

ORIGINAL PLANS WERE DESIGNED BY CHARLES DEMARCO, ARCHITECT,
 DEMARCO ASSOCIATES, COMPLETION OF CONSTRUCTION DOCS. BY
 RONALD F. JAREK, ARCHITECT.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HERS RATINGS.
2. PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DEFULETS AND RESTRICTIONS AFFECTING THE EXISTING SITE. UNDER THIS CONTRACT, THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY CORPUS AND RESTRICTIONS AFFECTING THE EXISTING SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. DRAWN INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5. ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS, ETC.
7. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
9. IF HAZARDOUS WASTE IS ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHD0 STANDARDS.

GENERAL NOTES STRUCTURAL

1. ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS, ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LIMITS AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL MEMBERS. SCALE AND DIMENSIONS REFER TO ARCH. DRAWINGS FOR ALL ELEVATIONS.
2. FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER, WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION. STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY DENSITY.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.
4. DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL STRUCTURAL MEMBERS.
5. EXISTING LAYOUT, ITEMS AND CONDITIONS MAY DIFFER FROM AS SHOWN, ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING, FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
7. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
8. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE, ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

FOUNDATION NOTES

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEFERRER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER ALL CEMENT HAS BEEN ADDED.
2. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER, WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION. STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY DENSITY.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

PLYWOOD NOTES

1. ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL 1. PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
2. ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

CONCRETE NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318, (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
2. CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE – MIN. COMPRESSIVE STRENGTH = 4000 PSI.
3. ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM A615 – GRADE 60.
4. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6-W4xW4 UNLESS NOTED.
5. MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:
 - SLABS: TOP – 2"
 - WALL: ALL SIDES – 2" (MIN.)
6. ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL, WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOINTS AND FINS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN, TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS & OWNER.
7. CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
8. BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDGRETE" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR APPROVED EQUAL.
9. DOWELING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
10. CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

WOOD NOTES

1. ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
2. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fv = 1500 PSI, Fv = 190 PSI.

NOTE – DIMENSION

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

PRODUCTS

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES

EXTERIOR MATERIALS LIST:
 143 Lincoln St., Newton Highlands, MA 02461

ROOF:

- 30 year Simulated Synthetic Shingles
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

TRIM

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

SIDING

- Hardie Plank or equal 4.5" to weather, texture side out
- Synthetic Standard or Scalloped Shingles at Pediments (2)
- Painted MDO Plywood at Pediments
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs
- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs
- DOWN SPOUTS AND GUTTERS
 - Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings
- WINDOWS
 - Marvin, Jeldwin or equal Insulated Glass, Simulated 2 over 1 Divided Lites and Ovals
- DOORS
 - Synthetic Panel Entry Units with Vision Lites and/or Simulated Divided Side Lites
 - Synthetic Panel Style Garage Doors

DOORS

- Azek or equal Square field built Columns, Plinth and Capital

PORCH, DECK and STEPS

- Trex or equal Porch, Deck and Stair Treads
- Azek or equal Risers and Stringers
- Synthetic Balustrade and Square field built Newel Posts

LIGHTING

- Wall Mounted Lantern Style

HARDWARE

- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

WALKS

- Modular Pervious Pavers at Entry Points

DRIVEWAY

- Bituminous and Pervious Pavers

FAR / SQ. FT. CALCULATIONS, SR2 ZONE, LOT SIZE 11,775 SF	UNIT "A"	UNIT "B"	TOTAL S.F. PROVIDED = 0.42 FAR INCREASE INSTEAD OF 0.41 FAR (4827 S.F.) INCREASE PREVIOUSLY REQUESTED
	AREA	Square Footage:	Square Footage:
GARAGE	284 SF.	284 SF.	568 S.F.
FIRST FLOOR	854 SF.	1033 SF.	1887 SF.
SECOND FLOOR	817 SF.	*1040 SF.	1857 SF.
HT ATTIC PL AREA MORE 7'-0"	397 SF.	276 SF.	673 SF.
TOTAL SQ. FT.	2,068 SF.	2,191 SF.	4,985 SF.
			158 SF. ABOVE PREVIOUS = 0.42 INCREASE REQUESTED

* Does not include 30 square foot deduction for 2nd floor perimeter chase space below 5'-0"

LEGEND

- ④ = HEAT DETECTOR
- ②① = CARBON MONOXIDE DETECTOR
- ⑨ = SMOKE DETECTOR
- ②①⑤ = COMBO DETECTOR

— = NEW OR EXISTING DOORS @ OTHER

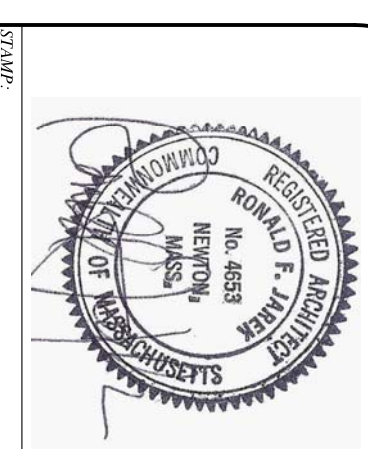
— = NEW 2x4 NON-LOAD BEARING PARTITION

— = EXISTING PARTITIONS TO REMAIN

— = CUT OPENING OR NON-LOAD BEARING WALL TO BE REMOVED

VF = VERIFY IN FIELD

NOTE-- GIBBERTLY INSTALLED WINDOWS MEET ELECTRICAL, SWITCHING AND OUTLETS ARE DESIGN BIDDING DITTO FOR DUCT WORK MODIFICATIONS



