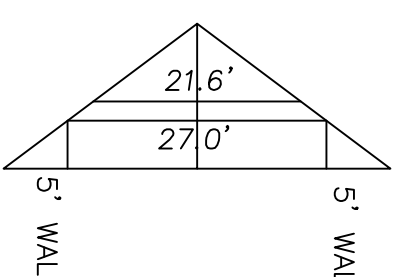
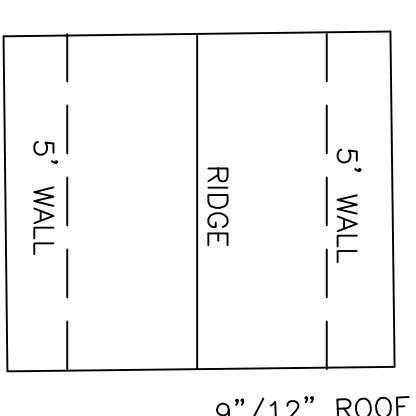
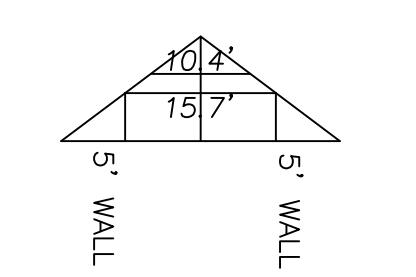
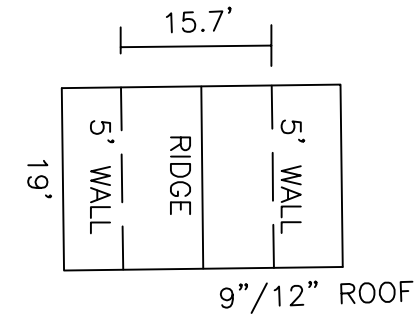
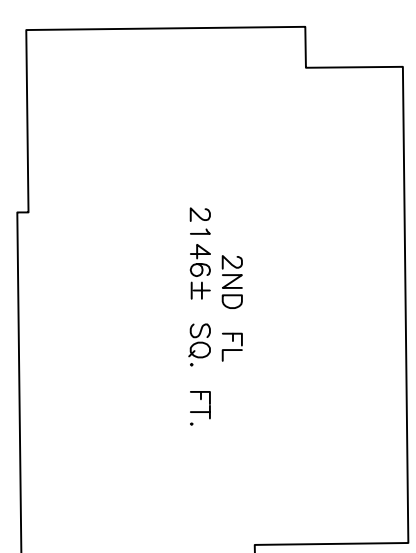
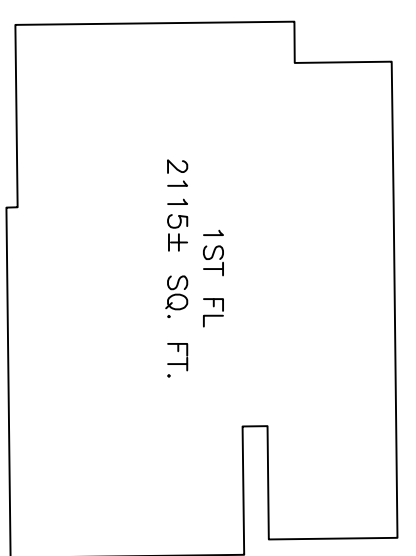


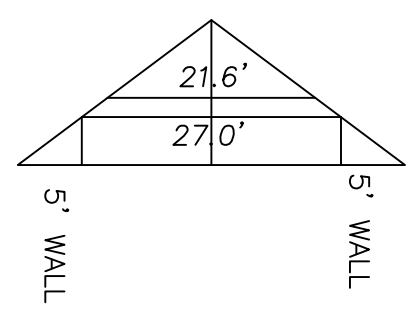
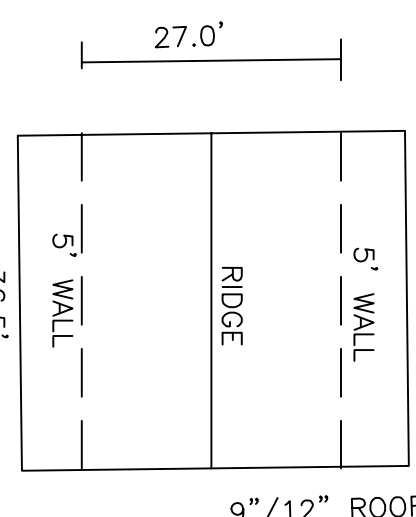
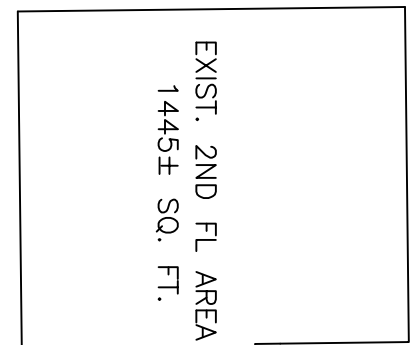
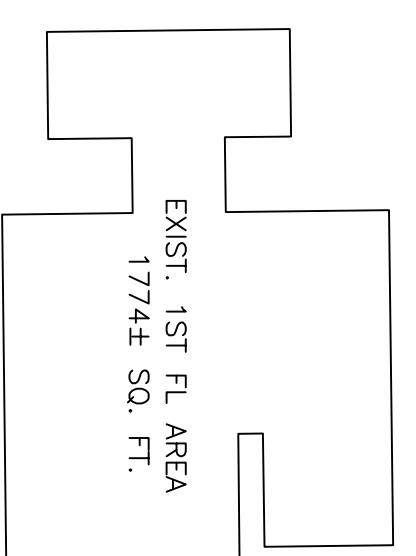
PROP. LOT COVERAGE = (2292+115) / 10033 = 23.99%

PROP. OPEN SPACE = (10033 - 3216 - 115) / 10033 = 66.80%

IMPERVIOUS AREA = 3587+115=3702± SQ. FT.



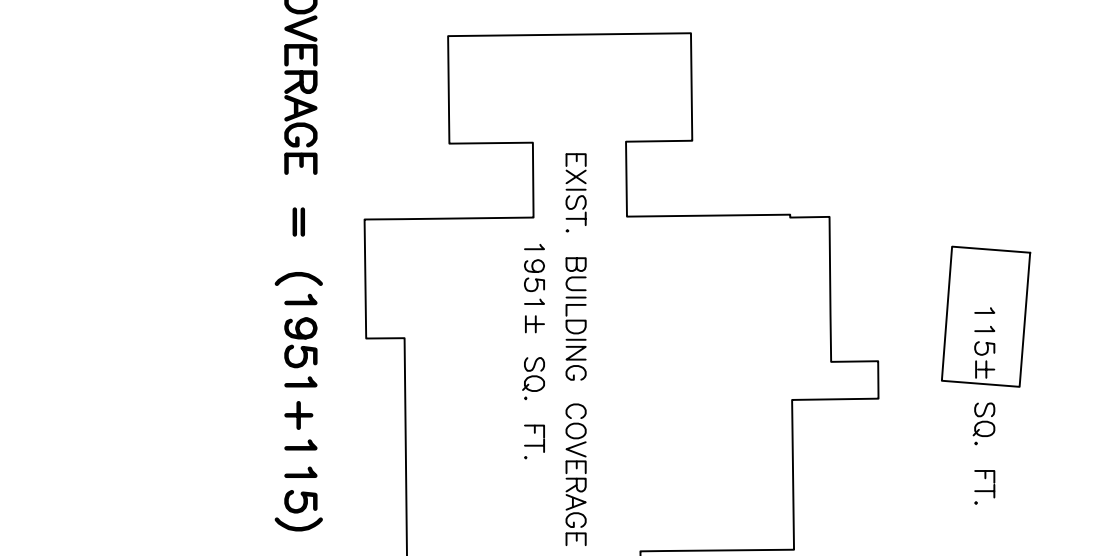
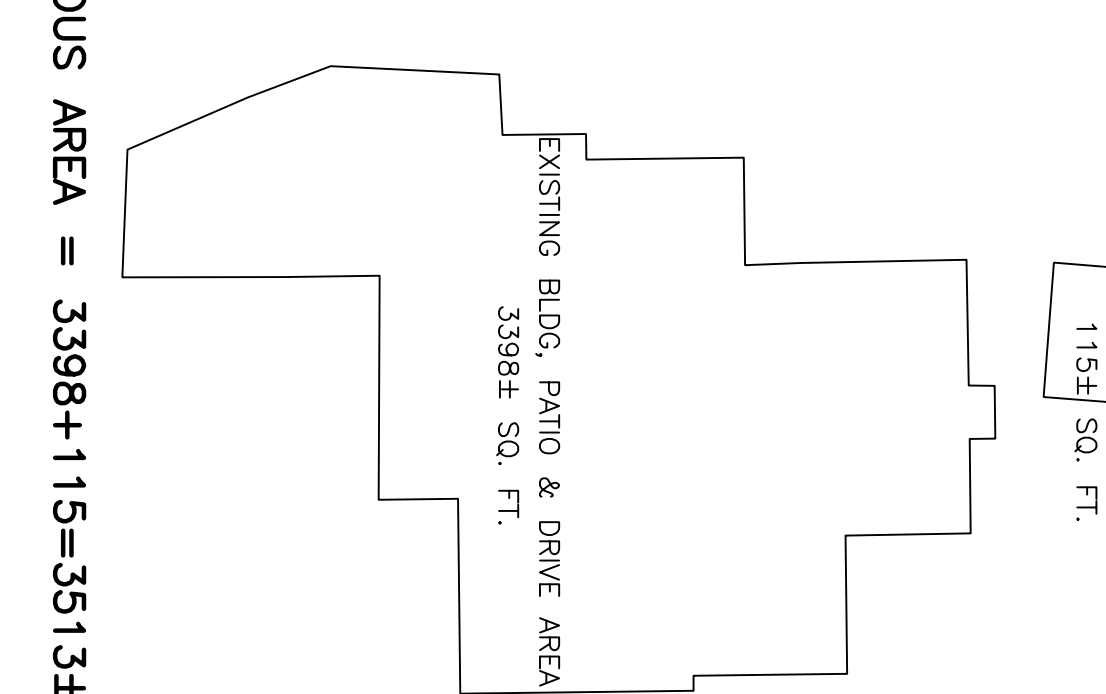
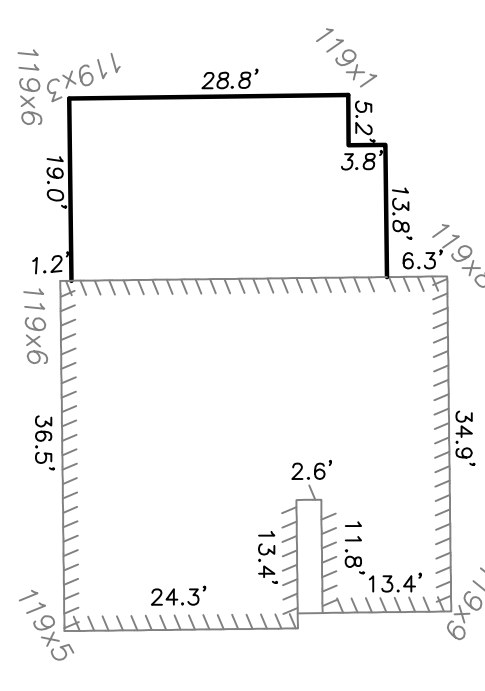
PROP. FAR = (2115 + 2146 + 298.3 + 985.5) / 10033 = 0.55
 15.7 X 19.0 = 298.3 SQ. FT. @ 5FT
 10.4 X 19.0 = 197.6 SQ. FT. @ 7FT
 21.6 X 36.5 = 788.4 SQ. FT. @ 7FT
 198 / 986 = 66% OF REQUIRED FLOOR AREA
 788 / 986 = 80% OF REQUIRED FLOOR AREA



