

LEGEND

- STORM SEWER D
- COMBINATION SEWER CS
- SANITARY SEWER S
- WATER MAIN W
- OVERHEAD ELECTRIC OE
- UNDER GROUND ELECTRIC UE
- GAS MAIN G
- CONTOUR 21
- BUILDING
- PICKET FENCE
- CHAINLINK FENCE
- PROPERTY LINE W/ BEARING DISTANCE N85°23'35"W 346.41'
- CONIFEROUS TREE
- DECIDUOUS TREE
- SIGN POST
- LIGHT POLE
- GAS VALVE
- WATER VALVE
- UTILITY POLE
- DRAINAGE MANHOLE
- SEWER MANHOLE
- FIRE HYDRANT
- CATCH BASIN
- FIRE CALL BOX
- MAIL BOX
- MONITORING WELL
- ELECTRIC MANHOLE EMH
- TOP OF STONE EL. TOS
- BOTTOM OF STONE EL. BOS
- TOP OF WALL EL. TWL
- BOTTOM OF WALL EL. BWL

UTILITY NOTES:

ALL NEW INSTALLATION OF SEWER CONNECTIONS AND STRUCTURES WILL HAVE TO BE PRESSURE TESTED PRIOR TO OCCUPANCY.

THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, FAILING TO HAVING THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW; BACK FILLING SHALL ONLY TAKE PLACE WHEN THE CITY INSPECTOR HAS GIVEN THEIR APPROVAL.

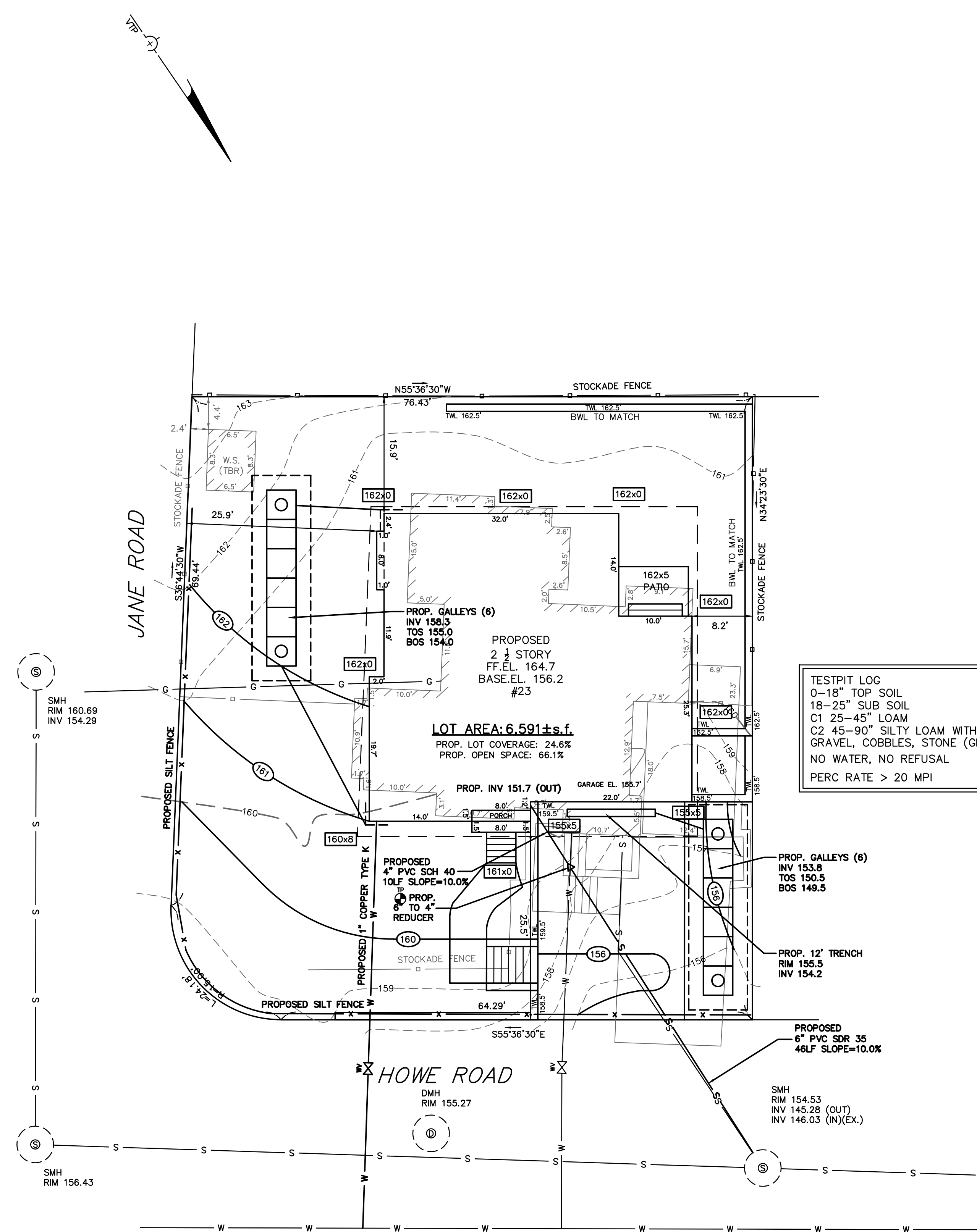
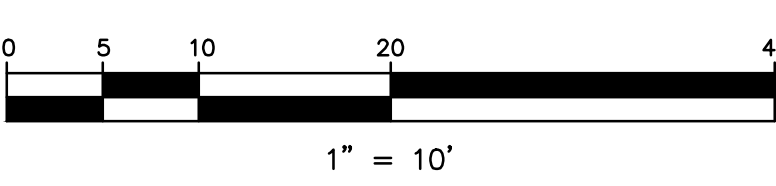
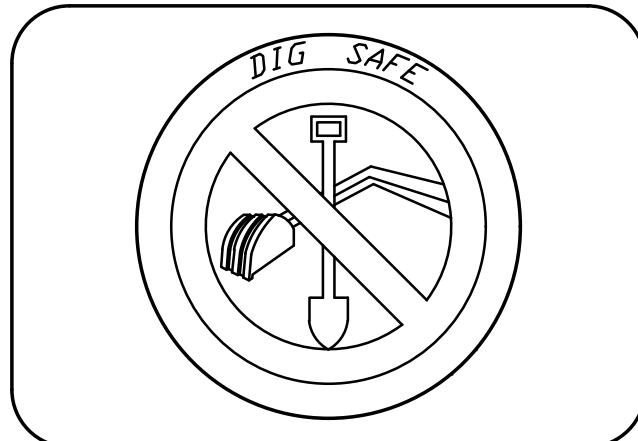
THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING AND UTILITIES CONNECTION PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.

PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, THE APPLICANT'S ENGINEER SHALL SUBMIT TO THE ENGINEERING DIVISION AN AS BUILT DRAWING IN DIGITAL AND HARD COPY FORMAT

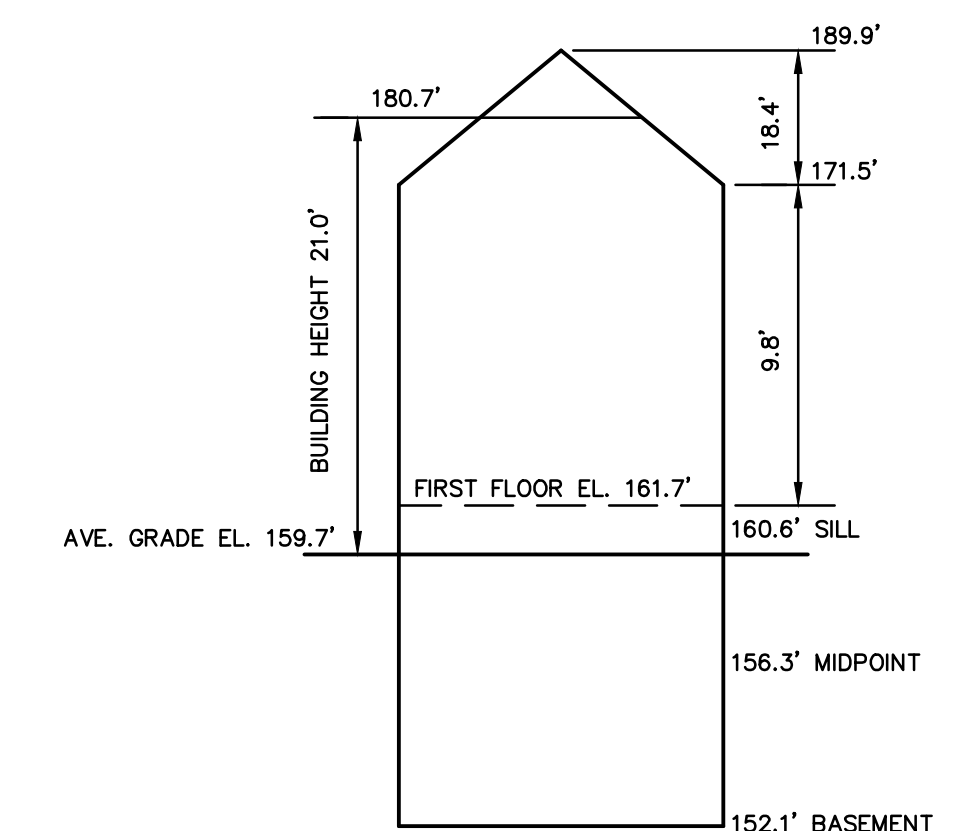
IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.

