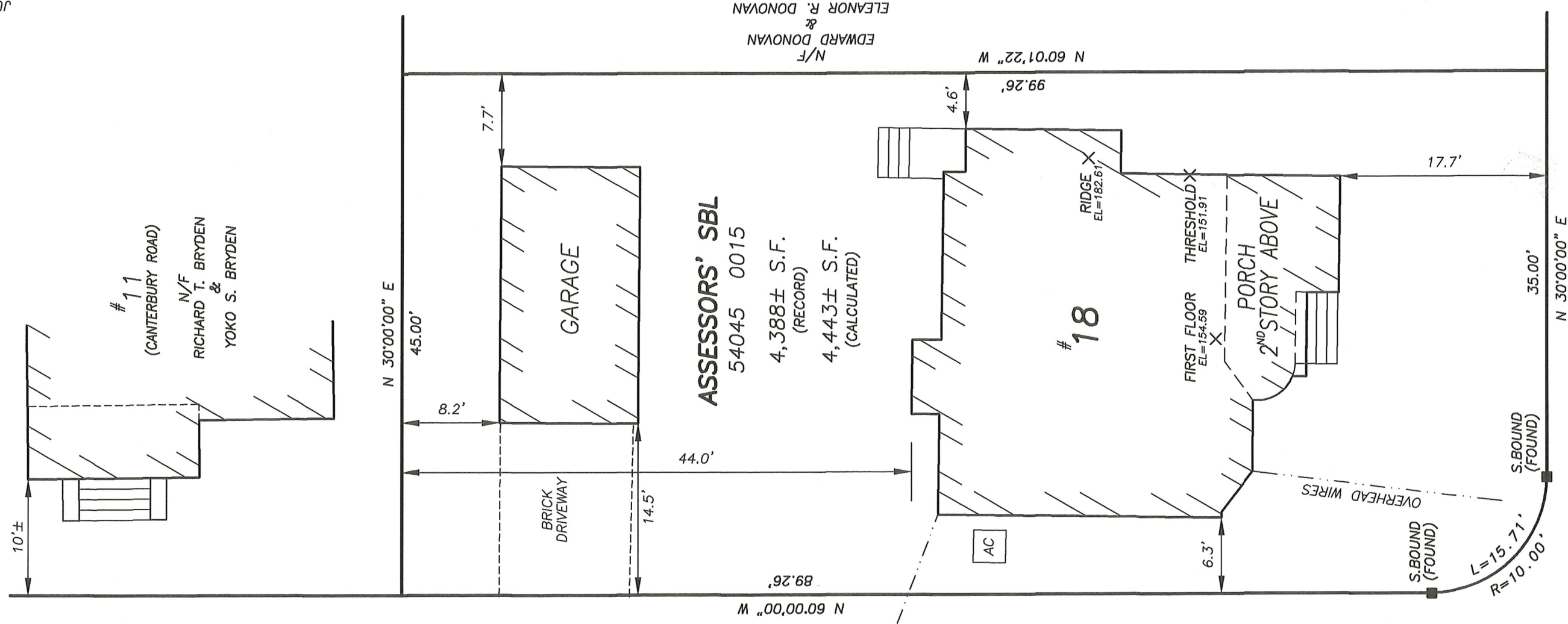


SITE PLAN
 18 MEREDITH AVENUE
NEWTON, MASSACHUSETTS
 1 INCH = 10 FEET JULY 20, 2017
 SNELLING & HAMEL ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS & ENGINEERS
 10 LEWIS STREET P.O. BOX 102
 LINCOLN, MASSACHUSETTS 01773
 (781) 259-0071

OWNERS OF RECORD:
 JAMES C. YOUNGBLOOD
 &
 DEBORAH R.C. YOUNGBLOOD
 BK.50149 PG.544

NORTH FROM PLAN 18 OF 1998

SCALE 1" = 10'



ASSESSORS' SBL
 54045 0015
 4,388± S.F. (RECORD)
 4,443± S.F. (CALCULATED)