NOTES, FAR & MATERIALS

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON HIGHLANDS, MA 02461

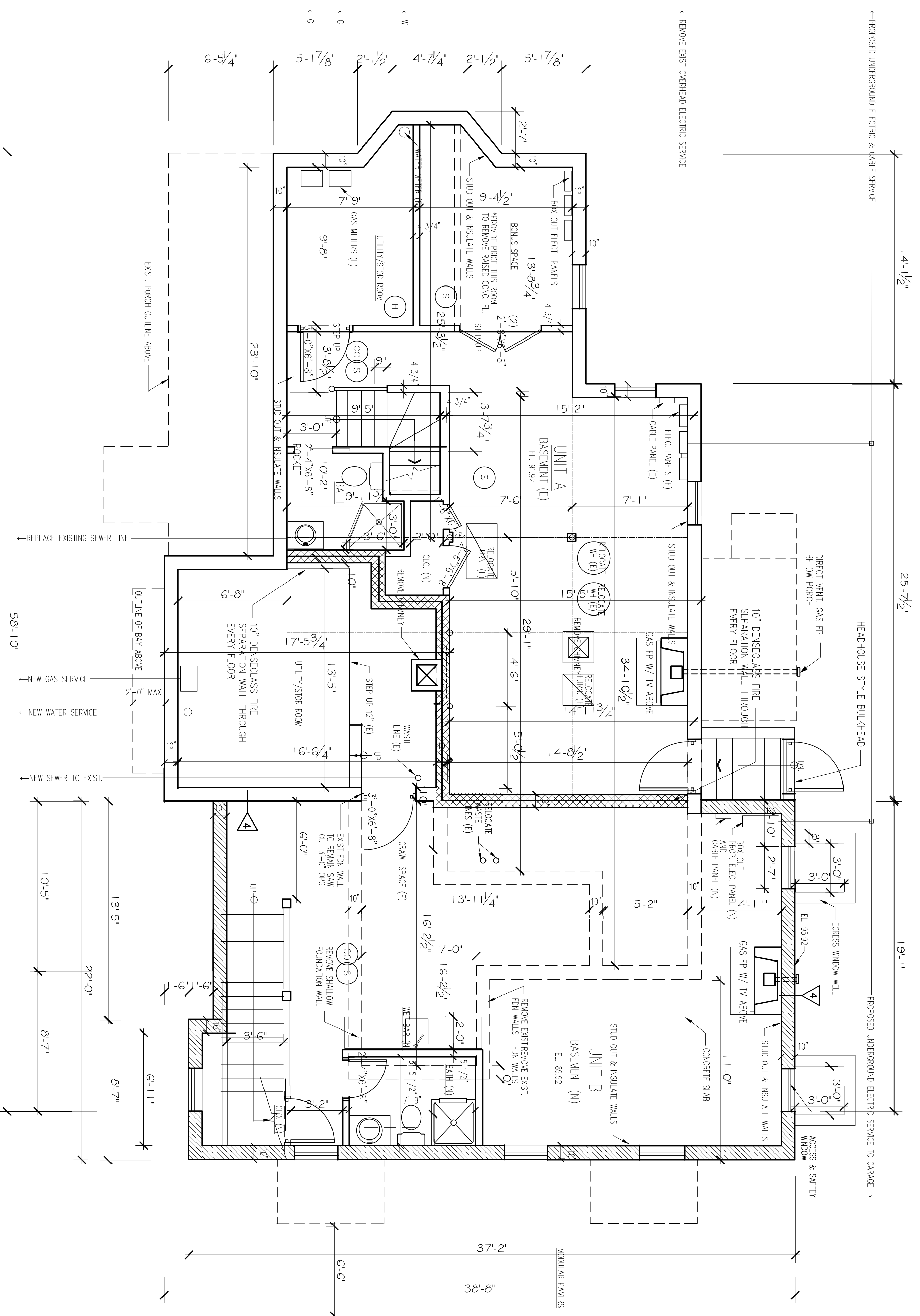
CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

Special Permit Approval Set 6/15/15

DATE	APRIL 01, 2014
DESIGNED BY	AS NOTED
DRAWN BY	MJH
CHECKED BY	RJ
SCALE	AS NOTED
DATE	6-15-15
NO. ASSN	14-2001
NO. REV	1-2001
DATE	6-15-15
NO. ASSN	14-2001
NO. REV	1-2001

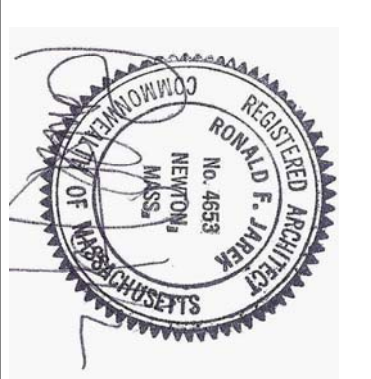
A-1



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

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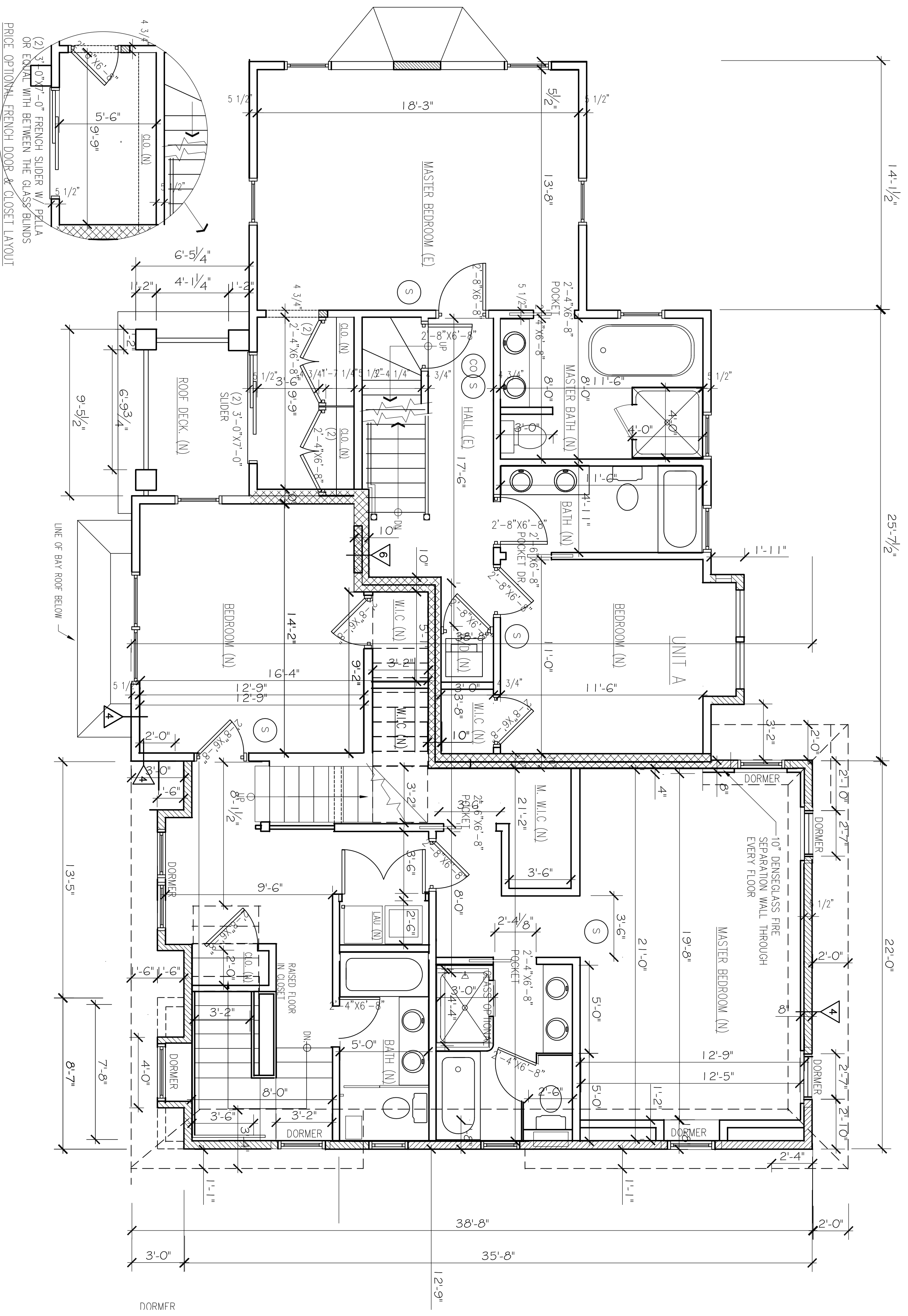
PROPOSED BASEMENT FLOOR PLAN
 143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON HIGHLANDS, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

