

ZONING INFORMATION

ZONE: SR-2
 PLAN DATED: MAY 1925
 DEED REFERENCE: BOOK 44999 PAGE 256

BUILDINGS EXISTING REQUIRED

STRUCTURES 2966 S.F.
 DRIVE 625 S.F. ±

3591 S.F. ±

LOT COVERAGE 27.0% (30% MAX.)
 OPEN SPACE 61% ± (50% MIN.)

F.A.R. .60 (.39 MAX.)

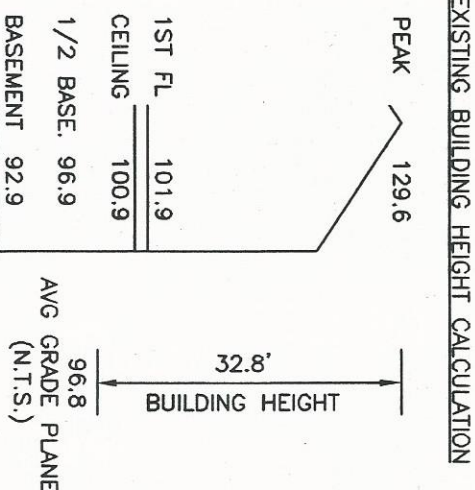
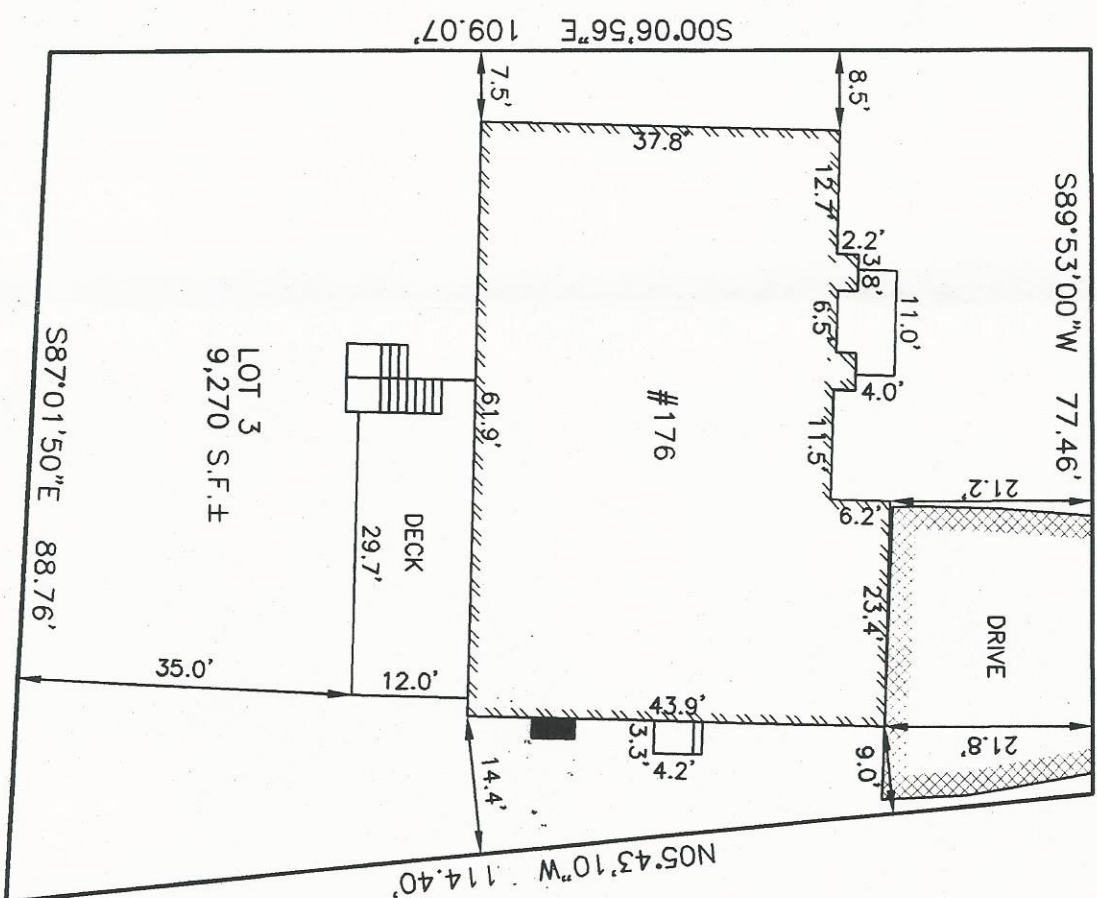
BELOW 862.58
 1ST FL 2457.43
 2ND FL 2248.90

TOTAL 5568.91

ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.
 AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.



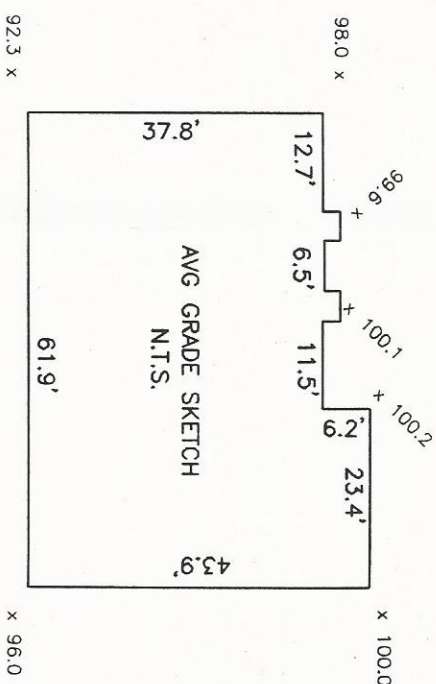
HOMER STREET



EXISTING AVERAGE GRADE CALCULATION:
 (ORD Z-90)

$$AVG = \frac{\sum[L(E1+E2)]}{2} / P$$

$$AVG = 19745.845 / 203.9 = 96.8$$



EVERETT M. BROOKS CO.