BM1

- NOTES:
 LOT COVERAGE = 28.8%
 OPEN SPACE = 67.3%
- BENCHMARKS: (CITY OF NEWTON BASE)
 BM1 - SPIKE 1.2'± UP IN POLE 446-1
 ELEVATION = 151.92
 BM2 - SPIKE SET IN PAVEMENT ON
 MEREDITH AVENUE OPPOSITE THE
 FRONT PORCH OF 18 MEREDITH
 AVENUE
 ELEVATION = 150.57
- BASEMENT FLOOR
 ELEVATION = 146.04
 TOP OF FOUNDATION
 ELEVATION = 153.62
 AVERAGE GRADE PLANE = 151.3
 ROOF RIDGE ELEVATION = 182.61
 BUILDING HEIGHT = 31.31'

PLAN REFERENCE:
 - PLAN 18 OF 1998

I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF OCTOBER 2, 2015, WITH THE USE OF A TOPCON TOTAL STATION.

John R. Hamel

JOHN R. HAMEL
 PROFESSIONAL
 LAND SURVEYOR



JULY 17, 2017
 DATE:

15858.DWG
 JULY 20, 2017

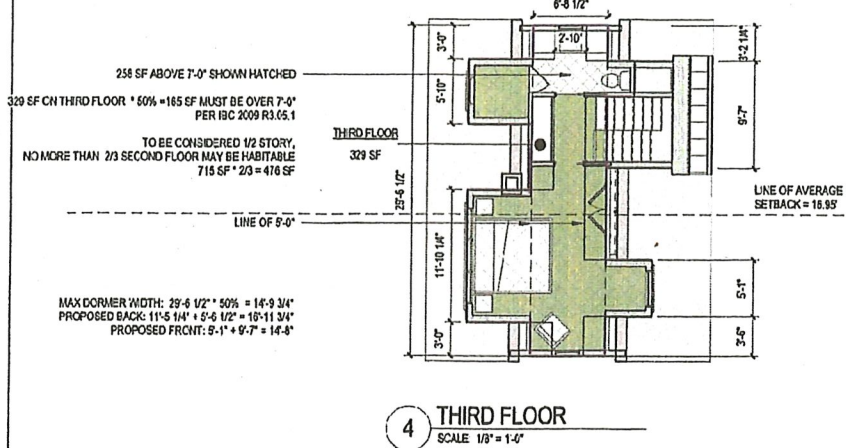
N/F
 EDWARD DONOVAN
 &
 ELEANOR R. DONOVAN

MEREDITH AVENUE

FAR CALCULATIONS

BASEMENT = 0 SF
 FIRST FLOOR = 809 SF
 GARAGE = 264 SF
 SECOND FLOOR = 715 SF
 THIRD FLOOR = 329 SF
 TOTAL = 2,117 SF
 LOT SIZE = 4,443 SF AS CALCULATED 10/21/15
 FAR = 0.48
 MAX SF = 2,133 SF