EXIST. FAR = (1774 + 1445 + 985.5) / 10033 = 0.42
 27.0 X 36.5 = 985.5 SQ. FT. @ 5FT
 21.6 X 36.5 = 788.4 SQ. FT. @ 7FT
 788 / 986 = 80% OF REQUIRED FLOOR AREA
 EXISTING ROOF SHOWN 9\"/>

AVERAGE HEIGHT CALCULATIONS FOR:
 102 MCCARTHY RD NEWTON

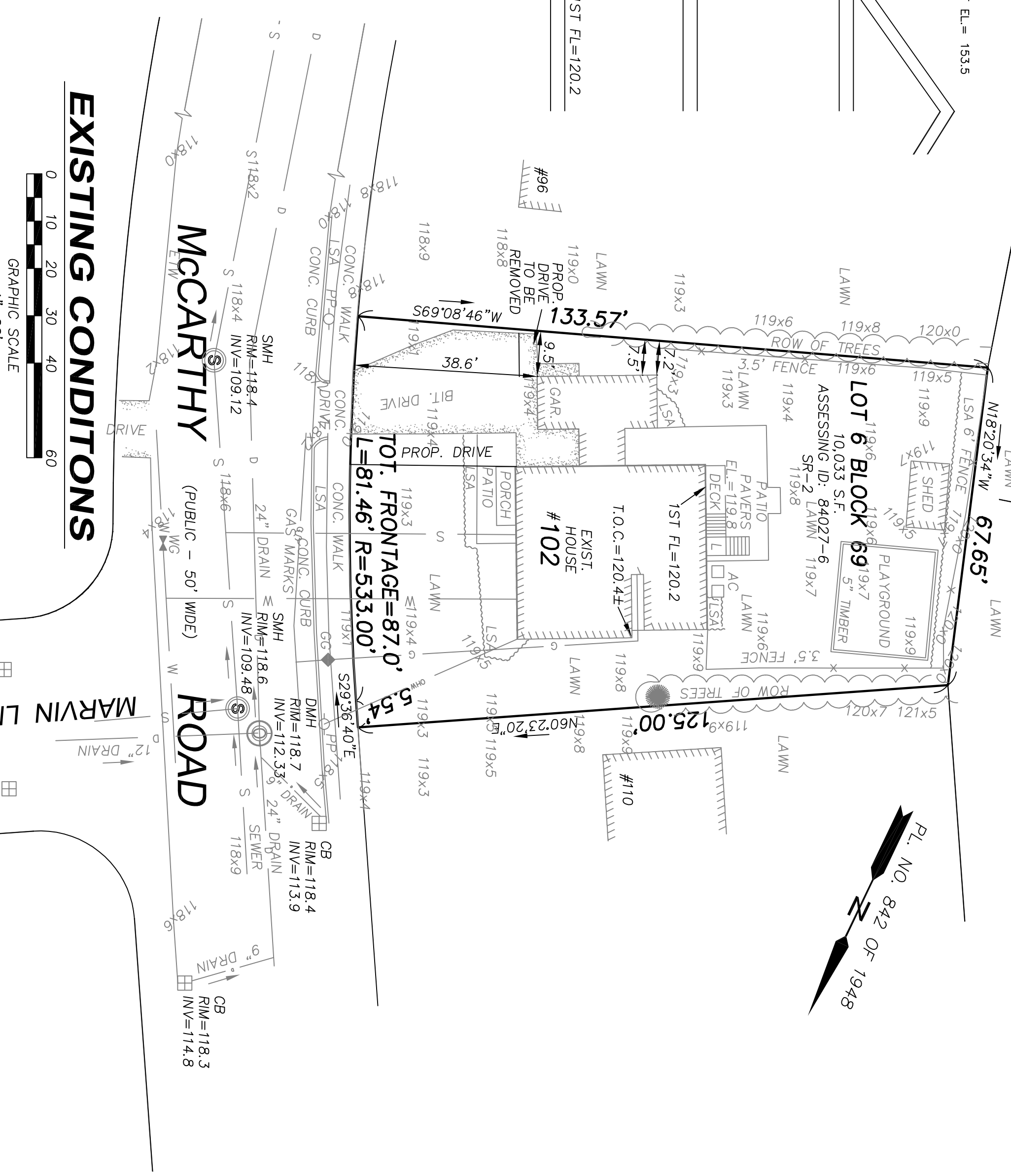
Segment	Height	Area	Dist.	(Height)²/Dist.
1	118.9	118.9	34.9	4182.785
2	118.9	118.9	23.7	5618.785
3	118.9	118.9	23.7	5618.785
4	118.9	118.9	23.7	5618.785
5	118.9	118.9	23.7	5618.785
6	118.9	118.9	23.7	5618.785
Sum	713.4	713.4	142.68	33718.525
Average Height	Sum H / Sum D			119.58



