

Rear deck off first floor w/ stairs to grade

Existing residence to be removed

New driveway

Existing shed footprint to be removed 318 sf

New two story 2 family residence

Existing driveway paving area

NOTE:
Refer to EM Brooks Co. Site Plan of Land 17 Malvern Terrace- Project 24530 Dated: March 16, 2016 for zoning, grading, flood plain & drainage details.

Site Plan
1" = 30'

FAR Calculation:	
First Floor:	1920 sf
Second Floor:	1920 sf
Attic: no head rm at 7'	00 sf
Basement: 50% 1920	960 sf
Existing Gargae	411 sf
	5211 sf
Allowable FAR:	
SR-3; lot size 13,970 sf;	
FAR .039	5448 sf

General Notes:

1. The general contractor and all subcontractors shall comply with state and local building codes and any governmental agency having jurisdiction.
2. Contractor shall obtain all required permits. Owners shall pay all permit fees.
3. Verify all dimensions in field. Report any discrepancies in drawings and/or field conditions to the owner.
4. Do not scale drawings. If a dimension is not shown consult architect.
5. Coordinate locations to store all building materials & equipment with the owner prior to the start of work. Cover all materials stored outside, especially wood composite products and sheathing.
6. Coordinate the dumpster location with the owner prior to installation.
7. The contract documents include drawings AND SPECIFICATIONS. To ascertain the full scope of work BOTH DOCUMENTS must be consulted. Plumbing, electrical and HVAC trades must refer to the specifications for complete scope of work.
8. The contractor is responsible to schedule the selection of owner supplied materials to avoid delays in the construction.
9. Coordinate all outlets, switch plates and electronic devices with mouldings. Allow 1" minimum between mouldings and edge of plates.

List of Drawings:

- A-1 Plot Plan & General Notes
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-4 Basement & Roof Plans & Schedules
- A-5 Foundation & Roof Framing Plans
- A-6 First & Second Floor Framing Plans
- A-7 Reflected Ceiling Plan & Beam Detail
- A-8 Building & Wall Sections
- A-9 Kitchen Part-Plans
- A-10 Interior Elevations & Details
- A-11 Exterior Elevations
- A-12 Stoop & Deck Details

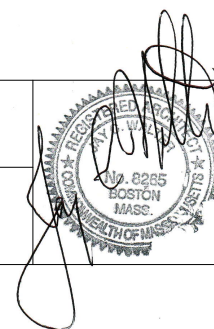
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Site Plan/ General Notes

DATE:
3/21/16

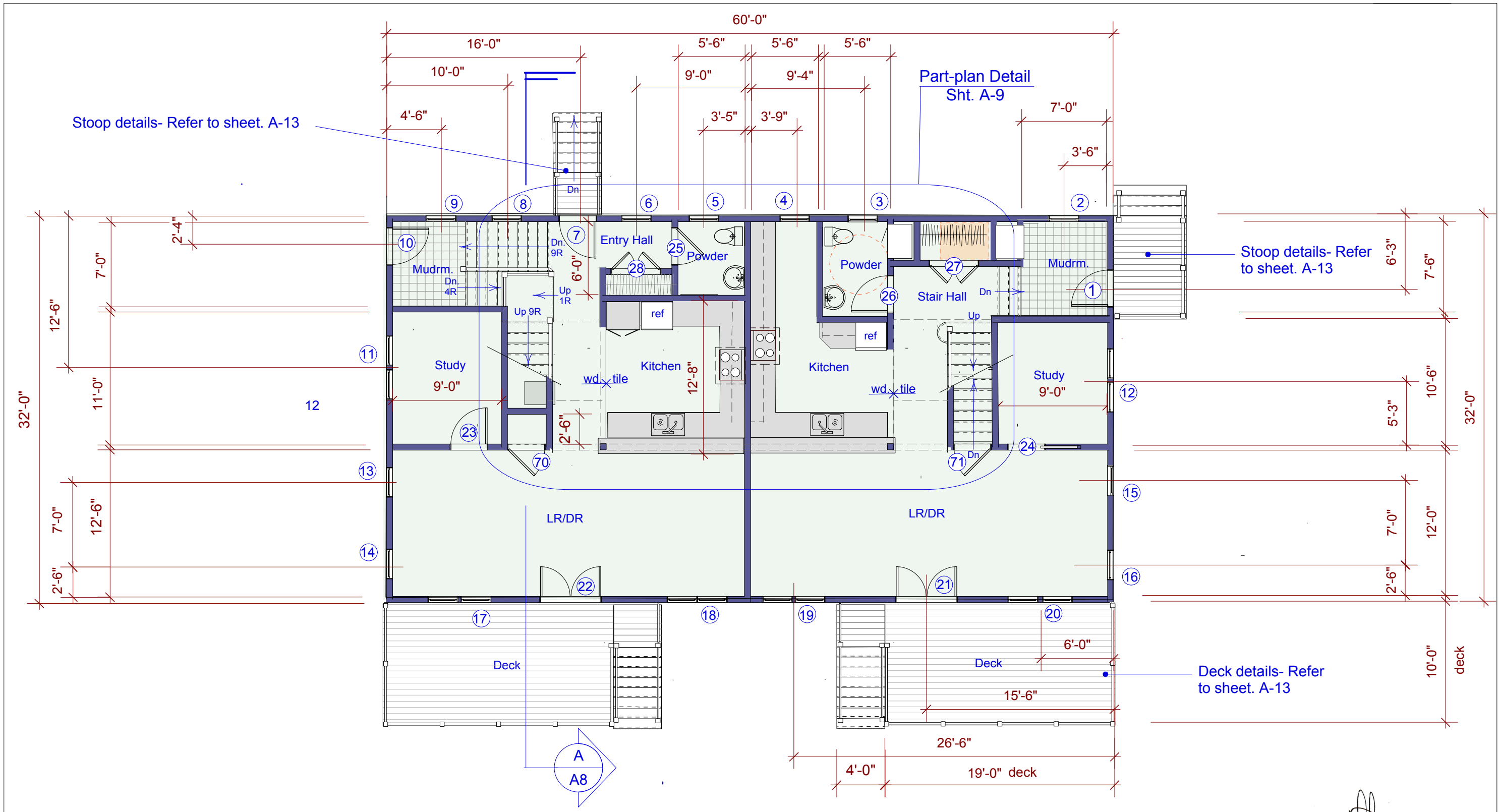
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A-1

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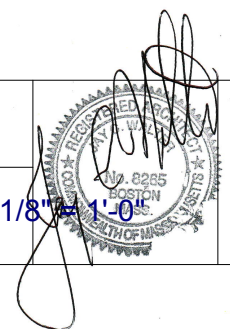
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First Floor Plan

DATE:
3/21/16

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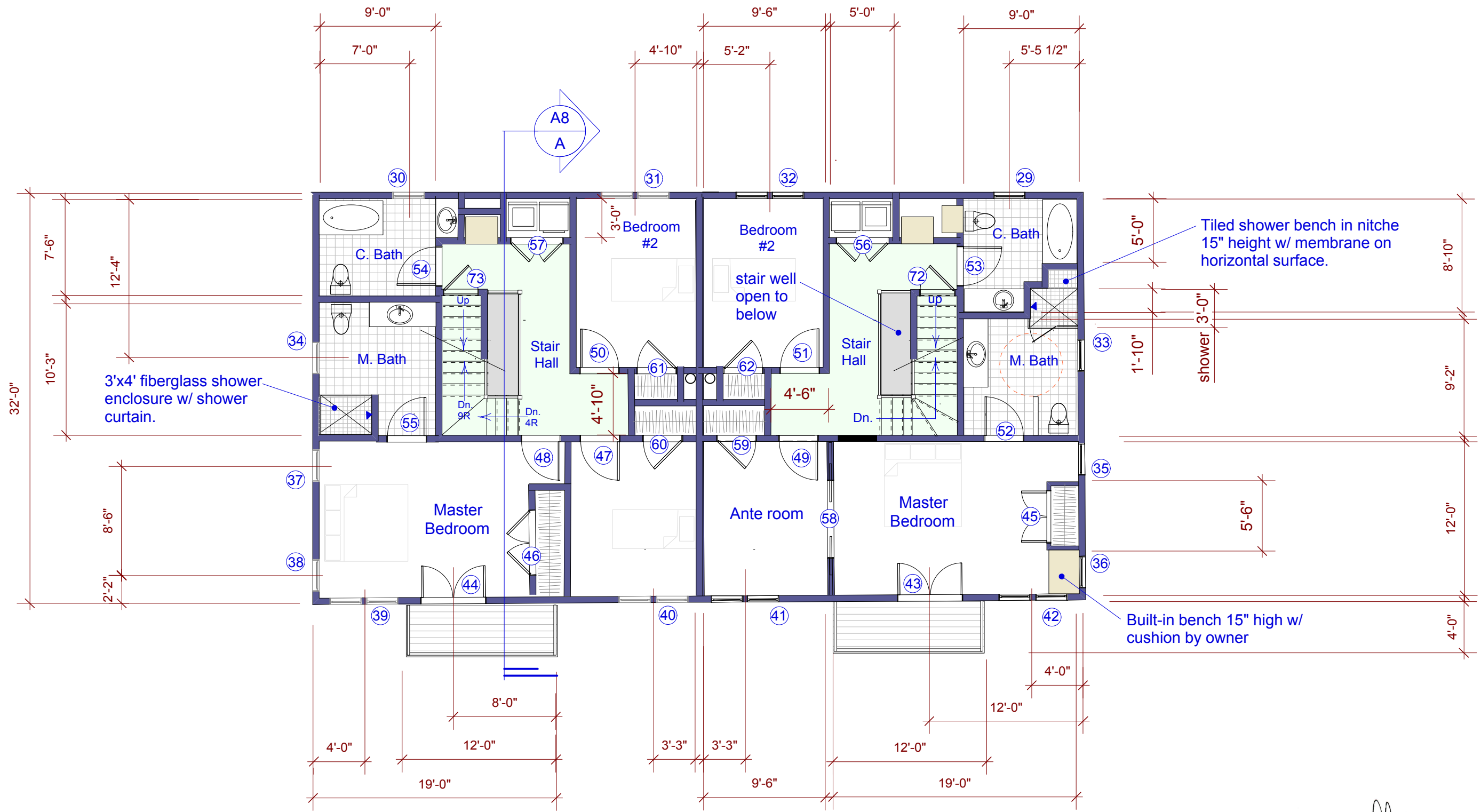
1/8" = 1'-0"