FAR/ZONING DIAGRAMS

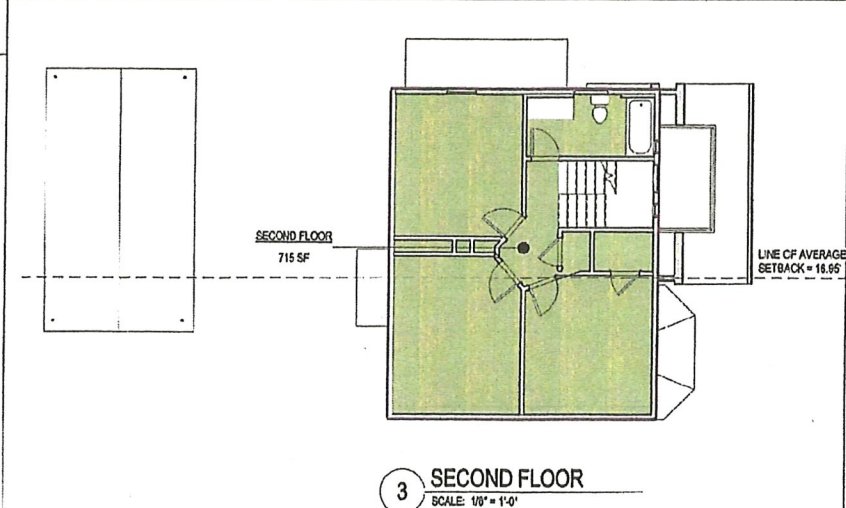


ZONING NOTES

Floor area, gross:
 a) Gross Floor area shall include:
 i. Any floor area above the second story, whether finished or unfinished, that meets all of the following criteria:
 1. It lies below the area of a horizontal plane that is five (5) feet above it and which touches the side walls and/or the underside of the roof rafters;
 2. Is at least seven (7) feet in any horizontal dimension, as measured within the area having a wall height of five feet or more;
 3. Has a minimum ceiling height of seven (7) feet on at least 50 percent of its required floor area; and
 4. Has a floor area of not less than 70 square feet as measured within the area having a wall height of five feet or more.
 ii. A story directly under a sloping roof where the area with a ceiling height of 7' or greater is less than 2/3 the area of the story next below.
 715 SF * 2/3 = 477 SF MAX ABOVE 7'-0"
 IBC 2009
 R305.1 MINIMUM HEIGHT
 1. Exceptions: For rooms with sloped ceilings, at least 50% of the required floor area of the room must have a ceiling height of at least 7 feet, and no portion of the required floor area may have a ceiling height of less than 5 feet.
 Sec 1.5 Rules of Measurement "G. Dormers.2b"
 h) A dormer may be no wider than 50 percent of the length of the exterior wall of the story next below. Where more than one dormer is located on the same side of the roof, the width of all dormers combined may not exceed 50 percent of the length of the exterior wall next below.
 Sec 1.5.3 Setback
 B. No building need be set back more than the average of the setbacks of the buildings on the nearest lot on either side, a vacant lot or a lot occupied by a building set back more than the required distance for its district to be counted as though occupied by a building set back such required distance. Averaging applies only to the front setback. In no case shall any part of a building in a residential district extend nearer the street line than 10 feet.

ZONING CALCULATIONS

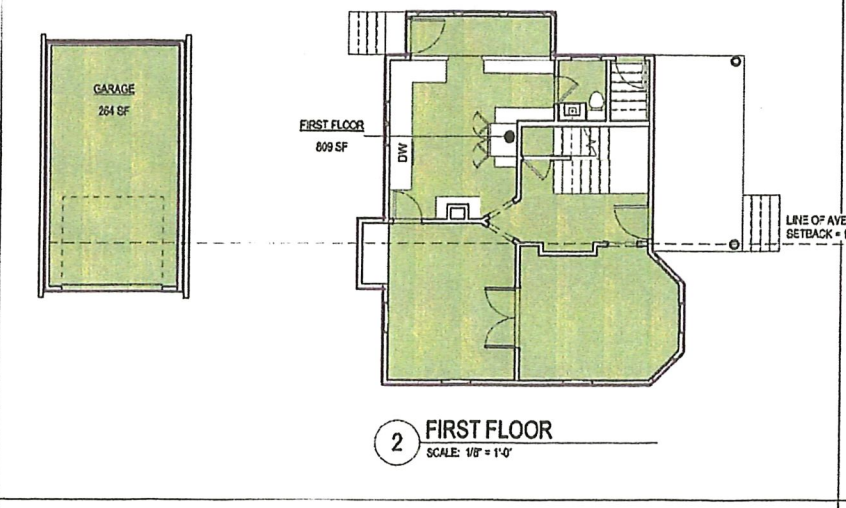
PER SURVEY 10/21/2015
 LOT COVERAGE = 30% MAX (28.4% CURRENT)
 OPEN SPACE = 50% MIN (67.3% CURRENT)
 LOT AREA = 10,000 SF, (4,555 SF CURRENT)
 PRE-EXISTING NON-CONFORMING



Sec 1.5 Rules of Measurement "D. Basement"
 1. Any story in a building in which 2/3 or more of the distance between the floor and the ceiling next above it is below the average grade plane adjacent to the building.
 2. In case the single- and two-family residential uses, any story in a building in which 1/2 or more of the distance between the floor and the ceiling next above it is below the average grade plane adjacent to the building.