EXIST. LOT COVERAGE = (1951+115) / 10033 = 20.59%

EXIST. OPEN SPACE = (10033 - 2834 - 115) / 10033 = 70.61%

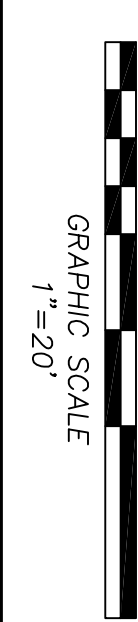
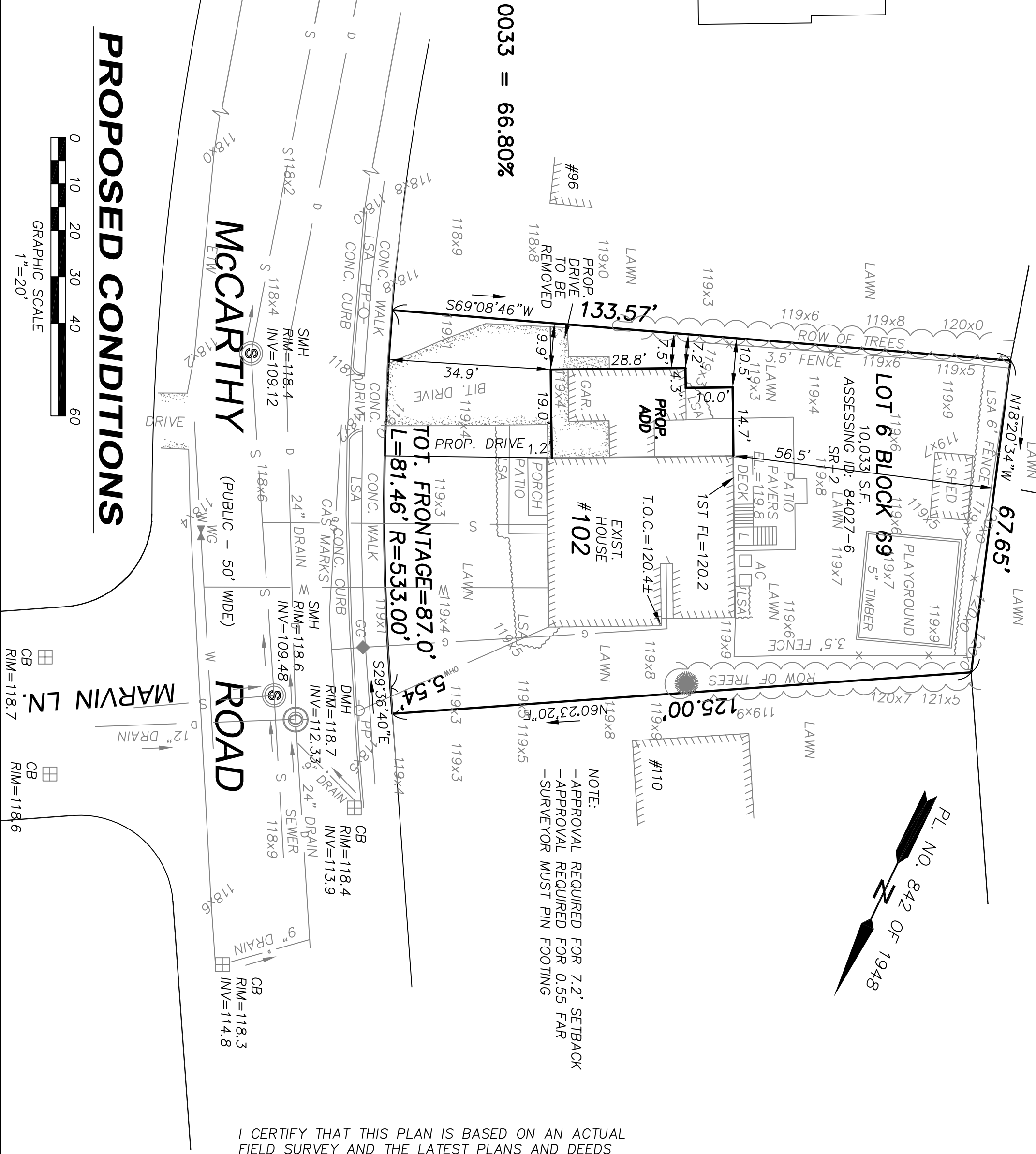
EXISTING CONDITIONS



EXISTING CONDITIONS



PROPOSED CONDITIONS

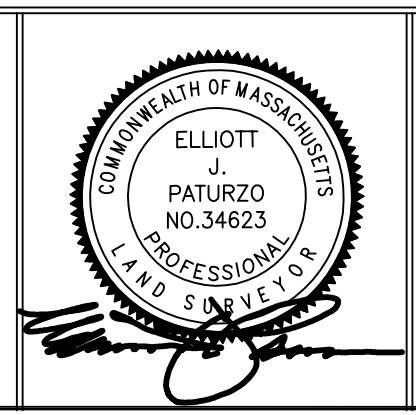


NOTE:
 - APPROVAL REQUIRED FOR 7.2' SETBACK
 - APPROVAL REQUIRED FOR 0.55 FAR
 - SURVEYOR MUST PIN FOOTING

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

EXISTING & PROPOSED CONDITIONS PLAN
 #102 MCCARTHY ROAD
 NEWTON, MASSACHUSETTS
 MIDDLESEX COUNTY
 AS PREPARED FOR
HARVEY REMODELING