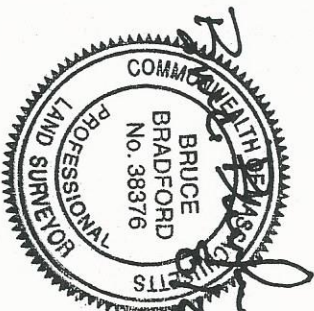
SURVEYORS & ENGINEERS

49 LEXINGTON STREET
 WEST NEWTON, MA 02465

(617) 527-8750

(617) 332-1578 FAX

info@everettbrooks.com



Handwritten signature and date: 8/22/13

**PLAN OF LAND IN
 NEWTON, MA**

176 HOMER STREET
 EXISTING CONDITIONS

SCALE: 1 IN. = 20 FT.

DATE: AUGUST 22, 2013

DRAWN: JF

CHECK: BB

REVISIONS:

| NO. | DESCRIPTION |
|-----|-------------|
| | |
| | |
| | |

PROJECT NO. 24234

ZONING INFORMATION

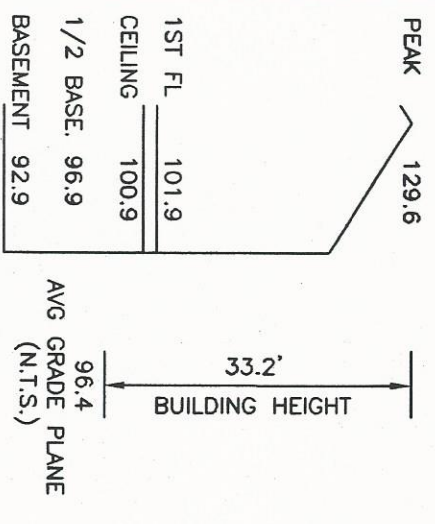
ZONE: SR-2
 PLAN DATED: MAY 1925
 DEED REFERENCE: BOOK 44999 PAGE 256

| | EXISTING | PROPOSED | REQUIRED |
|--------------|-------------|-------------|------------|
| BUILDINGS | 2502 S.F. | 2775 S.F. | |
| STRUCTURES | 2966 S.F. | 2966 S.F. | |
| DRIVE | 625 S.F. ± | 625 S.F. ± | |
| LOT COVERAGE | 3591 S.F. ± | 3591 S.F. ± | (30% MAX.) |
| OPEN SPACE | 27.0% ± | 29.9% ± | (50% MIN.) |
| F.A.R. | .60 | .63 | (.39 MAX.) |
| BELOW | 862.58 | 1129.17 | |
| 1ST FL | 2457.43 | 2457.43 | |
| 2ND FL | 2248.90 | 2248.90 | |
| TOTAL | 5568.91 | 5835.5 S.F. | |

ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.
 AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.

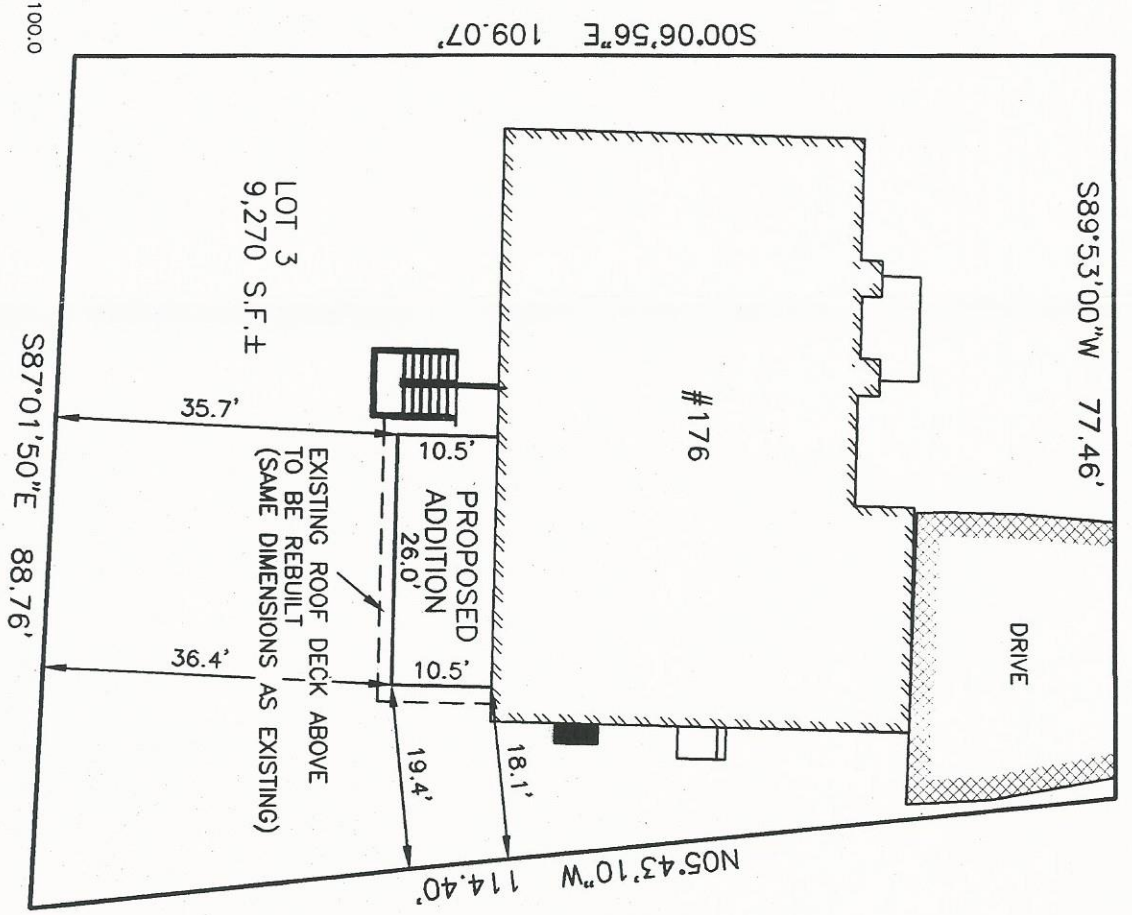
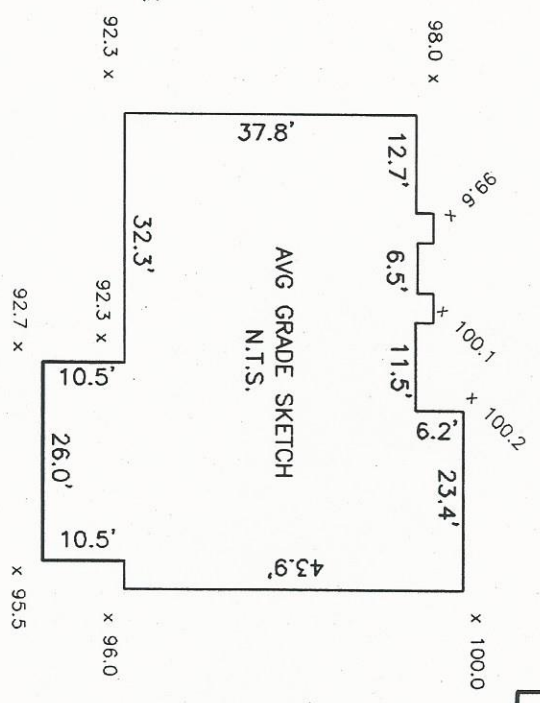


