

Symbol	Qty	Label	Arrangement	Lumens	Watts	LLF	BUG Rating	Description
	2	A	SINGLE	13000	150	0.830	B3-U0-G1	Hadco PW2, 150w MH, Forward Throw, 15ft Mtg Ht
	1	B	SINGLE	13000	150	0.830	B3-U1-G3	Hadco PA2, 150w MH, Type III, 12ft Pole
	1	B-HSS	SINGLE	13000	150	0.830	B1-U0-G2	Hadco PA2, 150w MH, Type III with HSS, 12ft Pole

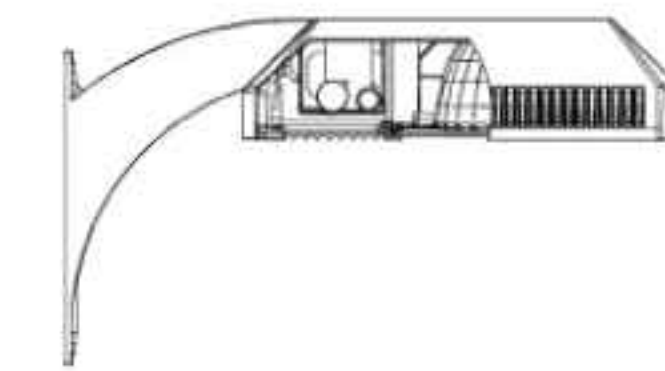
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Parking Lot	Illuminance	Fc	1.82	9.70	0.10	18.20	97.00	10ft Grid

100 Craftway P.O. Box 128 Littlestown, PA 17340 Phone: 717-359-7131 Fax: 717-359-9515 www.hadco.com	Date: 08/16/2013	Project ID#: 130624-21-80-02	REV: B	Issued By: CMG	Program: AGI32 -V2.04 REV01	JOB NAME: 170 Needham St Application Report
	Contact: Robert Stacey - Hurry Associates - 339.200.8377					

PHILIPS HADCO

Profiler (small) (PA2) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	City:



Height:
0' (15cm)
30' 7 7/8" (78cm)
Max. EPA:
PA2S: 0.94 sq. ft.
Max. EPA:
PA2C: 1.10 sq. ft.
Max. Weight:
35 lbs

Ordering Guide

Example: PA2 AT 3 A 2 70S E N

Product Code	PA2	Profiler (small)	
Arm	AT	Adjustable Arm	*1
	C	Curved Arm	*2
	H	Horizontal Slip Filter	*3
	S	Straight Arm	*4
Mounting	3	3" O.D. Round Pole	
	4	4" O.D. Round Pole	
	6	6" O.D. Round Pole	
	8	8" O.D. Round Pole	
	W	Square Pole	*5
	W	Wall Mount	
Finish	A	Black	
	B	White	
	H	Brass	
	I	Gray	
Optics	1	Type I	
	3	Type III	
	F	Forward Throw	
Voltage	15S	70W HPS	
	10SS	100W HPS	
	15SS	150W HPS	
	30H	30W MH	*6
	70H	70W MH	*6
	100H	100W MH	*6
	150H	150W MH	*6
	150H	150W PMH	
Voltage	E	120V	
	F	208V	
	G	240V	
	H	277V	
	K	347V	
	J	480V	
Options	N	None	
	A	Air Filter	
	B	Button Eye Photo Control	*7
	F	Fusing	
	G	Polycarbonate Shield	
	H	House-Side Shield	*8
	Q	Quartz Restrike	*9
	R	Test-Side Photo Control Receptacle	
	V	Vandal Resistant Latch	

*1 Do not specify "Mounting" option with these arms.
*2 Available with Straight Arm (S) only.
*3 Not available in 480V (J).
*4 Not available with Type V (W) or Forward Throw (F) optics.
*5 Quartz Restrike option is not available in 480V.
*6 Order pole matched for the fixture.

Specifications

HOUSING: 360 low-copper die-cast aluminum alloy. T-rod lens lamp access. Hinged lens frame is cast aluminum with stainless steel spring latch for tool-less lamp access. A weatherproof ballast assembly isolates the ballast from water and heat for longer life. The optional photo control eye or wall-lock receptacle is located in the ballast enclosure for easy access via a removable door. All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH: Thermoplastic polyester powdercoat is electrostatically applied after a five-stage conversion clearing process and bonded by heat fusion thermosealing. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

ISO 9001:2008 Registered Page 1 of 2
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
100 Craftway Drive, Littlestown, PA 17340 | P: +1-717-359-7131 | F: +1-717-359-9515 | http://www.hadco.com | Copyright 2013 Philips HW1

Wall Mount Flood Light (PW2) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	City:



Height:
8' 10 1/2" (220cm)
Width:
22" (56cm)
Projection:
18 1/2" (46.5cm)
Max. Weight:
38 lbs

Ordering Guide

Example: PW2 D A 2 50S E N

Product Code	PW2	Wall Mount Flood Light
Mounting	D	Down
	U	Up
Finish	A	Black
	B	White
	H	Brass
	I	Gray
Optics	2	Type II
	3	Type III
	F	Forward Throw
	G	Grazing
Voltage	15S	70W HPS
	10SS	100W HPS
	15SS	150W HPS
	30H	30W MH
	70H	70W MH
	100H	100W MH
	150H	150W PMH
Voltage	E	120V
	F	208V
	G	240V
	H	277V
	K	347V
Options	N	None
	B	Button Eye Photo Control
	F	Fusing
	H	House-Side Shield
	Q	Quartz Restrike

*1 Not available with Forward Throw (F) or Grazing (G) optics.

Specifications

HOUSING: 360 low-copper die-cast aluminum alloy. Easy access to lamp. The lens frame assembly mounts to the housing via four (4) captive 3/16" stainless steel screws and two (2) galvanized steel hinges. The optional photo control eye is located in the ballast enclosure for easy access. A weatherproof ballast assembly isolates the ballast from water and heat for longer life. All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH: Thermoplastic polyester powdercoat is electrostatically applied after a five-stage conversion clearing process and bonded by heat fusion thermosealing. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

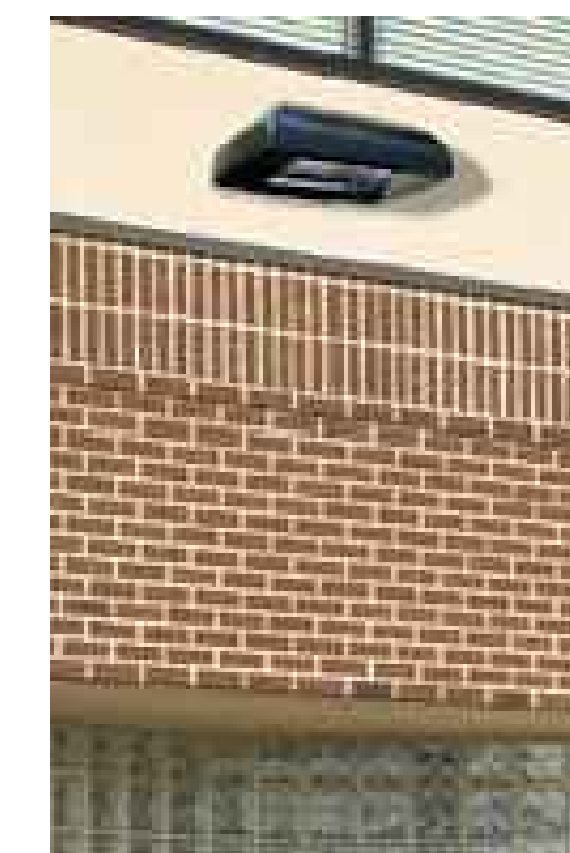
OPTICAL ASSEMBLY: Type II (Cut-off), Type III (Cut-off), Forward Throw, Grazing. Precision formed, segmented specular aluminum internal cutoff reflector with horizontal lamp mounting. Reflector is rotatable in 90° increments. Sealed optical chamber. Interchangeable reflectors. Clear tempered full glass lens.

LAMPING: MH and HPS ballast base, E17.
ELECTRICAL ASSEMBLY: Ballast assemblies are mounted to an aluminum plate or spinning, which is mounted inside the ballast housing. 48V rated porcelain mini-can base. Nickel-plated screw shell with center contact.

BALLAST: All HPS ballasts are core and coil and regulated with power factors better than 90% (pF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation. Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at -20° F or -30° C and HPS at -40° F or -40° C. NOTE: All ballasts are EISA / T8e 20 / T8e 24 compliant where applicable.

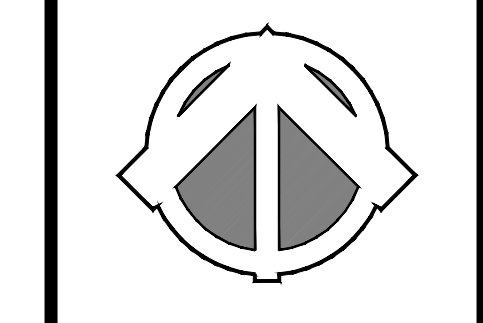
MOUNTING:

ISO 9001:2008 Registered Page 1 of 2
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
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Date: 6/26/13

Revisions:

Num.	Date	Description
1.	9/10/13	Revisions per site plan & design review committee comments
2.	9/13/13	Revisions per site plan & design review committee comments



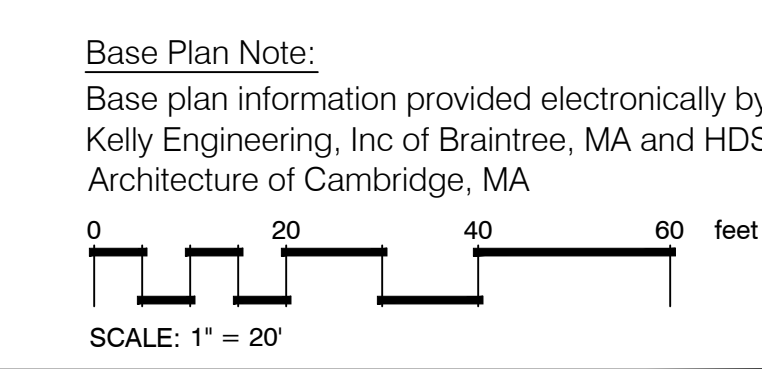
170 Needham Street
Prepared for: Needham Chestnut Realty, LLC
310 Washington Street, Suite 202, Wellesley, MA

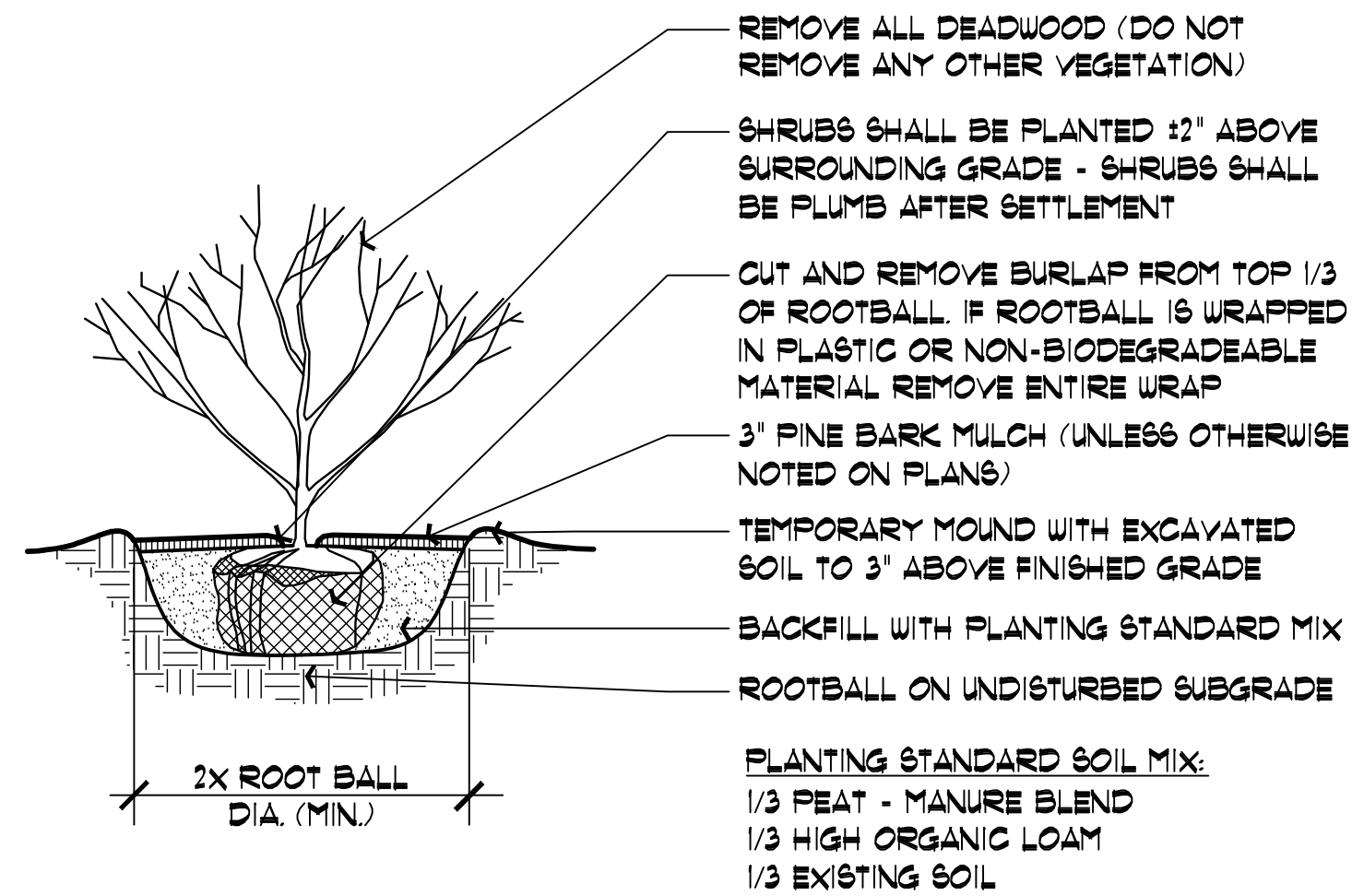
Drawn By: BNL Checked By: TM

Lighting Plan

Scale: 1" = 20'-0"