CHENEY ENGINEERING CO., INC.
 4 WALPOLE STREET
 DOVER, MA 02030
 TEL. 508-785-2100



DATE: 6/9/2014	JOB #5915
REV. 8/7/2014	REVISED REAR ADDITION SIZE

GENERAL NOTES

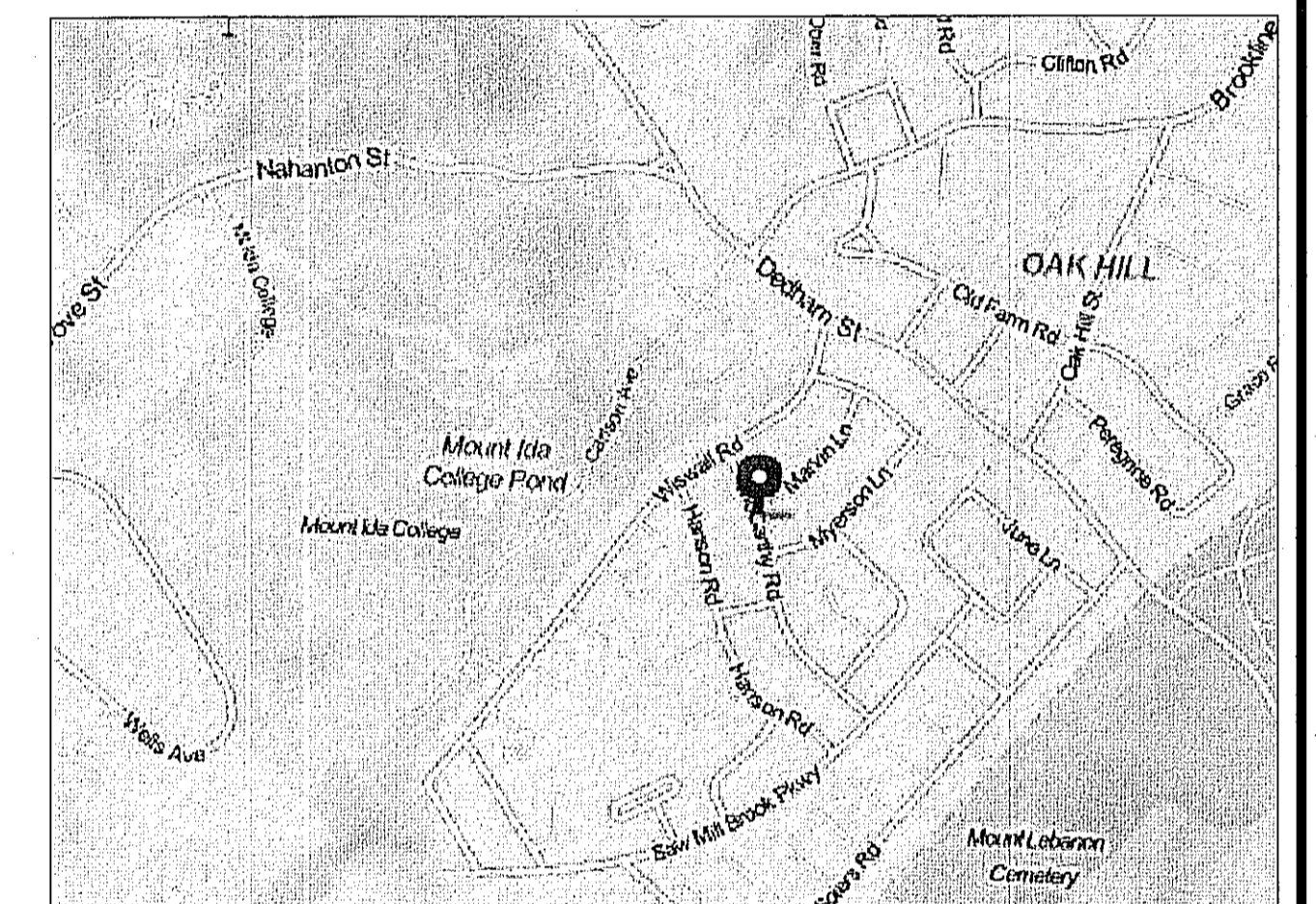
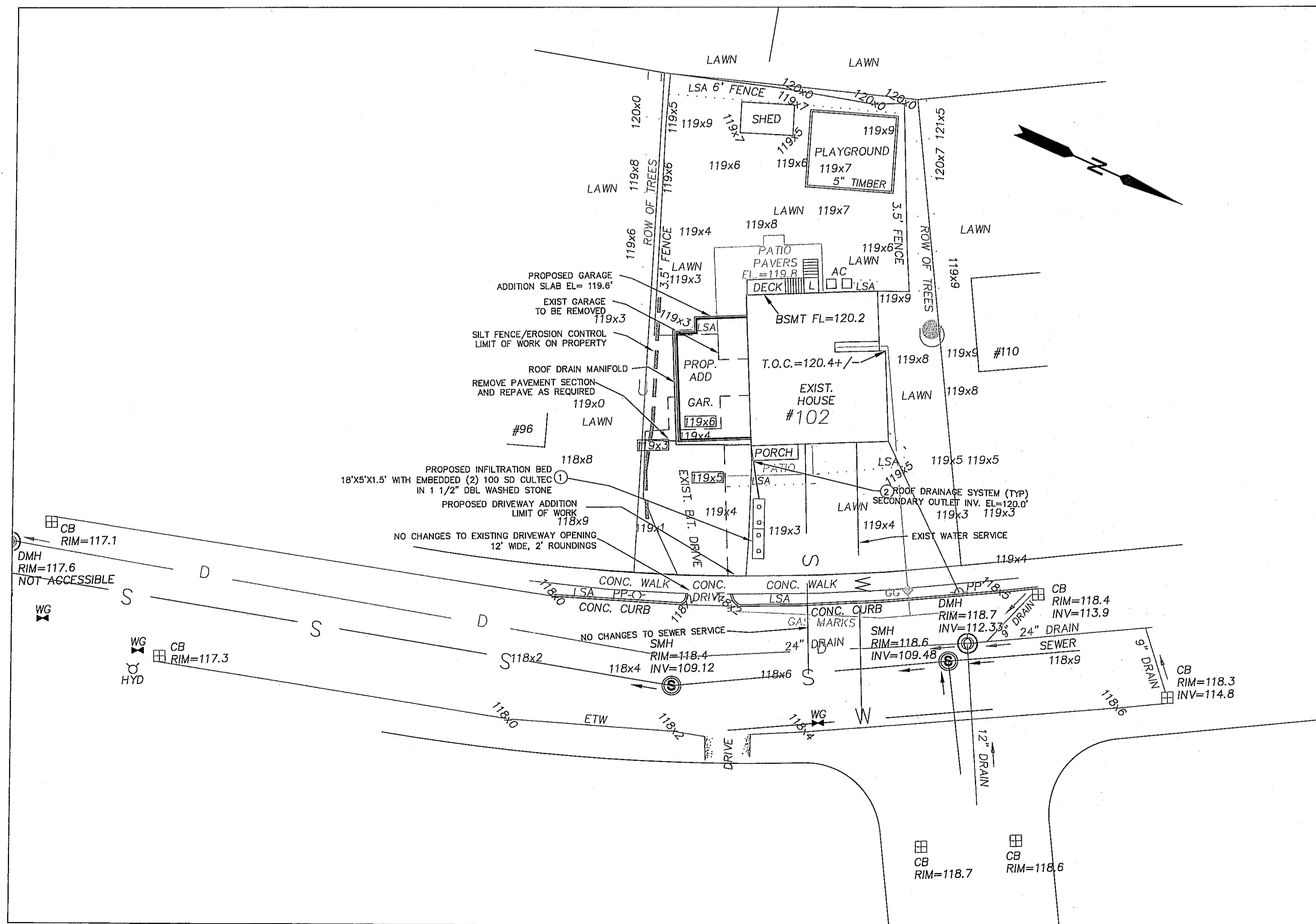
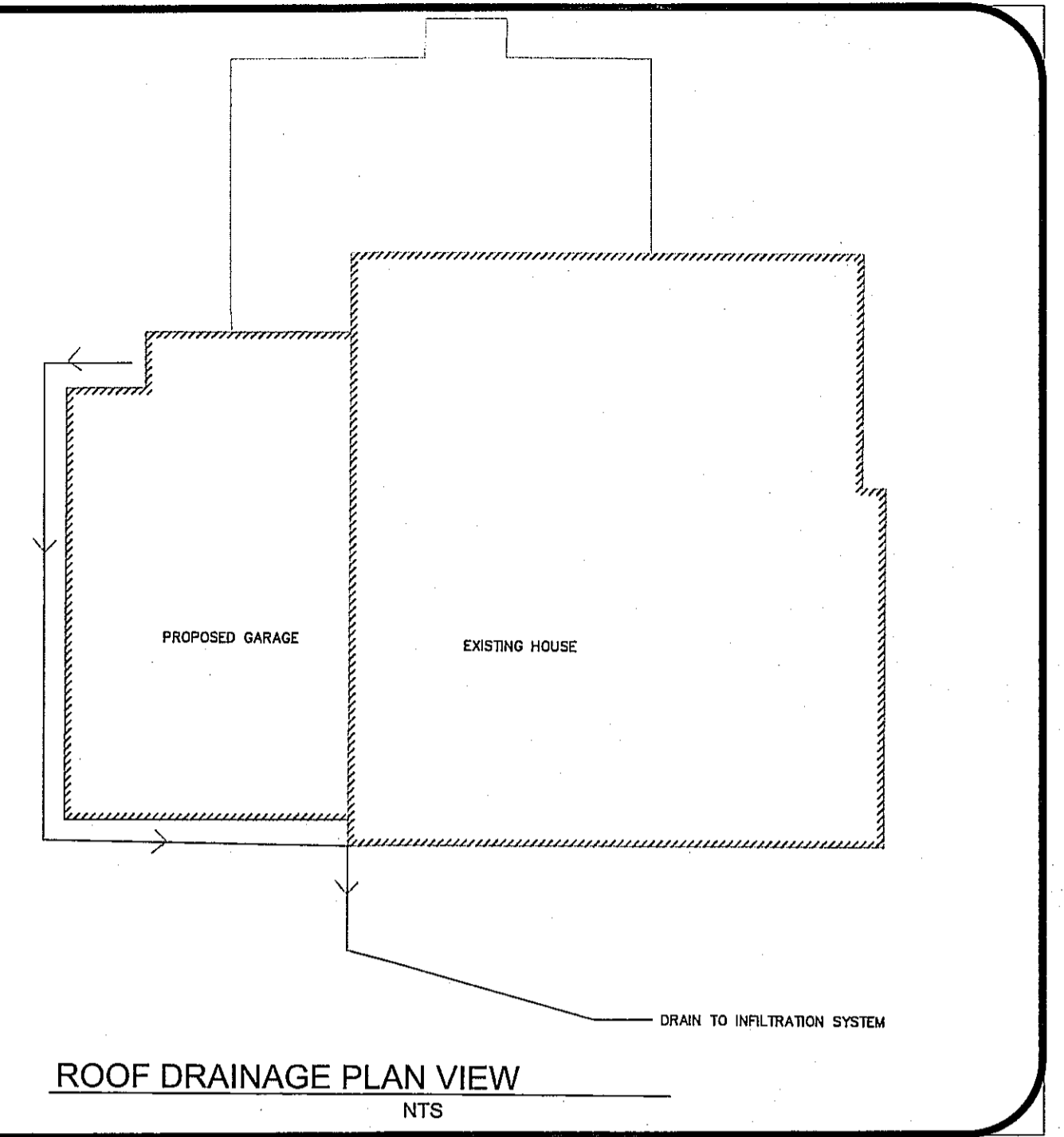
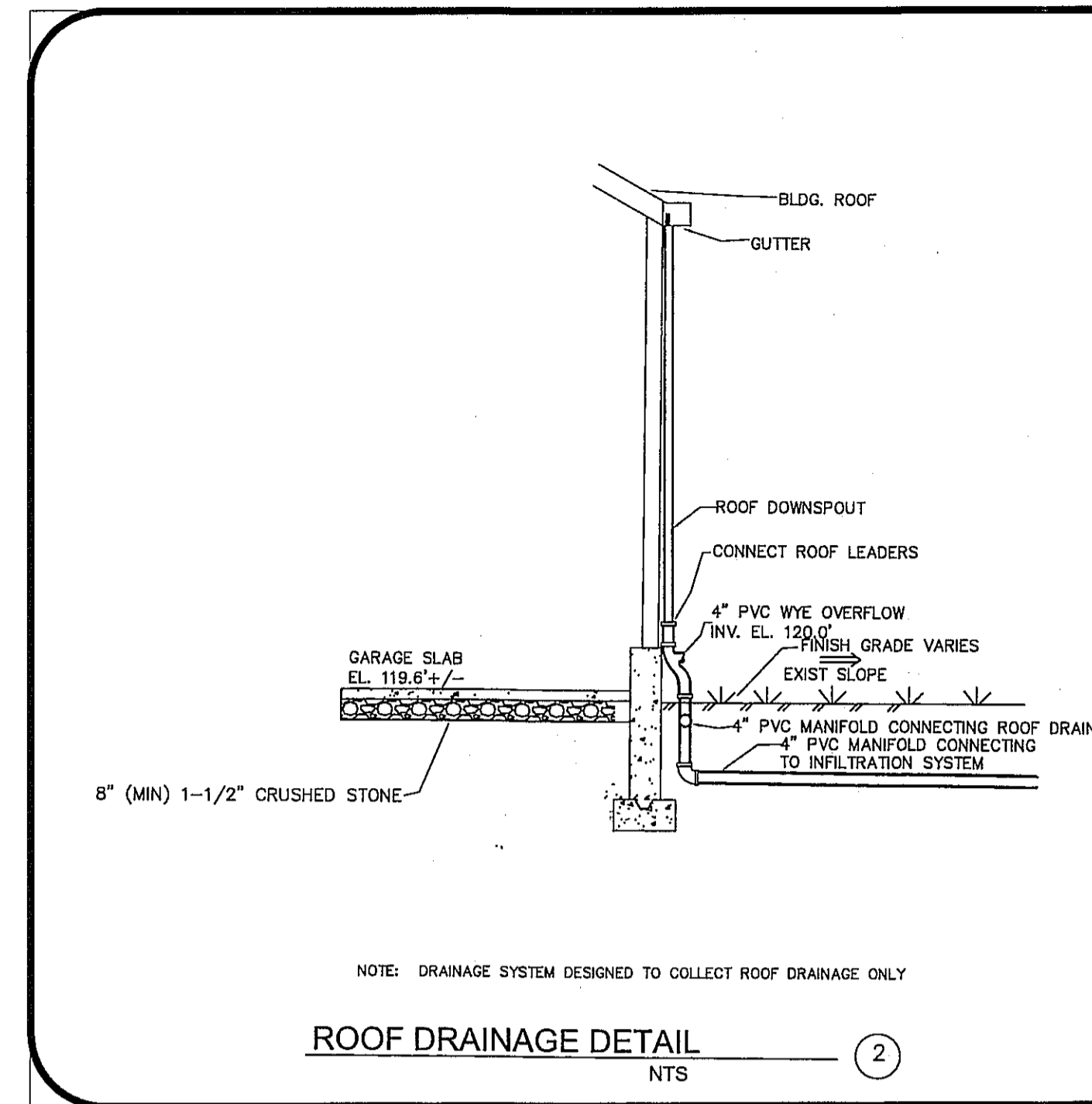
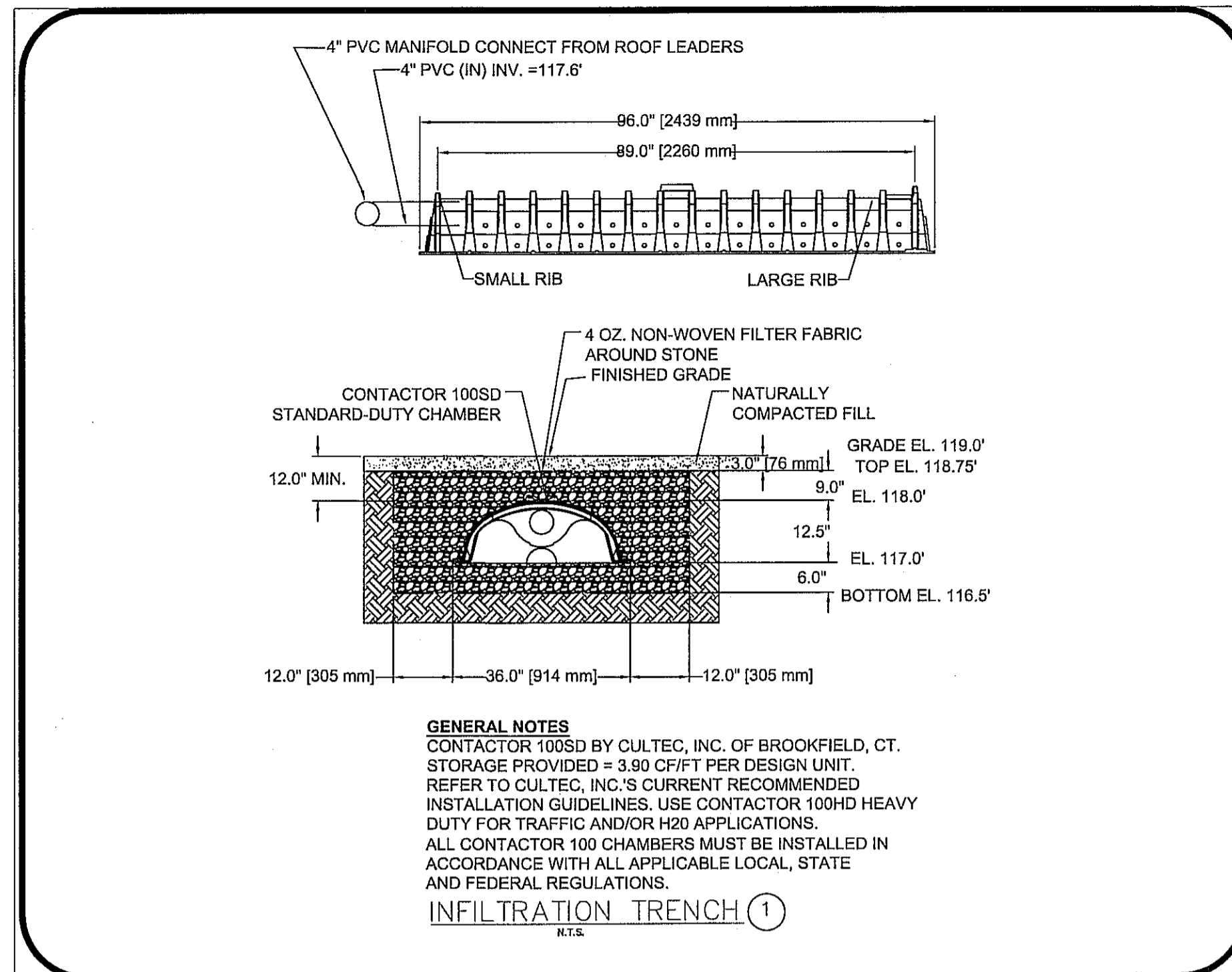
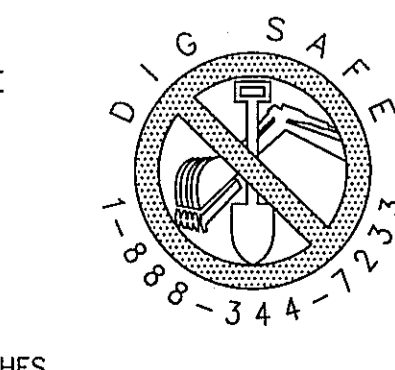
1. PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN ASBUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DEPARTMENT IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND INVERTS, ANY EASEMENTS AN FINAL GRADES.
2. IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
3. THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DEPARTMENT 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER, AND SEWER SERVICES INSPECTED. THE SYSTEM AND UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM AND UTILITIES MAY BE BACK FILLED.
4. THE APPLICANT MUST APPLY FOR A STREET OPENING AND UTILITIES CONNECTION PERMIT AS WELL AS A SIDEWALK CROSSING PERMIT WITH DPW (IF REQUIRED).
5. THE UTILITIES SHOWN WERE COMPILED FROM FIELD LOCATIONS AND AVAILABLE PLANS OF UTILITY COMPANIES AND MAY OR MAY NOT BE CORRECT. THE CONTRACTOR IS TO CONTACT DIG SAFE AND ALL LOCAL UTILITY COMPANIES AS REQUIRED PRIOR TO EXCAVATION.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "CITY OF NEWTON STANDARD SPECIFICATIONS" AND "CITY OF NEWTON CONSTRUCTION DETAILS", COPIES OF WHICH MAY BE OBTAINED AT THE ENGINEERING OFFICE. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF NEWTON ENGINEERING DIVISION.
7. THE CONTRACTOR SHALL PROVIDE POLICE DETAILS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER. ALL ROADS EFFECTED BY CONSTRUCTION SHALL REMAIN OPEN TO EMERGENCY VEHICLES AT ALL TIMES. THE CONTRACTOR IS TO COORDINATE WITH POLICE AND FIRE DEPARTMENT TO ENSURE PUBLIC SAFETY.
8. AN EROSION CONTROL BARRIER SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION AND MUST BE CONTAINED ON SITE.
9. (IF REQUIRED) THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAINS AND BE COMPLETELY REMOVED FROM THE SITE AND PROPERLY BACK FILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK. FAILURE TO HAVING THIS WORK INSPECTED MAY RESULT IN DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.