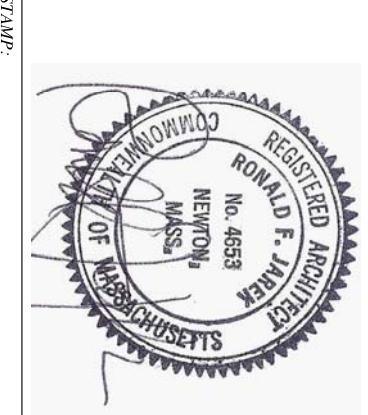
DATE	PROJECT
NOV 16, 2014	143 LINCOLN STREET
SCALE	AS NOTED
DESIGNER	R.F.J.
CHECKED BY	R.F.J.
DATE	NOV 16, 2014

A-2



PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

Special Permit Approval Set 6/15/15



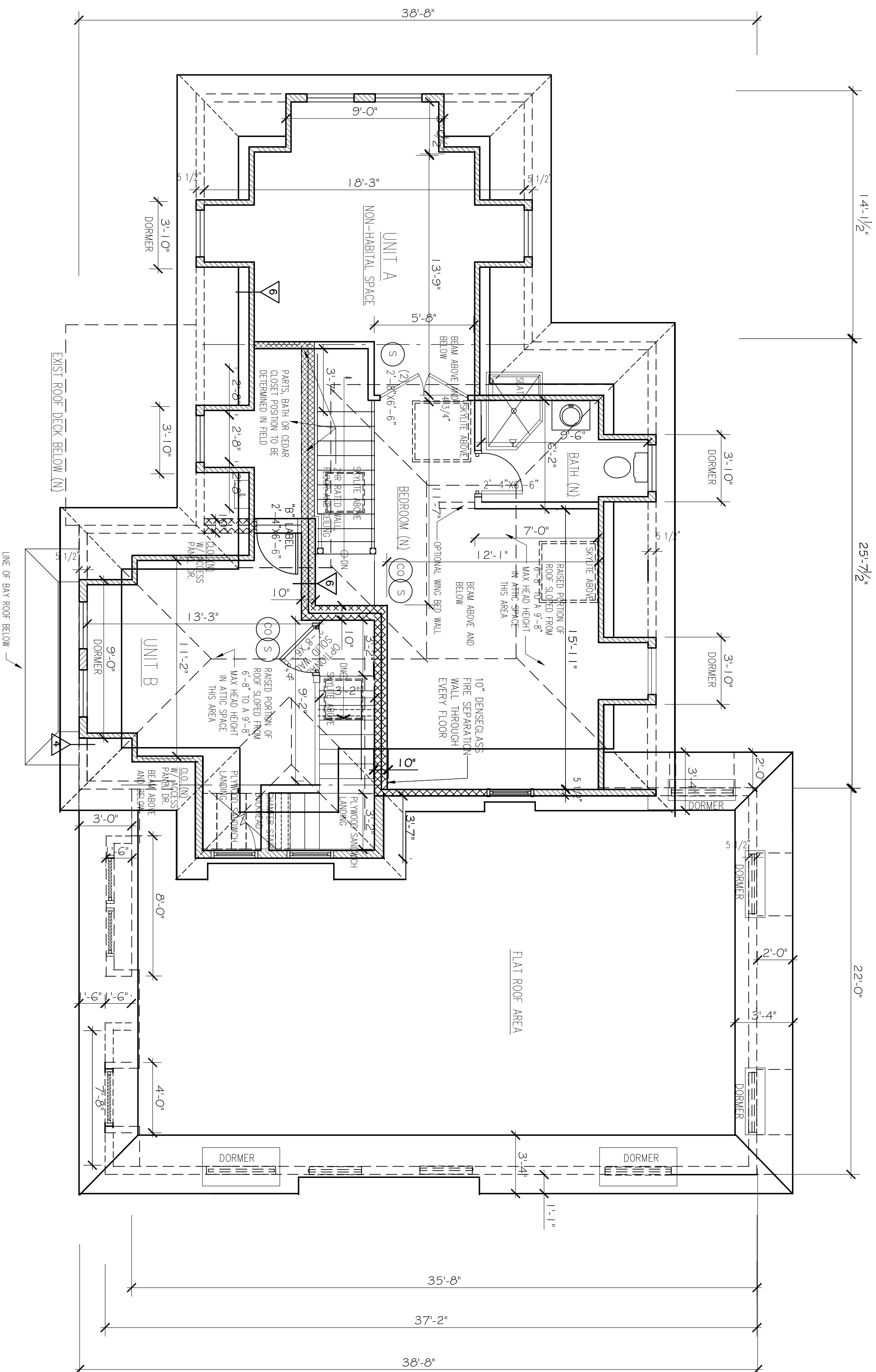
PROPOSED SECOND FLOOR PLAN
 143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON HIGHLANDS, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE	ARCHITECT: 6/15/14
SCALE	AS NOTED
DESIGNER	R.F.J.
CHECKED BY	R.F.J.
DATE	6/15/14
PROJECT	2 FAMILY RESIDENCE - 143 LINCOLN STREET, NEWTON HIGHLANDS, MA 02461

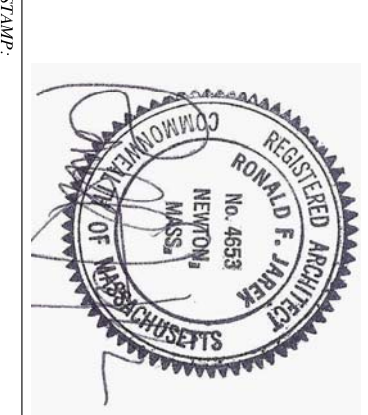
A-4



PROPOSED ATTIC FLOOR PLAN

1/4" = 1'-0"