PROPOSED BUILDING HEIGHT CALCULATION



PROPOSED AVERAGE GRADE CALCULATION:

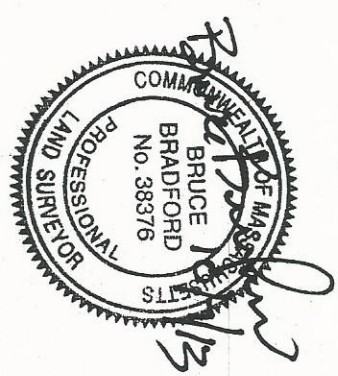
(ORD Z-90)
 $AVG = \frac{\sum[(E1+E2)/2]}{P}$
 $AVG = 21322.475 / 221.3 = 96.4$



HOMER STREET



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**PLAN OF LAND IN
 NEWTON, MA**

176 HOMER STREET
 PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.
 DATE: OCTOBER 7, 2013
 DRAWN: JF
 CHECK: BB

REVISIONS:

| | |
|--|--|
| | |
| | |
| | |

PROJECT NO. 24234

DRAWING LIST:

- X-100 - Existing Photographs
- X-101 - Existing Lower Level Plan
- X-102 - Existing First Floor Deck Plan
- X-201 - Existing South Elevation
- X-202 - Existing Partial Side Elevations
- C-1 - Existing Site Plan
- C-2 - Proposed Site Plan
- A-101 - Proposed Lower Level Addition Plan
- A-102 - Proposed First Floor Deck Plan
- A-201 - Proposed South Elevation
- A-202 - Proposed Partial Side Elevations

WALD RESIDENCE
176 HOMER STREET
NEWTON, MA

Special Permit Packet

WALD RESIDENCE
176 HOMER STREET
NEWTON, MA 02459

Drawing Title:
Title Sheet /
Drawing List

Scale: N/A

Date: October 7, 2013

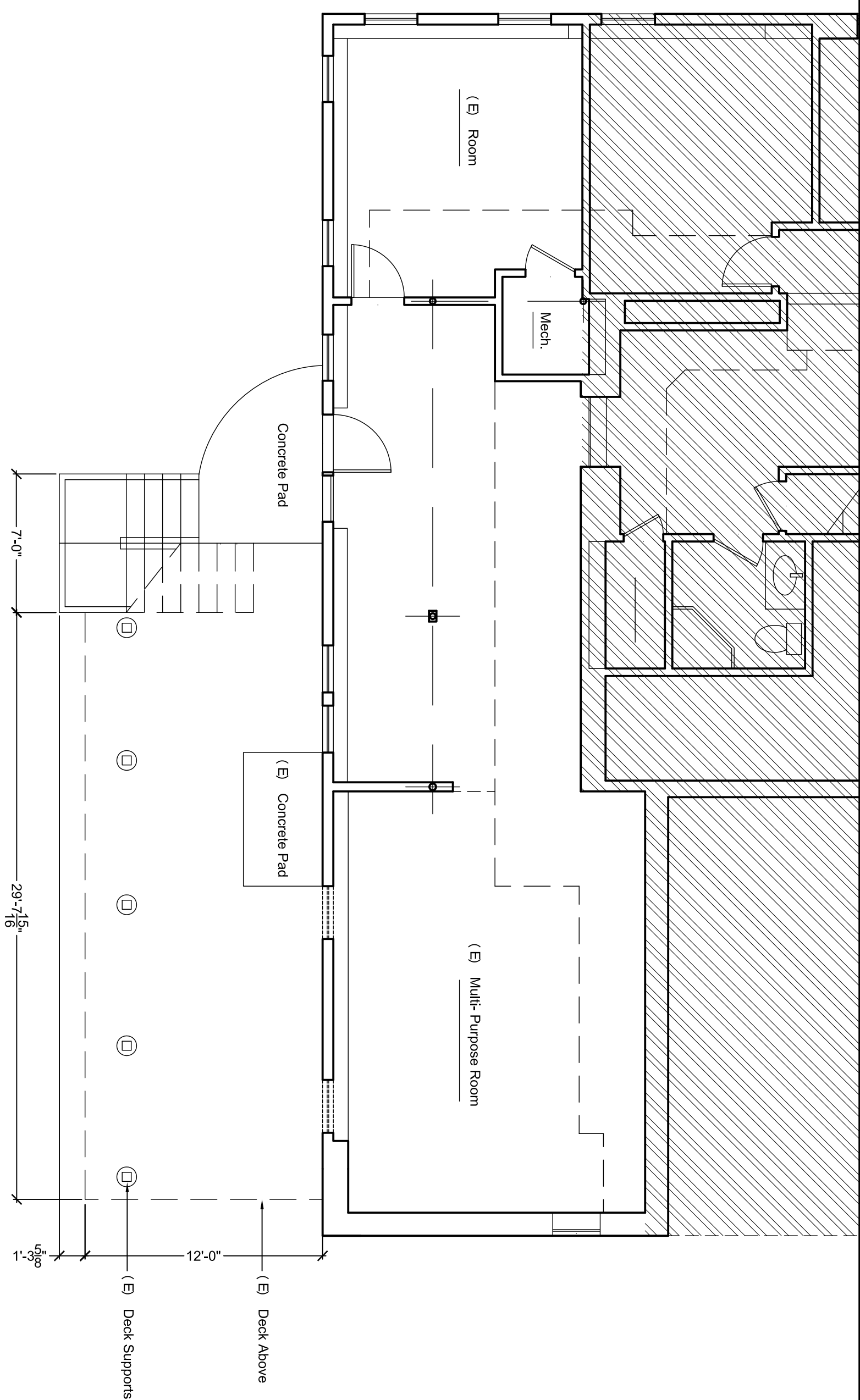
Sheet Number **T-101**



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EXISTING BASEMENT PLAN
 Scale: 3/16" = 1'-0"