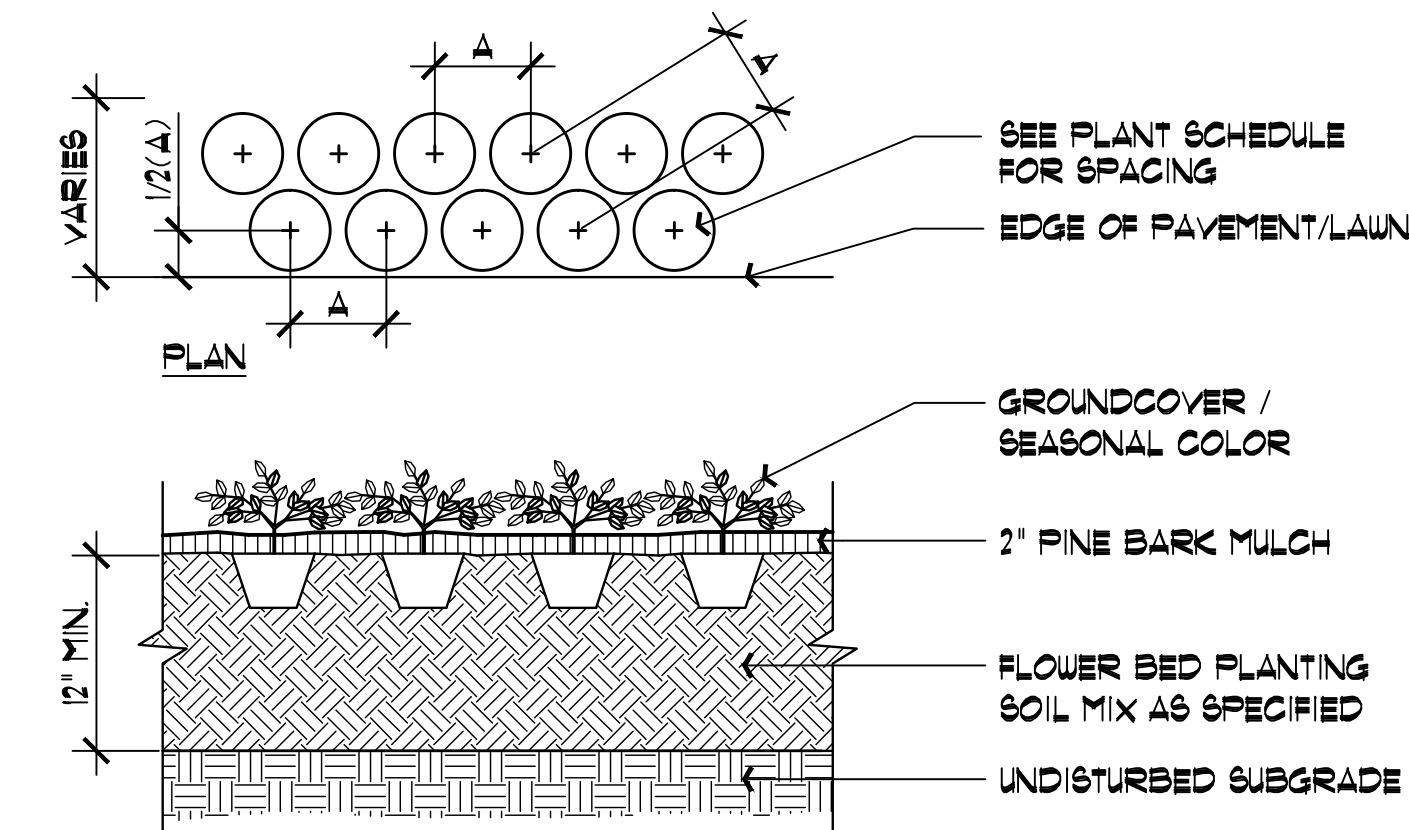
Sheet: **L2**





SHRUB DETAIL

NTS

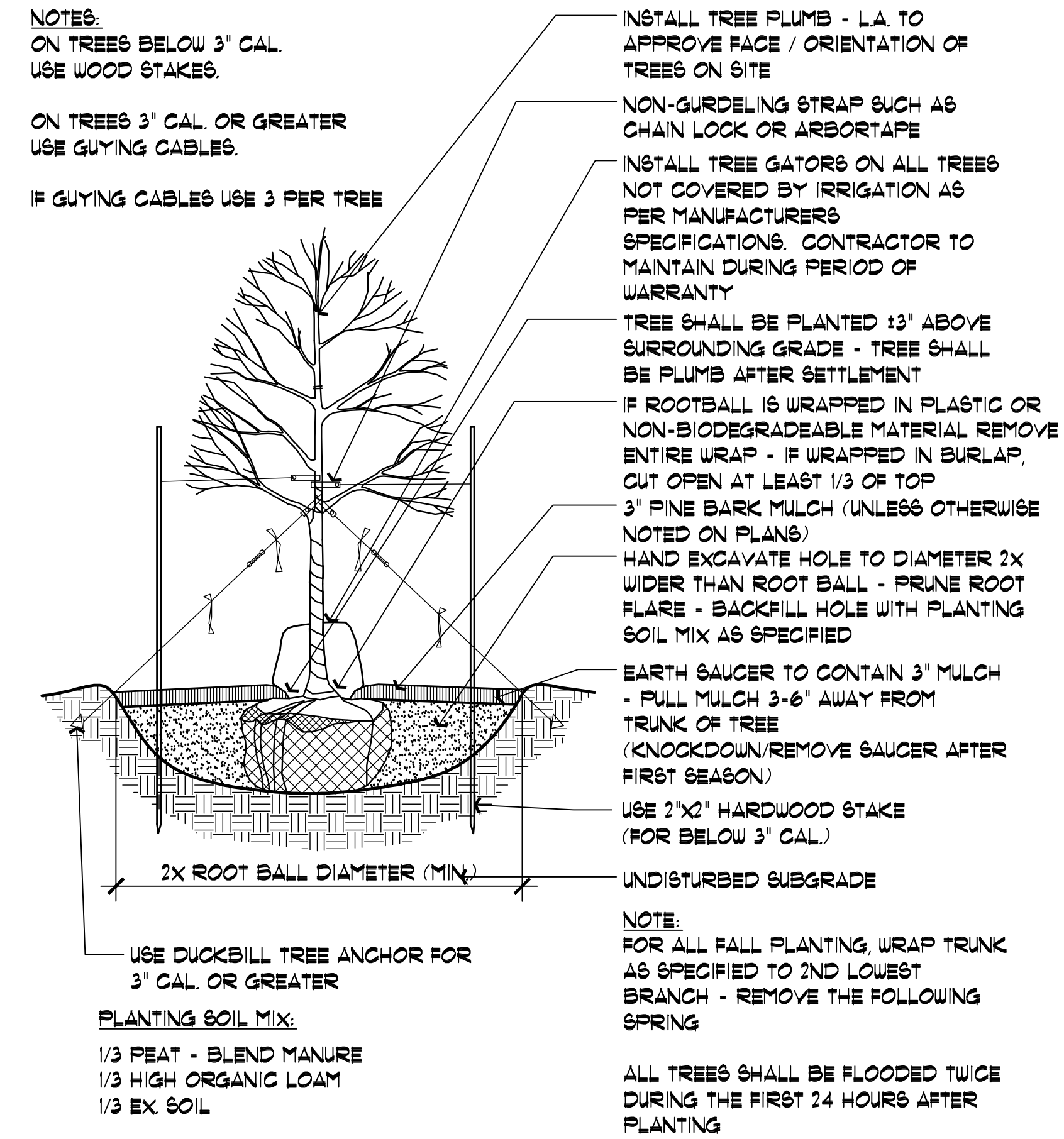


SEASONAL COLOR / PERENNIAL / GROUNDCOVER PLANTING

NTS

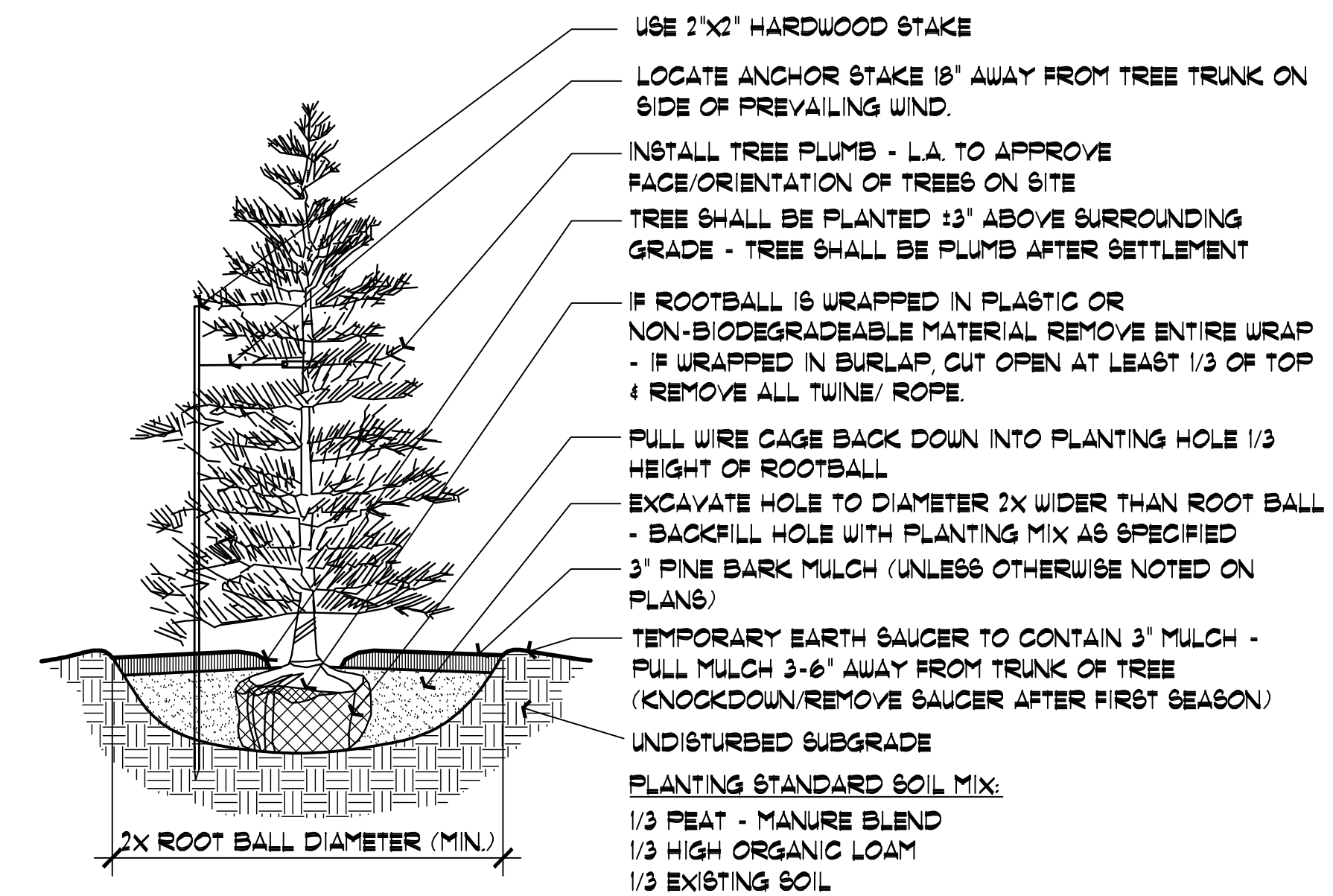
SCHEDULE OF TOPSOILS & ADDITIVES

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	12"	1/3 FEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	12"	SCREENED LOAM 1/3 FEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOG & SEED	6"	6' SCREENED LOAM



SHADE / FLOWERING TREE DETAIL

NTS



EVERGREEN TREE DETAIL

NTS

Hawk Design, Inc.
Landscape Architecture
Land Planning
Sagamore, MA
508-833-8800
info@hawkdesigninc.com

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2.	9/13/13	Revisions per site plan & design review committee comments

170 Needham Street
Prepared for: Needham Chestnut Realty, LLC
310 Washington Street, Suite 202, Wellesley, MA

Drawn By: BNL Checked By: TM

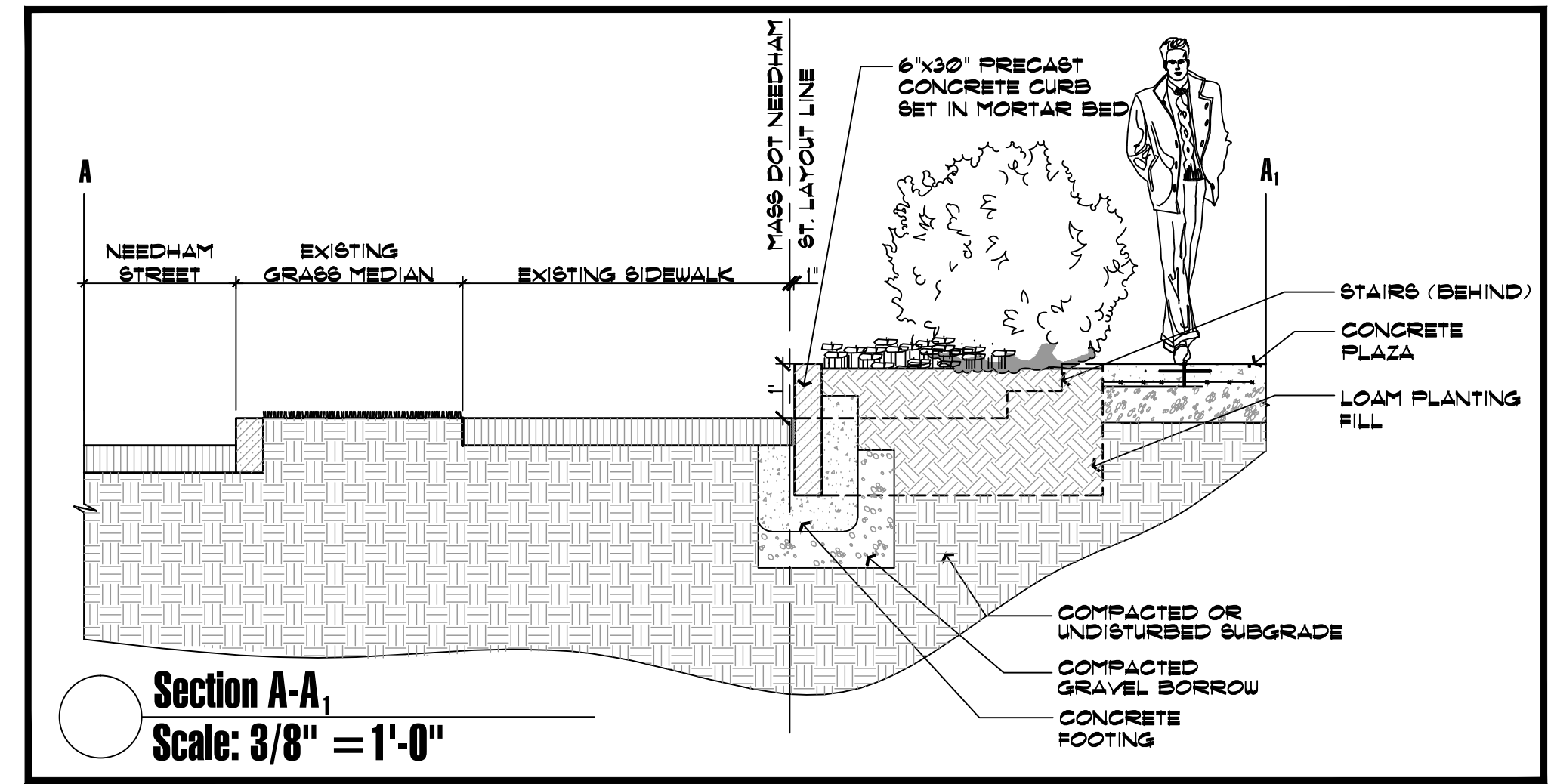
Planting Details

Scale: As Noted

Sheet: **D1**

Parking Facility Landscape Table:

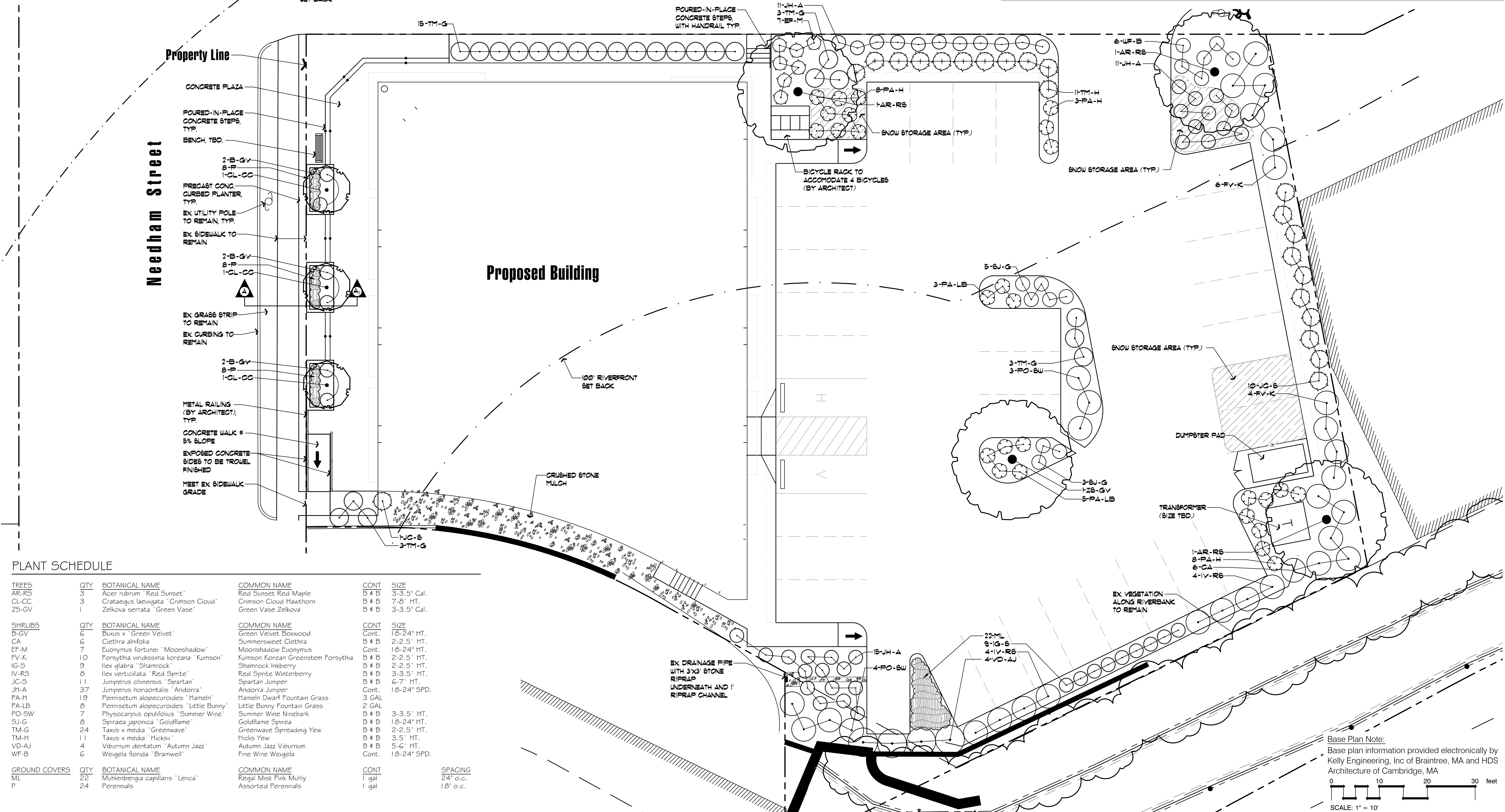
REQUIREMENT:	PROPOSED:
PERIMETER SCREENING ABUTTING A STREET: DENSELY PLANTED SHRUBS AT LEAST 3'-1/2' HIGH AT TIME OF PLANTING AND WILL FORM A YEAR-ROUND SCREEN	11-HICK'S YEW AT 35' HT.
PARKING FACILITY INTERIOR LANDSCAPING: AT LEAST ONE 3" CALIPER TREE FOR EVERY 10 PARKING STALLS (33 PARKING STALLS PROPOSED)	4-3" CAL. SHADE TREES



Jaconnet Street

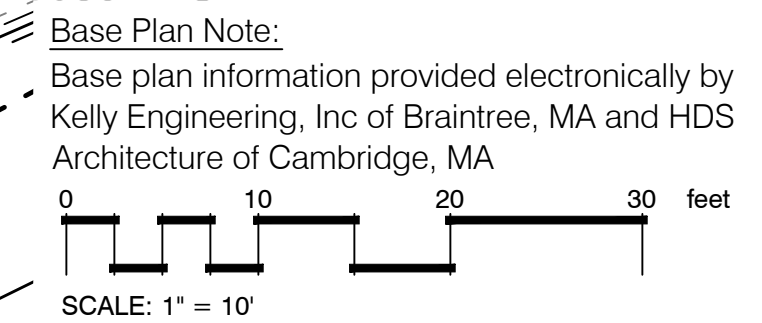
Needham Street

Proposed Building



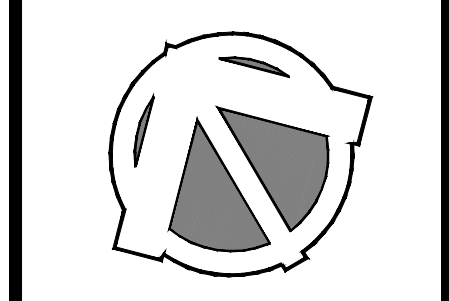
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
AR-RS	3	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	B 4 B	3-3.5' Cal.
CL-CC	3	Crataegus laevigata 'Crimson Cloud'	Crimson Cloud Hawthorn	B 4 B	7-8' HT.
ZS-GV	1	Zelkova serrata 'Green Vase'	Green Vase Zelkova	B 4 B	3-3.5' Cal.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
B-GV	6	Buxus x 'Green Velvet'	Green Velvet Boxwood	Cont.	18-24' HT.
CA	6	Clethra alnifolia	Summersweet Clethra	B 4 B	2-2.5' HT.
EV-M	7	Euonymus fortunei 'Moonshadow'	Moonshadow Euonymus	Cont.	18-24' HT.
FV-K	10	Forsythia viridissima koreana 'Kumson'	Kumson Korean Greenstem Forsythia	B 4 B	2-2.5' HT.
IG-S	9	Ilex glabra 'Shamrock'	Shamrock Inkberry	B 4 B	2-2.5' HT.
IV-RS	8	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	B 4 B	3-3.5' HT.
JC-S	11	Juniperus chinensis 'Spartan'	Spartan Juniper	B 4 B	6-7' HT.
JH-A	37	Juniperus horizontalis 'Andorra'	Andorra Juniper	Cont.	18-24' SPD.
PA-H	19	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	3 GAL	
PA-LB	8	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	2 GAL	
PO-SW	7	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	B 4 B	3-3.5' HT.
SJ-G	8	Spiraea japonica 'Goldflame'	Goldflame Spirea	B 4 B	18-24' HT.
TM-G	24	Taxus x media 'Greenwave'	Greenwave Spreading Yew	B 4 B	2-2.5' HT.
TM-H	11	Taxus x media 'Hicksii'	Hicks Yew	B 4 B	3.5' HT.
VD-AJ	4	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Viburnum	B 4 B	5-6' HT.
WF-B	6	Weigela florida 'Bramwell'	Fine Wine Weigela	Cont.	18-24' SPD.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING
ML	22	Muhlenbergia capillaris 'Lenca'	Regal Mist Pink Muhly	1 gal	24" o.c.
P	24	Perennials	Assorted Perennials	1 gal	18" o.c.