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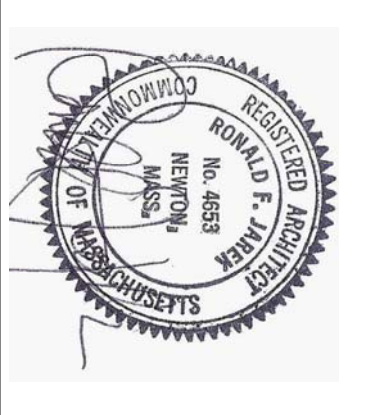


PROPOSED ATTIC FLOOR PLAN
143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON HIGHLANDS, MA 02461
CLIENT: ARMAN CHITCHIAN
79 BRANDEIS ROAD
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE	August 6, 2014
SCALE	AS NOTED
DRAWN BY	MJD
CHECKED BY	RJ
REV.	1. 7.2014 6.12.2013
	10.6.2014 3.17.2014
	7.19.2014 5.25.2014



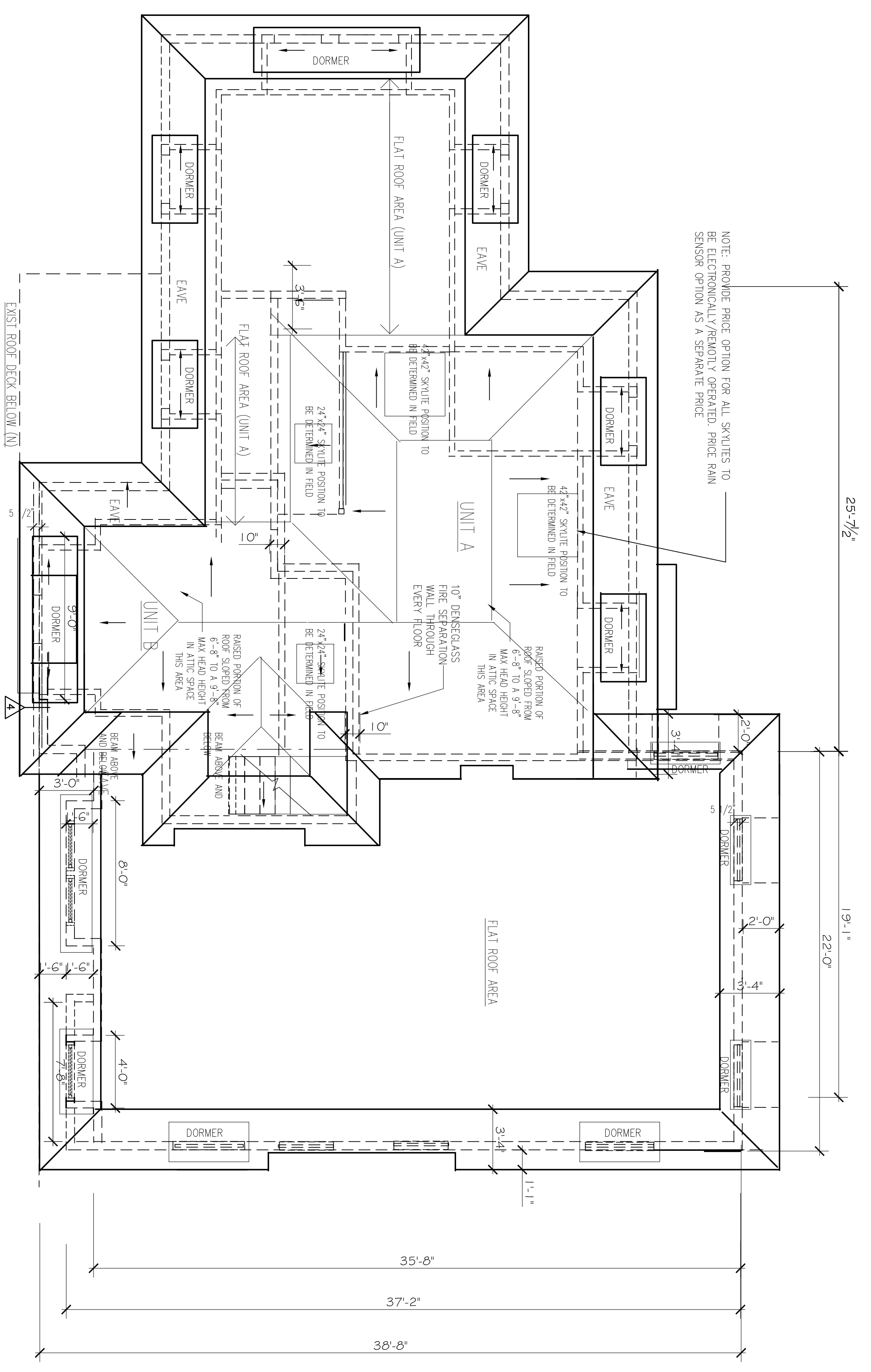
PROPOSED ROOF PLAN
143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON HIGHLANDS, MA 02461
CLIENT: ARMAN CHITCHIAN
79 BRANDEIS ROAD
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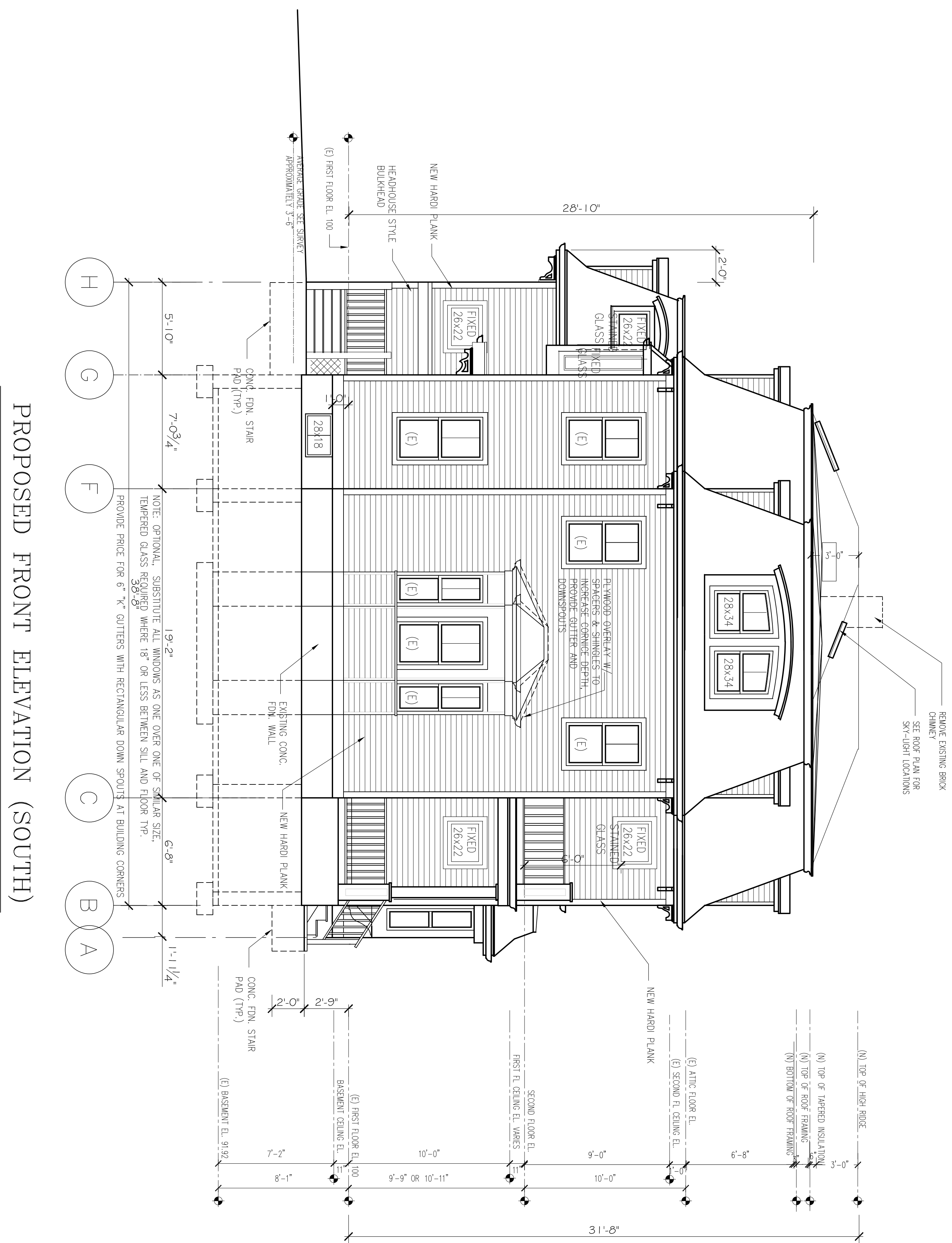
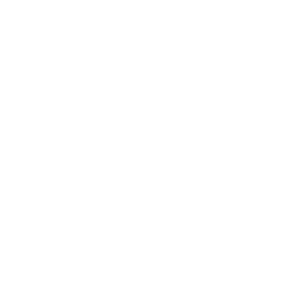
Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE	PROJECT
NOV 16, 2014	ADDITION 6/15/15
SCALE	AS NOTED
DESIGNER	R.F.J.
CHECKED BY	R.F.J.
DATE	NOV 16, 2014
PROJECT	ADDITION 6/15/15
NO.	487