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A-2

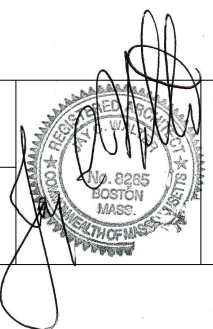
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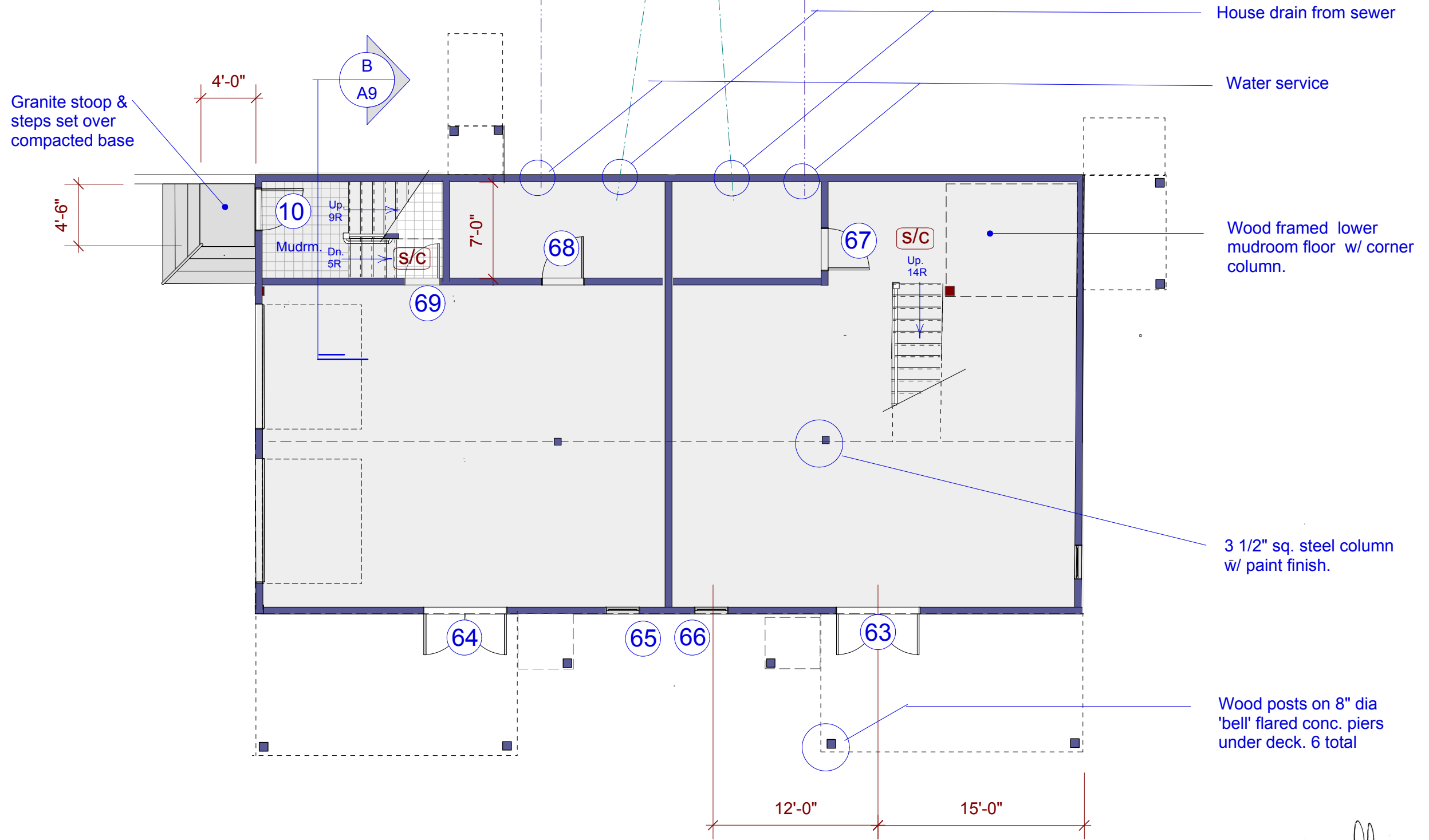
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Second Floor Plan

DATE:
3/21/16
 SCALE:
1/8" = 1'-0"



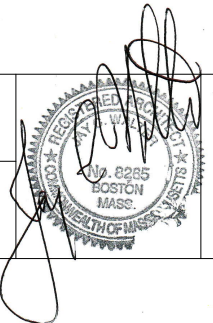
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A-3
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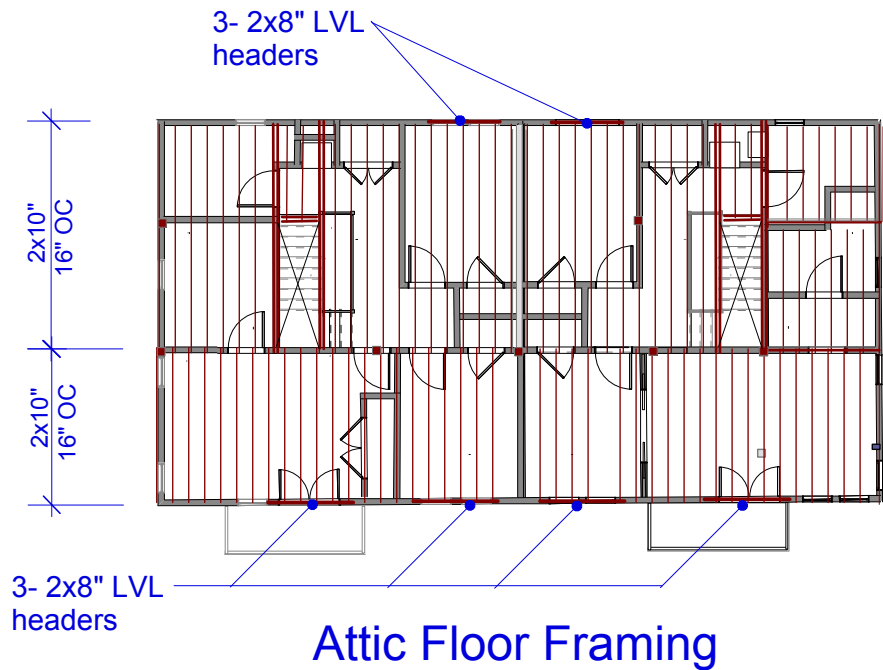
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Cossaboom Residence Newton, Ma.
Basement Plans

DATE:
3/21/16
 SCALE:
1/16"=1'0"



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A-4
Cossaboom Res.



WALL AND FLOOR FRAMING NOTES:

- 2x6 wood stud framing 16" OC .double top and bootm plates; treated sill plate fastened to foundation wall w/ cast-in-place anchor bolts.
- Use double 2x10 headers at window and door openings w/ 1" Rigid insulation board between at exterior walls.
- Fasten joists to top of wall w/ metal anchor ties.
- 1/2" 'Zip ply' exterior wall sheathing