Drawing Title:
 Existing Conditions:
 Lower Level
 Partial Plan

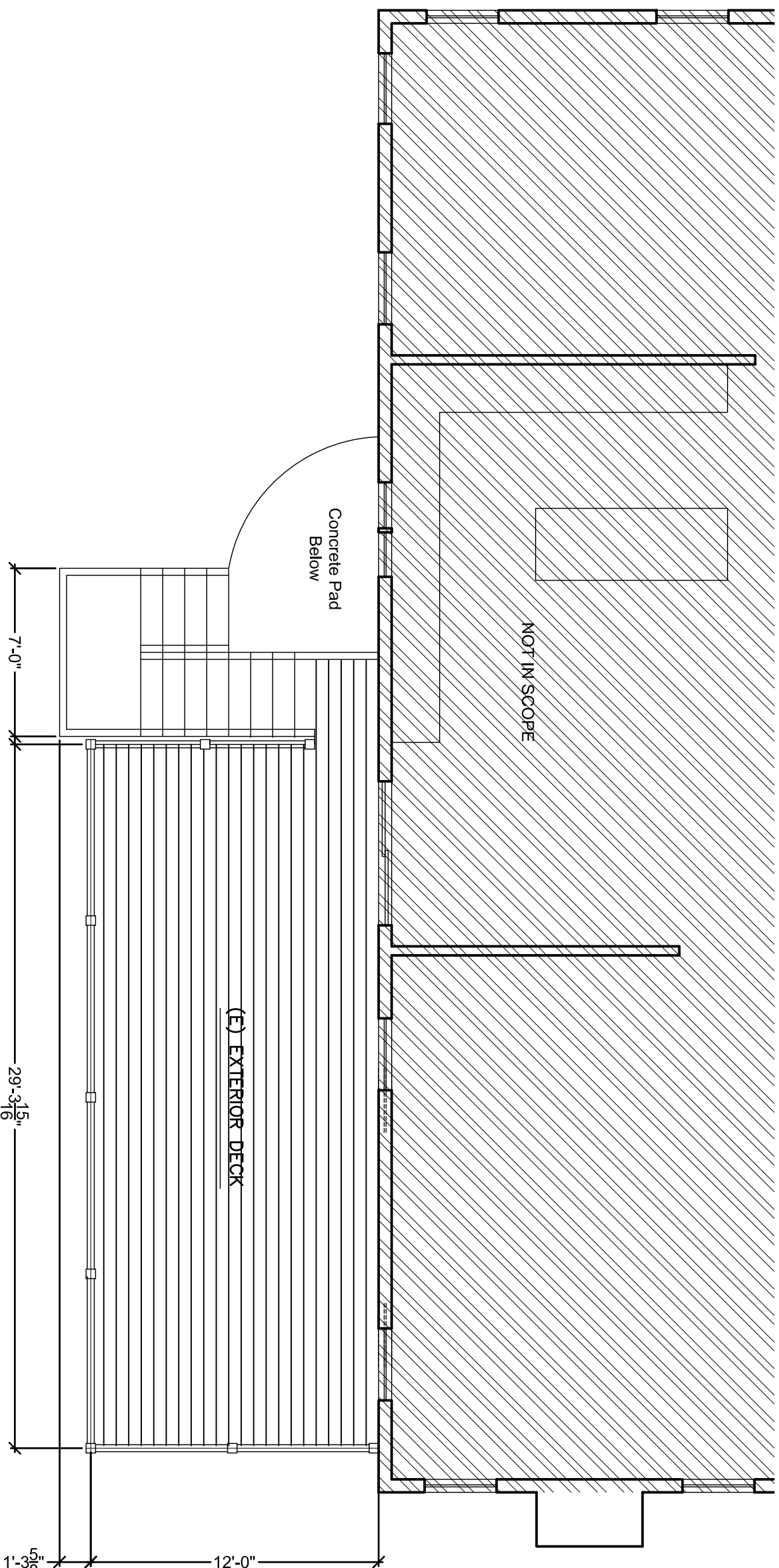
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 Date: October 7, 2013
 Sheet Number X-101



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EXISTING FIRST FLOOR DECK
Scale: 3/16" = 1'-0"

Drawing Title:

Existing Conditions
First Floor Deck Plan

Scale: 3/16" = 1'-0"

