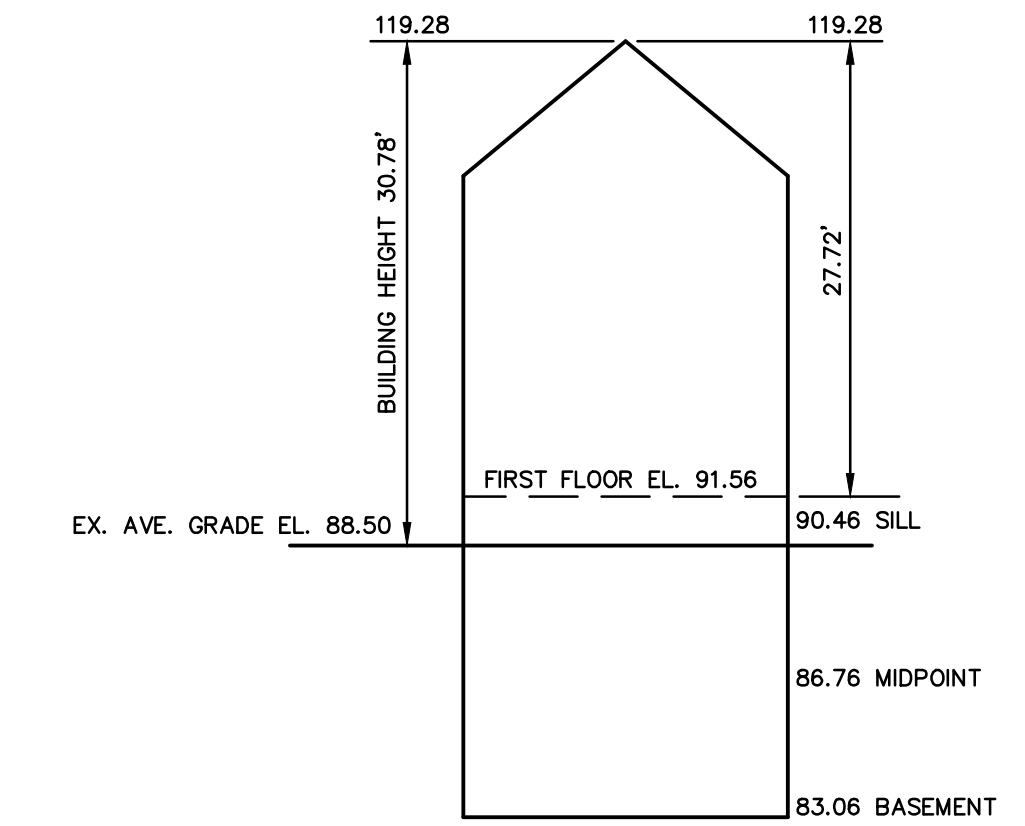


21221sp3.dwg (2/2013)

**LEGEND**

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
CONTOUR	- 70 -
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	G
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22"
CONIFEROUS TREE	CON. 12"