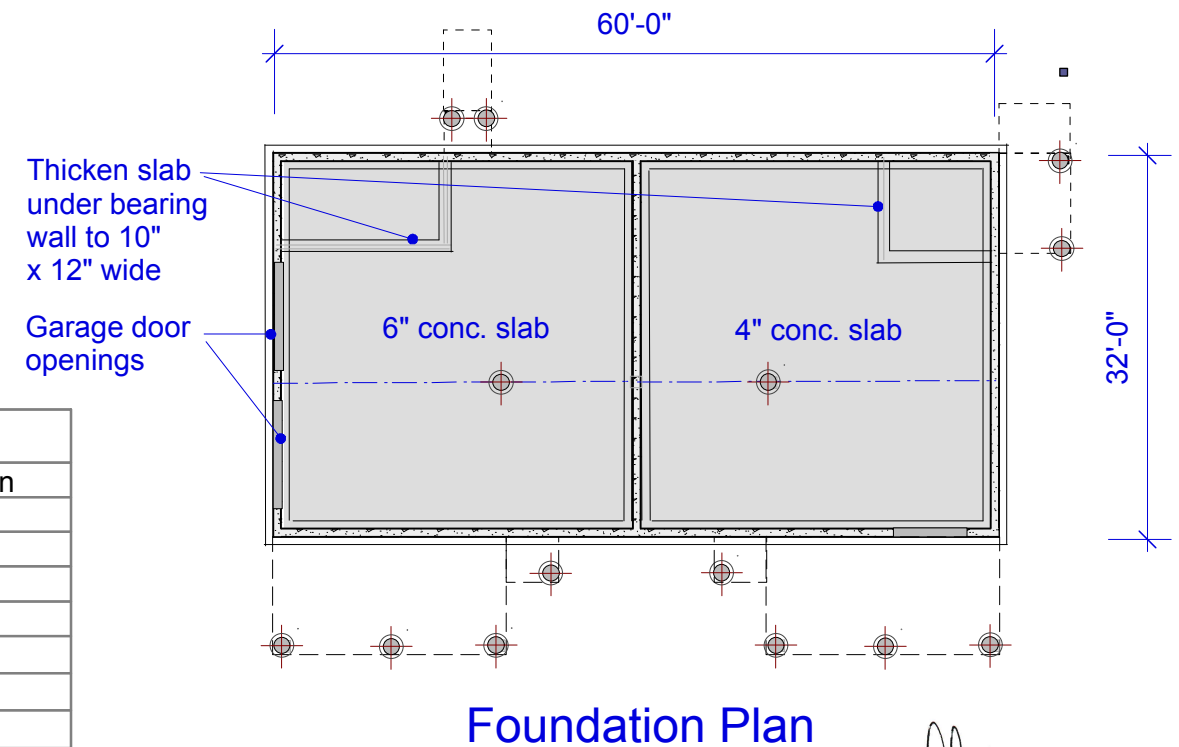
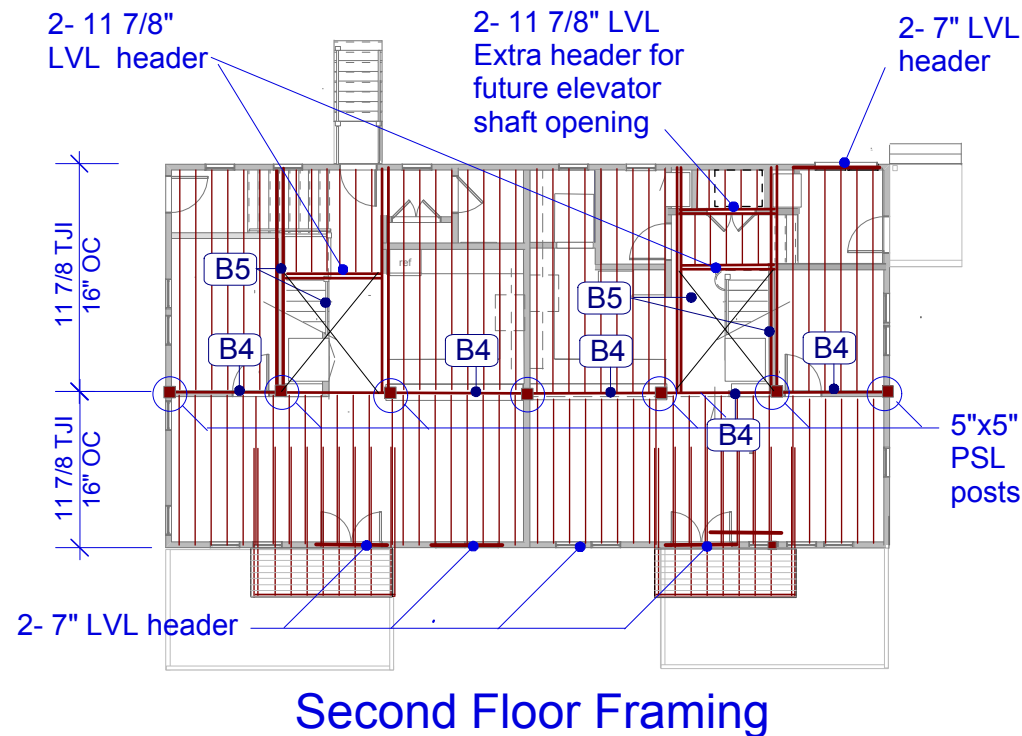
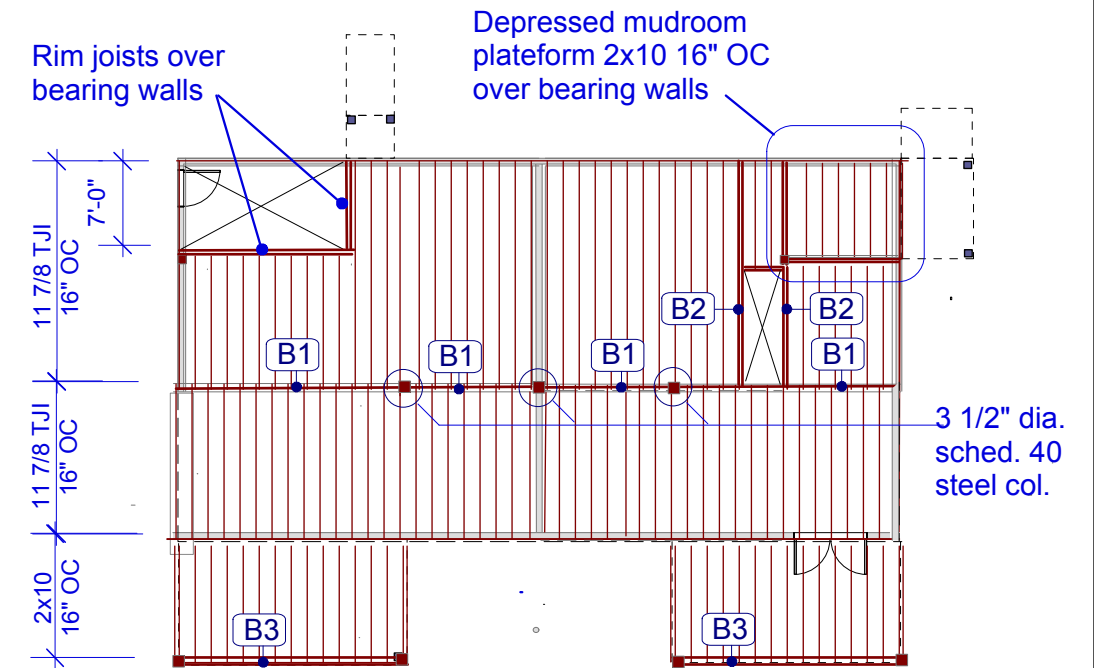
DECK FRAMING NOTES:
Refer to section detail on A-10 for details

- Floor framing 2x10x press. treated floor framing; 16" OC double rim joist. Use joist hangers. Fasten rim joist to posts w/ metal post ties by Teco or equal. 4x4 Posts fastened to conc. piers w/ metal anchor ties.
- At cantilevered decks sister 12' long 2x10 Pressure treated floor joists to TJI floor joists. Use solid blocking to infill at web; align bottom of deck joist with bottom of TJI to offset deck and floor. Install solid blocking between joists and TJIs; air seal penetrations.

FOUNDATION NOTES:

- 8" concrete foundation walls.
- 1'2" deep x 30" wide x 30" footings over compacted or undisturbed soil.
- 3000 PSI 28 day strength
- Forms shall remain a **FULL 24 hrs.** minimum after poured before removal.
- 6" concrete floor slab w/ fibermesh at garage; 4" at owner unit.
- Backfill w/ crushed stone above founda. drain. See section.
- Deck & interior piers: 10" sonotube w/ bell flair to 24"

Beam Schedule			
desig.	Location	Span	Description
B-1	Center beam	14'0"	3- 11 7/8" LVL
B-2	Stair Opening	9'0"	2- 11 7/8" LVL
B-3	Deck rim	7'6"	3- 2x12 PT
B-4	Center beam	14'6"	3- 11 7/8" LVL
B-5	Stair opening	6'0"	2- 11 7/8" LVL
R-1	Roof ridge	16'0"	2x12
H-1	Roof Hip	14'0"	2-14" LVL

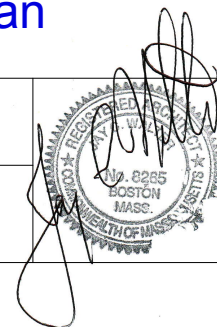


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Cossaboom Residence Newton, Ma.
First, Second & Attic Floor Framing Plans

DATE:
3/21/16

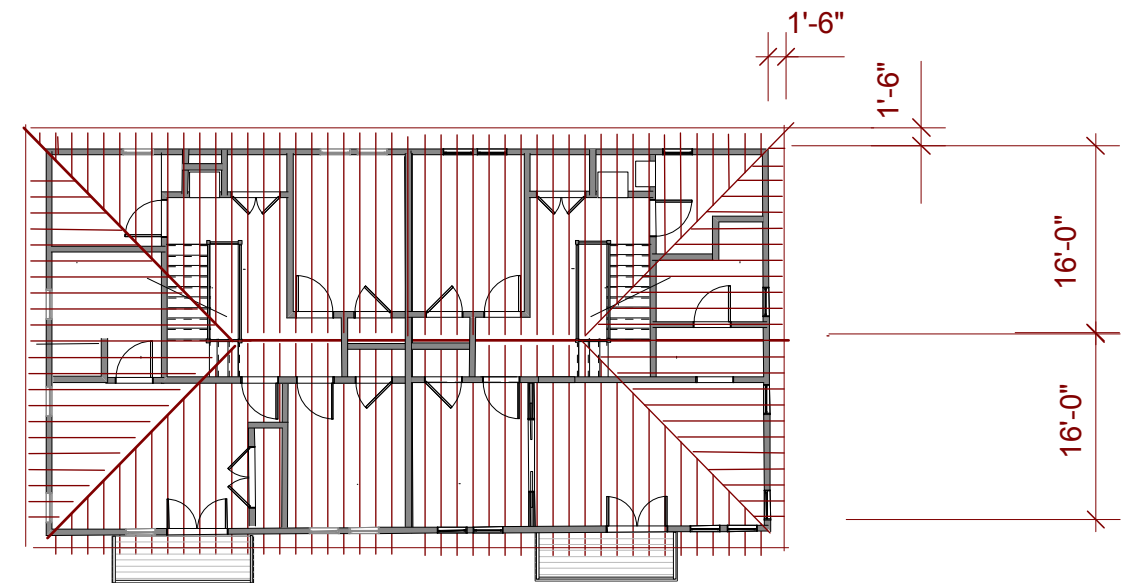
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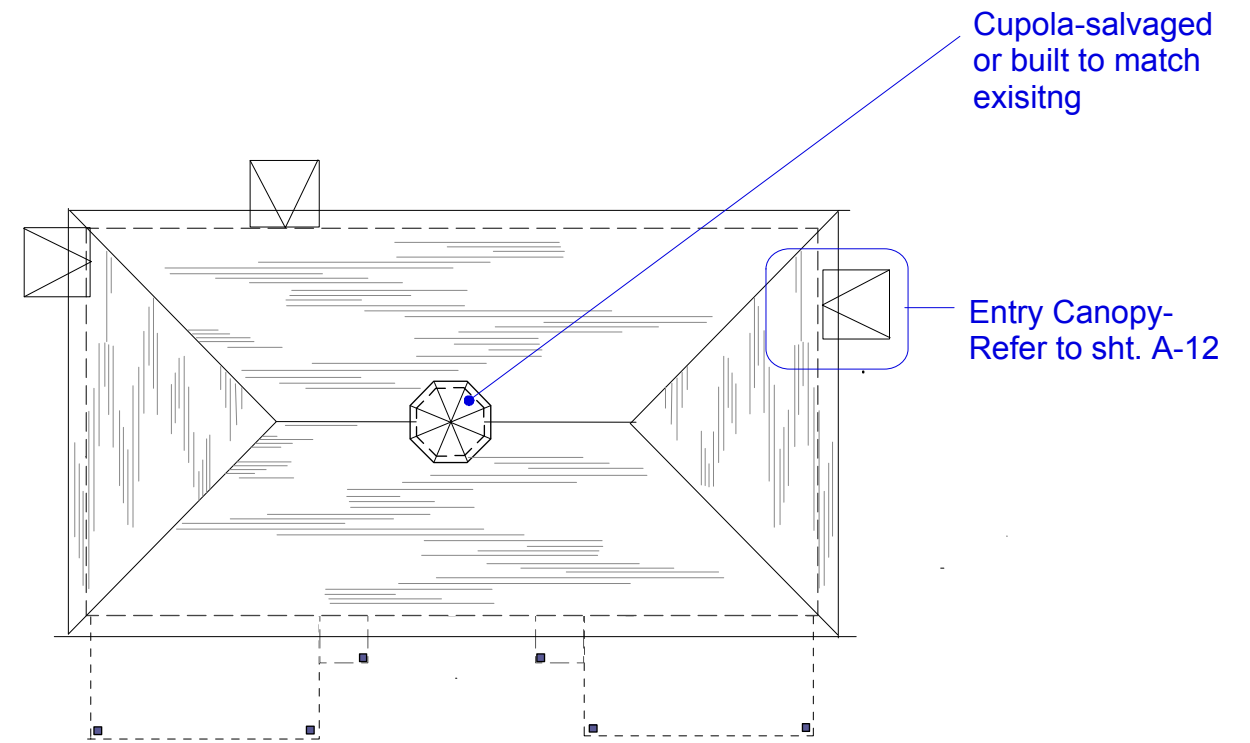
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A-5
Cossaboom Res.