ZONING CALCULATIONS

PER SURVEY 10/21/2015
 LOT COVERAGE = 30% MAX (28.4% CURRENT)
 OPEN SPACE = 50% MIN (67.3% CURRENT)
 LOT AREA = 10,000 SF, (4,555 SF CURRENT)
 PRE-EXISTING NON-CONFORMING



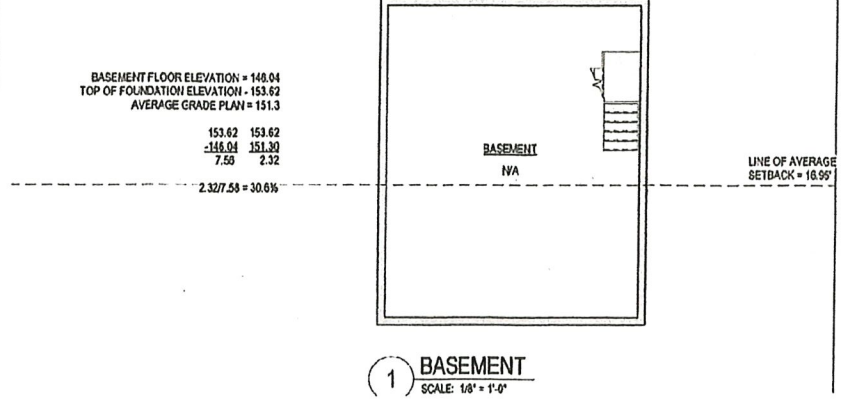
Floor area, gross:
 a) Gross Floor area shall include:
 i. Detached garages or any space above the first story of a detached garage that has a ceiling height of 7' or greater.