Date: October 7, 2013

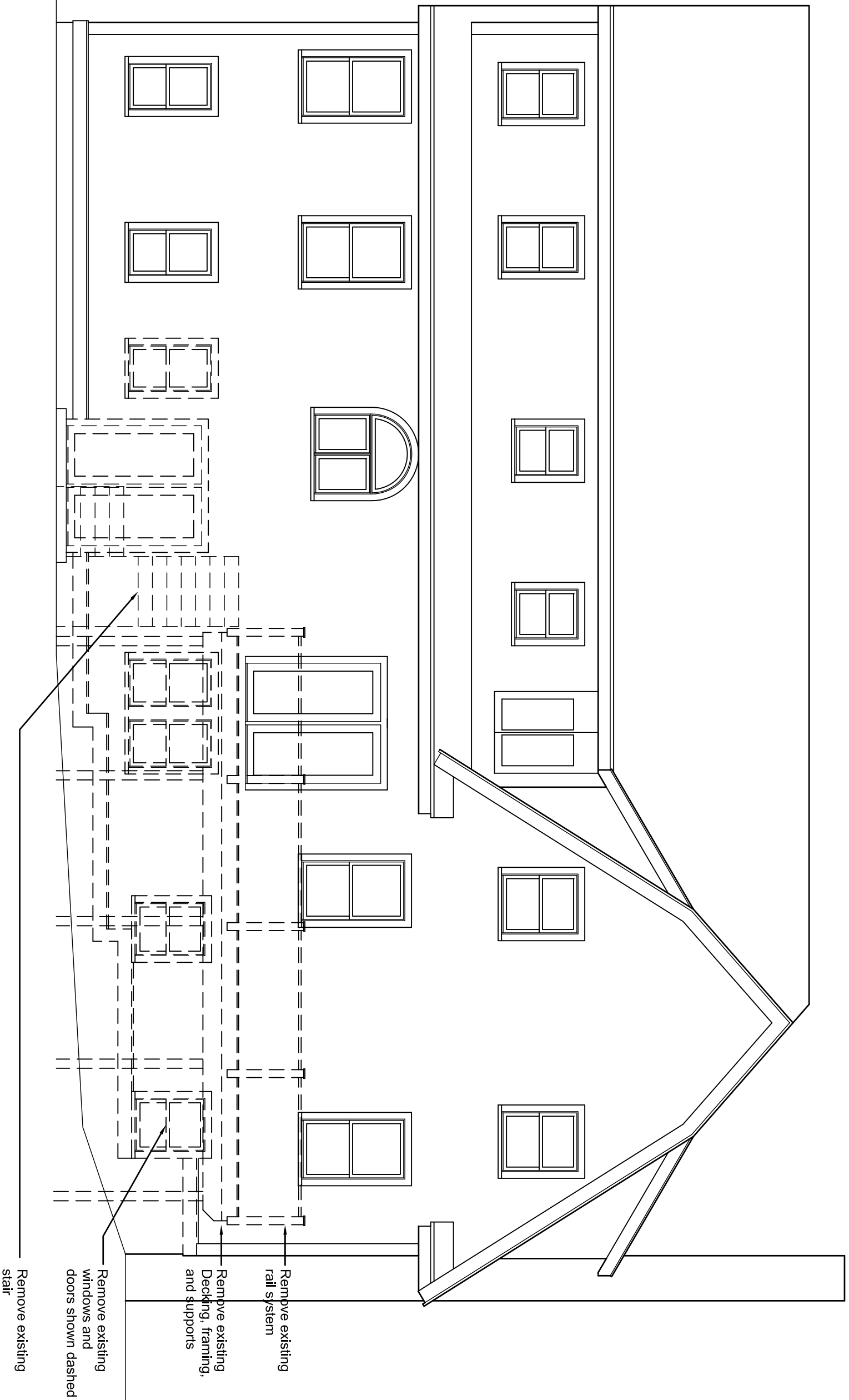
Sheet Number **X-102**



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EXISTING SOUTH (REAR) ELEVATION & PROPOSED DEMOLITION

Scale: 3/16" = 1'-0"

Drawing Title:

Existing Conditions &
Proposed Demolition:
South (Rear)
Exterior Elevation

Scale: 3/16" = 1'-0"

Date: October 7, 2013

Sheet Number **X-201**



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Drawing Title:

Existing Conditions &
Proposed Demolition:
Side Elevations

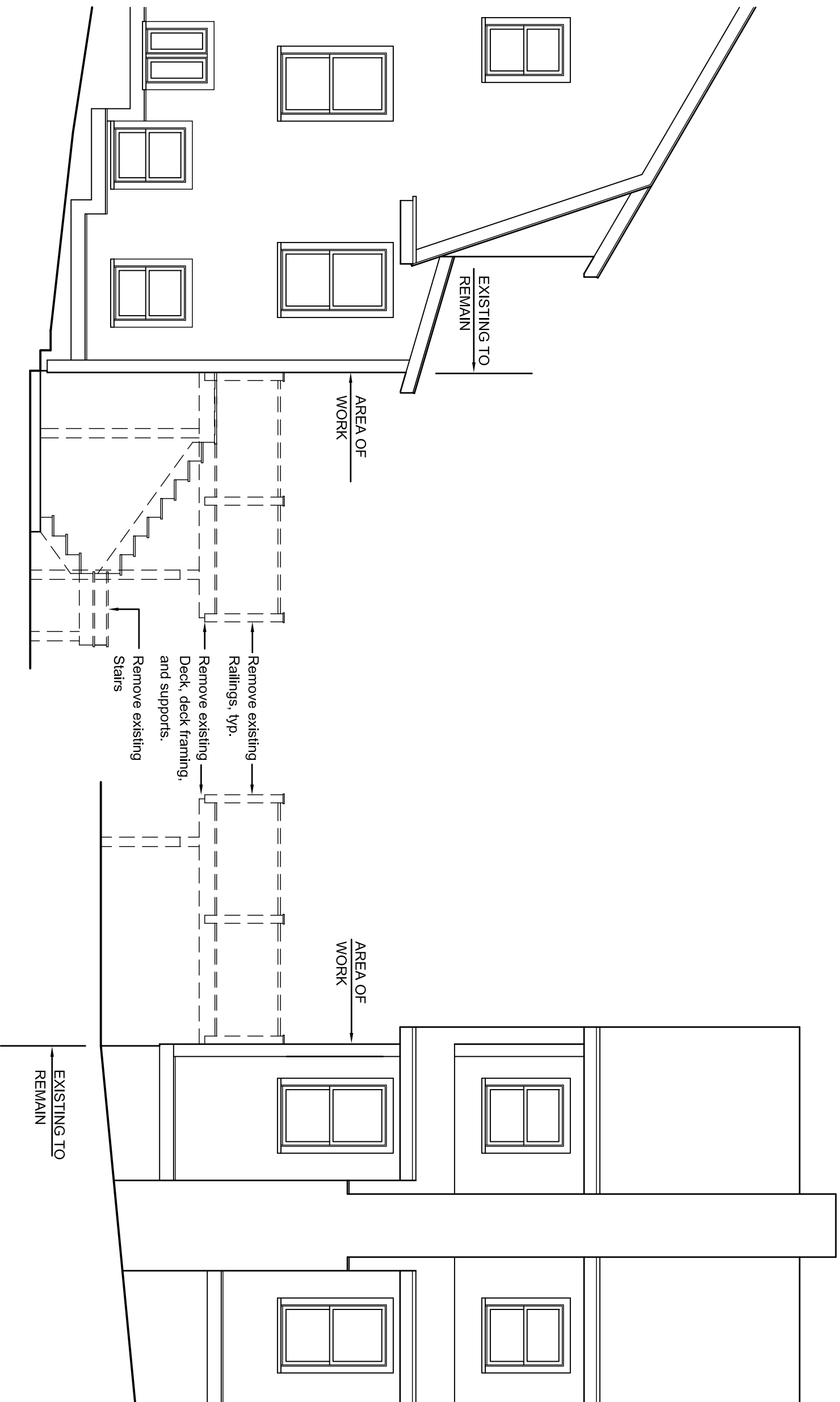
Scale: 3/16" = 1'-0"