ROOF FRAMING NOTES:

1. Install new 2x10 roof rafters 16" OC.
Tie rafters to the top of wall with metal hurricane tie hangers.
2. 5/8" 'Zip ply' roof sheathing.
3. No ridge vent-spray foam insulation.
4. Fasten roof rafters to top plate w/ metal hurricane ties at every rafter.
5. Install 2x6 ceiling joists 16" OC below roof ridge. Refer to building section on sheet A-8.
6. Install blocking between rafters above wall to augment air sealing.



Roof Framing



Roof Plan

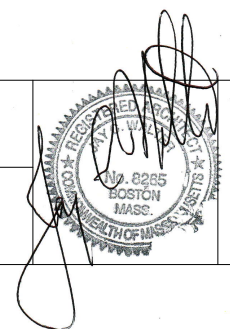
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Roof & Roof Framing Plans

DATE:
3/21/16

SCALE:
1/16"=1'0"



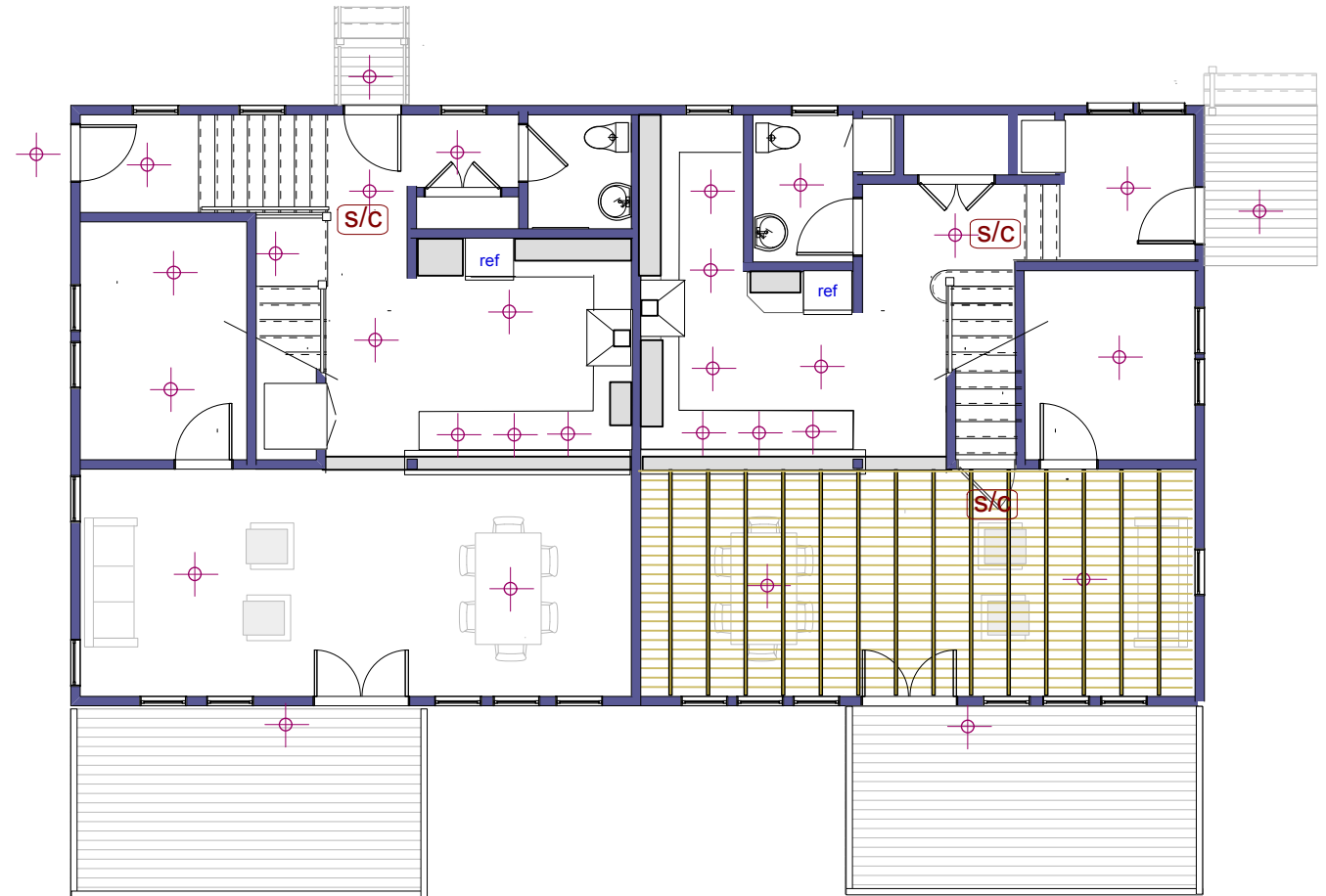
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A-6

Cossaboom Res.



Second Floor Reflected Ceiling Plan



First Floor Reflected Ceiling Plan

LIGHT FIXTURE SCHEDULE

FIX.	TYPE	DIMEN.	MOUNTING	MFG.	MODEL	NOTES
F-1	LED downlight	4" dia.	recessed	Juno	G3	IC; New const. ; Juno 4" cone trim- Clear Alzak cone, white trim
F-2	Ceiling hung		pendant			Provide \$150 fixture allowance per fixture
F-3	Exhaust fan/light					Refer to specifications
F-4	Exterior down Light		ceiling mtd			waterproof fixture- contractor's choice
F-5	Shower fixture	4" dia.	recessed			waterproof fixture- contractor's choice.
F-6	Bathrm. fixture	-	wall mtd.			Provide \$150 fixture allowance per fixture
F-7	flourescent		surface mtd.			contractor's choice.
F-8	Wall Sconce	-	wall mtd.			Provide \$150 fixture allowance per fixture
F-9	Exterior Wall Sconce	-	wall mtd.			Provide \$150 fixture allowance per fixture

Provide LED lamps to downlights shown; Provide dimmers for downlight locations.

Electrical Legend

- Cable TV signal line
- Duplex outlet (install in addition to exist. outlets)
- Dimmer Switch

Fire Protection Legend

- Tie new detectors shown on plans to existing system
- (S)** Smoke Detector
- (C)** Carbon Monoxide detector
- (S/C)** Combination smoke/ Carbon monoxide detector
- (H)** Heat Detector

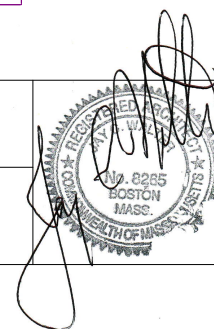
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First & Second Floor Reflected Ceiling Plans