ZONING CALCULATIONS

BASEMENT FLOOR ELEVATION = 148.04
 TOP OF FOUNDATION ELEVATION = 153.62
 AVERAGE GRADE PLAN = 151.3

153.62	153.62
-148.04	151.30
7.58	2.32

2.32/7.58 = 30.6%



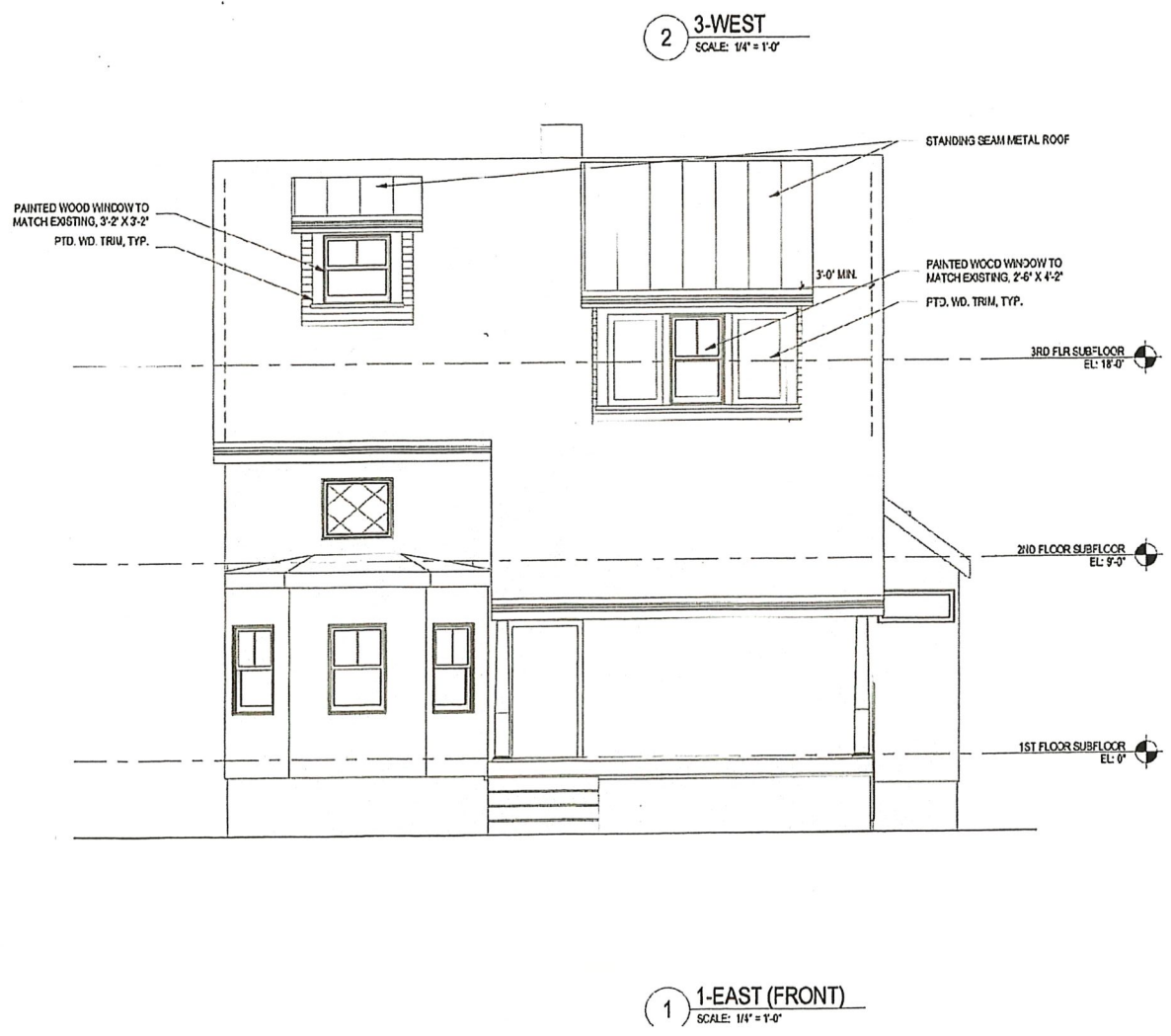
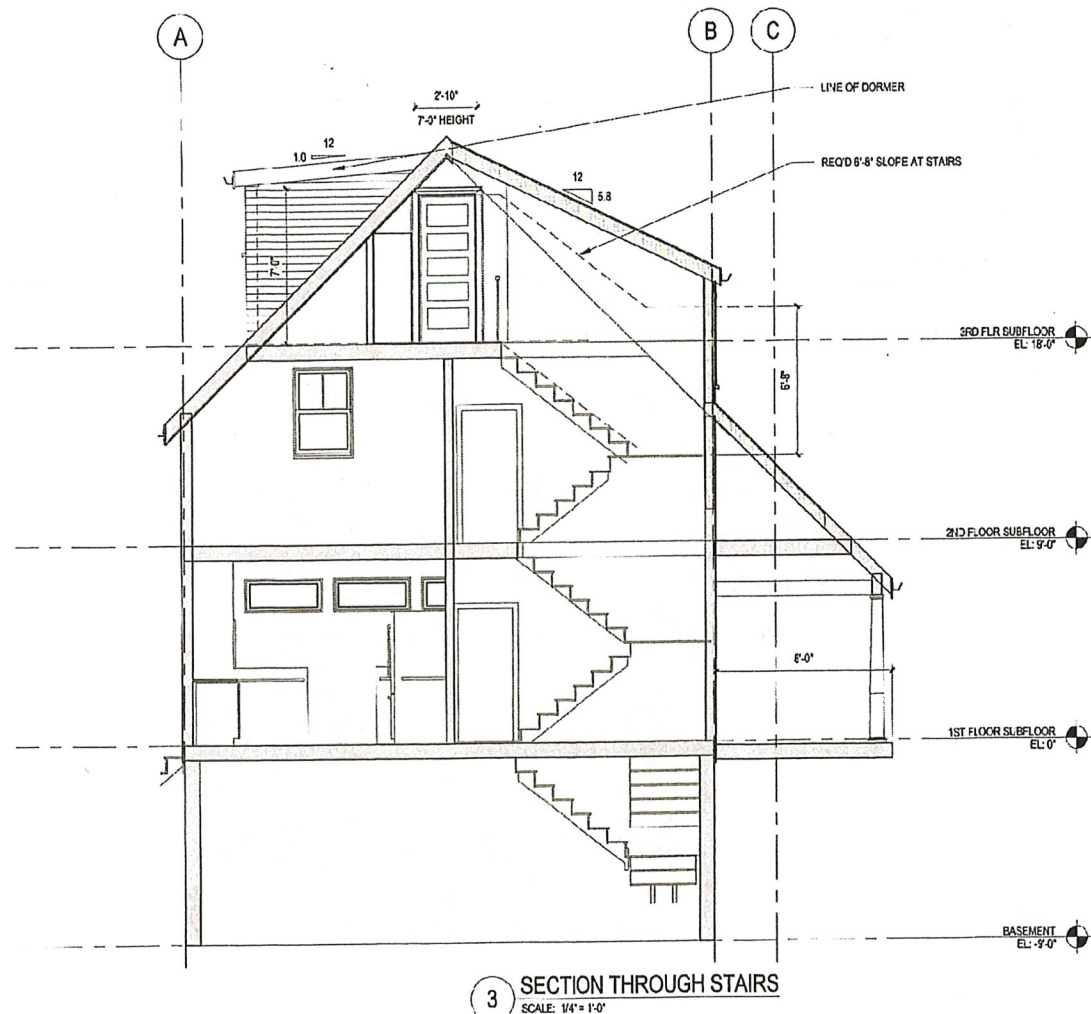
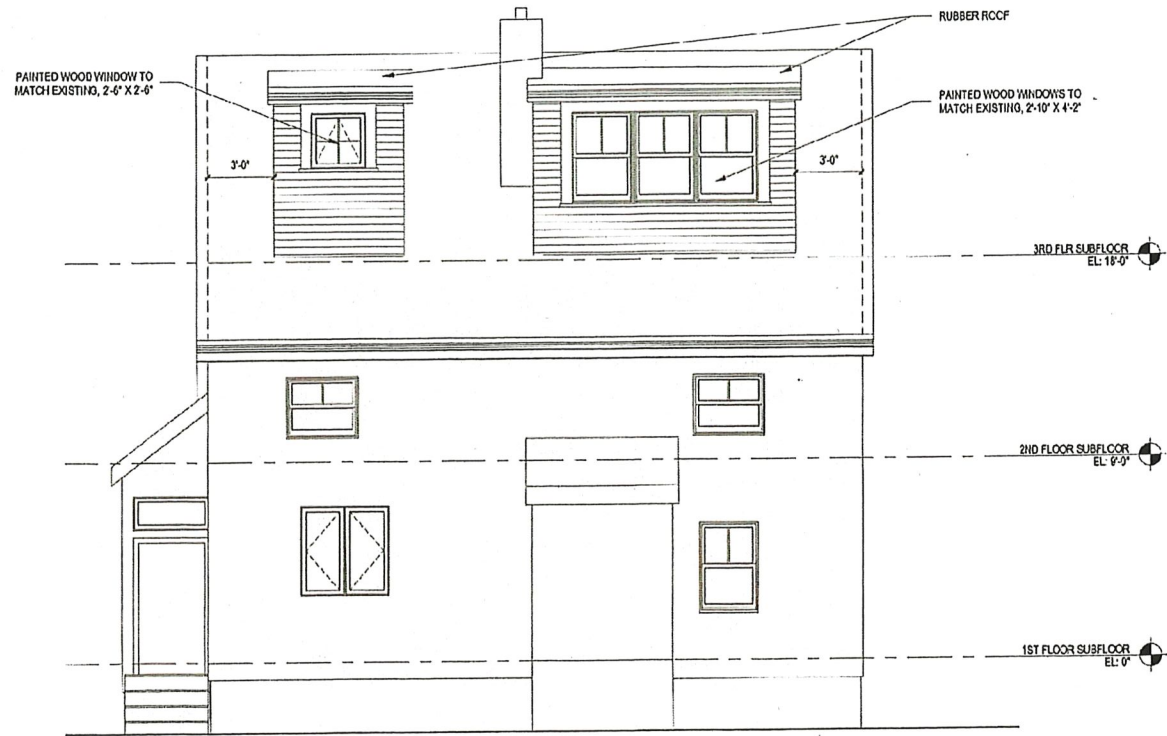