Hawk Design, Inc.
Landscape Architecture
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Sagamore, MA
508-833-8800
info@hawkdesigninc.com

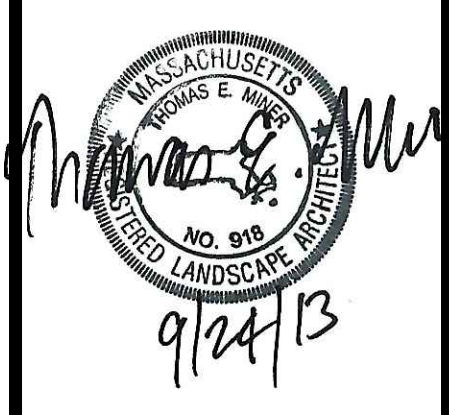
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Date: 6/26/13

Revisions:

Num.	Date	Description
1.	9/10/13	Revisions per site plan & design review committee comments
2.	9/13/13	Revisions per site plan & design review committee comments
3.	9/23/13	Revisions to site plan per review committee comments



170 Needham Street
Prepared for: Needham Chestnut Realty, LLC
310 Washington Street, Suite 202, Wellesley, MA

Drawn By: BNL Checked By: TM

Planting Plan

Scale: 1" = 10'-0"

Sheet: **L1**

SITE DEVELOPMENT PLANS

FOR 170 NEEDHAM STREET NEWTON, MA

JUNE 26, 2013

SHEET INDEX			
SHEET No.	DESCRIPTION	LATEST REVISED DATE	CONSTRUCTION REVISIONS
1	COVER SHEET	09/16/13	
2	LOCUS PLAN	09/16/13	
3	EXISTING CONDITIONS PLAN	09/16/13	
4	LAYOUT PLAN	09/16/13	
5	SITE PLAN	09/16/13	
6	DETAIL SHEET	09/16/13	

OWNER:

NEEDHAM CHESTNUT REALTY, LLC
310 WASHINGTON STREET, SUITE 202
WELLESLEY, MA 02481

CIVIL ENGINEERS:

KELLY ENGINEERING GROUP, INC.
0 CAMPANELLI DRIVE
BRAINTREE, MA 02184

ARCHITECT:

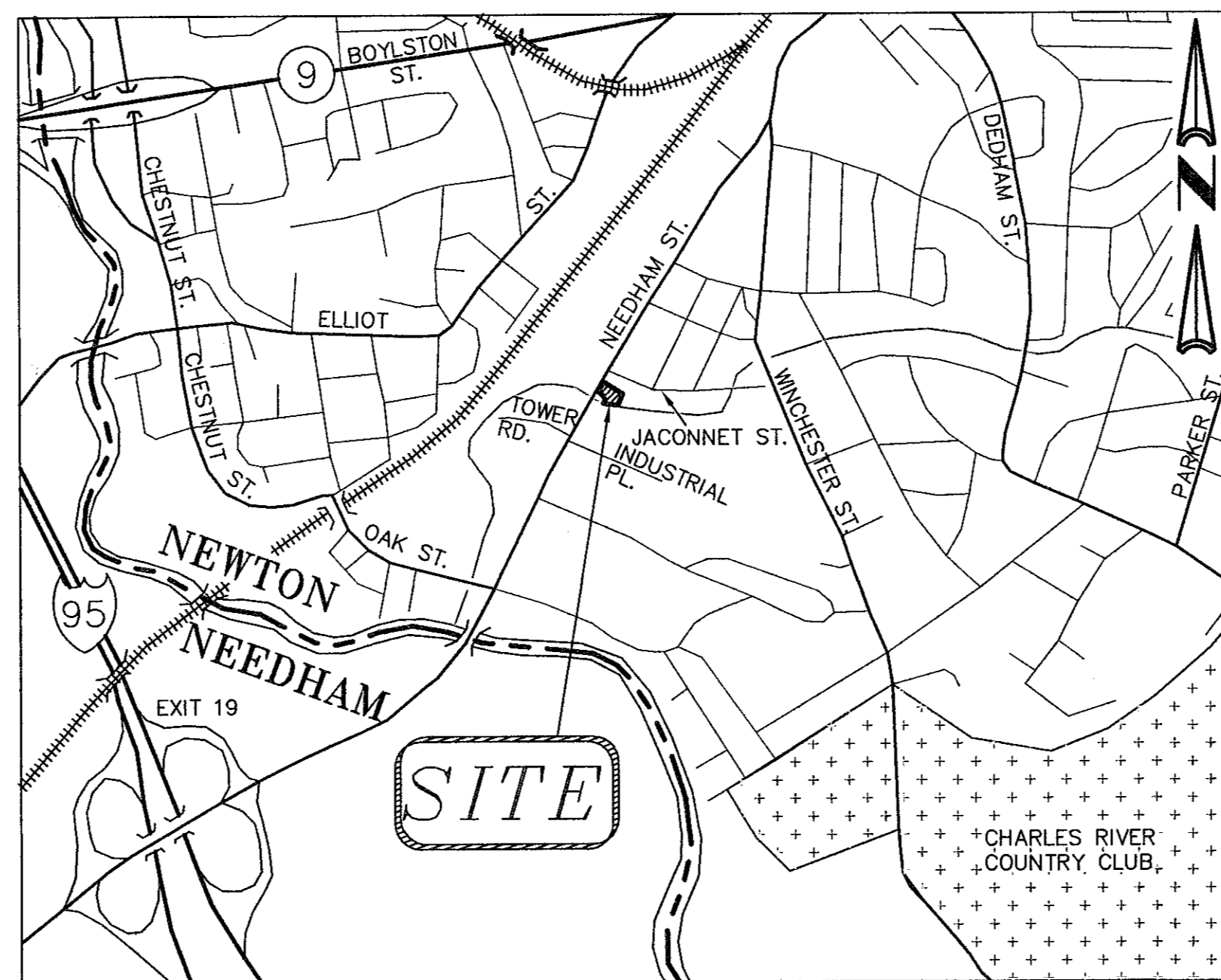
HDS ARCHITECTURE, INC.
625 MT. AUBURN STREET
CAMBRIDGE, MA 02138

LANDSCAPE ARCHITECT:

HAWK DESIGN, INC.
39 PLEASANT STREET
SAGAMORE, MA 02561

ATTORNEY:

SCHLESINGER AND BUCHBINDER, LLP
1200 WALNUT STREET
NEWTON, MA 02461



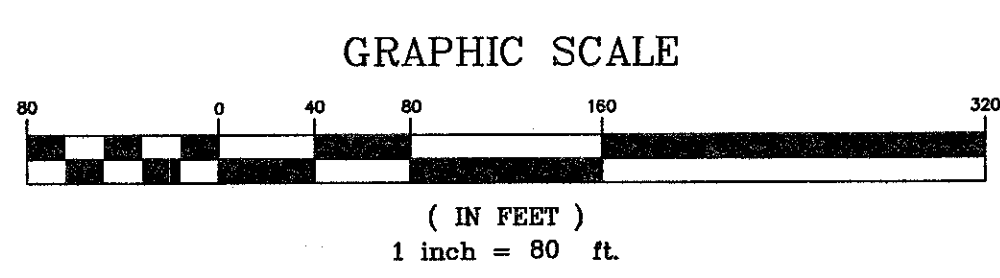
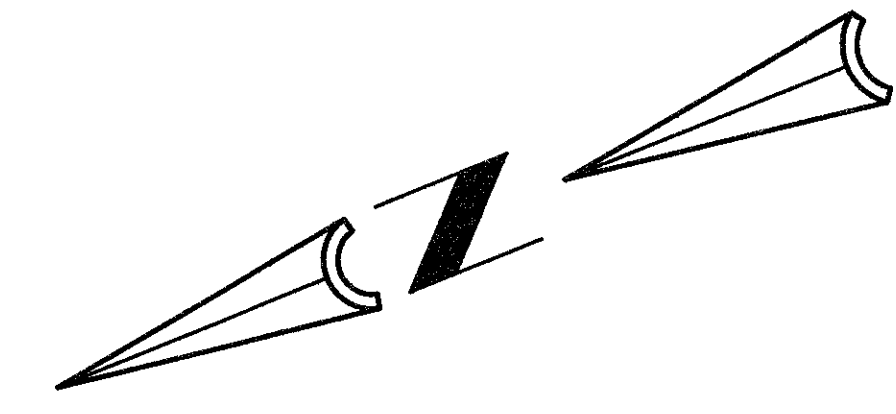
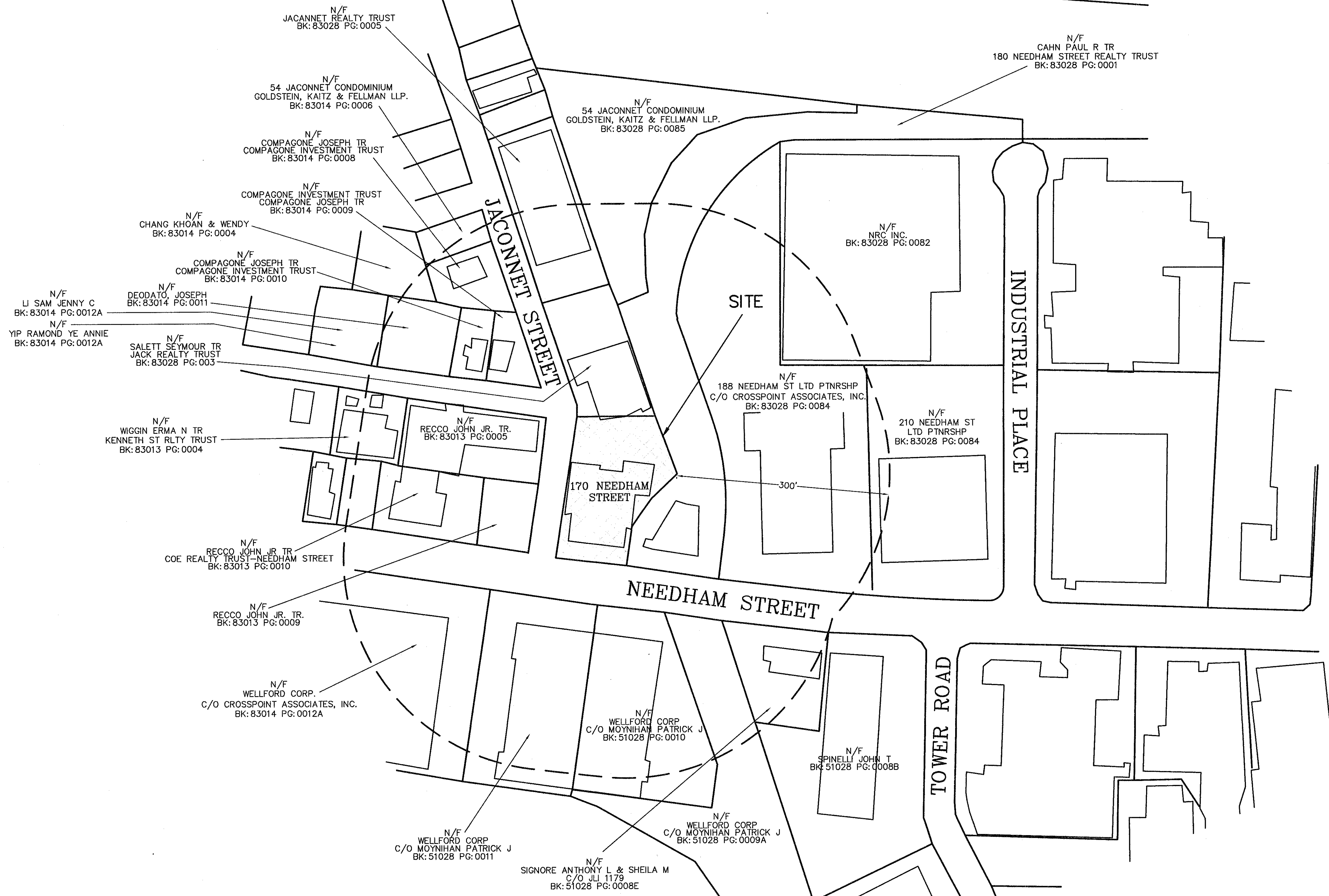
LOCATION MAP

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	SCALE NA	DISK REF NO. F:\P\2013-028	170 NEEDHAM ST. NEWTON, MA	SHEET NO. 1
	DATE 06/26/13	DRAWN BY C.J.L.		
	SHEET 1 OF 6	CHKD BY DAM	KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS 0 CAMPANELLI DRIVE • BRAINTREE MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028	
	PLAN NO. 2013-028-TS01	APPD BY DNK		

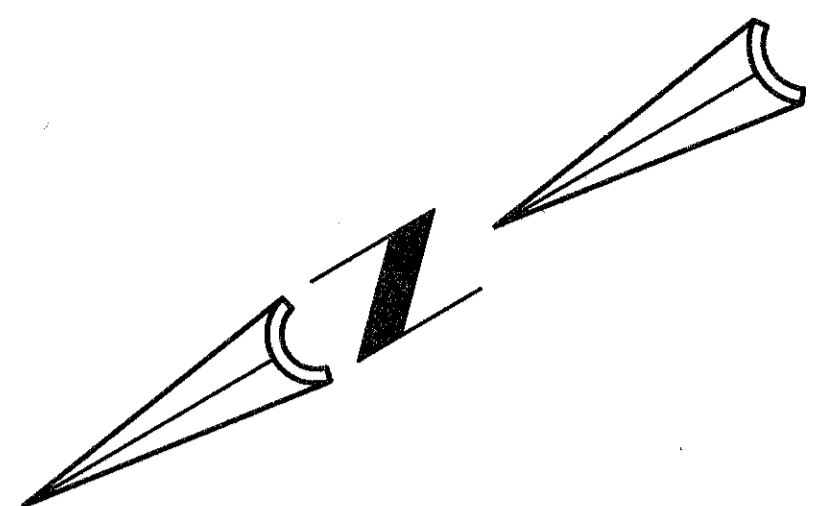


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SCALE	1" = 80'	2	09/16/13	PER CONSERVATION AGENT'S COMMENTS
DATE	06/26/13	1	08/29/13	NO CHANGES
REV	DATE	REV	DATE	REVISION
SHEET	2 OF 6	NEEDHAM CHESTNUT REALTY, LLC 170 NEEDHAM STREET NEWTON, MASSACHUSETTS		
PLAN NO.	028-MI-LOCUS	LOCUS PLAN		
DISK REF NO.	F:\P\2013-028	SHEET NO. 2		
DRAWN BY	C.J.L.	KELLY ENGINEERING GROUP CIVIL ENGINEERING CONSULTANTS		
CHKD BY	DAM	40 PEARL STREET · BRAintree, MA · 02184		
APPD BY	DNK	PHONE: 781 843 4333 FAX: 781 843 0028		



KENNETH STREET
(40' WIDE)

N/F JOHN RECCO JR. TR.

N/F JOHN RECCO JR. TR.

SMH
RIM=108.47
INV. A=91.3 (12" OUT)
INV. B=96.6 (8" DROP)
INV. C=104.2 (8" DROP CLAY)
INV. D=95.3 (10" DROP)
INV. E=91.3 (12" IN)
INV. F=98.2 (10" CLAY DROP)
INV. G=101.5 (6" CLAY 90° ELBOW)

SMH
RIM=106.16
INV. =92.0 (24" OUT)
INV. =98.3 (6" IN)
INV. =82.0 (18" IN)
INV. =97.0 (12" IN)
INV. =92.0 (24" IN)
INV. =102.3 (IN)
INV. =92.9 (IN)

N/F JACK REALTY TRUST

EXISTING BUILDING

SOUTH MEADOWBROOK DRAIN EASEMENT (40' WIDE)

N/F CROSSPOINT ASSOCIATES INC.

FLAGGED RIVERFRONT LINE AS SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS PLAN, DATED 04/06/08, PREPARED BY KELLY ENGINEERING GROUP, INC."

BENCHMARK BONNET BOLT ON HYDRANT
ELEV. = 108.97 (NAVD OF 1988)

LOT AREA =
27,178± S.F.
0.62 AC.

EXISTING BUILDING #170

EXISTING BUILDING (BUILT 1955)

N/F 180 NEEDHAM STREET LLC

NEEDHAM STREET
(PUBLIC - 60' WIDE)

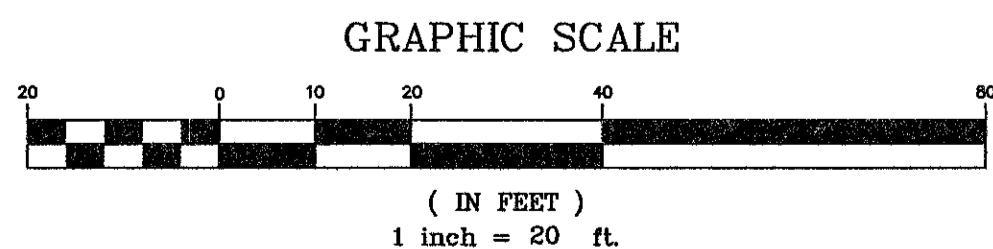
LEGEND	
[Symbol]	CATCH BASIN
[Symbol]	DRAIN MANHOLE
[Symbol]	DRAINLINE
[Symbol]	ROOF DRAIN
[Symbol]	FLOW DIRECTION
[Symbol]	SEWER MANHOLE
[Symbol]	SEWER LINE
[Symbol]	WATER VALVE
[Symbol]	HYDRANT
[Symbol]	WATER LINE
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	ELECTRIC METER
[Symbol]	UTILITY POLE
[Symbol]	GAS LINE
[Symbol]	GAS VALVE
[Symbol]	GAS METER
[Symbol]	TRANSFORMER
[Symbol]	BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	VERTICAL CONCRETE CURB
[Symbol]	BITUMINOUS CONC. CURB
[Symbol]	SIGN
[Symbol]	METAL GUARDRAIL
[Symbol]	RETAINING WALL
[Symbol]	LANDSCAPED
[Symbol]	RIVERFRONT LINE
[Symbol]	RIVERFRONT FLAG
[Symbol]	SPOT ELEVATION
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	RECORD LOCATION

PLAN REFERENCES:

- 1.) SEE PLAN (SPRINKLER - WATER CONNECTION), 170 NEEDHAM STREET, NEWTON, MA, REVISED THROUGH 11/14/2001, PREPARED BY CUBELLIS SALVEZTS ASSOCIATES, BRAintree, MA.
- 2.) PLAN NO. 1415 OF 1986 RECORDED IN BOOK: 17492 PAGE: END.
- 3.) PLAN NO. 1144 OF 1987 RECORDED IN BOOK: 18470 PAGE: 347.

NOTES:

- 1.) TOPOGRAPHICAL INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY KELLY ENGINEERING GROUP, INC. IN FEBRUARY 2013.
 - 2.) AT THE TIME OF SURVEY, SNOW WAS PRESENT ON THE GROUND.
 - 3.) UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE BASED UPON FIELD LOCATIONS OF VISIBLE STRUCTURES COMBINED WITH AVAILABLE RECORD INFORMATION.
 - 4.) ELEVATIONS SHOWN HEREON ARE BASED ON NGVD DATUM OF 1929.
- THE ELEVATION WAS DETERMINED USING ELEVATION REFERENCE MARK "RM 15" (NORTH NUT OF HYDRANT NEAR POLE 85 ON SOUTH SIDE JACONNETT STREET, OPPOSITE INTERSECTION OF KENNETH STREET), AS SHOWN OF FLOOD INSURANCE RATE MAP, FOR THE CITY OF NEWTON, MA, DATED JUNE 4, 1990, COMMUNITY-PANEL NUMBER 260208 0004 D.