Date: October 7, 2013

Sheet Number **X-202**



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EXISTING WEST SIDE PARTIAL ELEVATION & DEMOLITION

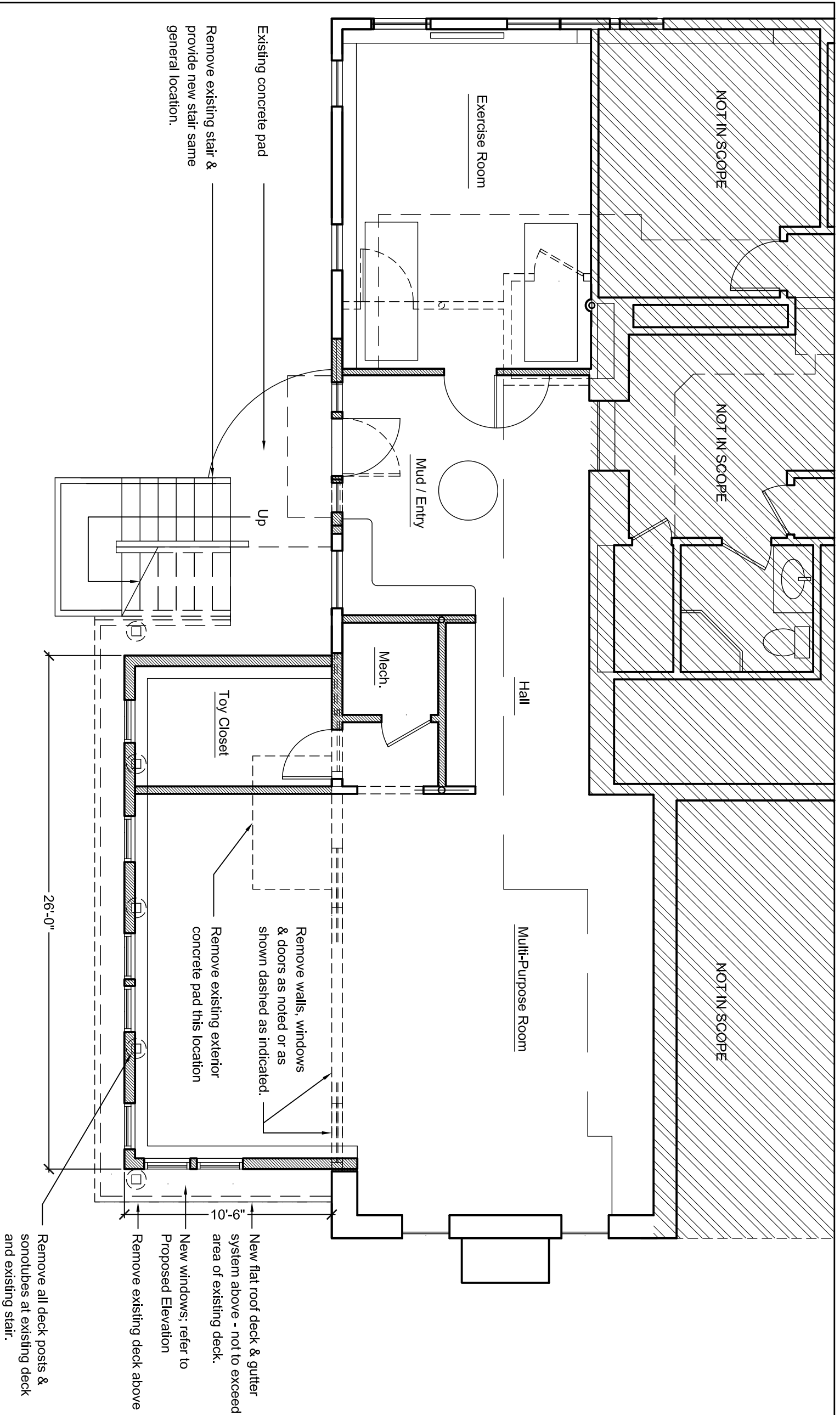
Scale: 3/16" = 1'-0"

EXISTING EAST SIDE PARTIAL ELEVATION & DEMOLITION

Scale: 3/16" = 1'-0"

WALD RESIDENCE
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NEWTON, MA

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PROPOSED BASEMENT PLAN & PROPOSED DEMOLITION

Scale: 3/16" = 1'-0"

Drawing Title:

**Proposed Conditions
and Demolition:
Lower Level Plan**

Scale: 3/16" = 1'-0"