10. THE NEW SEWER SERVICES AND STRUCTURES WILL NEED TO BE PRESSURE TESTED AS FEASIBLE PRIOR TO ACCEPTANCE. THE ENGINEERING DIVISION MUST BE PRESENT DURING TESTING (48-HOUR NOTICE REQUIRED). A PROPOSED SEWER LINE THAT CANNOT BE TESTED SHALL BE VIDEO TAPED AND SUBMITTED TO THE INSPECTOR.
11. ALL TRENCH EXCAVATIONS SHALL COMPLY WITH MASS. GENERAL LAWS CH. 82A ALSO KNOWN AS, "JACKIE'S LAW" TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AS SHOWN ON THE PLANS. ANY VARIATIONS TO PROPOSED GRADING SHOWN AND/OR ANY CHANGES TO PROPOSED STRUCTURE MAY RESULT IN NON COMPLIANCE WITH ZONING OR OTHER REGULATIONS.
13. ALL UTILITY TRENCHES WITH THE EXCEPTION OF GAS WITHIN THE CITY OF NEWTON RIGHT OF WAY WILL BE BACK FILLED WITH TYPE II EXCAVATEABLE CONTROL DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
14. ALL ROOF DRAINS ARE TO BE CONNECTED TO PROPOSED DRYWELLS.
15. THE CONTRACTOR MUST MATCH EXISTING CURBING AND SIDEWALK MATERIALS WHEN ABANDONING EXISTING DRIVEWAY ENTRANCES.
16. ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
17. NO EXCAVATION IS ALLOWED WITHIN THE CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, THE APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. THE APPLICANT OR THE APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DIVISION PRIOR TO THE START OF WORK FOR CLARIFICATION.
18. THE CONTRACTOR IS ADVISED THAT ALL WORK ACTIVITIES MUST BE EXECUTED PURSUANT TO THE LATEST REGULATIONS IN FORCE AT TIME OF WORK DICTATED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
19. ALL ELEVATIONS REFER TO THE CITY OF NEWTON DATUM.
20. IF THE EXISTING STRUCTURE IS TO BE RAZED, ALL UTILITIES MUST BE CUT AND CAPPED AT THE BACK OF THE SIDEWALK PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT (TRENCH AND SIDEWALK CROSSING PERMITS WILL BE REQUIRED). THE ENGINEERING DIVISION INSPECTOR MUST INSPECT THIS WORK (48-HOUR NOTICE REQUIRED).
21. THE WATER AND SEWER SERVICES MUST BE IN-PLACE AND ACCEPTED BY THE ENGINEERING DIVISION PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