Special Permit Approval Set 6/15/15

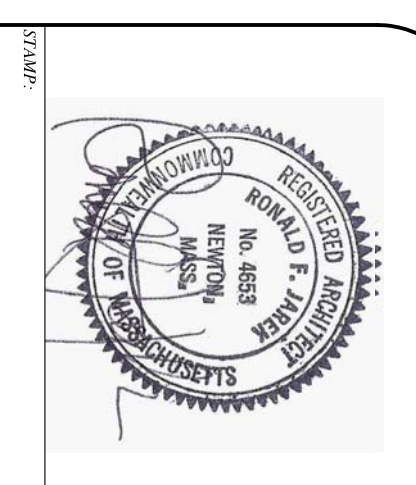


PROPOSED ROOF PLAN
1/4" = 1'-0"



PROPOSED FRONT ELEVATION (SOUTH)

Special Permit Approval Set 6/15/15



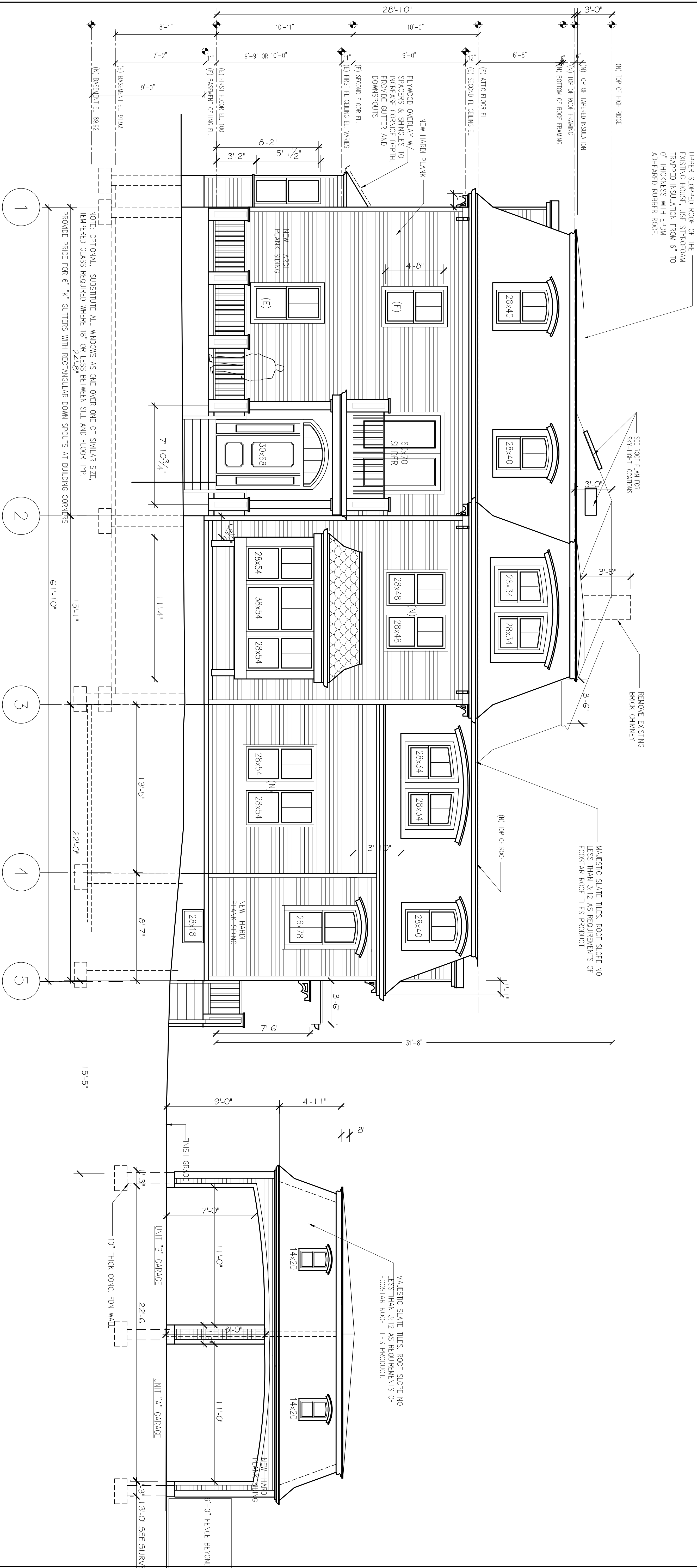
PROPOSED FRONT ELEVATION
143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON HIGHLANDS, MA 02461
CLIENT: ARMAN CHITCHIAN
79 BRANDEIS ROAD
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Ronald F. Jarek, Architect
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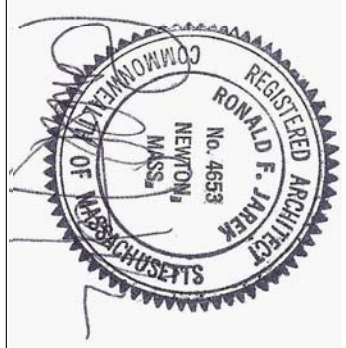
DATE	August 01, 2014
SCALE	AS NOTED
DESIGNER	R.F.J.
CHECKED BY	R.F.J.
DATE	6-15-15