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SCALE 1" = 20'	2	09/16/13	NO CHANGES	
DATE 06/28/13	1	08/29/13	NO CHANGES	
SHEET 3 OF 6	REV	DATE	REVISION	BY
PLAN NO. 2013-028-SU00	NEEDHAM CHESTNUT REALTY, LLC 170 NEEDHAM STREET NEWTON, MASSACHUSETTS			
DISK REF NO. F:\P\2013-028	EXISTING CONDITIONS PLAN			
DRAWN BY JPM	KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS			
CHKD BY DAM	0 CAMPANELLI DRIVE · BRAINTREE, MA · 02184			
APPD BY SMH	PHONE: 781 843 4333 FAX: 781 843 0028			

COMMONWEALTH OF MASSACHUSETTS
STEVEN M. HORSEFIELD
No. 101
9-16-13
SHEET NO.
3

ZONING LEGEND			
ZONING DISTRICT: MIXED USE 1			
	REQUIRED/PERMITTED	PROVIDED	COMPLIANCE
MIN. AREA	40,000 S.F.	27,178 ± S.F.	EXISTING NONCONFORMING
MIN. FRONTAGE	80'	200.40'	YES
MIN. YARD -FRONT*	9.9' (NOTE 1) JACONNET ST.	10.0'	YES
-FRONT*	15' NEEDHAM ST.	15.0'	YES
-SIDE*	7.5'	7.5'	YES
-REAR*	7.5'	7.5'	YES
MAX. STORIES	3	2	YES
MAX. HEIGHT	36'	24.7'	YES
FAR COVERAGE	1.5	0.26 (NOTE 2)	YES
PARKING TOTAL	14 (NOTE 3)	33	YES
-SIZE	9' x 19' 9' x 17' W/ 2' OVERHANG	9' x 19' 9' x 17' W/ 2' OVERHANG	YES
-HANDICAP	2	2	YES
-LOADING	1	0	SPECIAL PERMIT SECTION 30-20(m)
PARKING SETBACK			
-FRONT	10'	10.0'±	YES
-SIDE	7.5'	7.5'±	YES
-REAR	7.5'	7.5'±	YES
AISLE WIDTH	24' (PARKING)	23.5'	WAIVER
MAX. DRVY. WIDTH	25'	23.5'	YES
BICYCLE PARKING	4	> 4	YES
INTERIOR LANDSCAPING	5%	8.6% (NOTE 4)	YES
INTERIOR TREES	4	4	YES

* ASSUMES JACONNET STREET IS THE FRONT YARD PER SECTION 30-15(f) AND THE LINE OPPOSITE JACONNET STREET IS THE REAR YARD.

NOTE 1: FRONT YARD PER SECTION 30-15(d) IS THE AVERAGE SETBACK DISTANCE = 9.9' (70 JACONNET ST.)

NOTE 2: FAR = 7,140 S.F. / 27,178 S.F. = 0.26

NOTE 3: PARKING REQUIRED:
REQUIRED PARKING = A - B + C (SECTION 30-19)

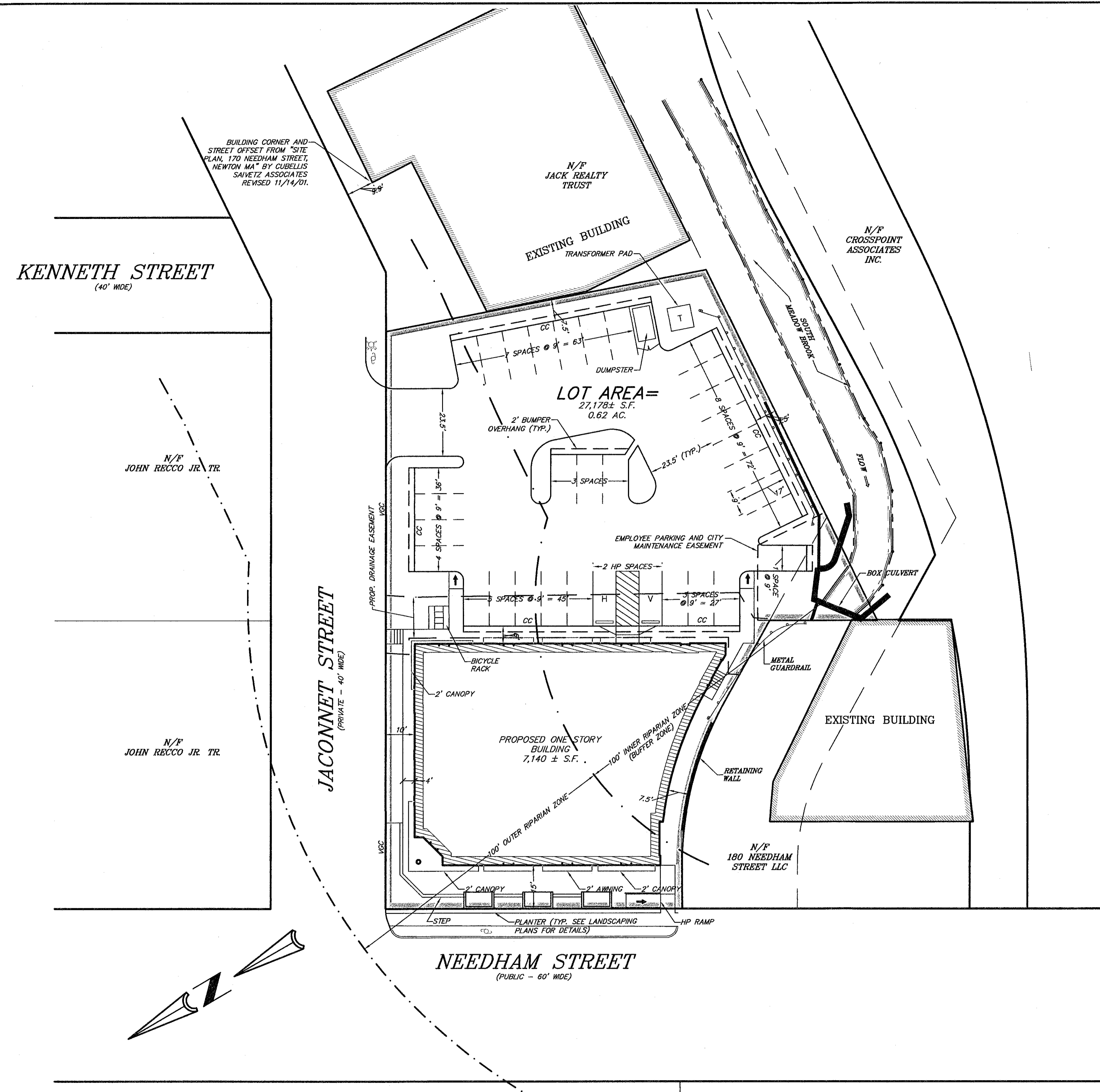
(A) RETAIL (5000 S.F., 9 EMPLOYEES) = 5,000 S.F. x 1/300 S.F. + 9 EMPLOYEES x 1/3 = 20 SPACES
RESTAURANT (50 SEATS, 6 EMPLOYEES) = 50 SEATS x 1/3 + 6 EMPLOYEES x 1/3 = 19 SPACES
TOTAL REQUIRED SPACES PER ORDINANCE = 39 SPACES = A

(B) EXISTING USES REQUIRED
RETAIL (4,848 S.F., 6 EMPLOYEES) = 4,848 S.F. x 1/300 S.F. + 6 EMPLOYEES x 1/3 = 19 SPACES
OFFICE (6,786 S.F.) = 6,786 S.F. x 1/250 S.F. = 28 SPACES
STORAGE (2,450 S.F.) = 2,450 S.F. x 1/2500 S.F. = 1 SPACE
TOTAL EXISTING REQUIRED SPACES PER ORDINANCE = 48 SPACES = B

(C) EXISTING USES PROVIDED = 23 SPACES

TOTAL REQUIRED PARKING = 39 SPACES - 48 SPACES + 23 SPACES = 14 SPACES

NOTE 4: INTERIOR LANDSCAPING = 1,043 S.F. / 12,196 S.F. PARKING LOT AREA = 8.6%



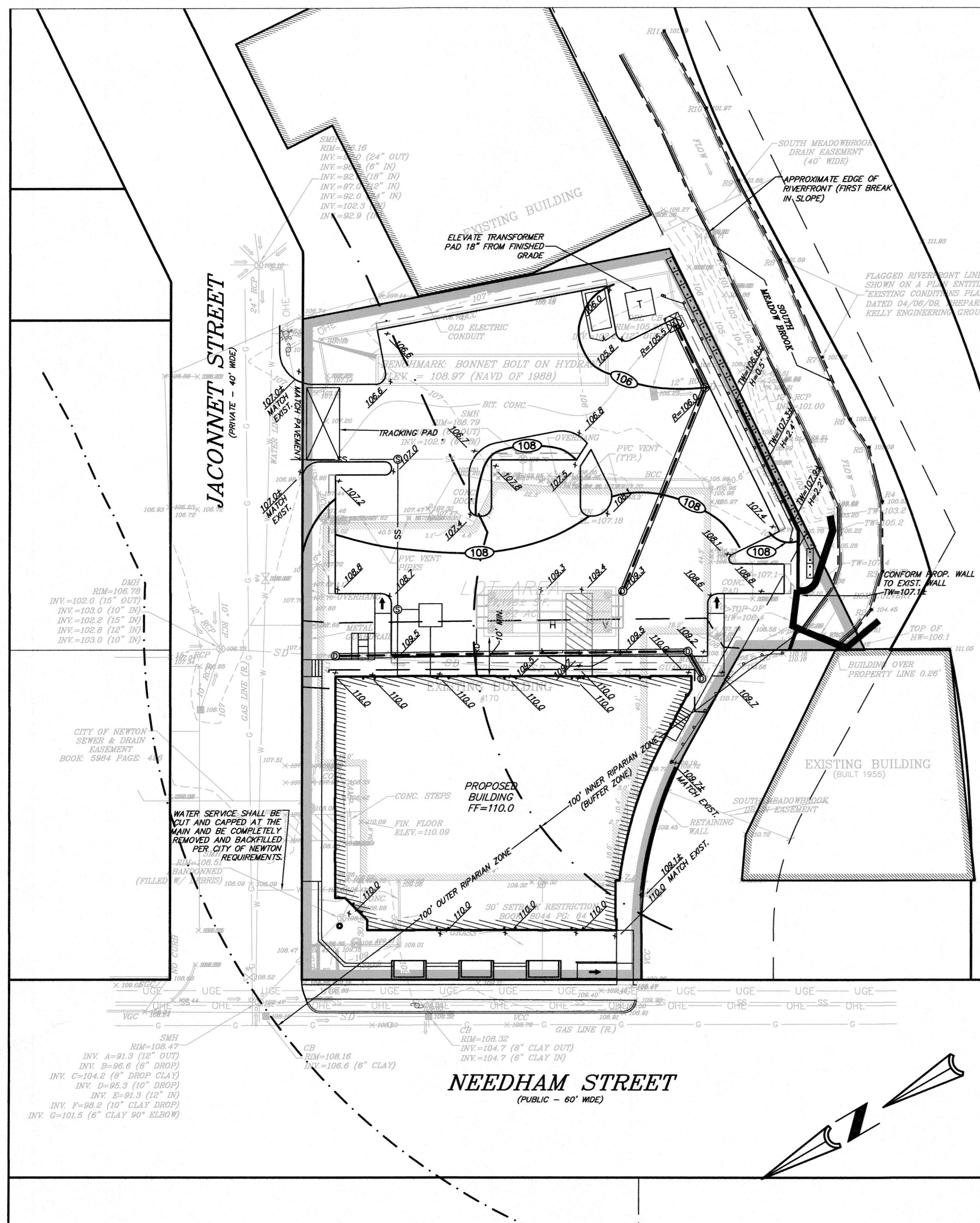
PROPOSED LEGEND	
CC	CONCRETE CURB
H	HANDICAP SPACE
V	VAN HANDICAP SPACE
→	HANDICAP RAMP
---	PROPERTY LINE

SCALE 1" = 20'	2	09/16/13	PER CONSERVATION AGENT'S COMMENTS
DATE 06/26/13	1	08/29/13	PER PLANNING BOARD COMMENTS
SHEET 4 OF 6	REV	DATE	REVISION
PLAN NO. 2013-028-LA00	NEEDHAM CHESTNUT REALTY, LLC 170 NEEDHAM STREET NEWTON, MASSACHUSETTS		
DISK REF NO. F:\P\2013-028	LAYOUT PLAN		
DRAWN BY JPM	KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS		
CHKD BY DAM	0 CAMPANELLI DRIVE · BRAintree MA · 02184		
APPD BY SMH	PHONE: 781 843 4333 FAX: 781 843 0028		
SHEET NO.			4

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GRADING

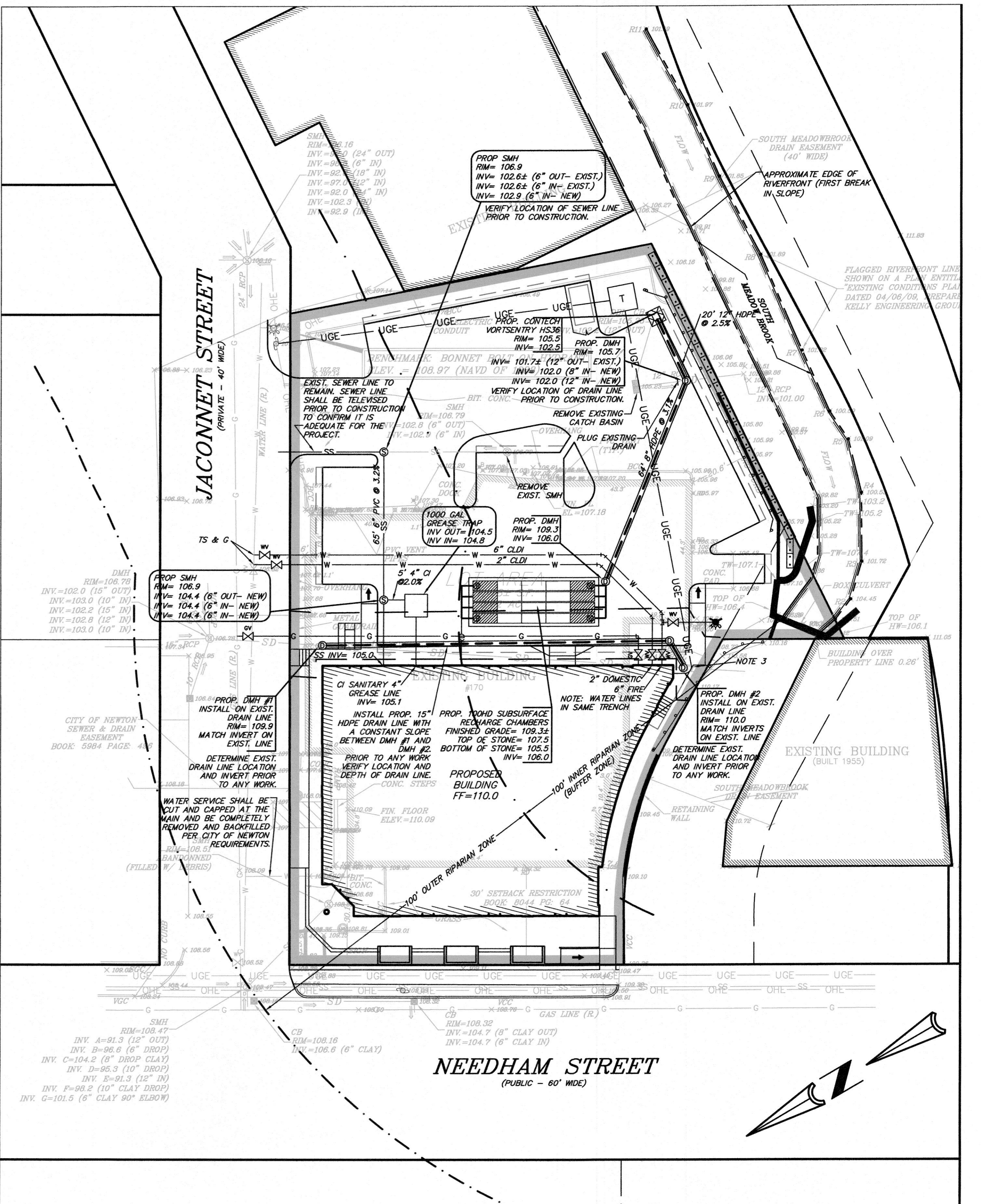
EXISTING LEGEND

⊠	CATCH BASIN
⊙	DRAIN MANHOLE
—SD—	DRAIN LINE
—RD—	ROOF DRAIN
(R)	RECORD LOCATION
⊙	SEWER MANHOLE
—S—	SEWER LINE
—W—	WATER VALVE
—H—	HYDRANT
—L—	WATER LINE
—OHE—	OVERHEAD ELECTRIC
—UGE—	UNDERGROUND ELECTRIC
—EM—	ELECTRIC METER
—UP—	UTILITY POLE
—GL—	GAS LINE
—GV—	GAS VALVE
—GM—	GAS METER
—TR—	TRANSFORMER
—BL—	BOLLARD
—VCC—	VERTICAL CONCRETE CURB
—BCC—	BITUMINOUS CONC. CURB
—S—	SIGN
—MGL—	METAL GUARDRAIL
—RW—	RETAINING WALL
—LS—	LANDSCAPED
—FL—	RIVERFRONT LINE
—RF—	RIVERFRONT FLAG

PROPOSED LEGEND

⊠	CATCH BASIN
⊙	DRAIN MANHOLE
—	DRAIN LINE
—RD—	ROOF DRAIN LINE
⊙	SEWER MANHOLE
—S—	SEWER LINE
—GV—	GAS VALVE
—G—	GAS LINE
—WV—	WATER VALVE
—W—	WATER LINE
—UGE—	UNDERGROUND ELECTRIC LINE
108	CONTOUR LINE
x 107.6	SPOT GRADE
—	EROSION CONTROL LINE
⊠	SILT SACK
⊠	HYDRANT