SPECIAL NOTES

1. THERE ARE NO PROPOSED CHANGES TO THE EXISTING WATER, SEWER AND GAS UTILITIES TO THE EXISTING HOUSE STRUCTURE. NO PROPOSED EXCAVATION WITHIN THE CITY'S RIGHT OF WAY.
2. FOR THE PROPOSED GARAGE OFFSETS TO THE PROPERTY LINE, SEE PLAN PREPARED BY CHENNEY ENGINEERING DATED JUNE 9, 2014.
3. IMPERVIOUS AREA CALCULATIONS:
 EXISTING IMPERVIOUS AREA=3,313 SF
 PROPOSED IMPERVIOUS AREA=4,658 SF
 CHANGE IN IMPERVIOUS AREA=1,345 SF
 PERCENTAGE IMPERVIOUS AREA INCREASE PER LOT AREA= 143/10,033 = 1.4%
 BECAUSE THE INCREASE OF IMPERVIOUS AREA IS LESS THAN 4%, IT DOES NOT TRIGGER THE CITY OF NEWTON STORMWATER MANAGEMENT REQUIREMENTS. THERE IS NO INCREASE IN STORMWATER RUNOFF FOR THE CITY OF NEWTON STORMWATER RAIN EVENTS.

LEGEND

200x0	EXISTING SPOT ELEVATION	①	DETAIL REFERENCE
200x0	PROPOSED SPOT ELEVATION	⊕	TEST PIT
---	EXISTING CONTOURS	⊙	PERC TEST
---	PROPOSED CONTOURS	---	SEWER LINE
W	WATER LINE	---	DRAIN LINE
D	DRAIN LINE	---	INFILTRATION TRENCHES



APPLICANT
 MR. AND MRS. GONGXIONG WU
 102 MCCARTHY ROAD
 NEWTON, MA 02459

CONTACT
 ELIZABETH DUPRE
 207-439-0032

RESIDENTIAL DWELLING

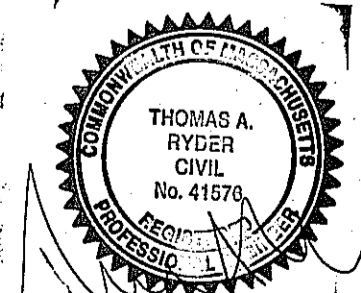
**102 MCCARTHY ROAD
 NEWTON, MASSACHUSETTS**

PROPOSED ADDITION
Clear Water Environmental

Wastewater Professionals
 Civil Engineers

87 Bartlett Road
 Kittery Point, Maine
 03905
 Tele (207) 439-0032
 Fax (207) 475-0998

info@clearwater-env.com



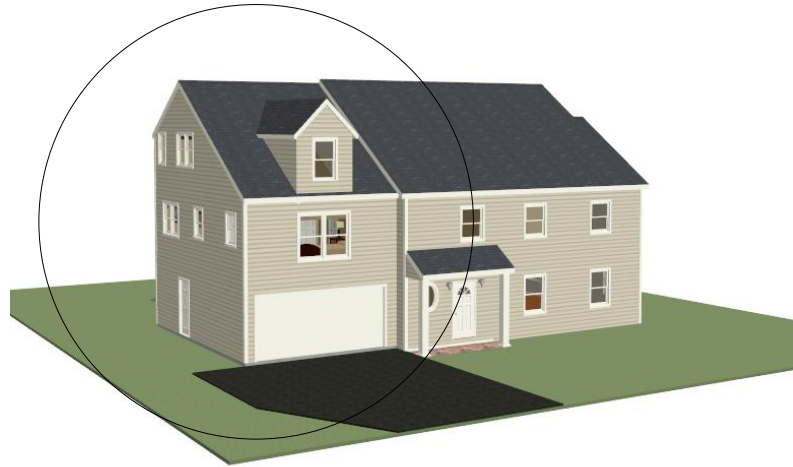
DATE	REVISIONS

SCALE 1"=20'
 UNLESS OTHERWISE NOTED

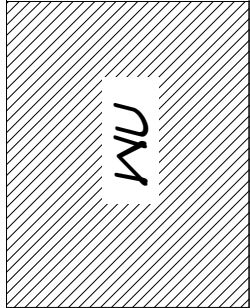
DATE: JUNE 9, 2014

DRAWN BY: [] CHECKED BY: [] APPROVED BY: []

JOB # _____ SHEET: 1 OF 1



This is an artistic representation of the general floor plan. It is not intended to be an exact rendition.



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

SCALE:

DATE:
6/9/2014

REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING #
A
1

PROJECT:
WU RESIDENCE

REVISION DATE:

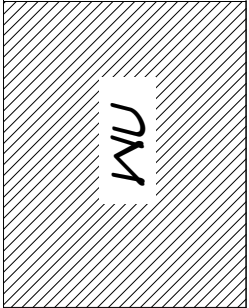
LOCATION:
102 McCarthy Rd.
Newton, MA
02459

PREPARED BY:
Francis Harvey Remodeling, LLC
697 Hartford Turnpike
Shrewsbury, MA 01545

DATE:
6/9/2014

INDEX:

- A-1 INDEX
- A-2 EXISTING FLOOR PLANS
- A-3 PROPOSED FOUNDATION PLAN
- A-4 PROPOSED FIRST FLOOR PLAN
- A-5 PROPOSED SECOND FLOOR PLAN
- A-6 PROPOSED THIRD FLOOR PLAN
- A-7 PROPOSED EXTERIOR ELEVATIONS
- A-8 PROPOSED EXTERIOR ELEVATIONS



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

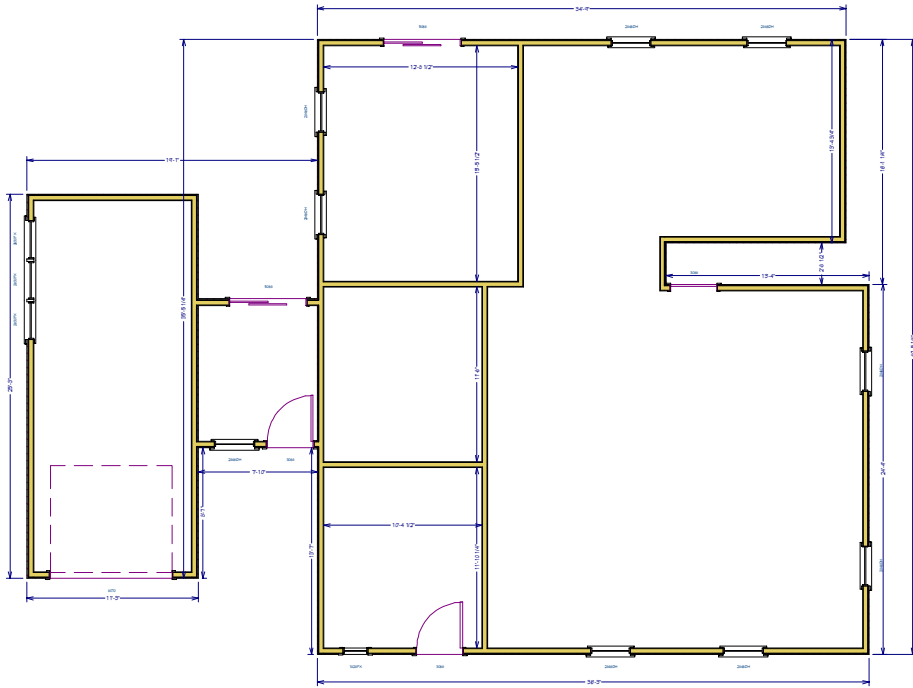
SCALE:
1/8" = 1'