A-7



PROPOSED RIGHT SIDE ELEVATION (EAST)

Special Permit Approval Set 6/15/15



PROPOSED RIGHT SIDE ELEVATION

143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

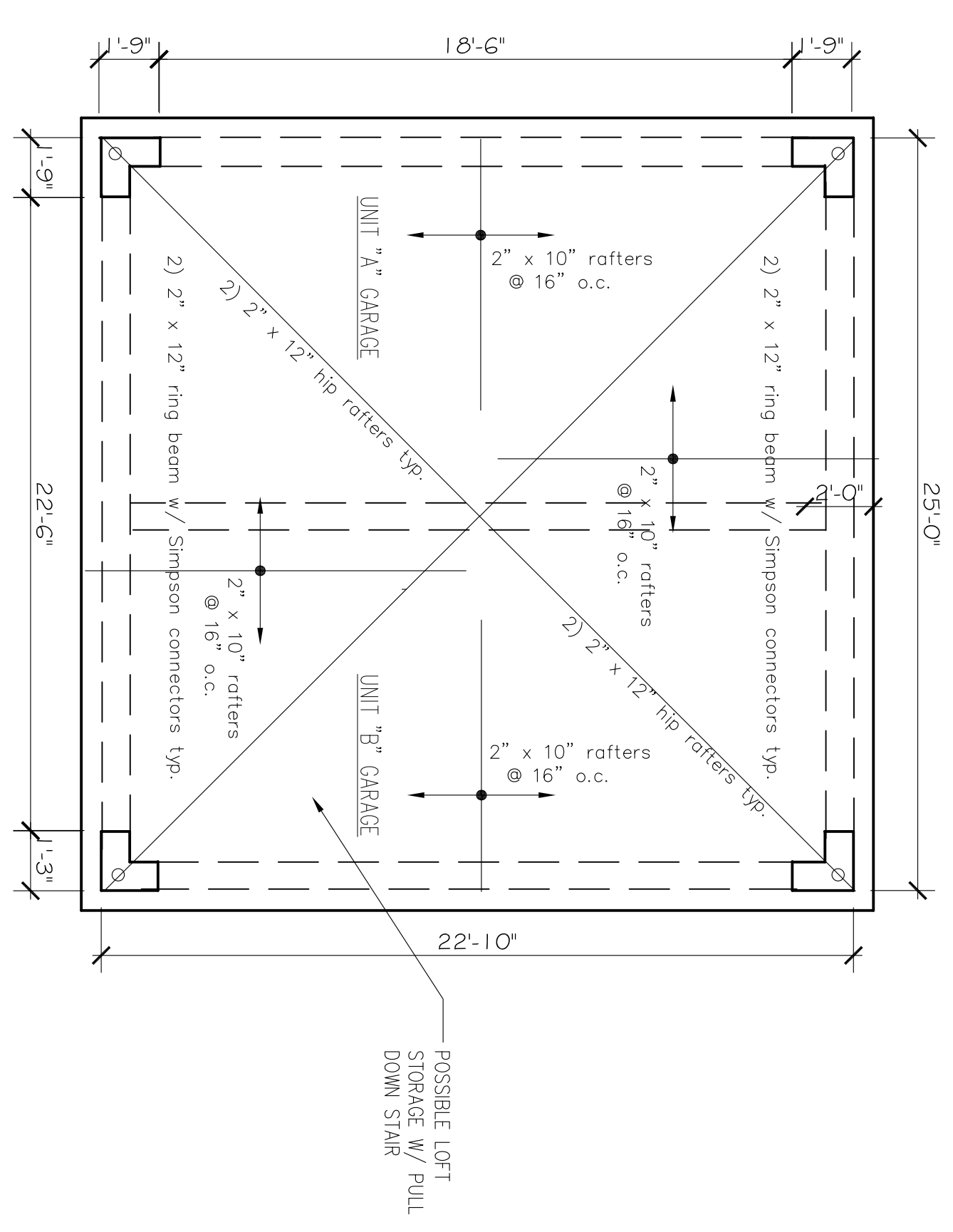
PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON HIGHLANDS, MA 02461