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3/21/16

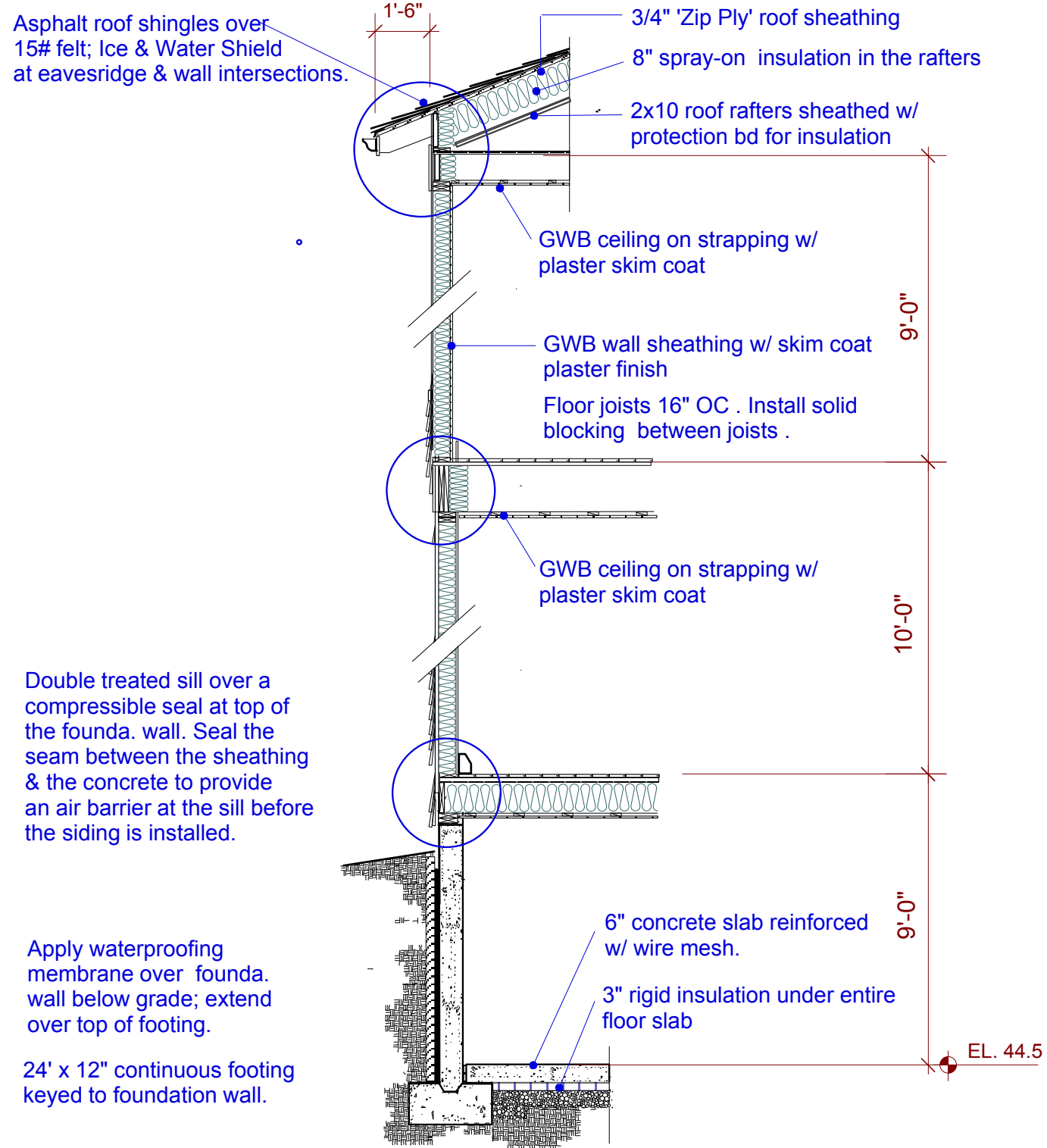
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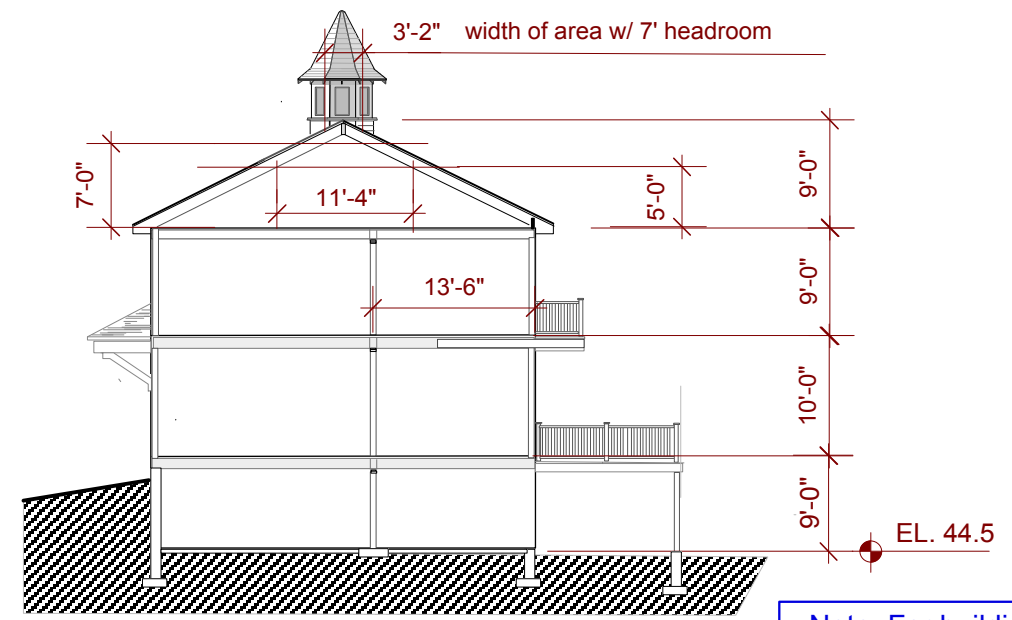
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A-7

Cossaboom Res.

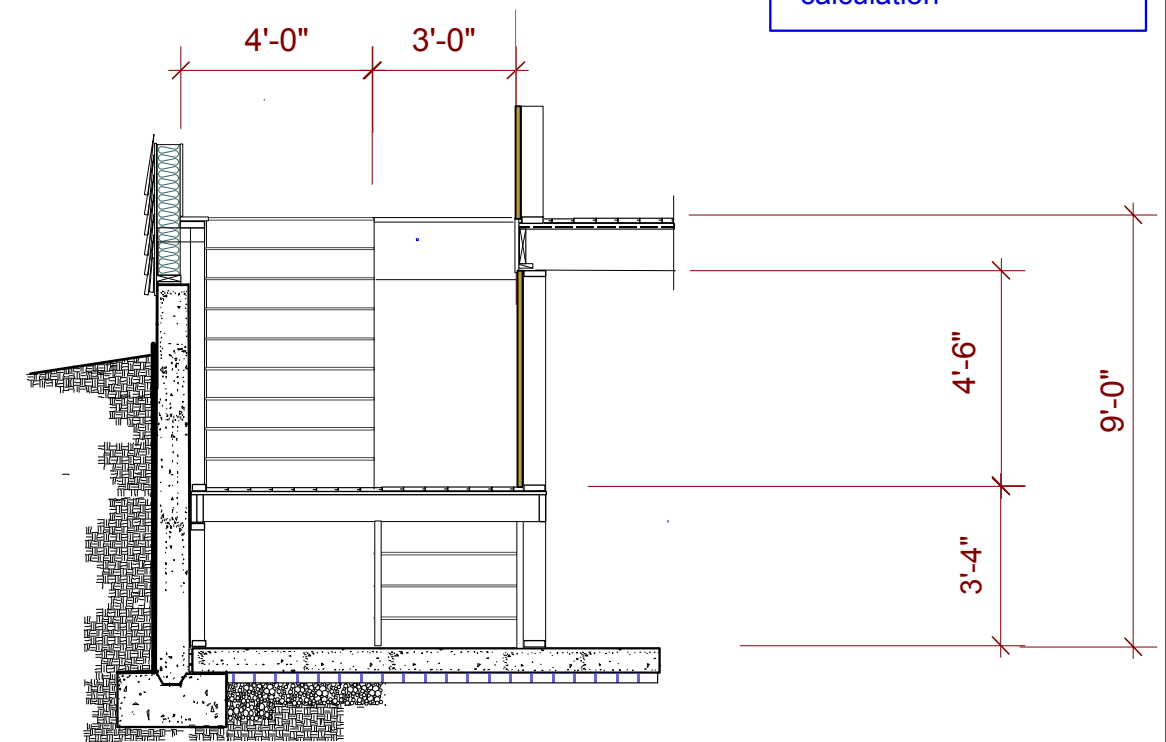


C Typical Wall Section
1/2" = 1'-0"



A Building Cross Section
1/4" = 1'-0"

Note: For building height refer to the survey drwg. from EM Brooks for the 'average grade plane calculation



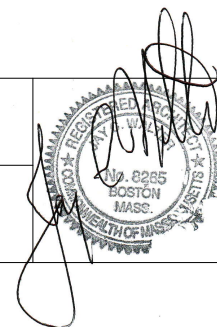
B Section at North Mudroom
1/2" = 1'-0"

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Building & Wall Sections

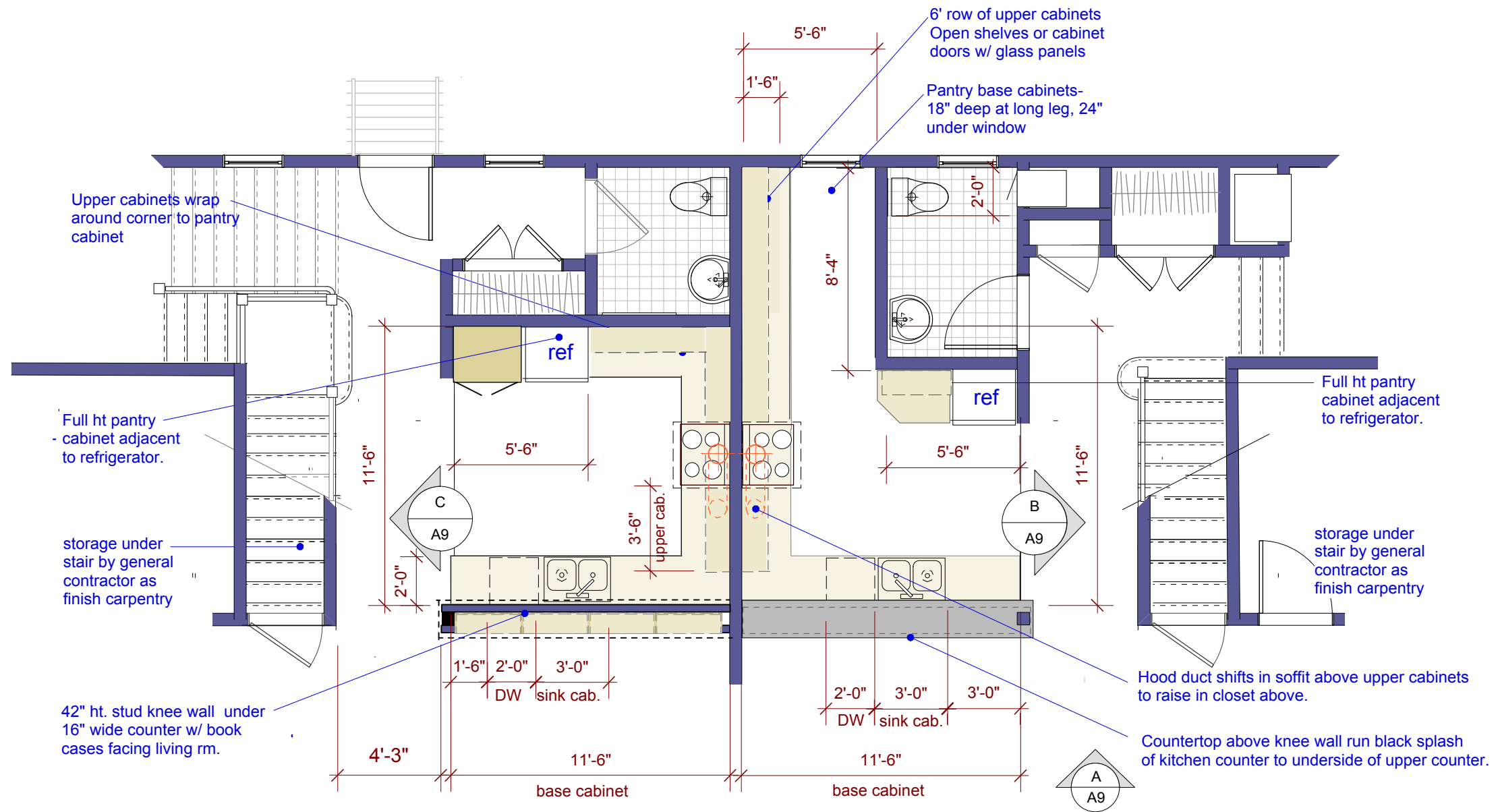
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A-8