- CITY OF NEWTON NOTES:**
- ALL STRUCTURE INVERTS ARE LISTED WITH OUTLET FIRST THEN CLOCKWISE AROUND STRUCTURE.
 - FLOOD ZONE PER CURRENT FEMA MAPPING EL=112.4 NAVD, EL=111.6 NAVD 88.
 - WHEN A CONNECTION TO THE CITY'S DRAINAGE SYSTEM IS PROPOSED, PRIOR TO APPROVAL OF THE BUILDING PERMIT A CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION SHALL BE PERFORMED AND WITNESSED BY THE ENGINEERING DIVISION. THE APPLICANT SHALL RETAIN A CONTRACTOR THAT SPECIALIZES IN CCTV INSPECTION. THE APPLICANT SHALL CONTACT THE ENGINEERING DIVISION 48 HOURS IN ADVANCE TO SCHEDULE AN APPOINTMENT. AT THE END OF THE INSPECTION THE VIDEO OR CD SHALL BE GIVEN TO THE INSPECTOR. FURTHERMORE, UPON COMPLETION OF THE CONNECTION TO THE DRAINAGE SYSTEM A POST-CONSTRUCTION VIDEO INSPECTION SHALL ALSO TAKE PLACE. THE WITNESSED AS DESCRIBED ABOVE. THIS IS REQUIRED REGARDLESS OF THE CONNECTION POINT. THE INTENT IS TO ENSURE THAT THERE ARE NO DOWNSTREAM BLOCKAGES OR DAMAGED PIPE SO THAT THE CONTRACTOR OF RECORD IS NOT HELD ACCOUNTABLE FOR PREEXISTING CONDITIONS.
 - WITH THE EXCEPTION OF NATURAL GAS SERVICE(S), ALL UTILITY TRENCHES WITH THE RIGHT OF WAY SHALL BE BACKFILLED WITH CONTROL DENSITY FILL (CDF) EXCAVATABLE TYPE I-E. DETAIL IS AVAILABLE IN THE CITY OF NEWTON CONSTRUCTION STANDARDS DETAIL BOOK.
 - NEW SEWER SERVICE MUST BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE AS DETERMINED BY THE CONSTRUCTION INSPECTOR. SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS AND SPECIFICATIONS. TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF NEWTON'S ENGINEERING DIVISION.
 - ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS RECEIVED BY THE CITY ENGINEER.
 - FIRE FLOW TESTING IS REQUIRED FOR THE PROPOSED FIRE SUPPRESSION SYSTEM. THE APPLICANT MUST COORDINATE THIS TEST WITH BOTH THE NEWTON FIRE DEPARTMENT AND THE UTILITIES DIVISION. REPRESENTATIVES OF EACH DEPARTMENT SHALL WITNESS THE TESTING. TEST RESULTS SHALL BE SUBMITTED IN A WRITTE REPORT. HYDRAULIC CALCULATION SHALL BE SUBMITTED TO THE NEWTON FIRE DEPARTMENT FOR APPROVAL.
 - FIRE FLOW TESTING IS REQUIRED FOR THE PROPOSED FIRE SUPPRESSION SYSTEM. THE APPLICANT MUST COORDINATE THIS TEST WITH BOTH THE NEWTON FIRE DEPARTMENT AND THE UTILITIES DIVISION. REPRESENTATIVES OF EACH DEPARTMENT SHALL WITNESS THE TESTING. TEST RESULTS SHALL BE SUBMITTED IN A WRITTE REPORT. HYDRAULIC CALCULATION SHALL BE SUBMITTED TO THE NEWTON FIRE DEPARTMENT FOR APPROVAL.
 - ALL WATER CONNECTIONS SHALL BE CHLORINATED & PRESSURE TESTED IN ACCORDANCE TO CITY AND CITY OF NEWTON CONSTRUCTION STANDARDS AND SPECIFICATIONS PRIOR TO OPENING THE CONNECTION TO EXISTING PIPES.
 - APPROVAL OF THE FINAL CONFIGURATION OF THE WATER SERVICE(S) SHALL BE DETERMINED BY THE UTILITIES DIVISION. THE ENGINEER OF RECORD SHOULD SUBMIT A PLAN TO THE DIRECTOR OF UTILITIES FOR APPROVAL.
 - AS OF JANUARY 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A TRENCH EXCAVATION SAFETY REQUIREMENTS TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED.
 - ALL TREE REMOVAL SHALL COMPLY WITH THE CITY'S TREE ORDINANCE.



UTILITY & DRAINAGE

SCALE	1" = 20'	2	09/16/13	PER CONSERVATION AGENT'S COMMENTS
DATE	06/26/13	1	08/29/13	PER PLANNING BOARD COMMENTS
SHEET	5 OF 6	REV	DATE	REVISION
PLAN NO.	2013-028-SP01	NEEDHAM CHESTNUT REALTY, LLC		
DISK REF NO.	F:\P\2013-028	170 NEEDHAM STREET		
DRAWN BY	JPM	NEWTON, MASSACHUSETTS		
CHKD BY	DAM	GRADING, UTILITY & DRAINAGE		
APPD BY	SMH	PLAN		
		KELLY ENGINEERING GROUP, INC.		
		CIVIL ENGINEERING CONSULTANTS		
		0 CAMPANELLI DRIVE • BRAintree MA • 02184		
		PHONE: 781 843 4333 FAX: 781 843 0028		