CLIENT: ARMAN CHITCHIAN
79 BRANDEIS ROAD
NEWTON CENTER, MA 02459

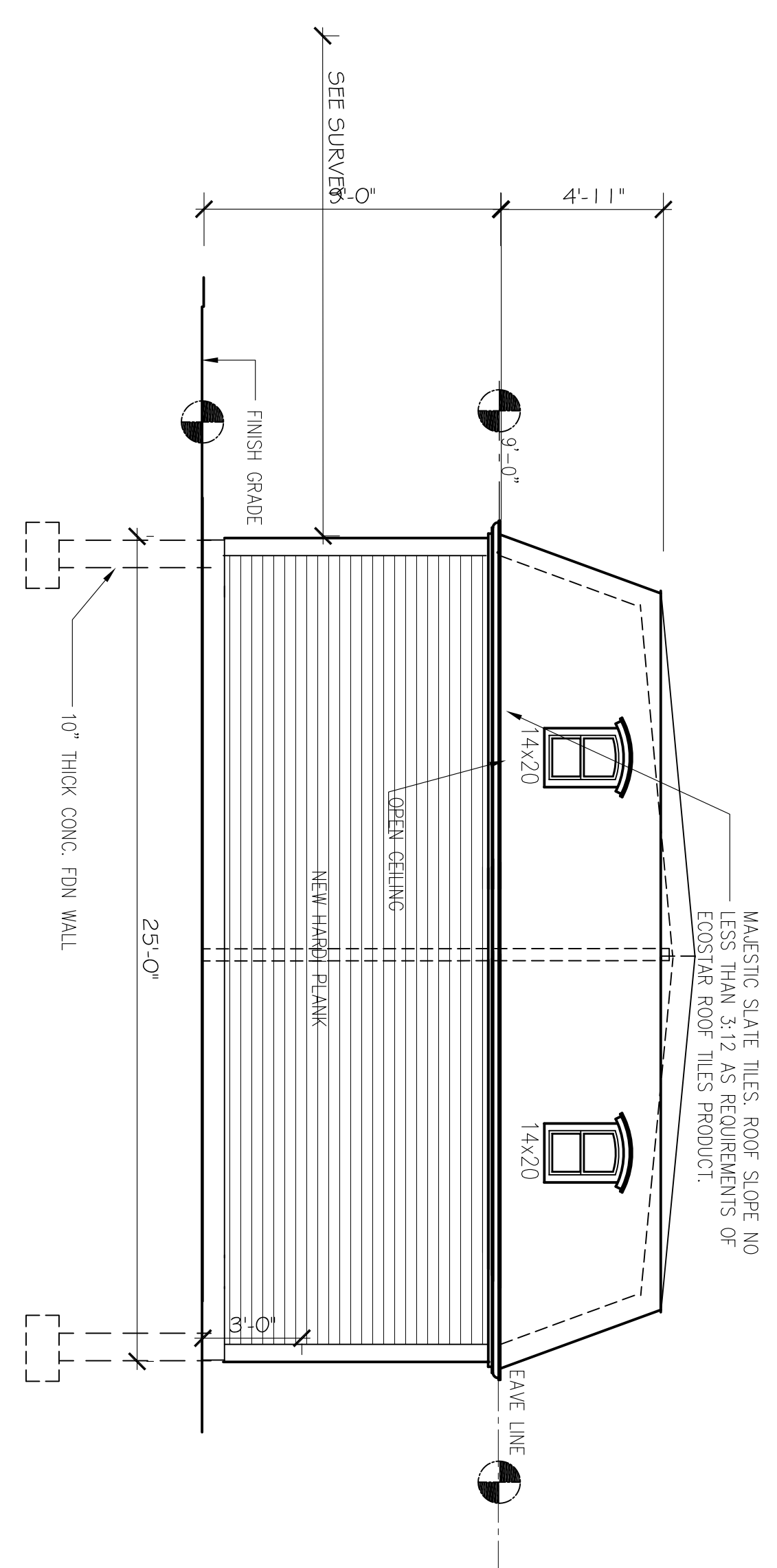
Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE	APPROVED BY	
SCALE	AS SHOWN	
DRAWN BY	N.F.J.	
CHECKED BY	R.F.	
REV.	DATE	DESCRIPTION
01	06/15/15	ISSUE FOR PERMIT

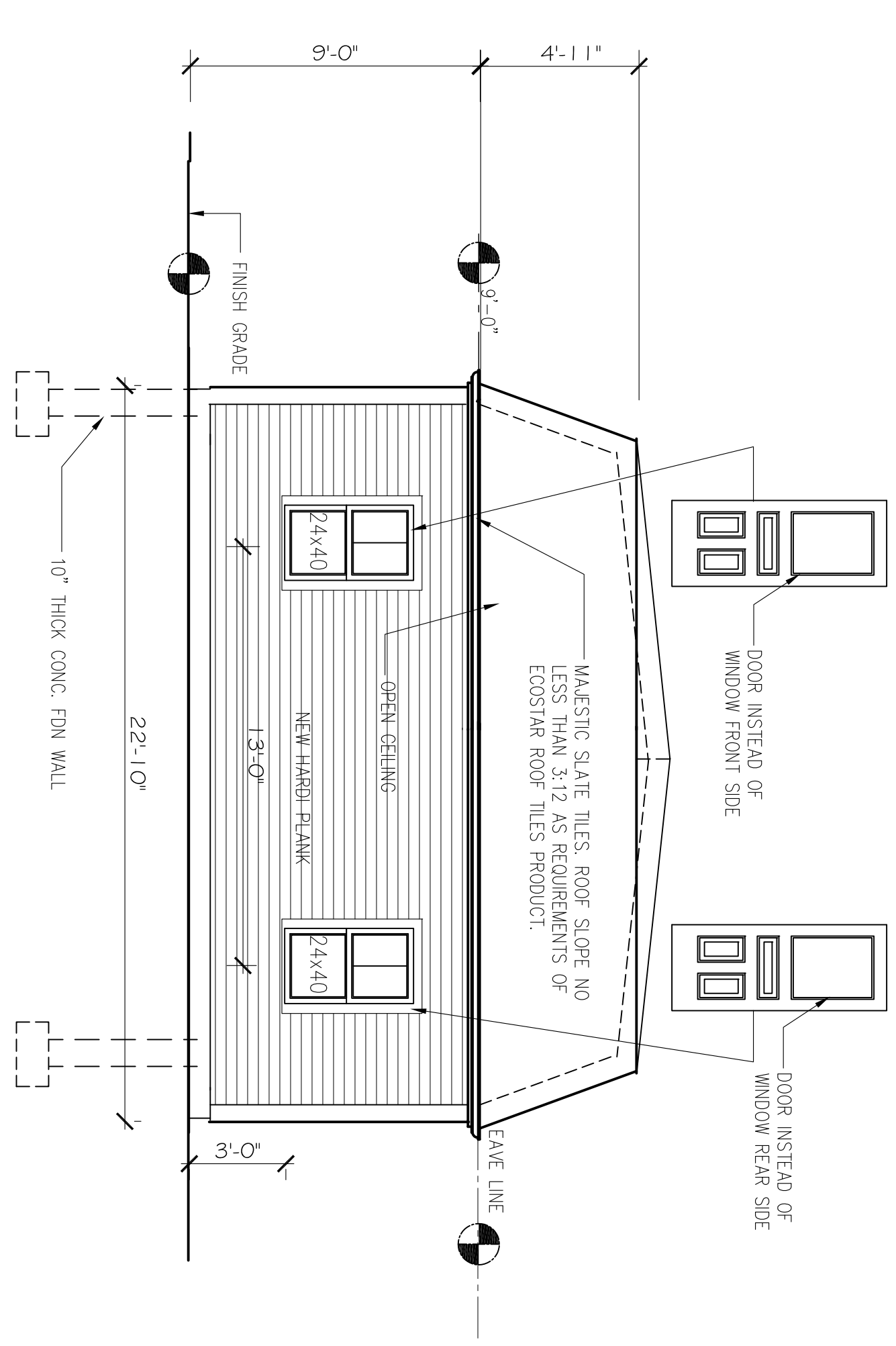
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PROPOSED GARAGE ROOF PLAN
1/4" = 1'-0"