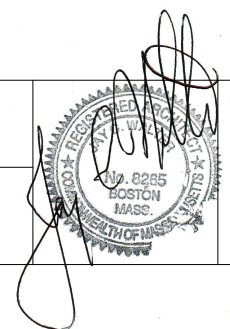
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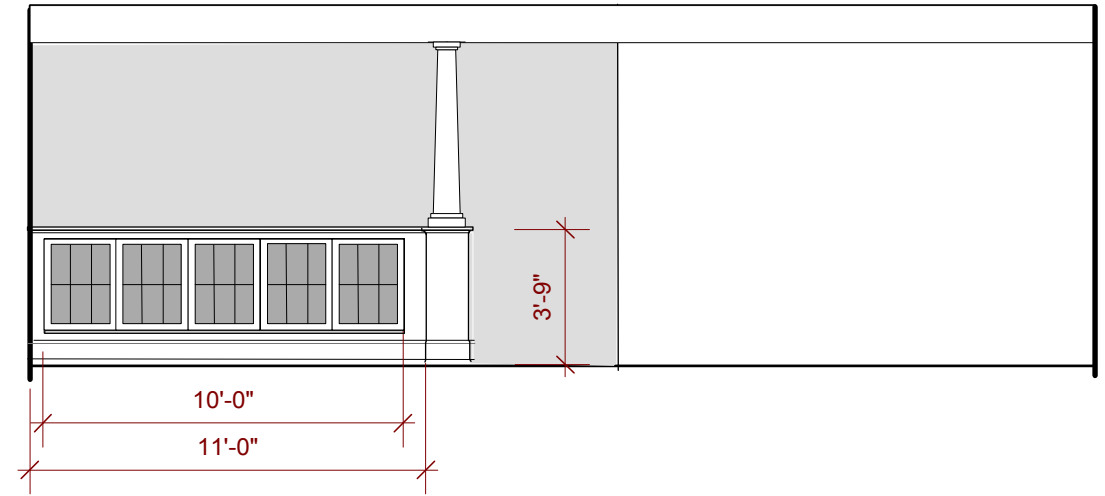
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Cossaboom Residence Newton, Ma.
Interior Elevations & Details

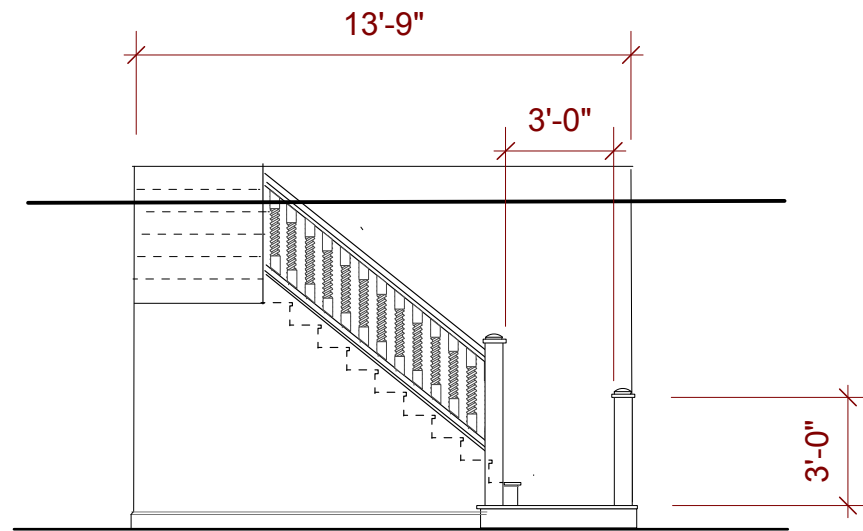
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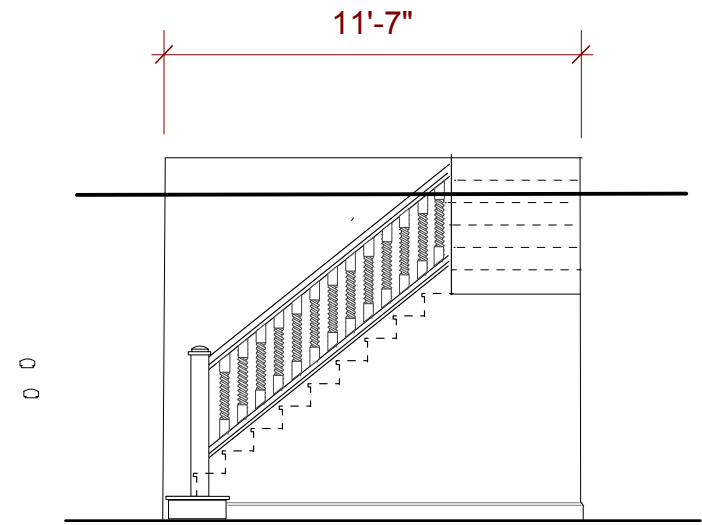
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A-9
Cossaboom Res.



A Kitchen Wall from the Living/Dining



C North Unit Stairs



B South Unit Stairs

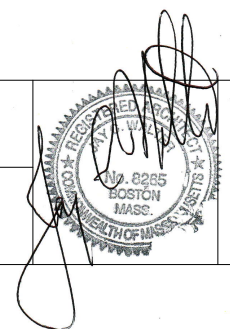
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Cossaboom Residence Newton, Ma.

Interior Elevations & Details

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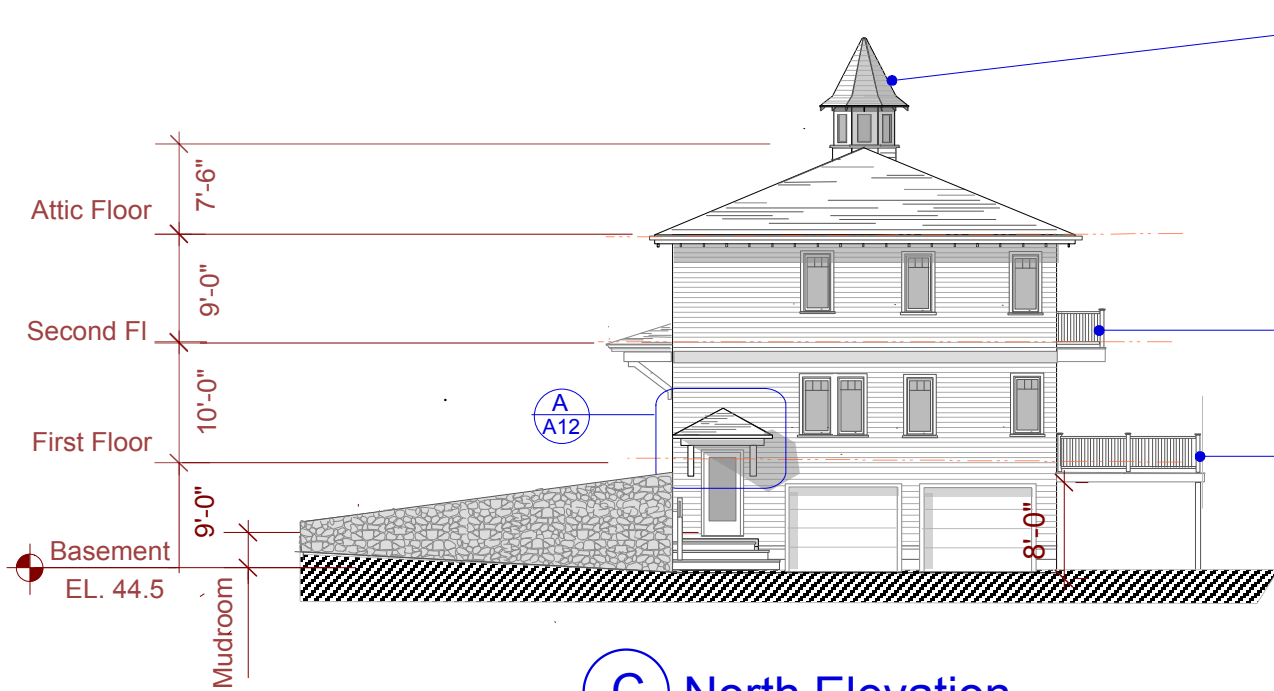
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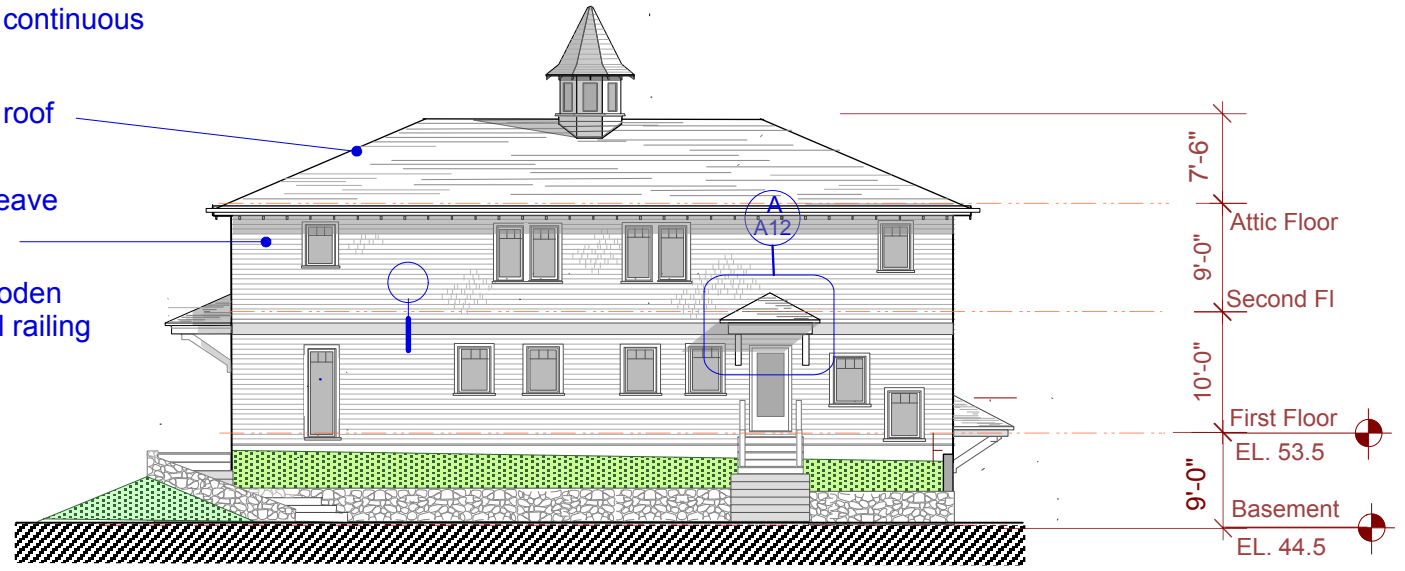
A-10

Cossaboom Res.