SHEET NO. **5**

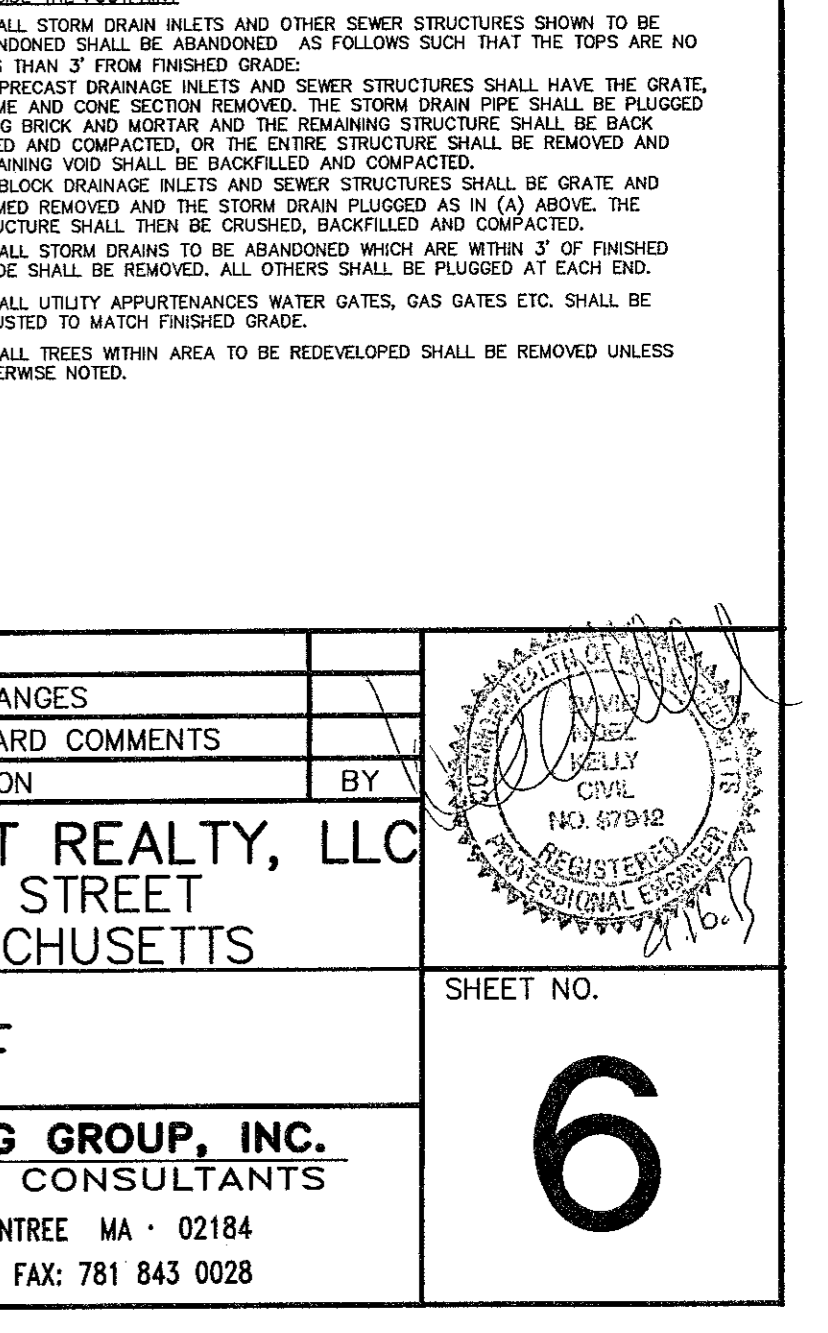
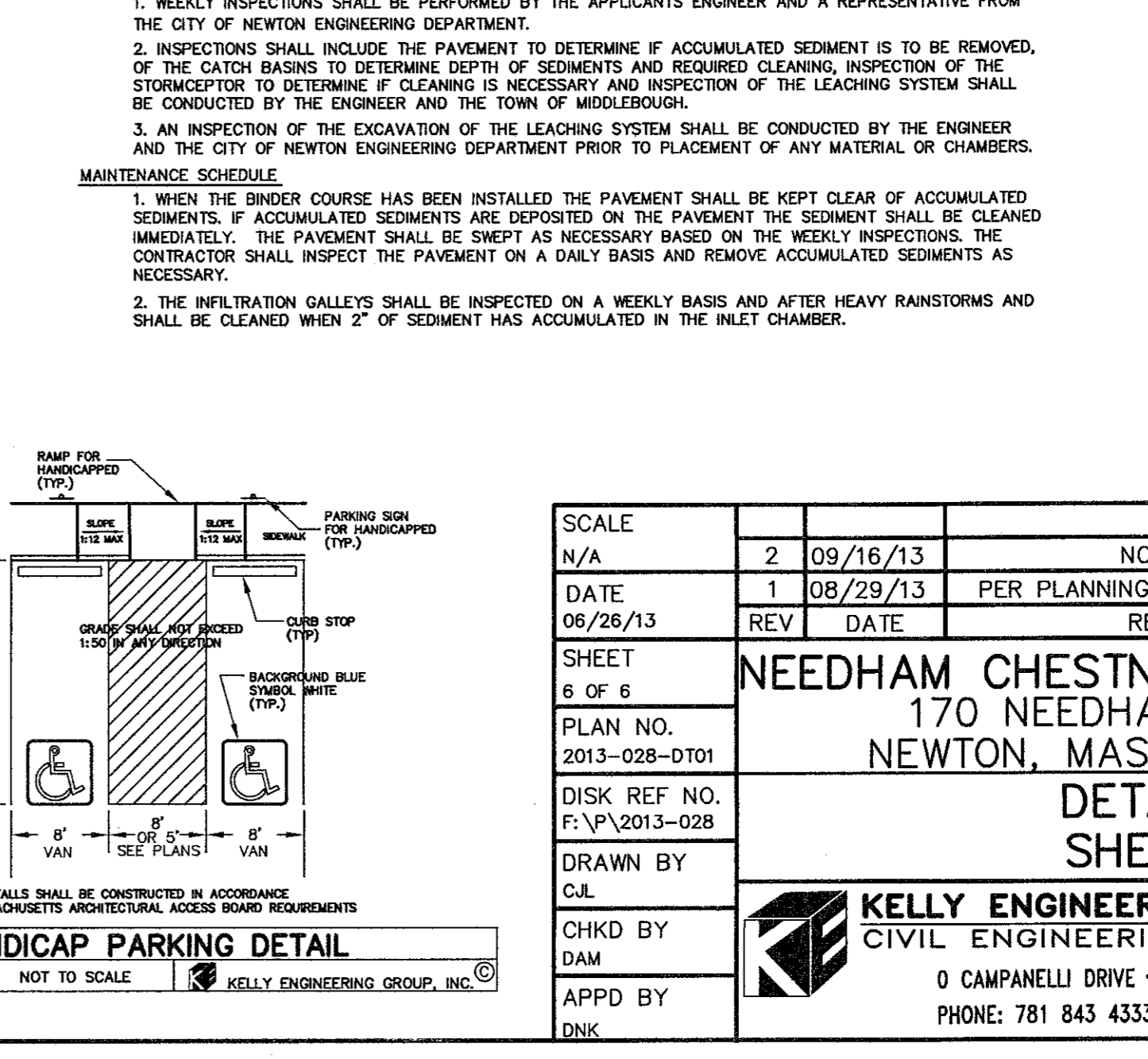
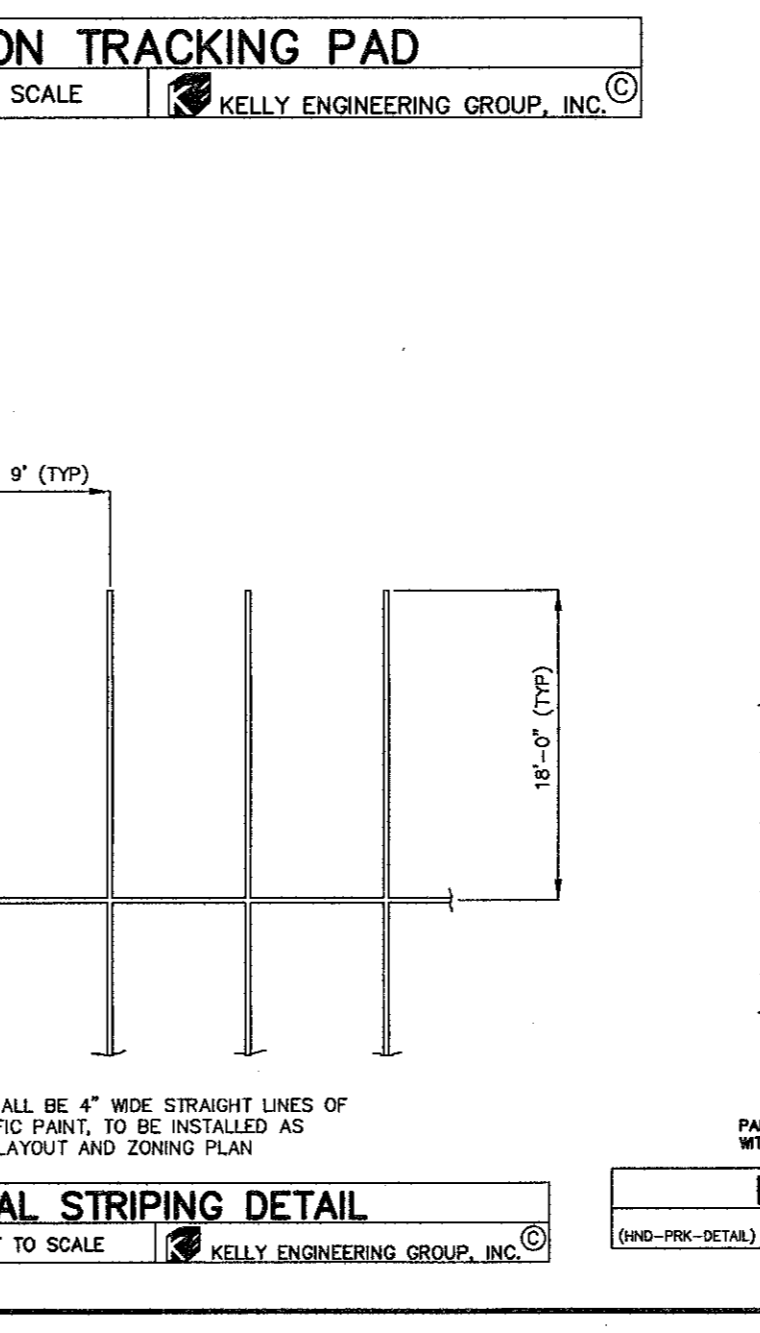
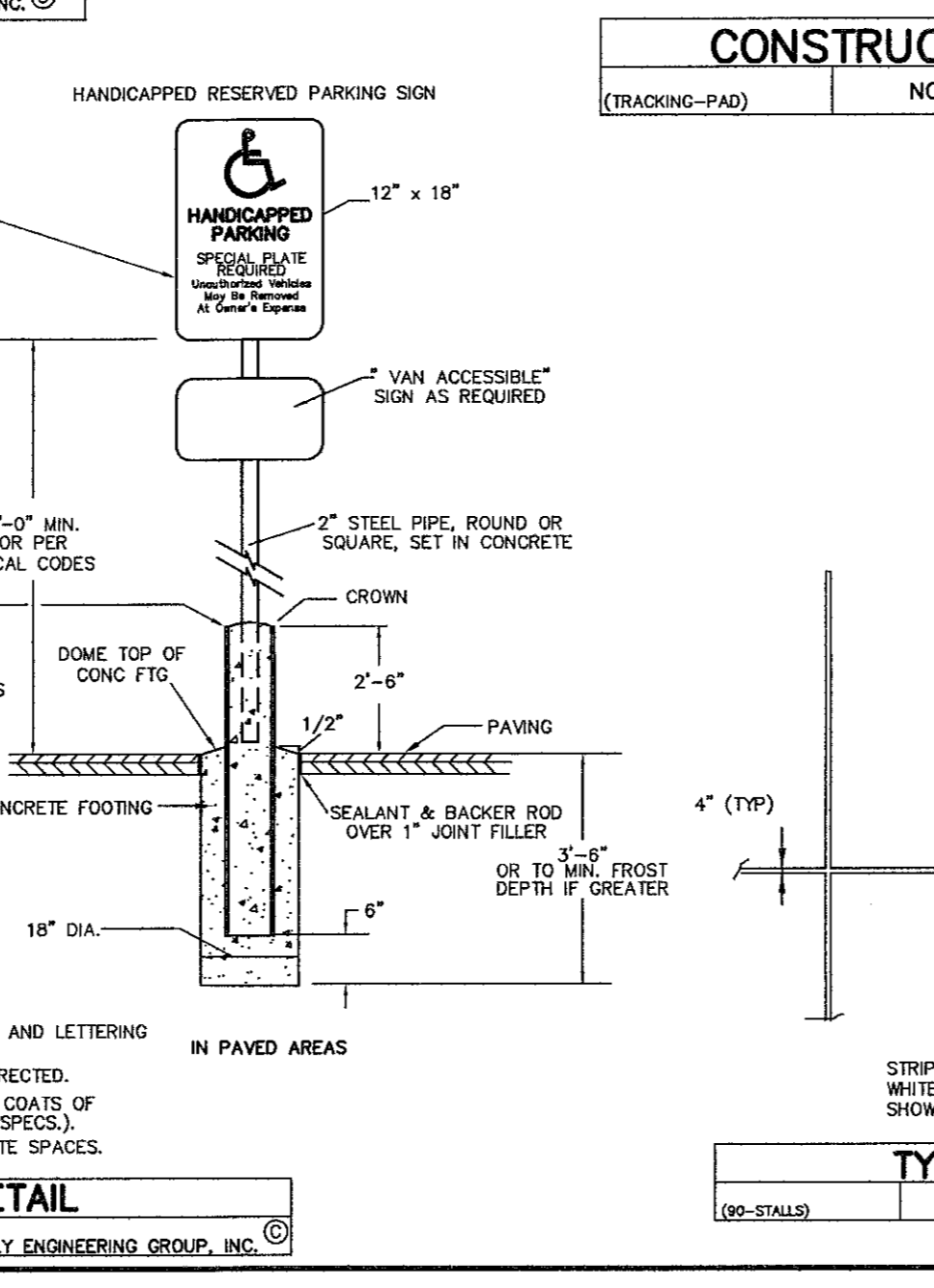
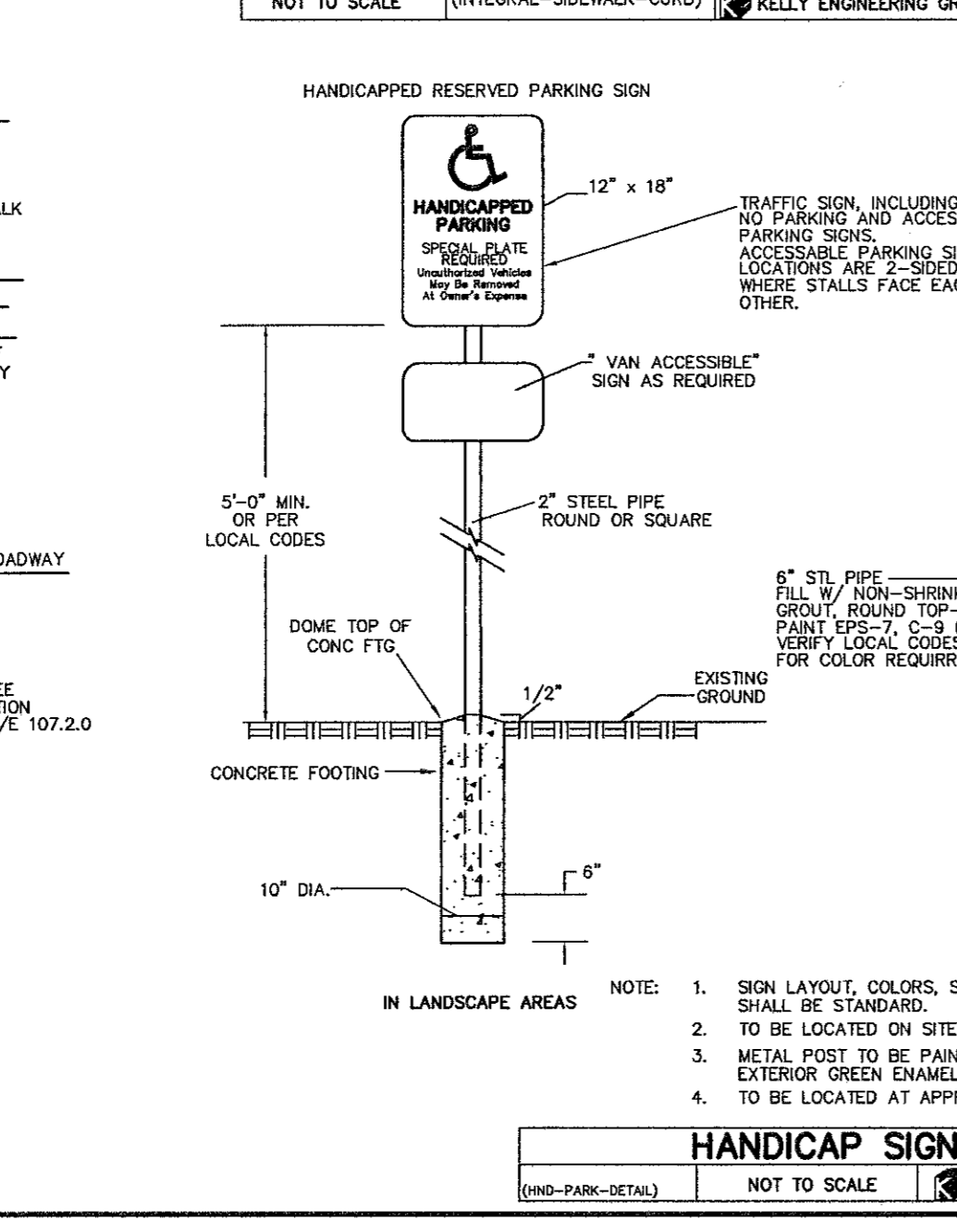
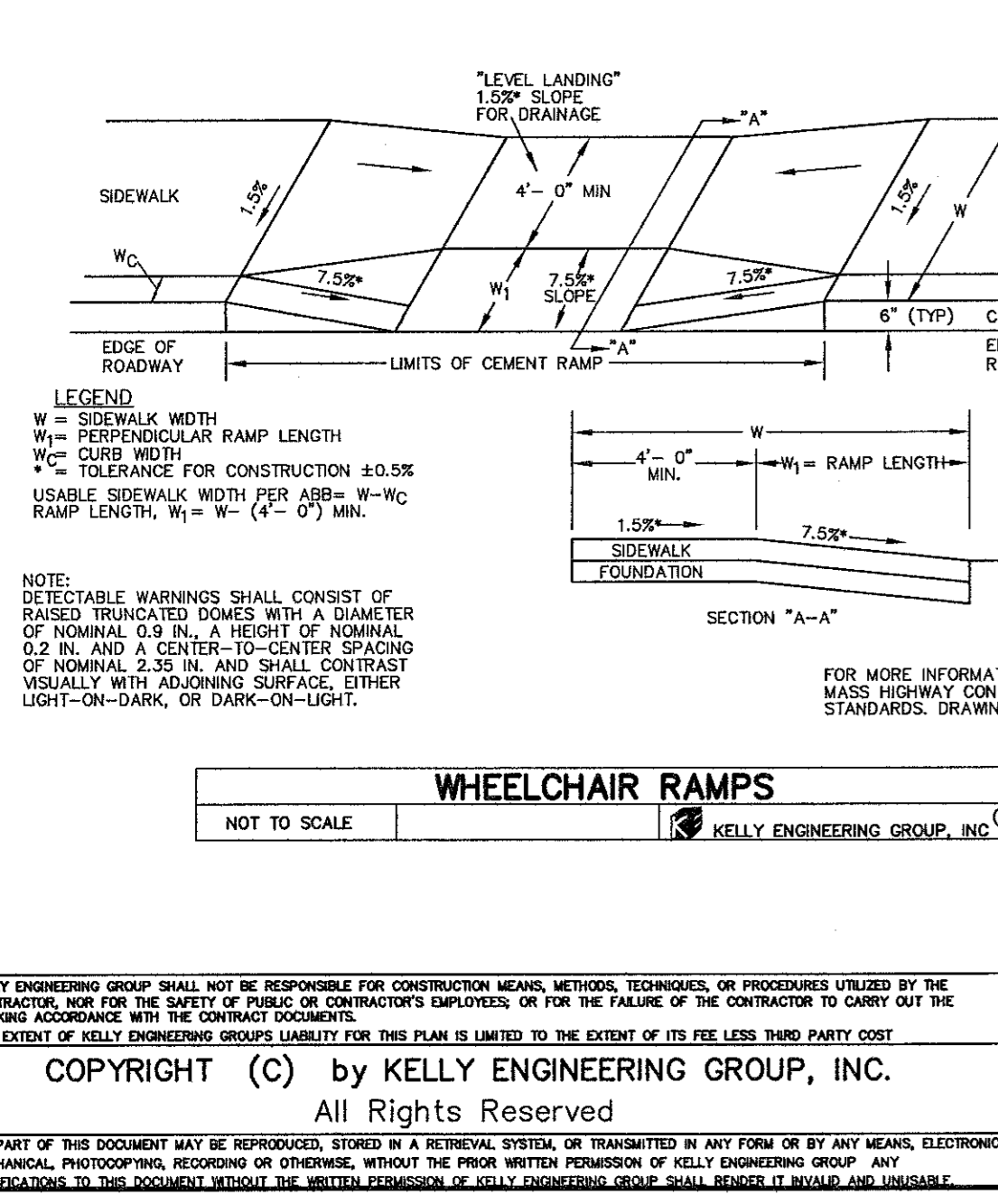
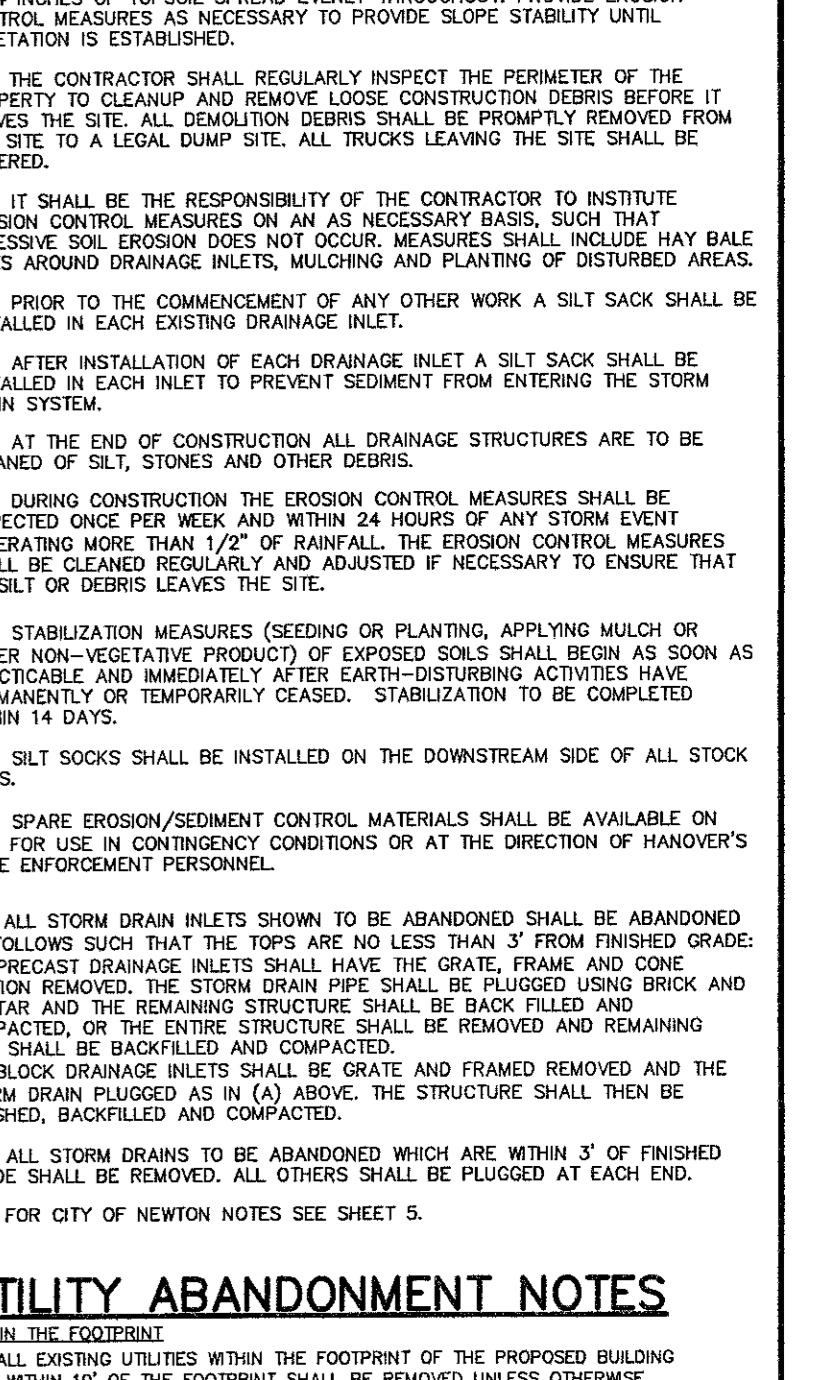
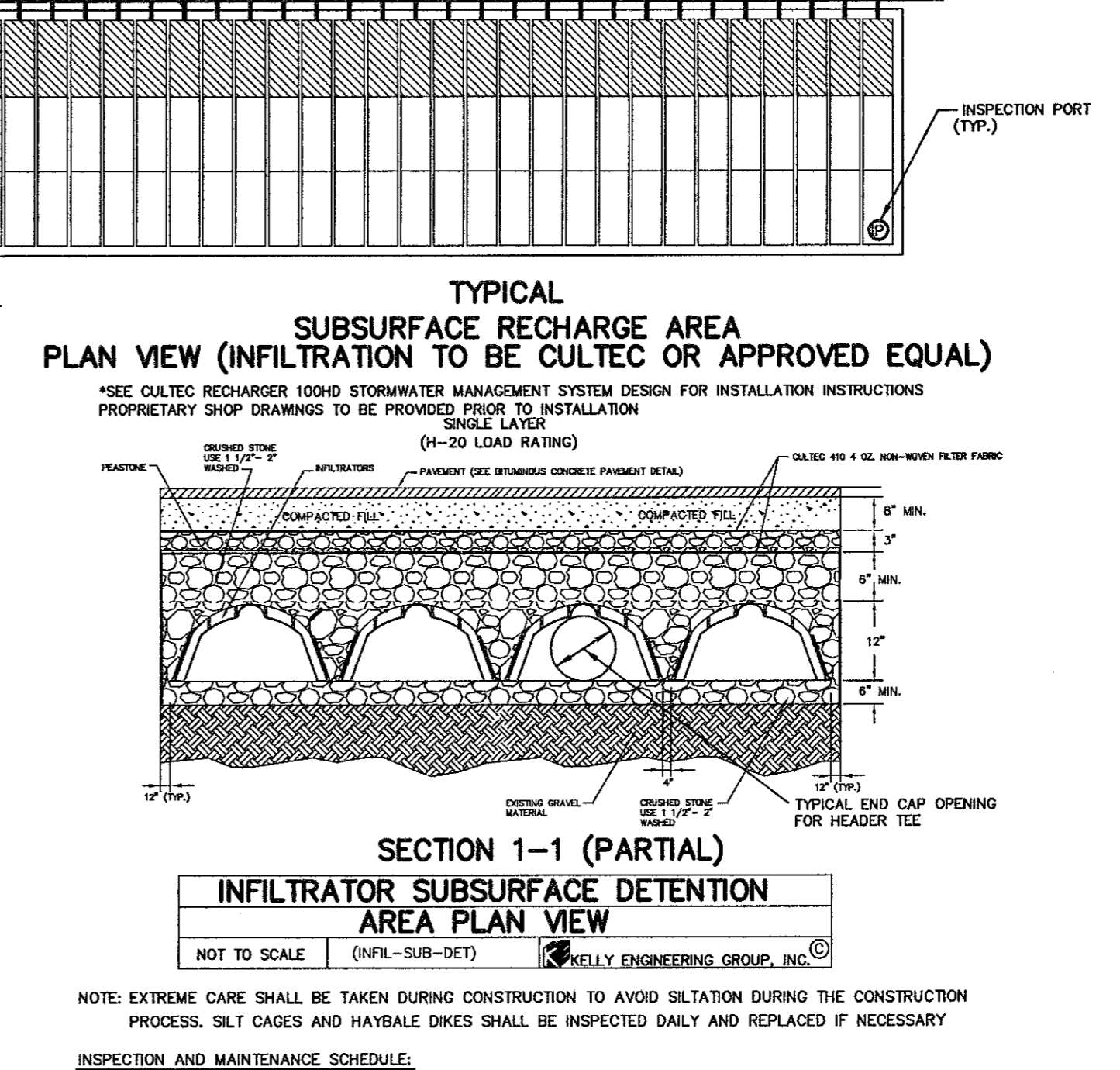
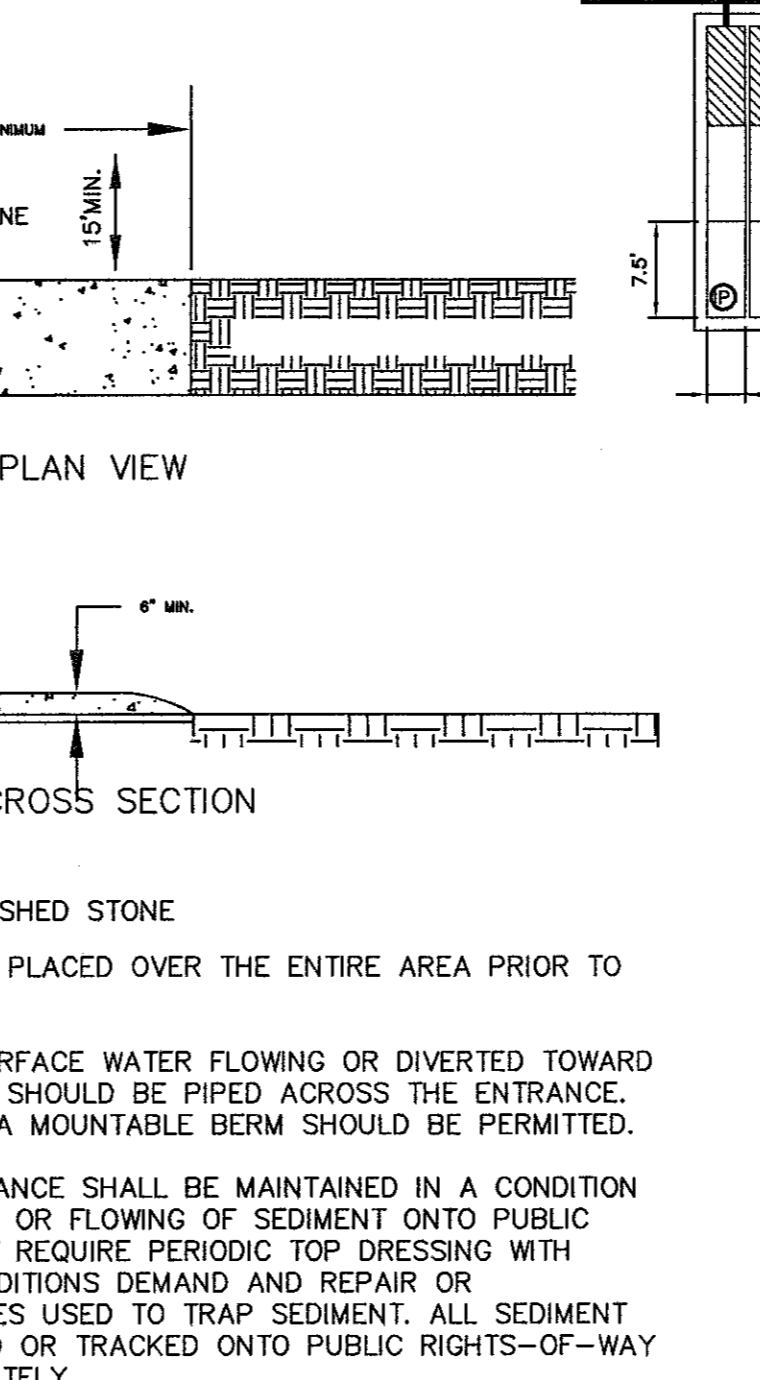
