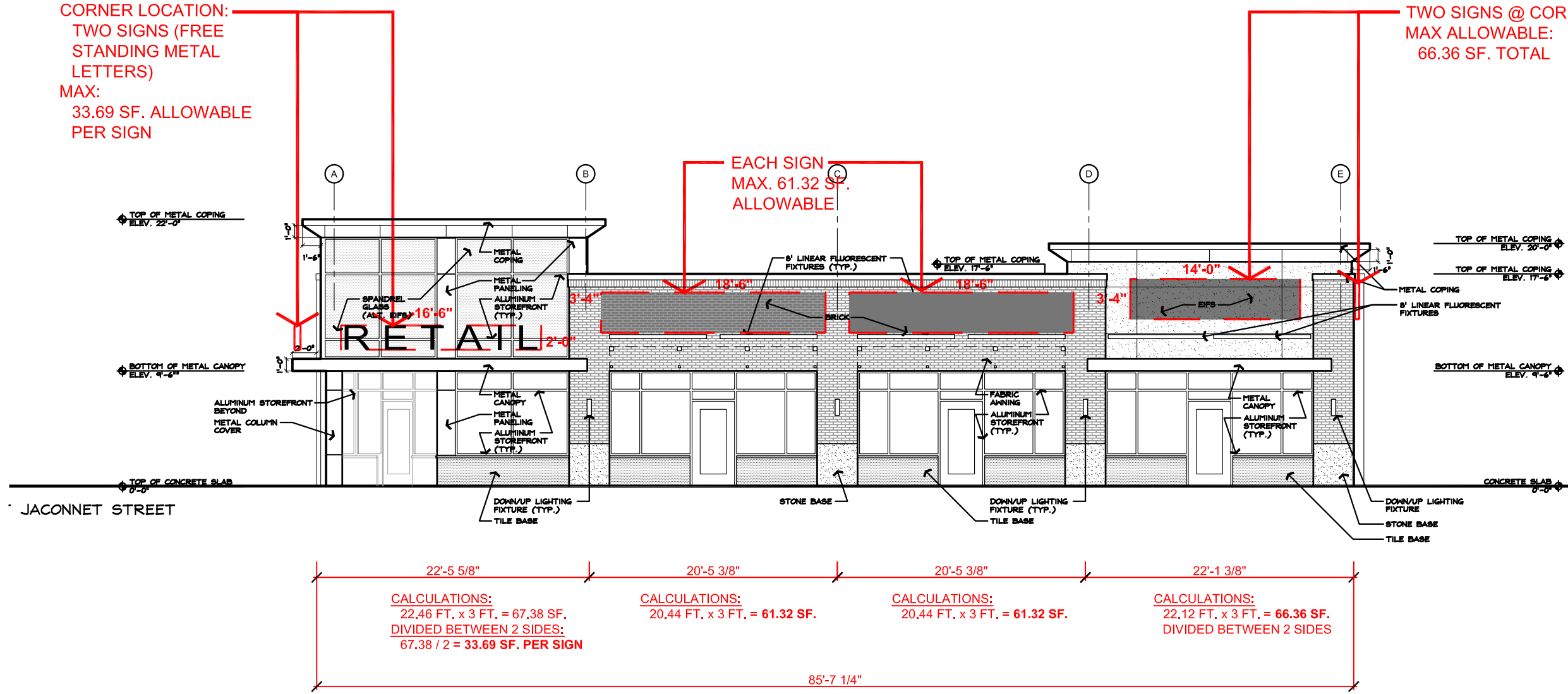
SIGNAGE DIAGRAM
FLOOR PLAN
1/16" = 1'-0"



CORNER LOCATION:
TWO SIGNS (FREE
STANDING METAL
LETTERS)
MAX:
33.69 SF. ALLOWABLE
PER SIGN

TWO SIGNS @ CORNER
MAX ALLOWABLE:
66.36 SF. TOTAL

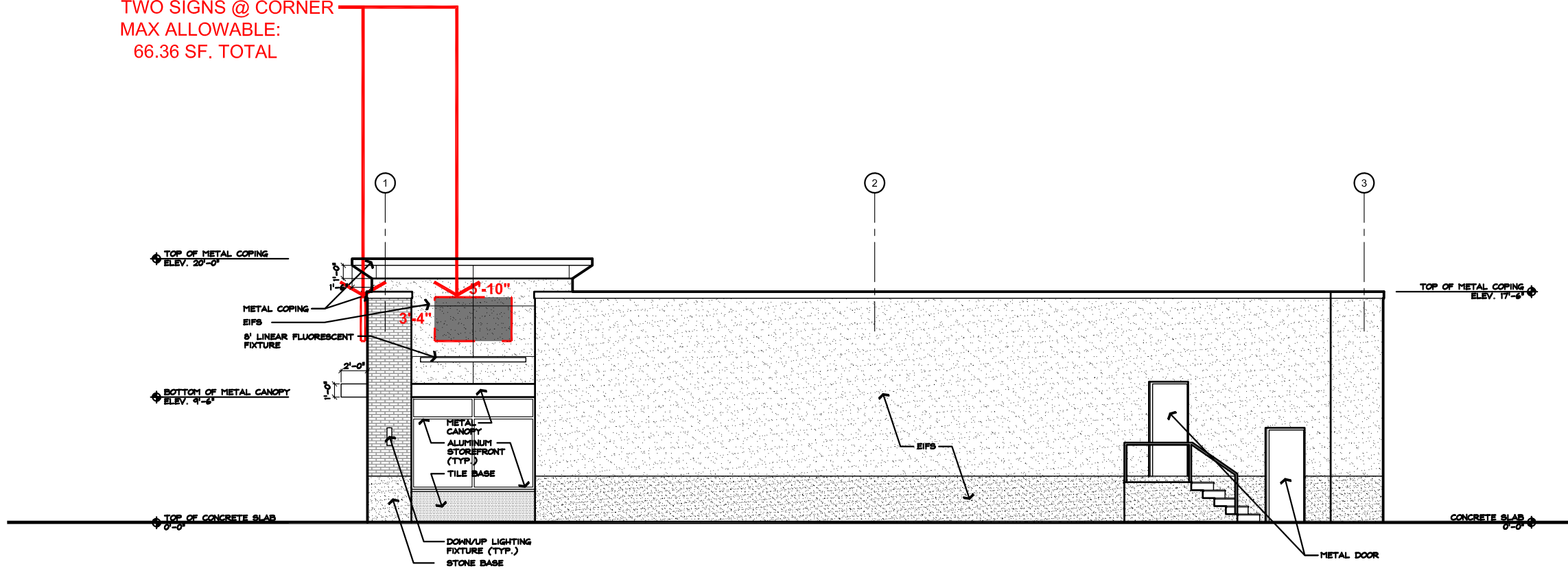
EACH SIGN
MAX. 61.32 SF.
ALLOWABLE



SIGNAGE DIAGRAM
NEEDHAM STREET ELEVATION
SCALE: 1" = 10'-0"



TWO SIGNS @ CORNER
MAX ALLOWABLE:
66.36 SF. TOTAL



SIGNAGE DIAGRAM
SIDE ELEVATION
SCALE: 1" = 10'-0"