DIG SAFE

EXCAVATORS
BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-332-4844. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY

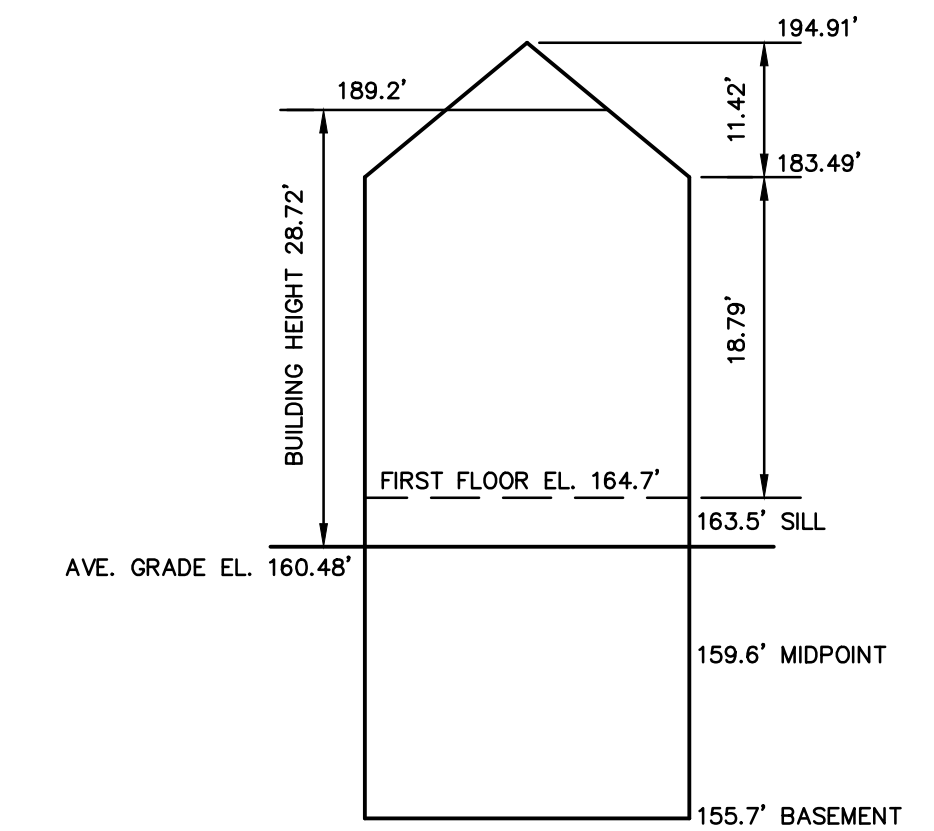


TESTPIT LOG
0-18" TOP SOIL
18-25" SUB SOIL
C1 25-45" LOAM
C2 45-90" SILTY LOAM WITH GRAVEL, COBBLES, STONE (GLACIAL TILL)
NO WATER, NO REFUSAL
PERC RATE > 20 MPI



EXISTING BUILDING HEIGHT

NOT TO SCALE
AVERAGE GRADE: 160.2+159.7+159.6+157.0+158.6+160.7+160.6+160.8 / 9 = 159.7'



PROPOSED BUILDING HEIGHT

NOT TO SCALE
AVERAGE GRADE: (162.0+162.0+162.0+162.0+162.0+160.8+161.0+155.5+155.5+162.0)/10=160.48'

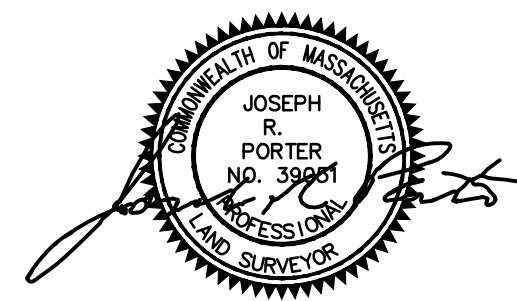
ZONING CHART			
NEWTON, MASSACHUSETTS			
ZONE:	SR-2 OLD	SUBMISSION: PROPOSED	
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000.0s.f.	6,591±s.f.*	N/A
LOT FRONTAGE	80.0'	157.91'	N/A
FRONT SETBACK	25.0'	20.2'	25.5'
SIDE SETBACK	7.5'	1.6'	8.2'
REAR SETBACK	15.0'	13.1'	15.9'
BUILD HEIGHT	30.0'	21.0'	28.72'
AVERAGE GRADE	N/A	159.7'	160.48'
LOT COVERAGE:	30.0%	21.4%	24.6%
OPEN SPACE:	50.0%	73.0%	66.1%

*PRE-ZONING.

TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
#23 HOWE ROAD

SCALE: 1in.=10ft. DATE: JULY 8, 2009
REVISED: AUGUST 25, 2009
AUGUST 26, 2015

PROJECT: 05104



VTP ASSOCIATES
INC.

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