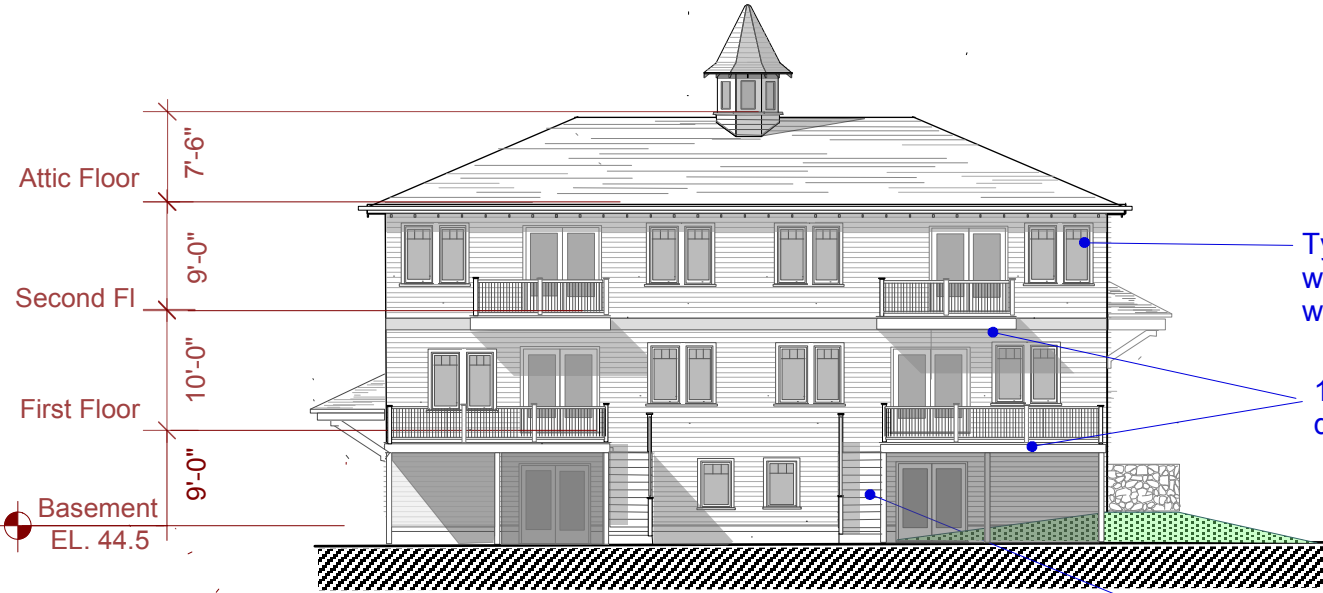


(C) North Elevation

- Salvaaged and refurbished cupola set over continuous roof
- Asphalt shingle roof
- primed wood shingle body- weave joints at corners
- Cantilevered wooden balcony w/ metal railing assembly
- Wooden decks w/ metal railing assembly

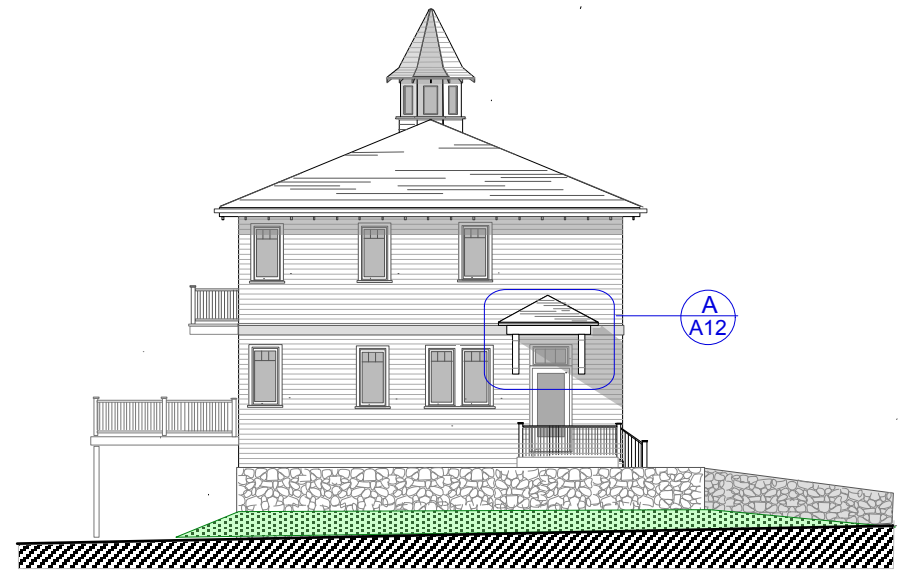


(A) East Elevation



(D) West Elevation

- Typical exterior door & window casing 1x4 PVC w/ backband
- 1x PVC skirt board around decks and balconies
- Closed riser stairs w/ metal railing assembly

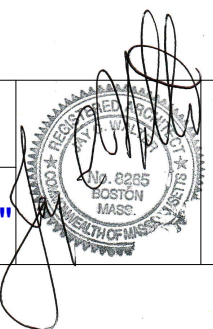


(B) South Elevation

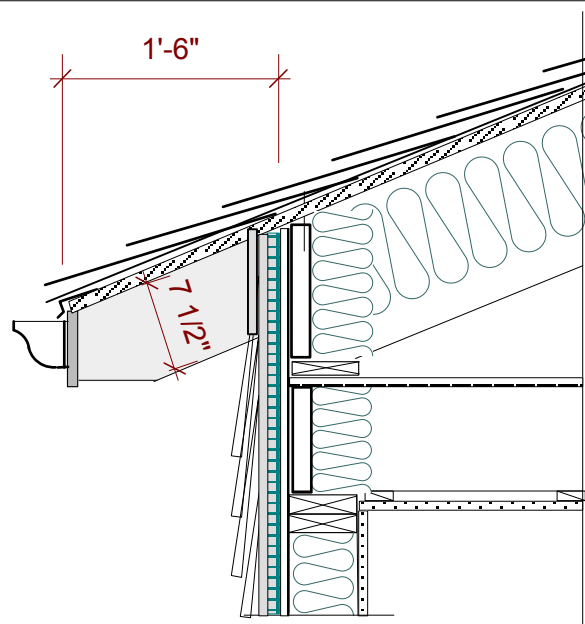
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Exterior Elevations

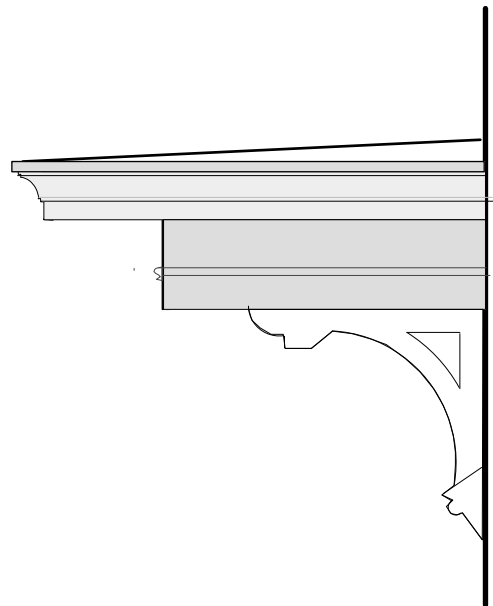
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SCALE:
1/16" = 1'-0"



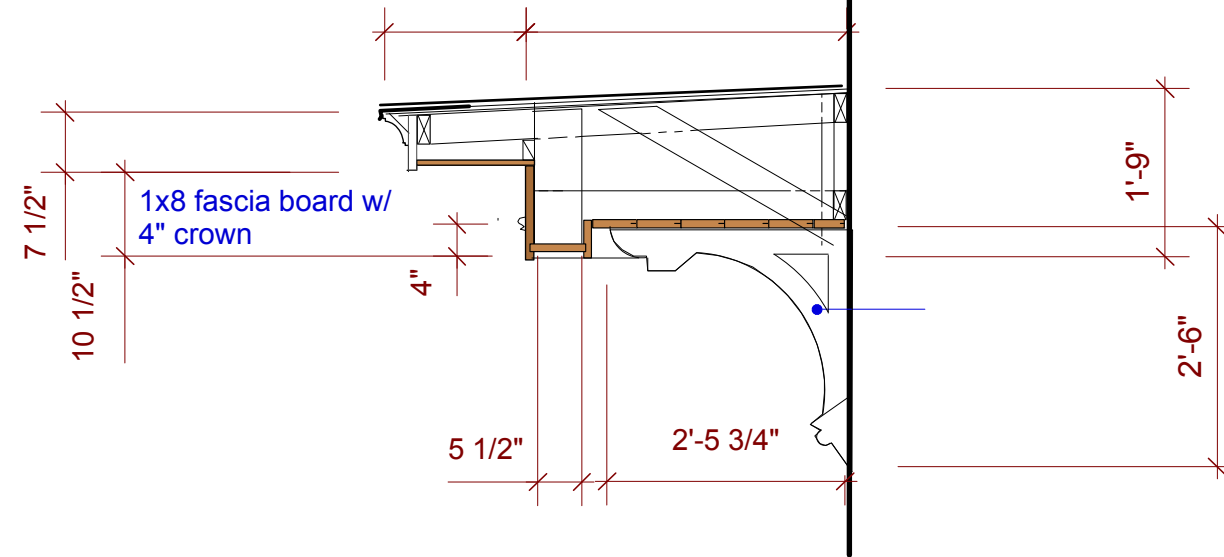
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A-11
Cossaboom Res.