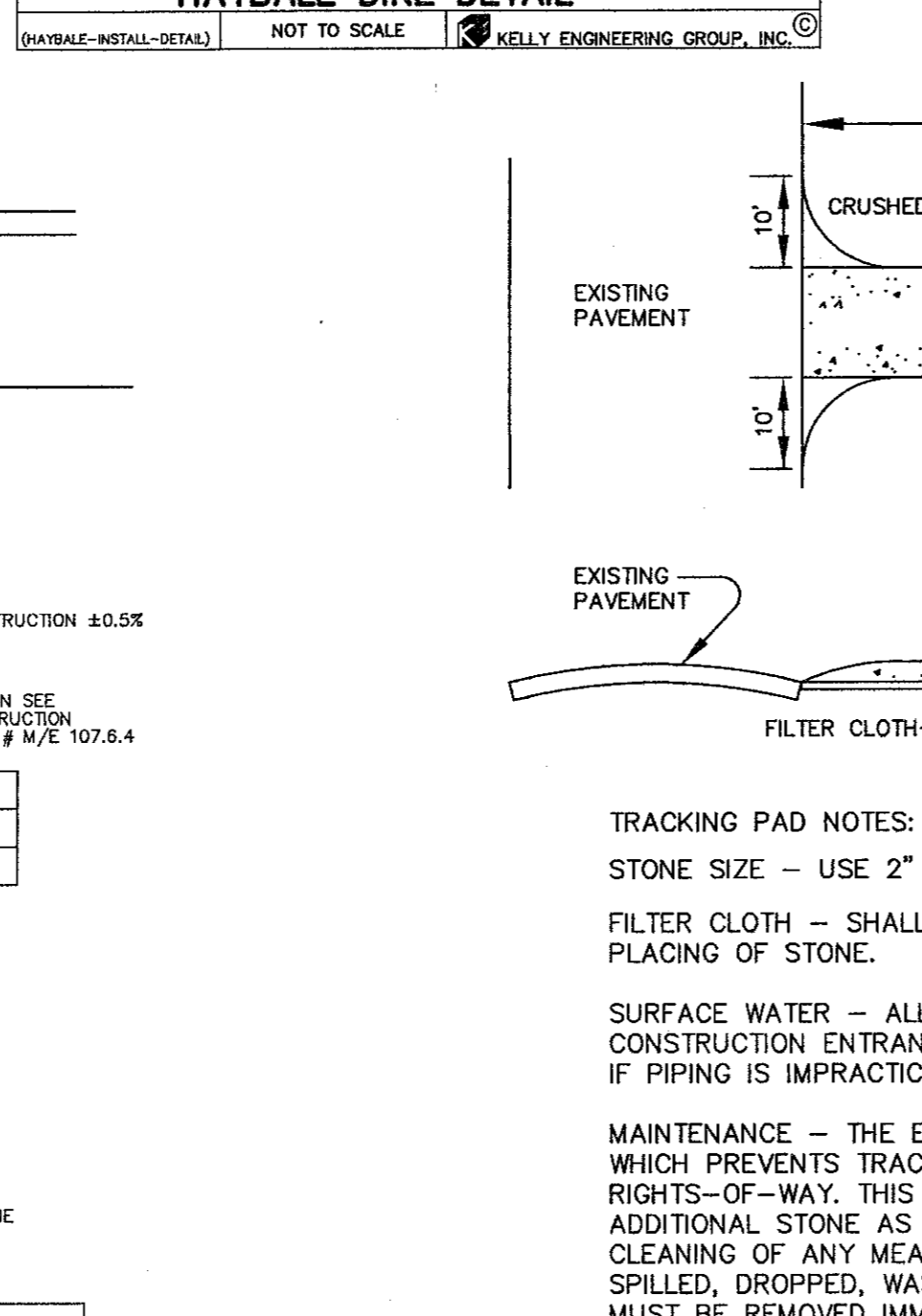
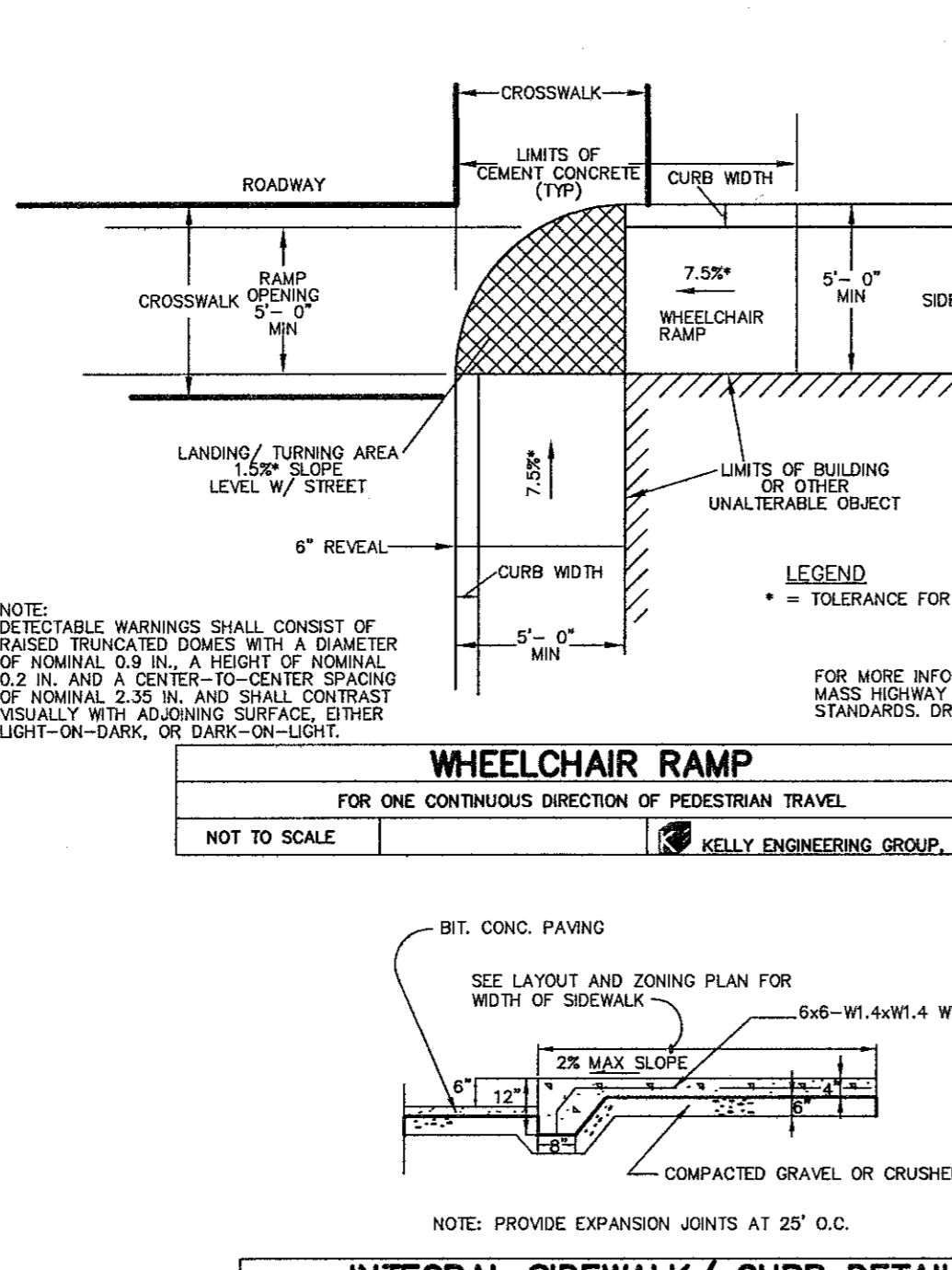
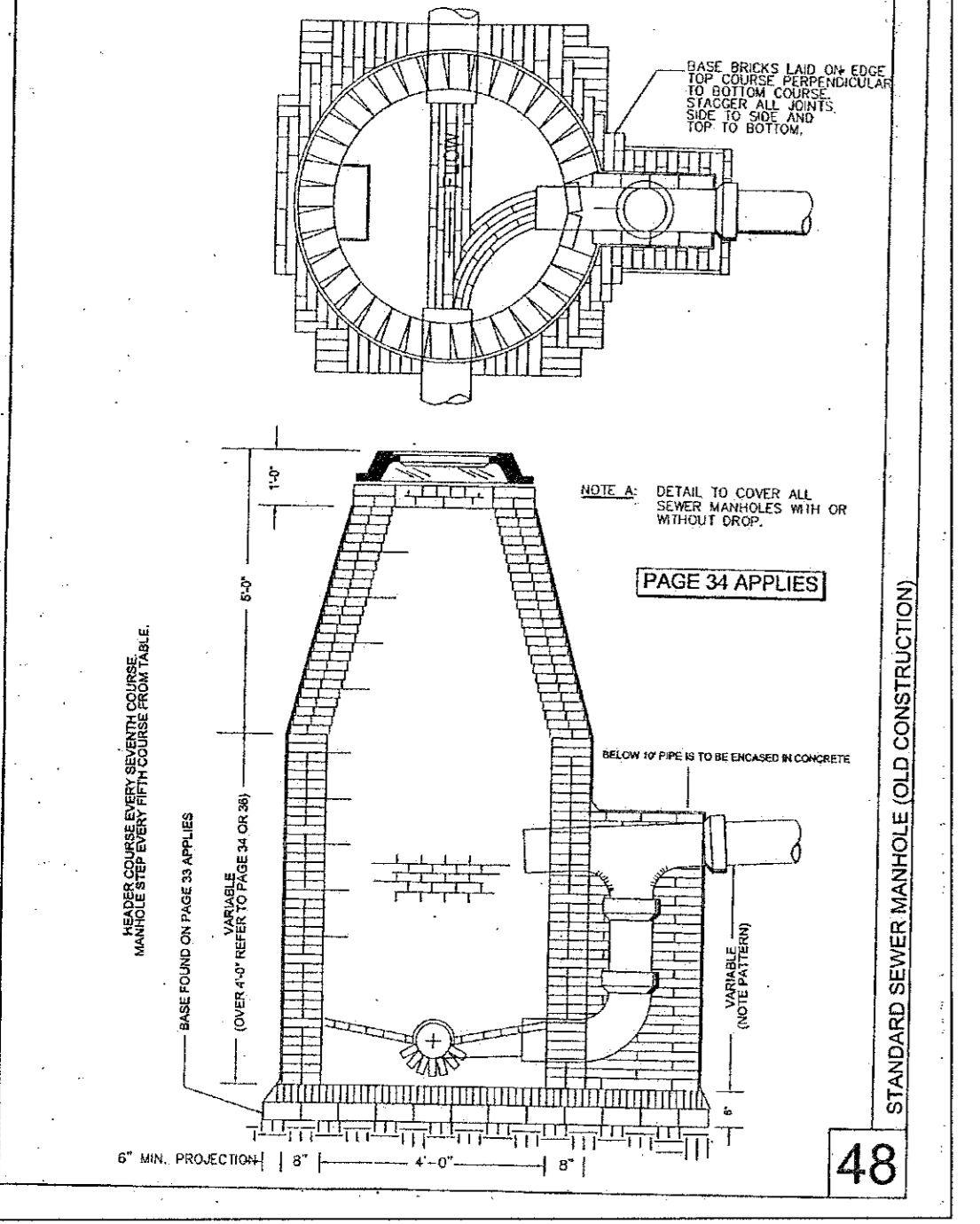
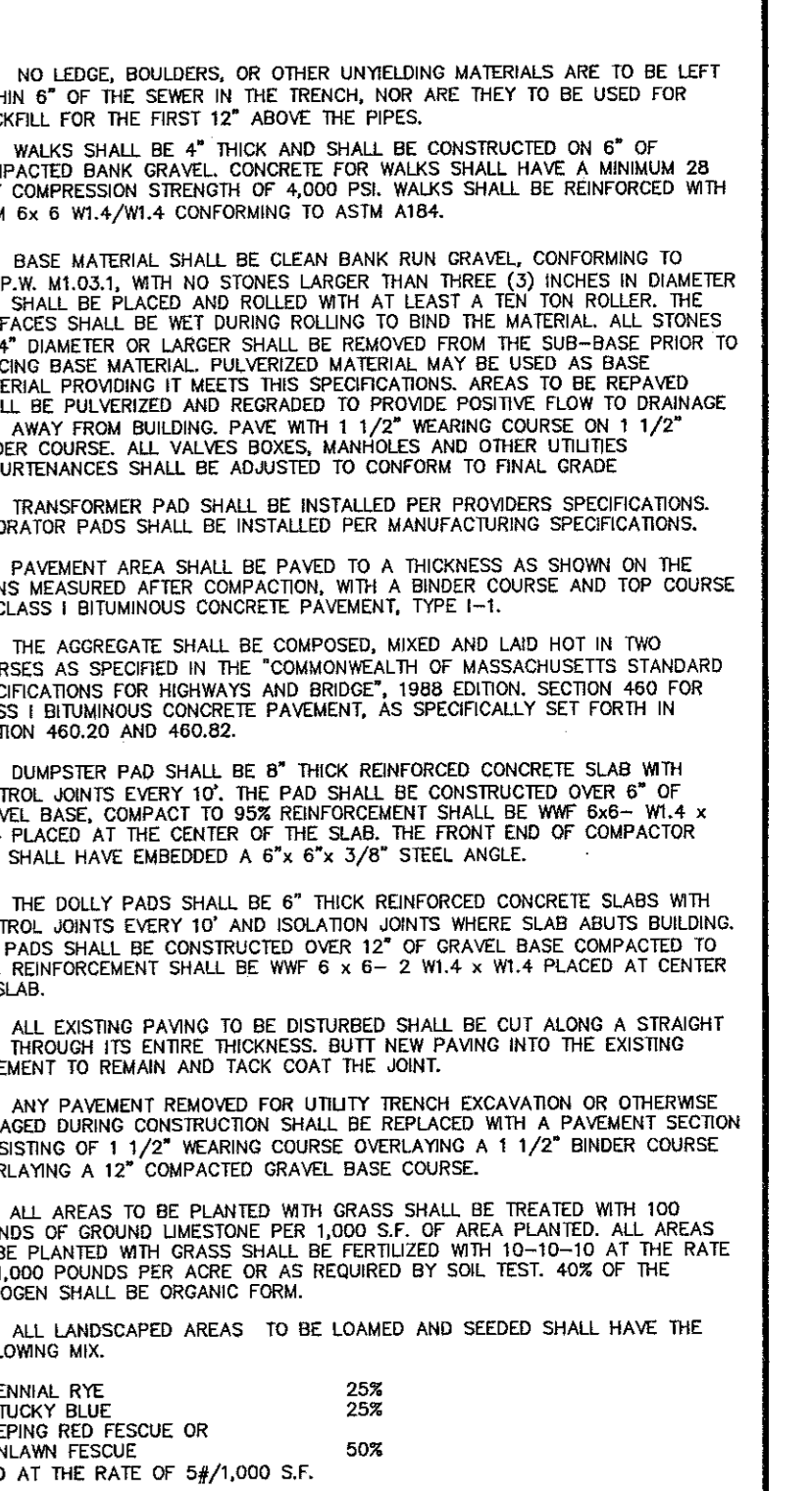
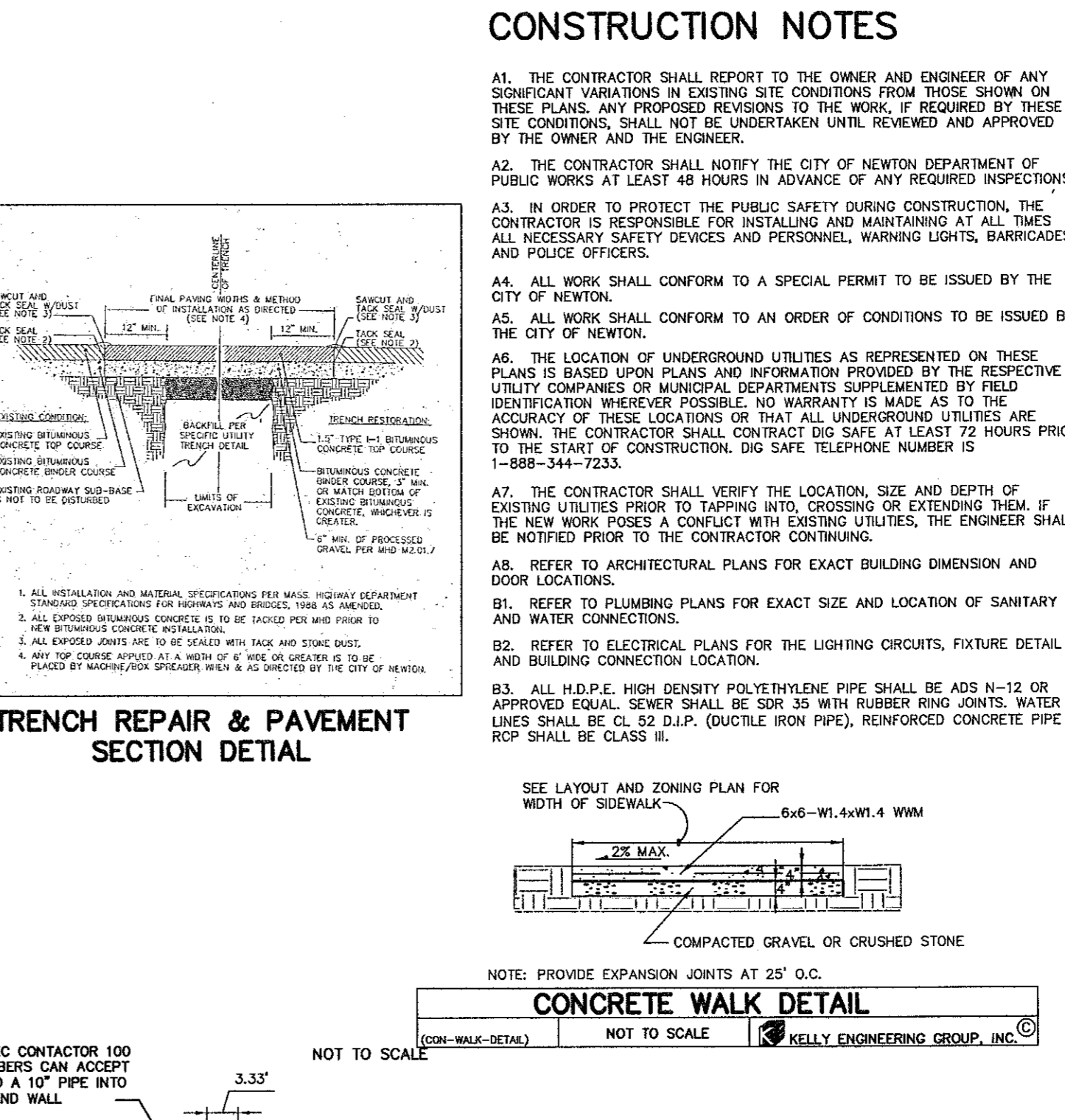
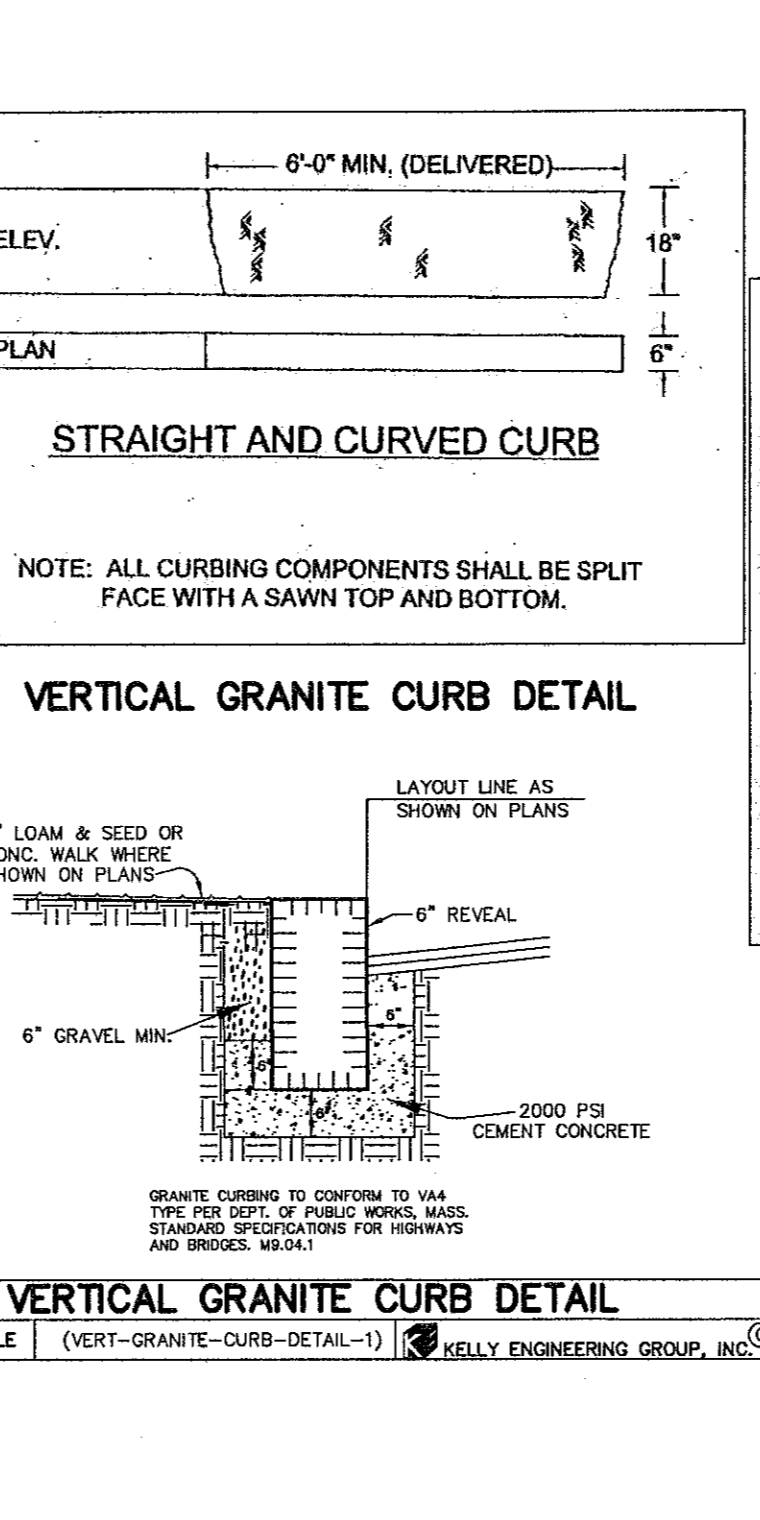
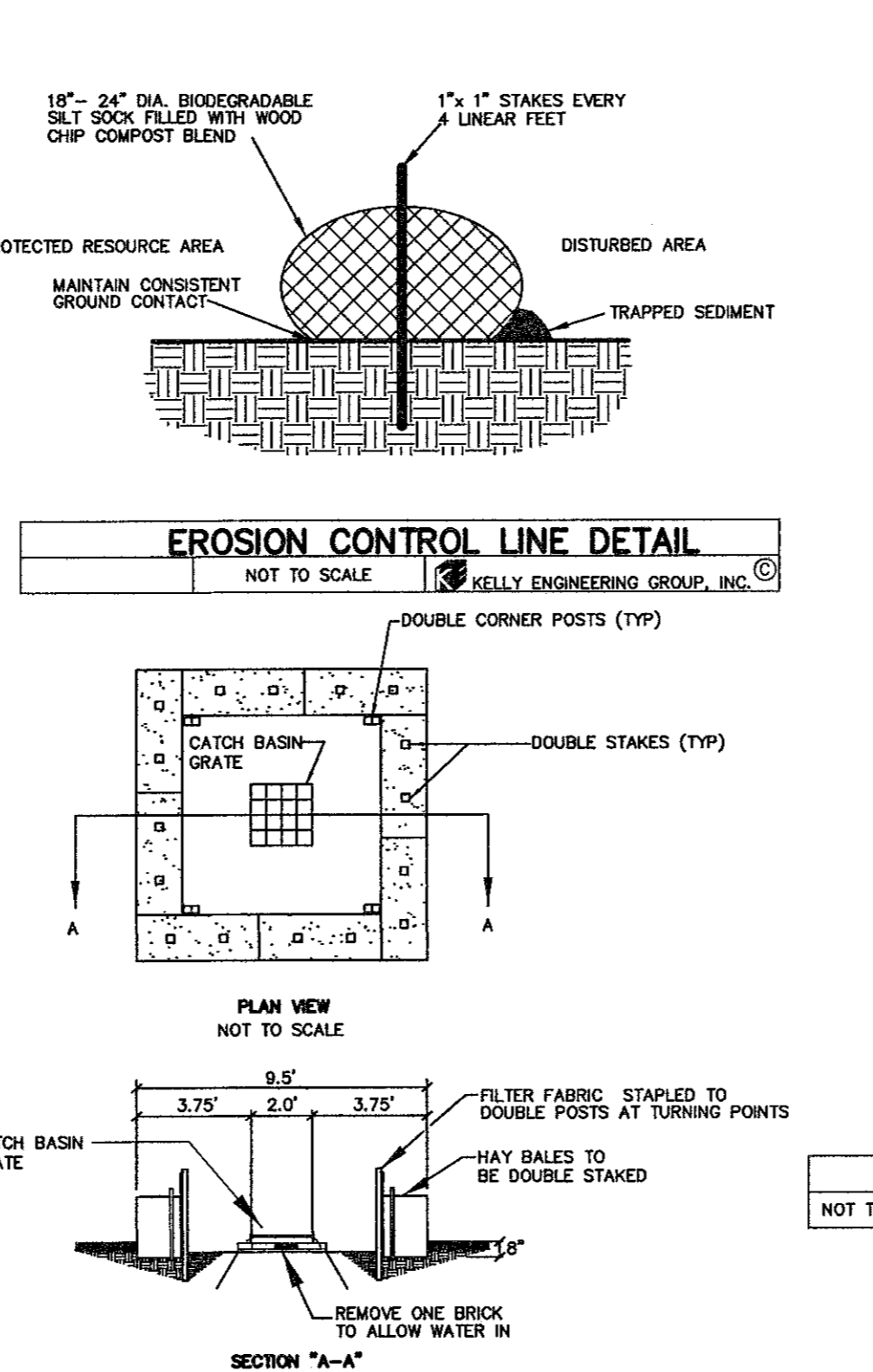
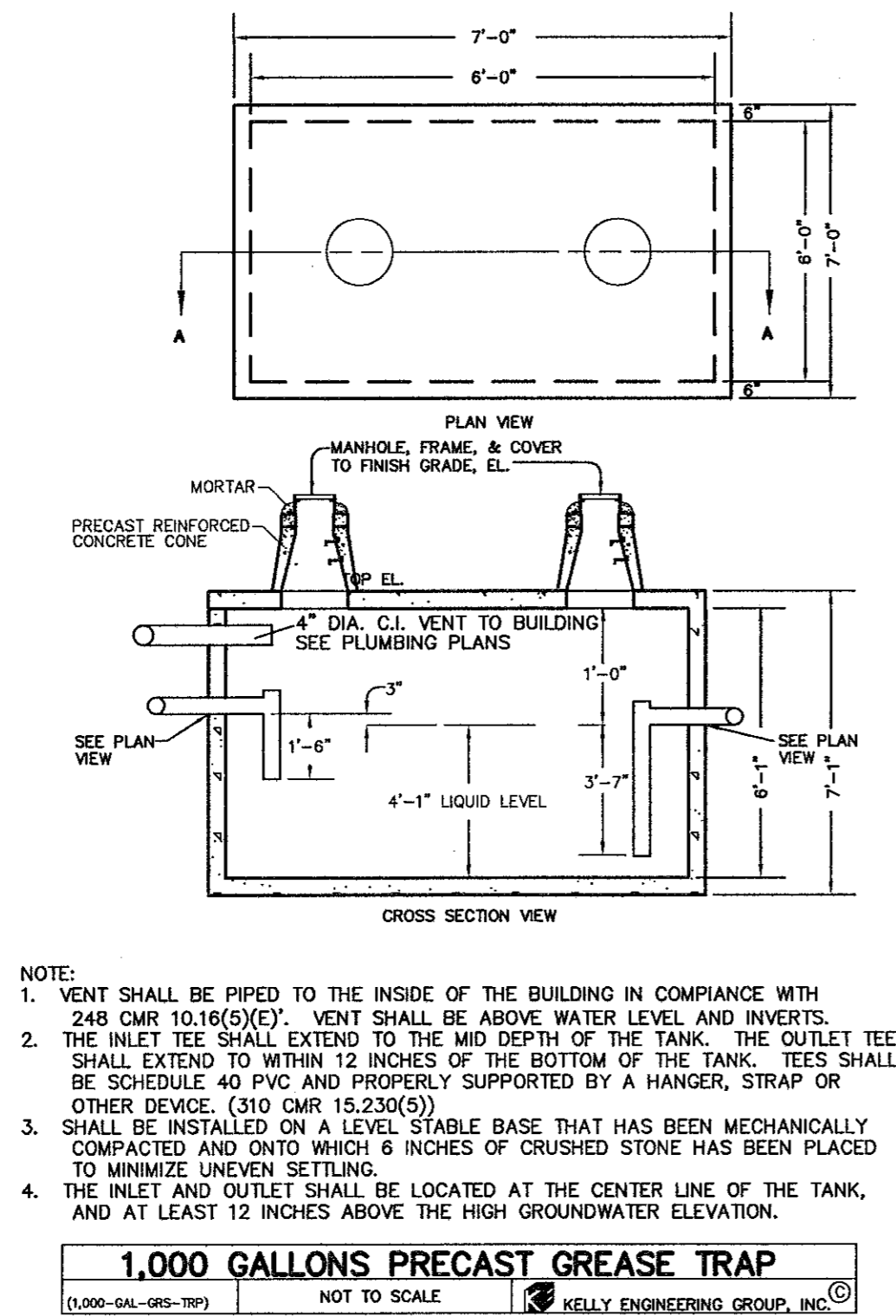
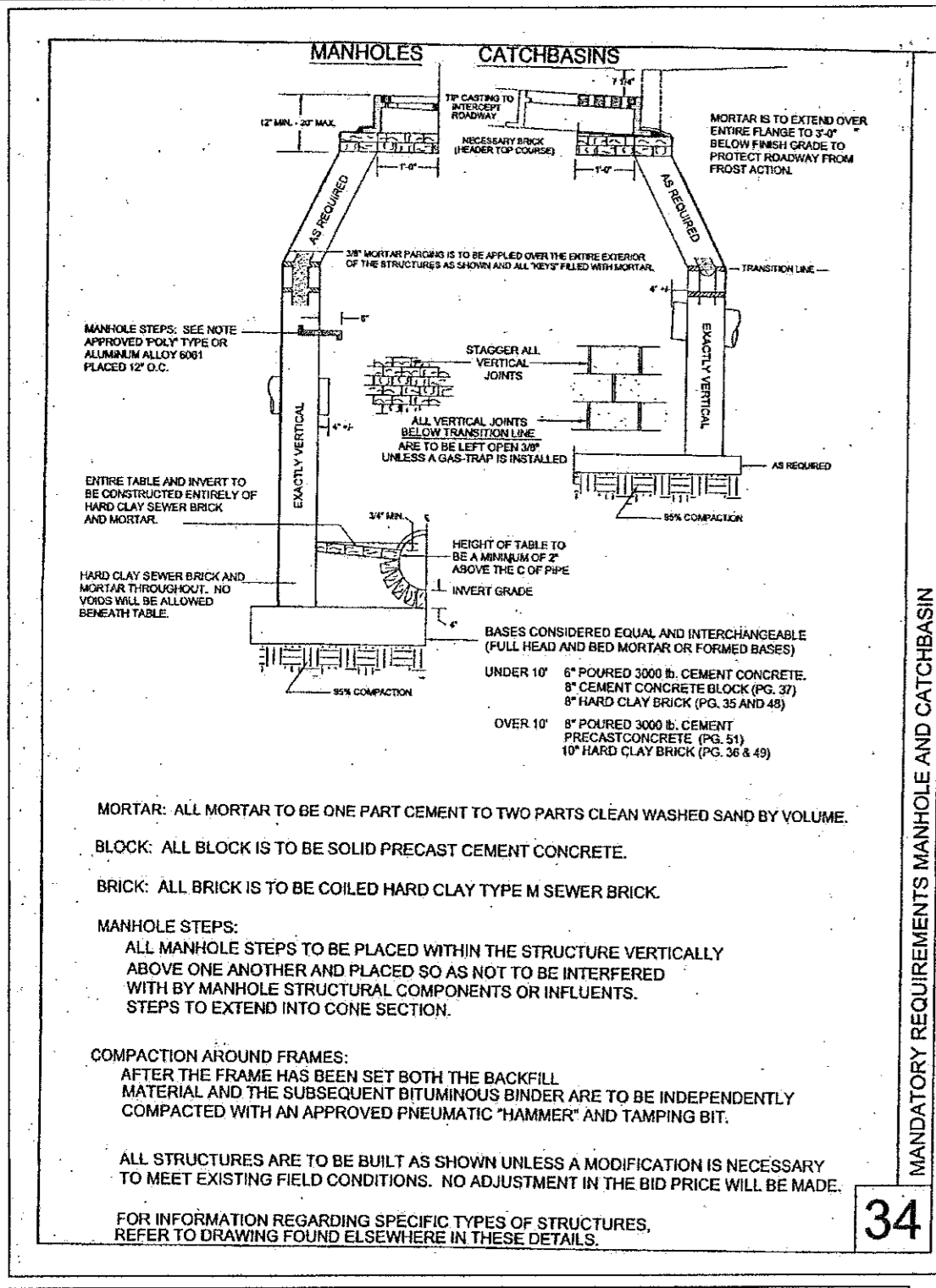
GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