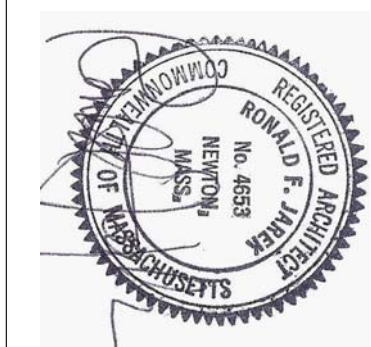


PROPOSED GARAGE LEFT SIDE ELEVATION
1/4" = 1'-0"



PROPOSED GARAGE FRONT & REAR SIDE ELEVATION
1/4" = 1'-0"

Special Permit Approval Set 6/15/15



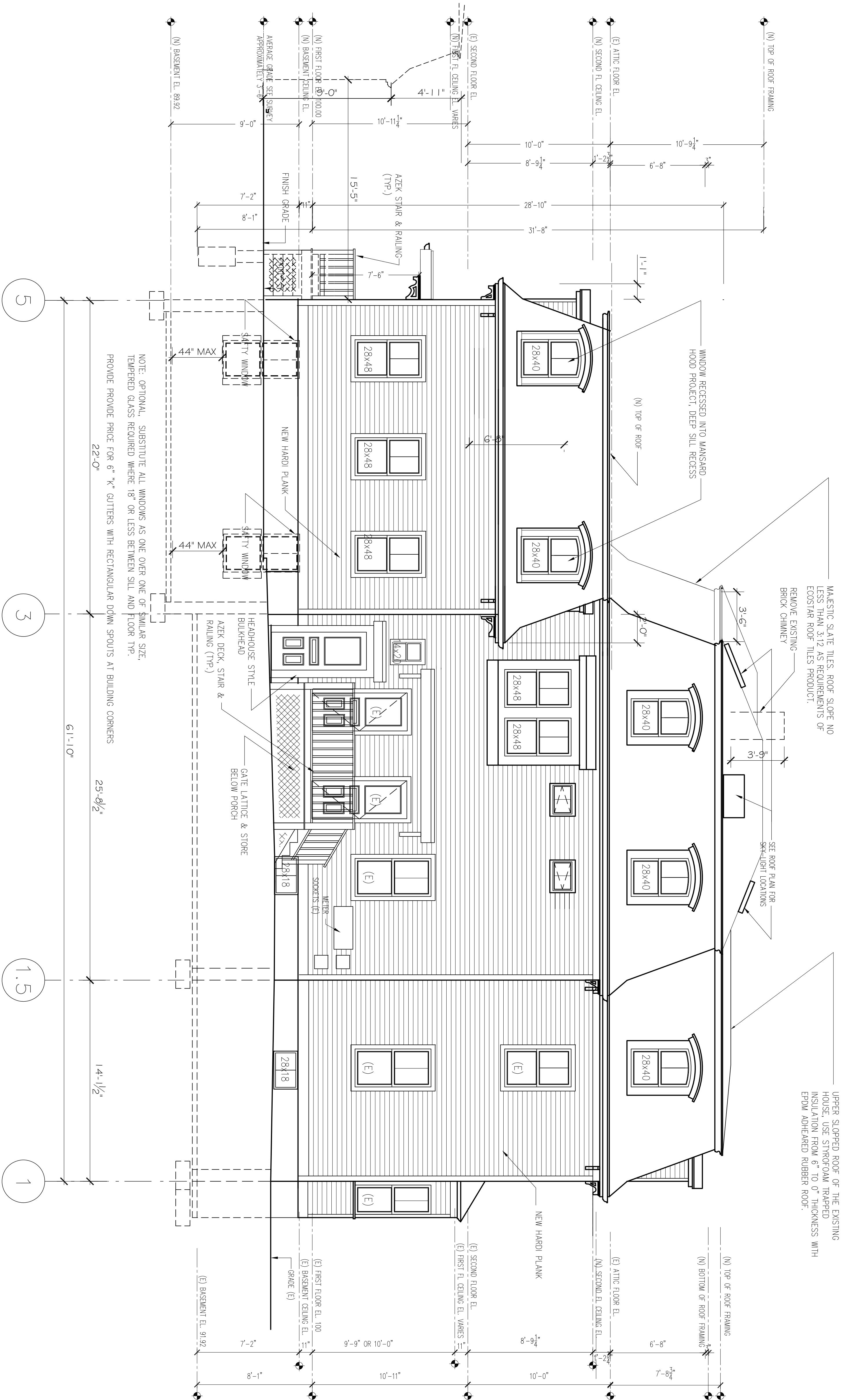
PROPOSED PLAN & ELEVATION
143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON HIGHLANDS, MA 02461
CLIENT: ARMAN CHITCHIAN
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DATE	APPROVED BY
SCALE	AS SHOWN
DRAWN BY	N.F.J.
CHECKED BY	N.F.J.
REV.	DATE
1	6/15/15
2	6/15/15
3	6/15/15

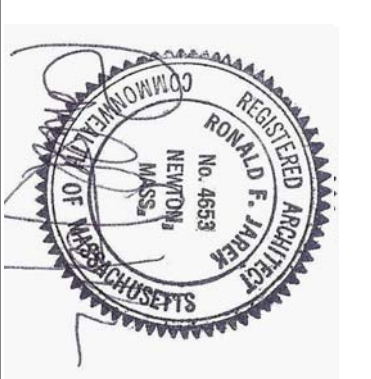
A-8a



PROPOSED LEFT SIDE ELEVATION (WEST)

1/4" = 1'-0"

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PROPOSED LEFT SIDE ELEVATION

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Newtonville, MA 02460

DATE	NOV 06, 2014
SCALE	AS NOTED
DRAWN BY	MJD
CHECKED BY	RJ
DATE	NOV 06, 2014
SCALE	AS NOTED
DRAWN BY	MJD
CHECKED BY	RJ
DATE	NOV 06, 2014
SCALE	AS NOTED
DRAWN BY	MJD
CHECKED BY	RJ