DATE:
6/9/2014

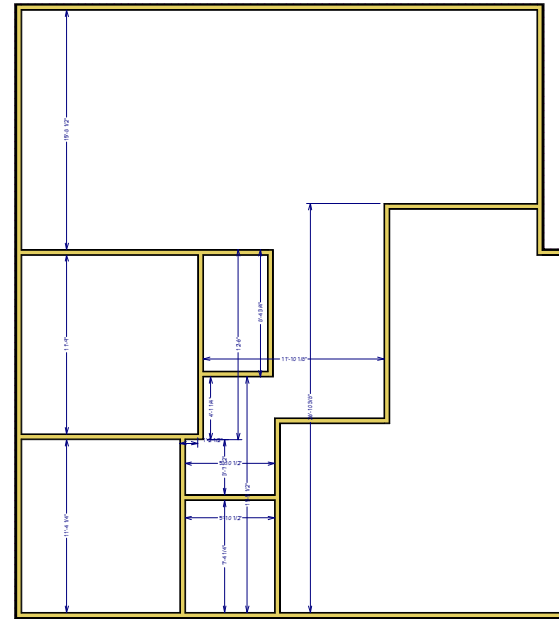
REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING #
A
2



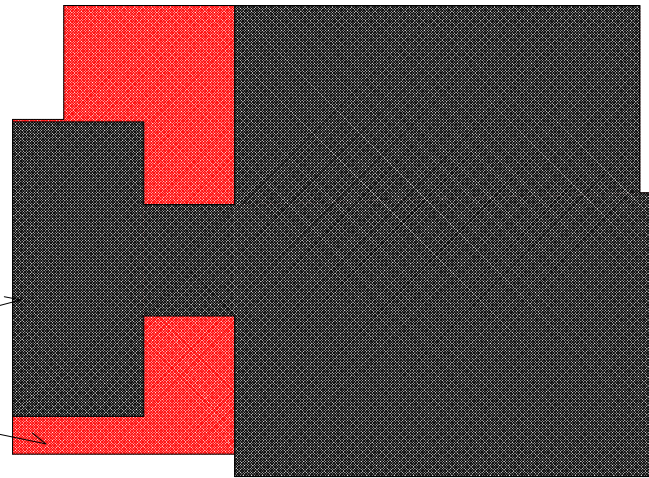
Existing First Floor

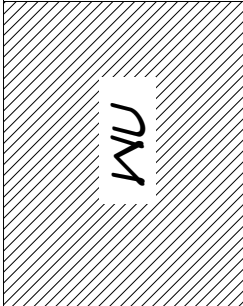


Existing Second Floor

BLACK = EXISTING FOOTPRINT

RED = PROPOSED FOOTPRINT





PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

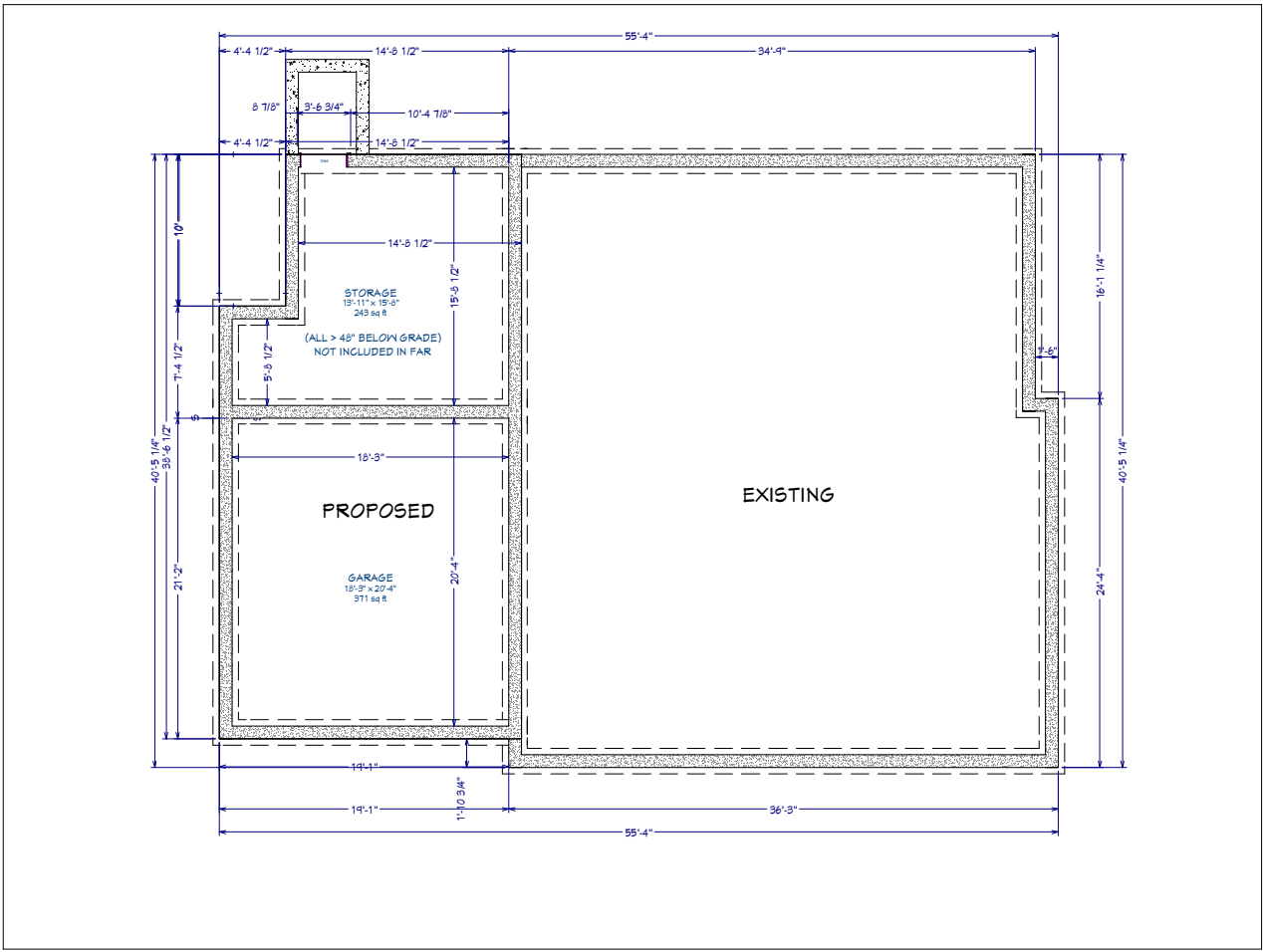
SCALE:
1/8" = 1'

DATE:
6/9/2014

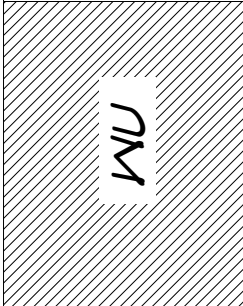
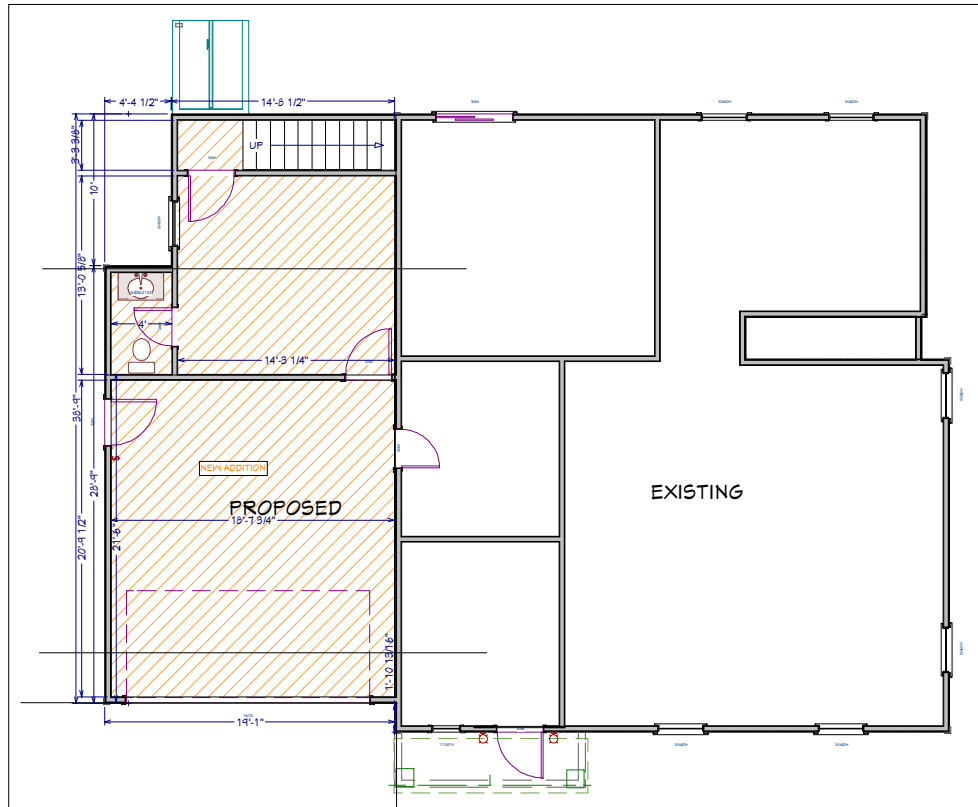
REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING # **A**
3