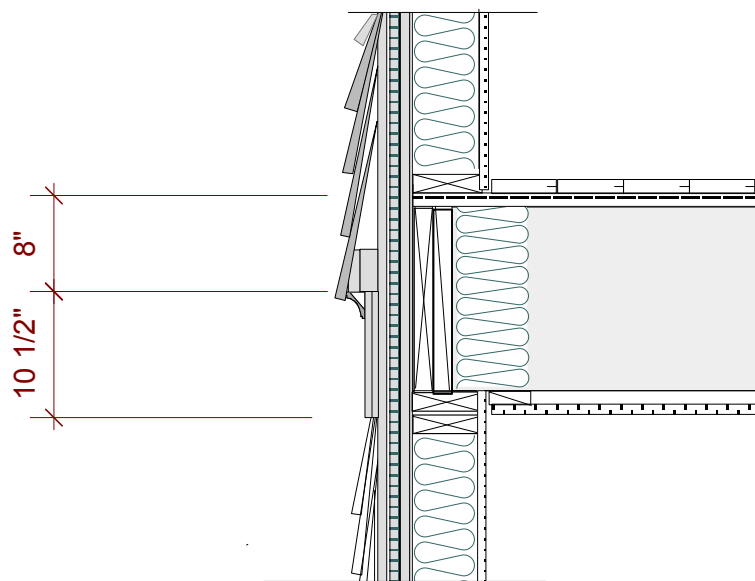
D Typical Eave Detail
1/2" = 1'-0"



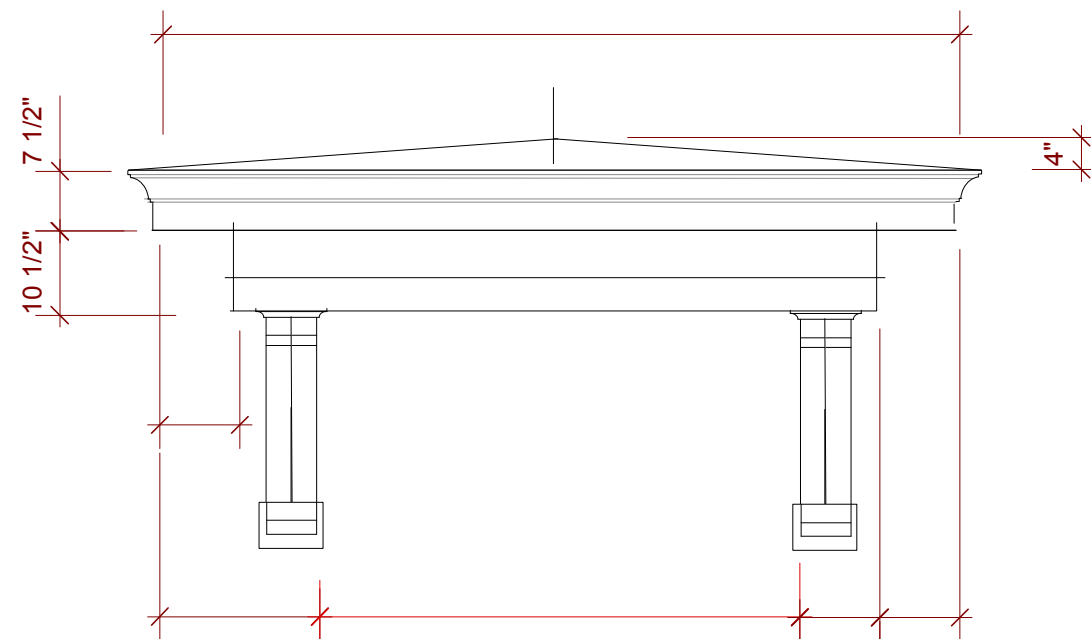
Copper drip edge w/
rubber roof membrane



A Side Entry Canopy Elevation & Section
1/2" = 1'-0"



C Trim Band Detail
1/2" = 1'-0"



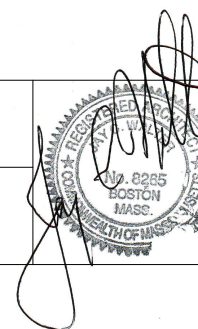
B Entry Canopy Elevation
1/2" = 1'-0"

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Exterior Trim Details

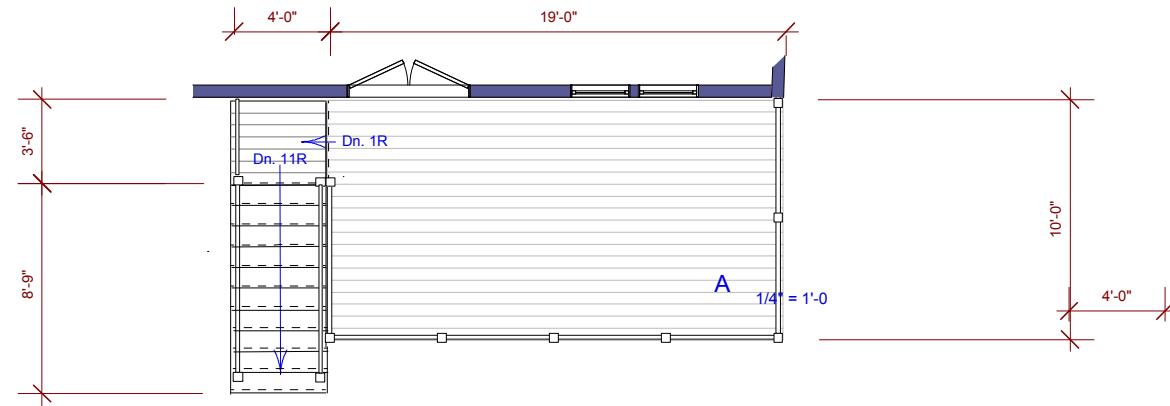
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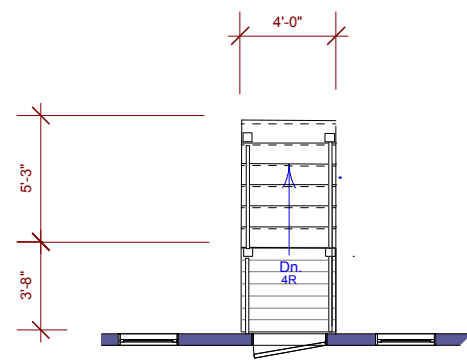
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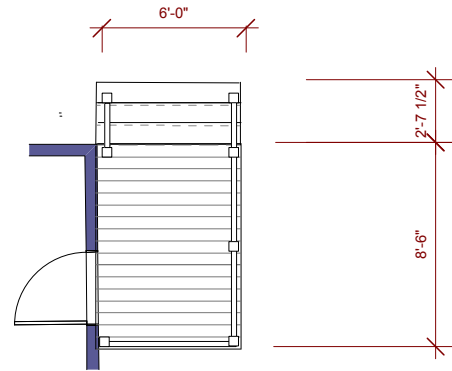
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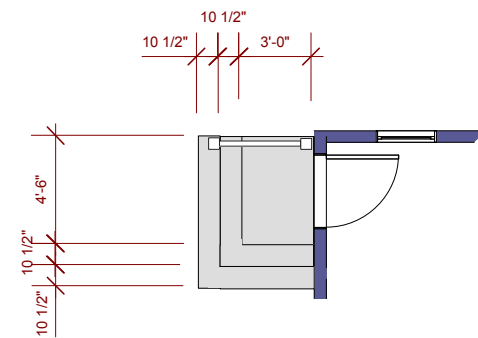
Rear Deck Plan



Front Entry Stoop



South Entry Stoop



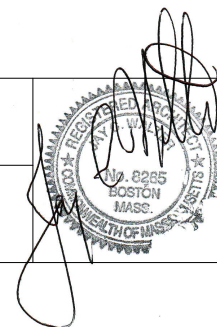
North Entry Stoop

DOOR & WINDOW SCHEDULE								
DESIG.	TYPE	LOCATION	QUANTITY	R.O.: Wx Ht.	MFG.	PRODUCT	MFG. #	Lights
1	Exterior door	Mudroom	one					
2	Caement	Mudroom	one	2'-7"x 7'-8 9/16"	Marvin	Clad Ulitmate Caement	CUCA 3092 E	3 over 1
3,4,5,6	casement	powder,pantry, hall	four	3'-11 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3048 E	3 over 1
7	exterior door	entry hall	two	-			-	-
8,9	casement	mudroom	two	3'-11 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3048 E	3 over 1
10	exterior door	mudroom	one	-			-	-
11, 12	casement	study	2- two gang	4'-11 5/8"x 2'-7"	Marvin	Clad Ulitmate Caement	CUCA 3060 E	3 over 1
13,14,15,16	asement	living /dinig rm.	four	4'-11 5/8"x 2'-7"	Marvin	Clad Ulitmate Caement	CUCA 3060 E	3 over 1
17,18,19,20	casement	Living/dinig rm.	four	4'-11 5/8"x 2'-7"	Marvin	Clad Ulitmate Caement	CUCA 3060 E	3 over 1
21,22	Exterior door	Living/dinig rm.	two					
23,24	interior door	study	two					
25,26	interior door	powder rooms	two					
27,28	interior doors	entry hall	two pair					
29,30	casement	common baths	two	3'-7 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3044 E	3 over 1
31,32	casement	bedroom	2-two gang	4'-7 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3054 E	3 over 1
33, 34	casement	master bathroom	two	4'-7 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3054 E	3 over 1
25,26	interior door	master bath	two					
35,36,37,38	casement	Master bedroom	four	4'-7 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3054 E	3 over 1
39,40,41,42	casement	master bedroom	four 2 gang	4'-7 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3054 E	3 over 1
43,44	exterior doors	master bedroom	two pair					
45,46	interior door	master bedroom	two pair					
47,48,49,50,51	interior doors	bedrooms	five					
52,53,54,55	interior door	bathrooms	four					
56, 57	interior doors	laundry	two pair					
58	pocket doors	ante room	one pair					
59,60,61,62	closet doors	bedrooms	four					
63,64	exterior french	basement	twp pair					
65,66	casement	basement	two	4'-7 5/8"x 2'7"	Marvin	Clad Ulitmate Caement	CUCA 3054 E	3 over 1
67,68	interior doors	mechanical	two					
69	interior door	garage	one					
70,71	interior doors	bsmt. stair	two					
72,73	interior doors	attic stairs	two					

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Cossaboom Residence Newton, Ma.
Deck/ Stoop Details & Window/Door Schedule

DATE:
3/21/16
SCALE:



SKETCH NO.
A-13
Cossaboom Res.