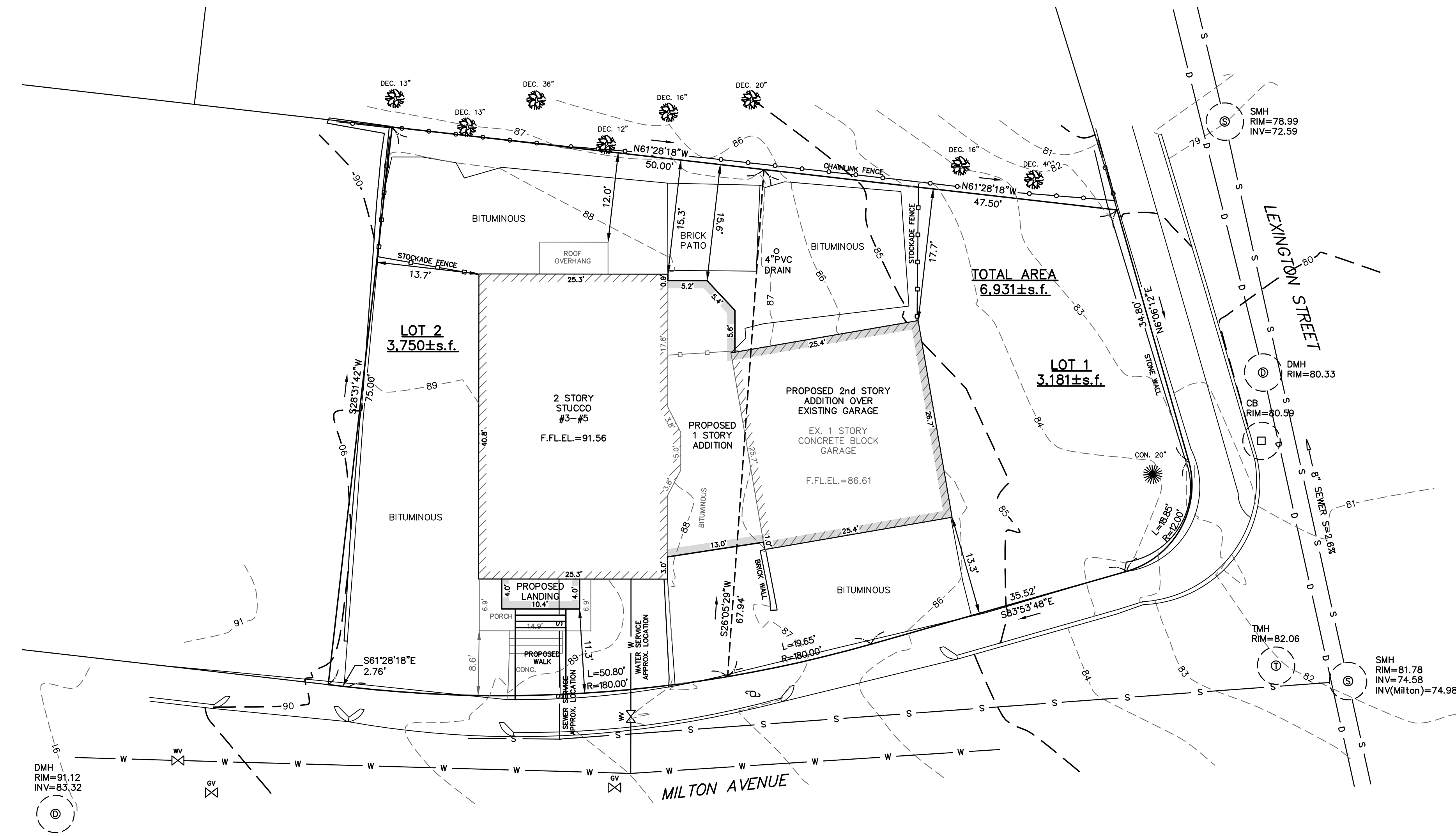


**EXISTING BUILDING HEIGHT**  
NOT TO SCALE

PROPOSED RIDGE WILL NOT EXCEED EXISTING

Address: #3-5 Milton Avenue

Length Weighted Mean Existing Average Grade Calculation					
A	B	C	D	E	F
Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Segment Average Height	F=BxE
1	17.33	89.30	89.00	89.15	1544.97 Sq. Ft.
2	7.92	89.00	88.80	88.90	704.09 Sq. Ft.
3	11.20	87.70	87.70	87.70	982.24 Sq. Ft.
4	17.75	87.70	87.60	87.65	1555.79 Sq. Ft.
5	7.11	88.00	87.90	87.95	625.32 Sq. Ft.
6	18.15	88.30	88.00	88.15	1599.92 Sq. Ft.
7	17.30	89.00	88.60	88.80	1536.24 Sq. Ft.
8	23.46	89.30	89.00	89.15	2091.46 Sq. Ft.
<b>Total</b>	<b>120.22</b>				<b>10640.03 Sq. Ft.</b>
Total Column F / Total Column B = Average Grade					
<b>Average Grade: 88.50'</b>					



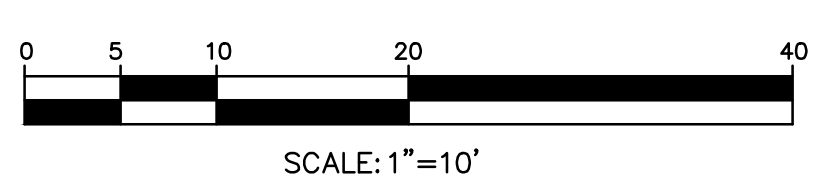
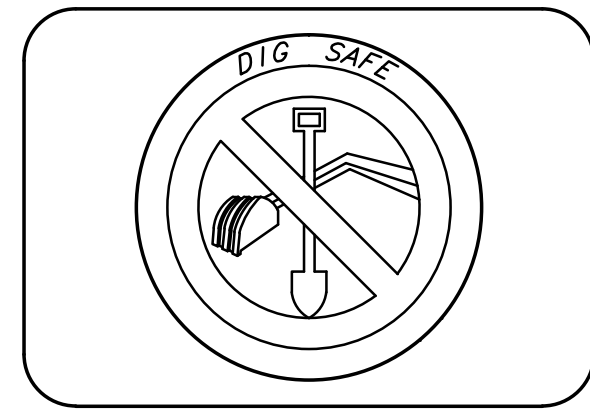
- NOTES:**
- AS OF MARCH 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
  - THE APPLICANT WILL HAVE TO APPLY FOR A SIDEWALK CROSSING PERMIT FOR CONSTRUCTION EQUIPMENT TRAVELING ACROSS THE DRIVEWAY/SIDEWALKS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
  - PRIOR TO OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND IN HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENT AND FINAL GRADING.
  - IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAIN WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.

ZONING CHART			
NEWTON, MASSACHUSETTS			
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	7,000s.f.	6,931±s.f.	N/C
LOT FRONTAGE	70.0'	162.38'	N/C
FRONT SETBACK	25.0'	8.6'*	N/C
SIDE SETBACK	7.5'	13.7'	N/C
REAR SETBACK	15.0'	12.0'/15.3'	N/C
BUILDING HEIGHT	36.0'	30.78'	N/C
AVERAGE GRADE	-	88.50	-
LOT COVERAGE	30.0%	26.6%	29.8%
OPEN SPACE	50.0%	54.9%	51.1%

\*NON CONFORMING.

**DIG SAFE**

EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-DIG-SAFE. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY



**TOPOGRAPHIC SITE PLAN**  
NEWTON, MASSACHUSETTS

SHOWING PROPOSED CONDITIONS AT  
#3-#5 MILTON AVENUE  
SCALE: 1in.=10ft. DATE: AUGUST 7, 2013

PROJECT: 212215



LAND SURVEYORS - CIVIL ENGINEERS. 132  
ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
(617) 332-8271