**PROPOSED
FOUNDATION PLAN**



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

SCALE:

1/8" = 1'

DATE:

6/9/2014

REVISION DATE:

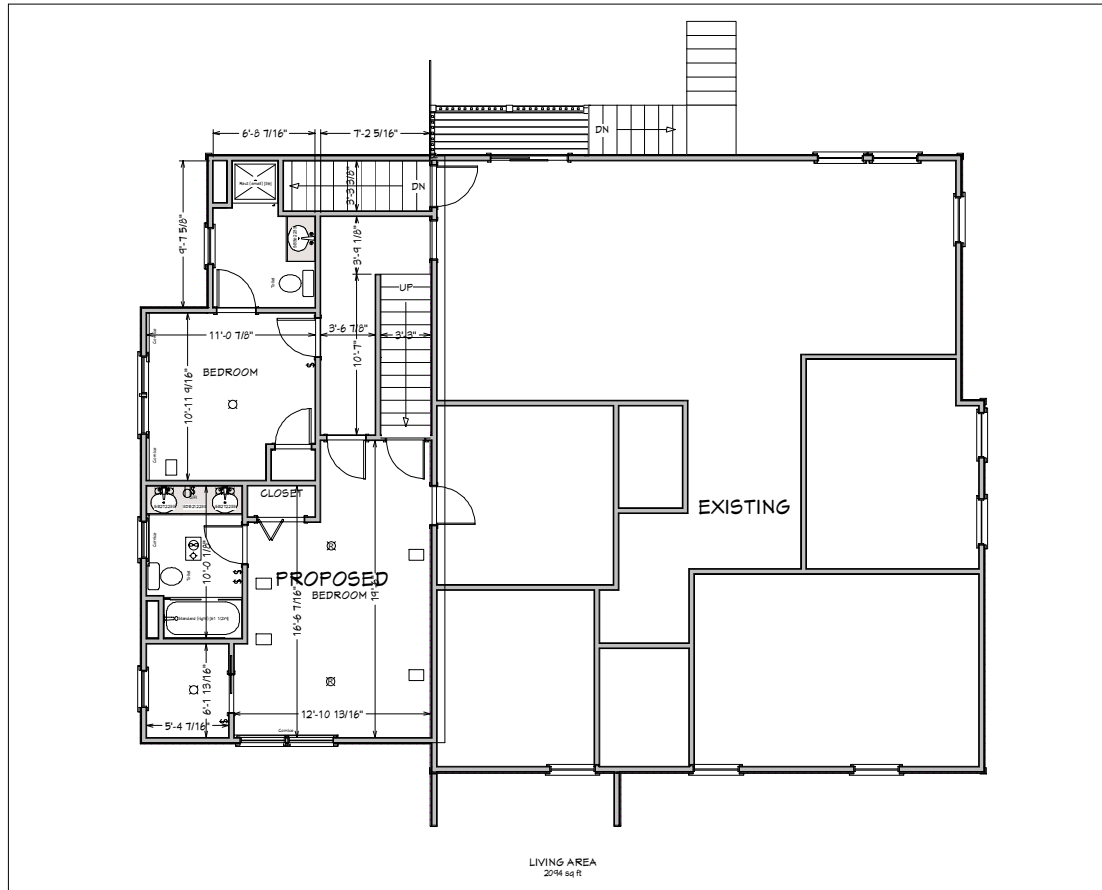
DRAWN BY: R.A.
N.H.

DRAWING #

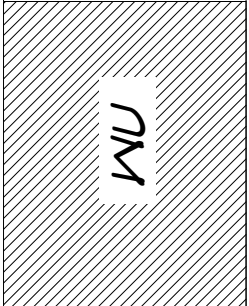
A
4

**PROPOSED FIRST
FLOOR PLAN**

PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

SCALE:

1/8" = 1'

DATE:

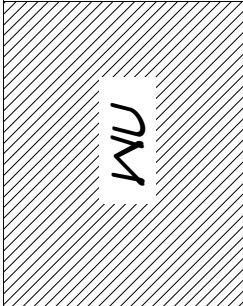
6/9/2014

REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING #

A
5



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

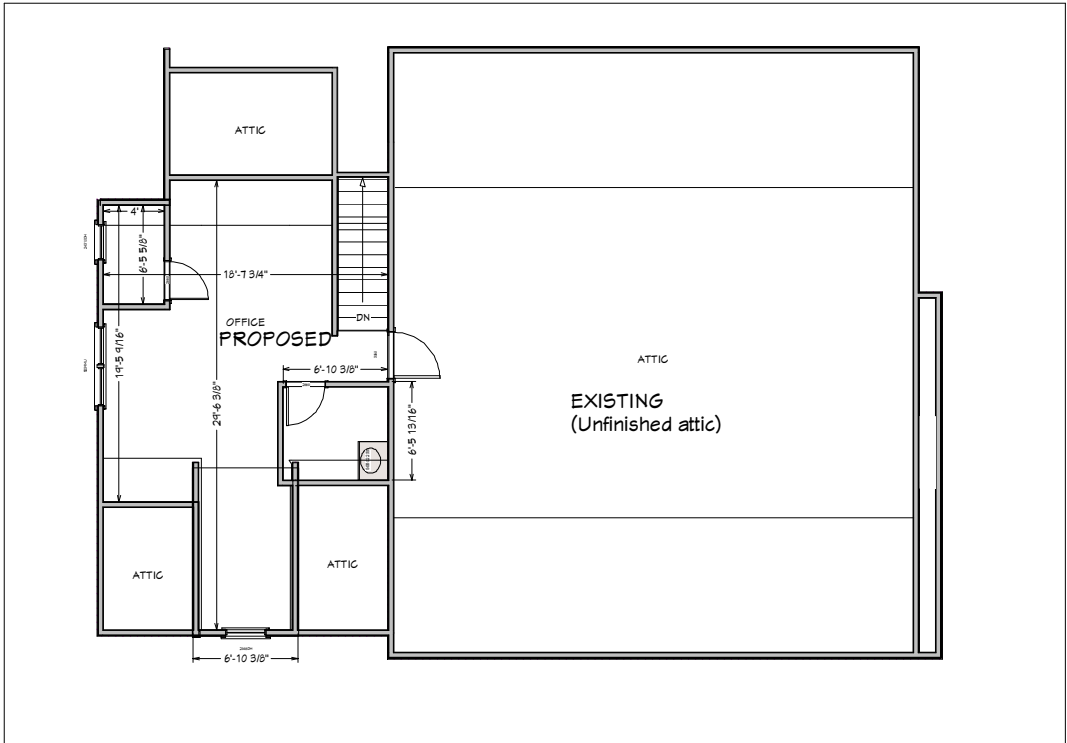
SCALE:
1/8" = 1'

DATE:
6/9/2014

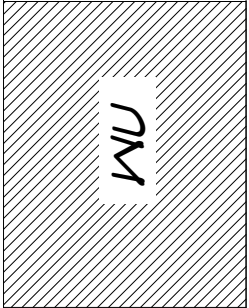
REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING #
A
6



**PROPOSED THIRD
FLOOR PLAN**



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

SCALE:

1/8" = 1'

DATE:

6/9/2014

REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING #

A
7



FRONT ELEVATION



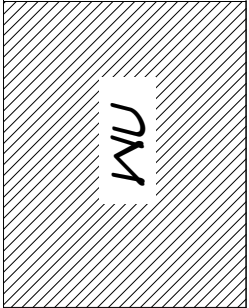
Clapboard siding and trim
to match existing

SIDE ELEVATION

PROPOSED ELEVATIONS



REAR ELEVATION



PROJECT

**Mr & Mrs
Gongxiong Wu**

102 McCarthy Rd.
Newton, MA
02459

SPECIAL PERMIT PLANS

SCALE:

1/8" = 1'

DATE:

6/9/2014

REVISION DATE:

DRAWN BY: R.A.
N.H.

DRAWING #

A
8

PROPOSED ELEVATION