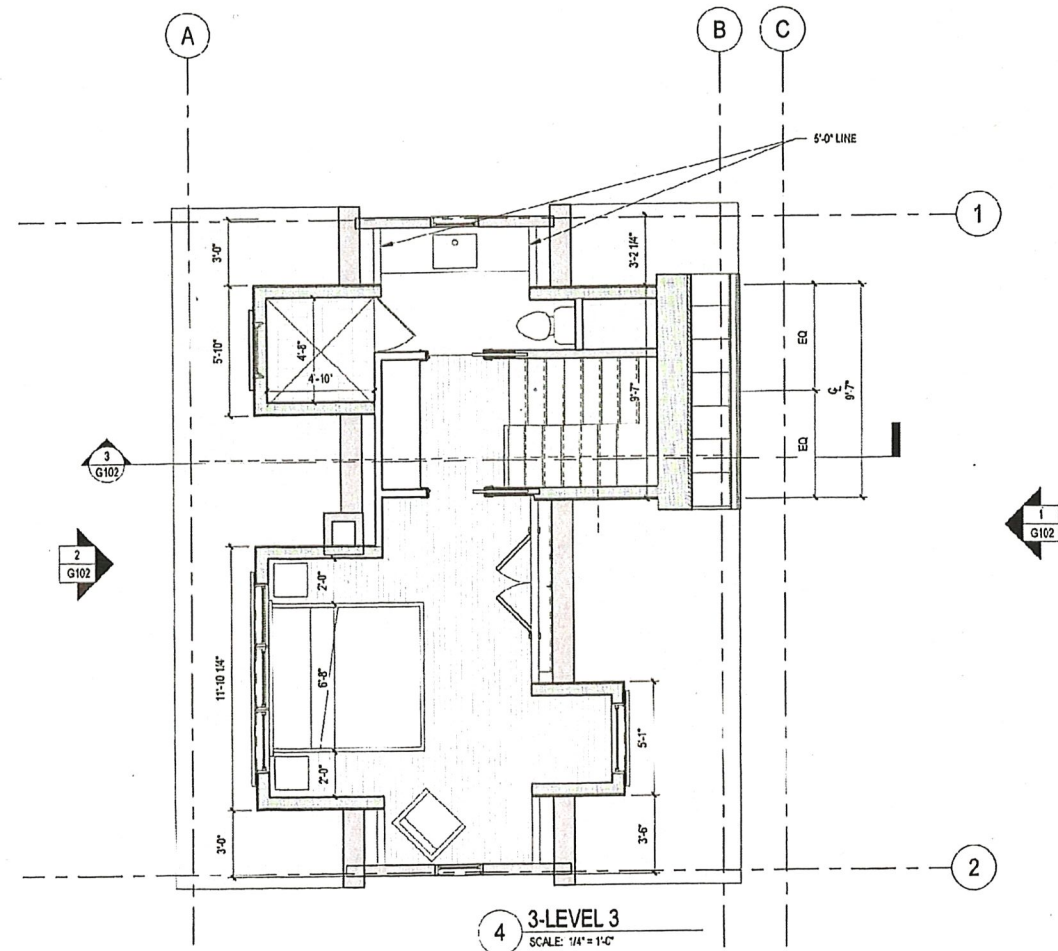
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LDA Architecture & Interiors, LLP
 222 Third Street, Suite 3212
 Cambridge, MA 02142
 617 621-1455 fax 617 621-1477
 www.LDA-Architects.com

ISSUANCE:
 ZONING
 REVISION:

DATE: 04/28/2015
 SCALE: 1/8" = 1'-0"
 DRAWN: CH
 CHECKED:
 SHEET INFO:
 ZONING INFORMATION



Youngblood Residence
Project Number

18 Meredith Ave
Newton, MA



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Cambridge, MA 02142
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ISSUANCE
ZONING

REVISION:

DATE: 04/28/2016
SCALE: 1/4" = 1'-0"
DRAWN: CH
CHECKED: -
SHEET #/FO: ZONING DRAWINGS