Date: October 7, 2013

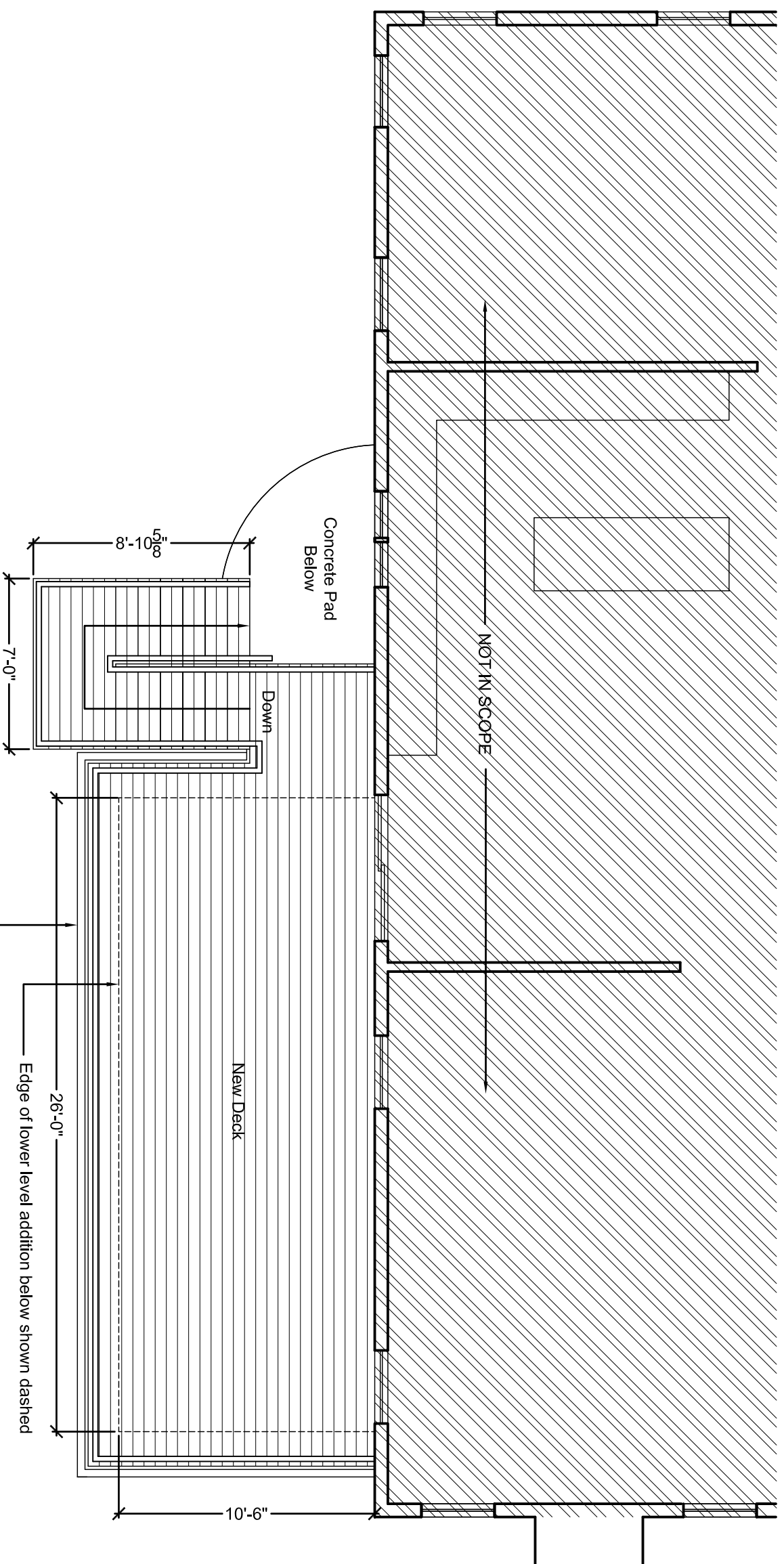
Sheet Number **A-101**



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PROPOSED FIRST FLOOR DECK

Scale: $3/16" = 1'-0"$

Drawing Title:

**Proposed Conditions
and Demolition:
First Floor Deck Plan**

Scale: $3/16" = 1'-0"$

Date: October 7, 2013

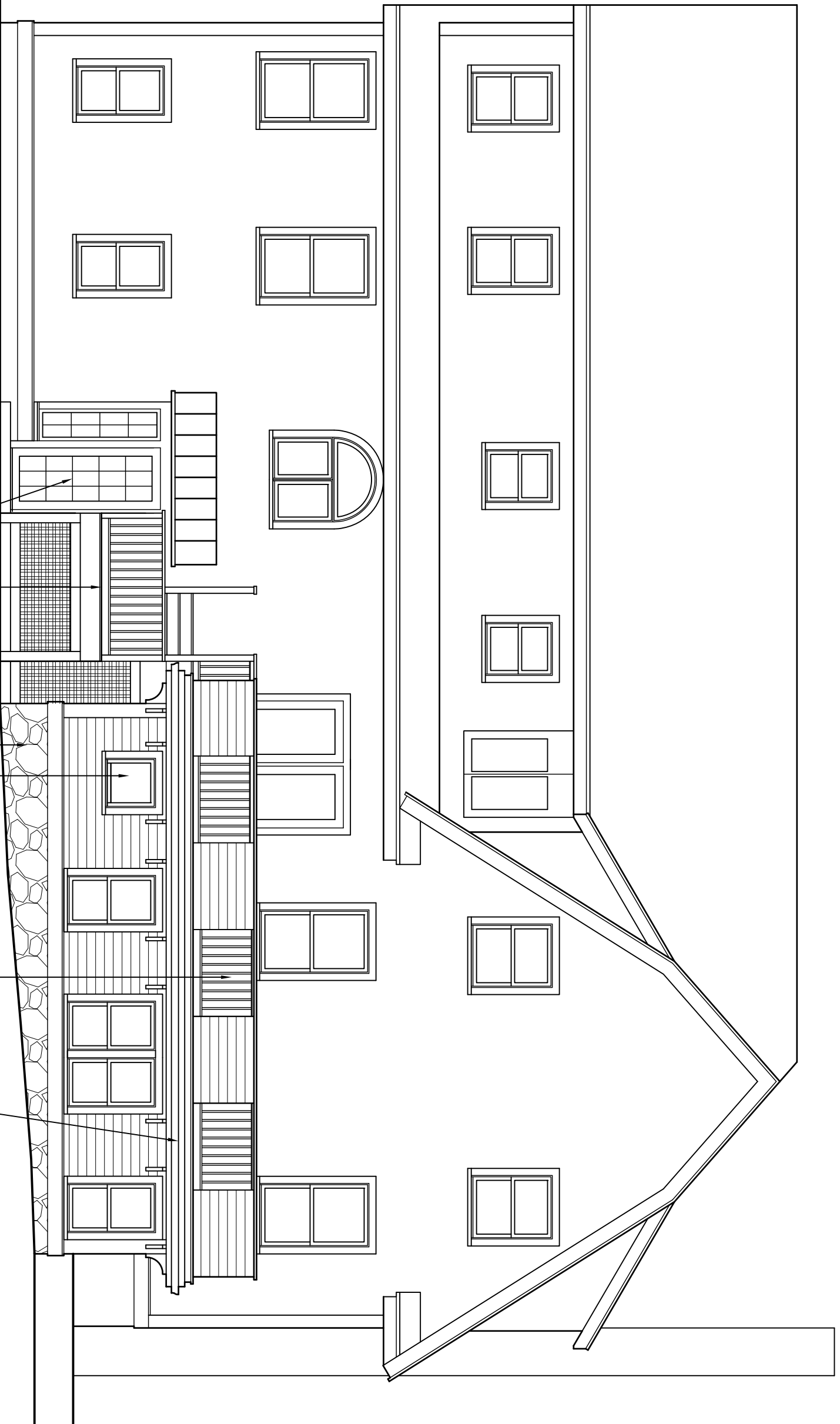
Sheet Number **A-102**



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PROPOSED SOUTH (REAR) ELEVATION

Scale: 3/16" = 1'-0"

- New Railing system
- New Roof deck & gutter system
- New Windows
- New Stone veneer foundation wall
- New exterior stair & rail system
- New rear entry door, sidelights & overhang

Drawing Title:

Proposed Addition:
Rear Elevation

Scale: 3/16" = 1'-0"

Date: October 7, 2013

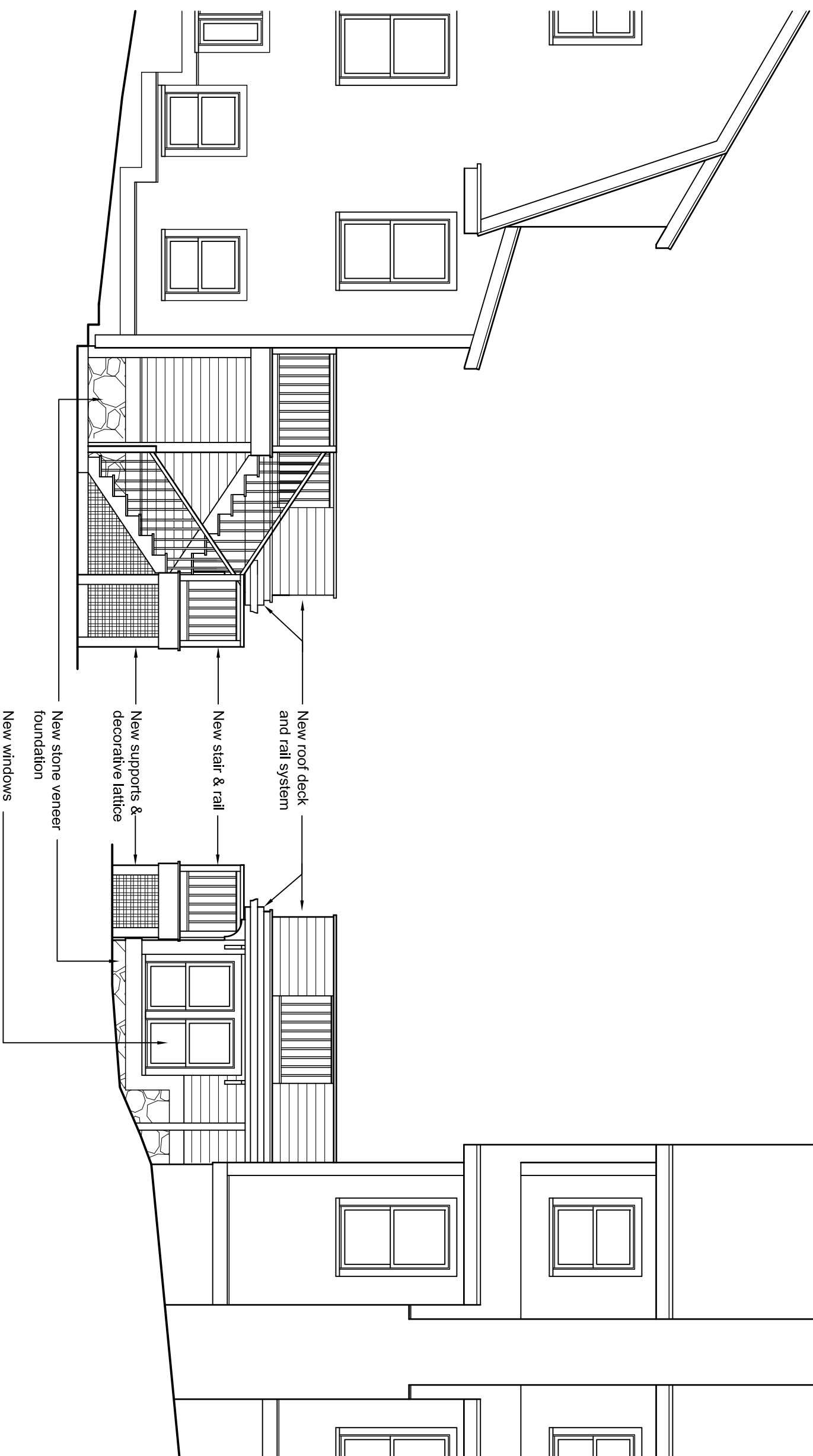
Sheet Number
A-201



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WEST SIDE ELEVATION OF PROPOSED DECK / ADDITION

Scale: 3/16" = 1'-0"

EAST SIDE ELEVATION OF PROPOSED DECK / ADDITION

Scale: 3/16" = 1'-0"

Drawing Title:

**Proposed Addition:
Side Elevations**

Scale: 3/16" = 1'-0"

Date: October 7, 2013

Sheet Number **A-202**



ARCHITECTURE

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