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CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
4. ALL WORK SHALL CONFORM TO A SPECIAL PERMIT TO BE ISSUED BY THE CITY OF NEWTON.
5. ALL WORK SHALL CONFORM TO AN ORDER OF CONDITIONS TO BE ISSUED BY THE CITY OF NEWTON.
6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT TO DO SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DO NOT UNDETERMINE UTILITY NUMBER IS 1-888-344-7233.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSION AND DOOR LOCATIONS.
9. REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY AND WATER CONNECTIONS.
10. REFER TO ELECTRICAL PLANS FOR THE LIGHTING CIRCUITS, FIXTURE DETAIL AND BUILDING CONNECTION LOCATION.
11. ALL H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. SEWER SHALL BE SIZE 36 WITH RUBBER RING JOINTS. WATER LINES SHALL BE CL 52 D.I.P. (DUCTILE IRON PIPE), REINFORCED CONCRETE PIPE RCP SHALL BE CLASS III.
12. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUT NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN AND TACK COAT THE JOINT.
13. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CORRESPONDING TO THE EXISTING PAVEMENT. OVERLAYING A 1 1/2" BINDER COURSE OVERLAYING A 12" COMPACTED GRAVEL BASE COURSE.
14. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 100 POUNDS OF GROUND LIMESTONE PER 1,000 S.F. OF AREA PLANTED. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 10-10-10 AT THE RATE OF 1,000 POUNDS PER ACRE OR AS REQUIRED BY SOIL TEST. 40% OF THE NITROGEN SHALL BE ORGANIC FORM.
15. ALL LANDSCAPED AREAS TO BE LOADED AND SEEDED SHALL HAVE THE FOLLOWING MIX:
 - PENNSYLVANIA BLUE 25%
 - KENTUCKY BLUE 25%
 - OREGON RED FESCUE OR PENNSYLVANIA FESCUE 25%
 - SEED AT THE RATE OF 5#/1,000 S.F.
16. ALL AREAS INDICATED TO BE LOADED AND SEEDED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
17. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEANUP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES AROUND DRAINAGE INLETS, MULCHING AND PLANTING OF DISTURBED AREAS.
19. PRIOR TO THE COMMENCEMENT OF ANY OTHER WORK A SILT SACK SHALL BE INSTALLED IN EACH EXISTING DRAINAGE INLET.
20. AFTER INSTALLATION OF EACH DRAINAGE INLET A SILT SACK SHALL BE INSTALLED IN EACH INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
21. AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
22. DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.
23. STABILIZATION MEASURES (SEEDING OR PLANTING, APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT) OF EXPOSED SOILS SHALL BEGIN AS SOON AS PRACTICABLE AND IMMEDIATELY AFTER EARTH-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED. STABILIZATION TO BE COMPLETED WITHIN 14 DAYS.
24. SILT SOCKS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF ALL STOCK PILES.
25. SPARE EROSION/SEDIMENT CONTROL MATERIALS SHALL BE AVAILABLE ON SITE FOR USE IN CONTINGENCY CONDITIONS OR AT THE DIRECTION OF HANOVER'S CODE ENFORCEMENT PERSONNEL.
26. ALL STORM DRAIN INLETS SHOWN TO BE ABANDONED SHALL BE ABANDONED AS FOLLOWS SUCH THAT THE TOPS ARE NO LESS THAN 3" FROM FINISHED GRADE:
 - (A) PRECAST DRAINAGE INLETS SHALL HAVE THE GRATE, FRAME AND CONE SECTION REMOVED. THE STORM DRAIN PIPE SHALL BE PLUGGED USING BRICK AND MORTAR AND THE REMAINING STRUCTURE SHALL BE BACK FILLED AND COMPACTED, OR THE ENTIRE STRUCTURE SHALL BE REMOVED AND REMAINING VOID SHALL BE BACKFILLED AND COMPACTED.
 - (B) BLOCK DRAINAGE INLETS SHALL BE GRATE AND FRAMED REMOVED AND THE STORM DRAIN PLUGGED AS IN (A) ABOVE. THE STRUCTURE SHALL THEN BE CRUSHED, BACKFILLED AND COMPACTED.
27. ALL STORM DRAINS TO BE ABANDONED WHICH ARE WITHIN 3' OF FINISHED GRADE SHALL BE REMOVED. ALL OTHERS SHALL BE PLUGGED AT EACH END.
28. FOR CITY OF NEWTON NOTES SEE SHEET 5.

SCALE	DATE	REVISION	DATE	BY	REVISION
N/A	09/16/13	2	09/16/13		NO CHANGES
	08/26/13	1	08/29/13		PER PLANNING BOARD COMMENTS

NEEDHAM CHESTNUT REALTY, LLC
 170 NEEDHAM STREET
 NEWTON, MASSACHUSETTS

DETAIL SHEET

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