

# INSULATION GUIDELINES

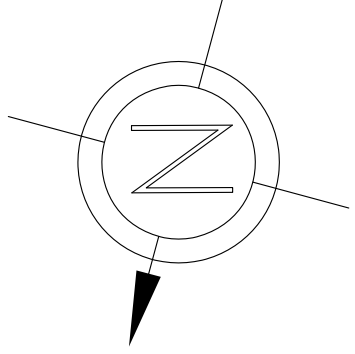
## Code Checklist for Designers - Stretch Code

Always refer to the current International Residential Code (IRC) and International Energy Conservation Code (IECC) for the most up-to-date requirements. The following is a checklist of requirements for the 2009 IRC and IECC. Check the following as all expanded or new areas. Call a HERS rater OR the local building department for more information.

- Insulation**
  - Roof or joists of unfinished attic - R-38, unless the existing rafters aren't deep enough, then R-30. This includes:
    - Attic with unfinished ceiling, or
    - Attic with finished ceiling, but no insulation on joists. Inspection: IECC 2009 402.1.1 & IECC 2009 402.1.1.1
  - EXCEPTION--up to 50% of R-38, whichever is less, of roof can be R-30. Inspection: IECC 2009 402.2.2
  - Existing walls - fill in with R-3 braced material. New rigid foam insulation must be installed in accordance with the manufacturer's instructions. Inspection: IECC 2009 402.1.1 & IECC 2009 402.1.1.1
  - Floors R-49, existing floors R-35 over on plans. Inspection: IECC 2009 402.1.1
  - Basement wall R-10 on the foundation wall or R-19 in a crawl space. Inspection: IECC 2009 402.1.1
  - Slab R-10, slab perimeter R-10 or plans. Inspection: IECC 2009 402.1.1
  - Crawl space wall R-10 on plans. Inspection: IECC 2009 402.1.1
  - Mass walls (concrete/masonry) R-13 if 50% of outside wall or R-17 if 50% of insulation is on plans. Inspection: IECC 2009 402.1.1
- For additions all values must meet IECC 2009 standards. No R-3 choice exception for existing walls. Additions must meet IECC 2009 standards. Inspection see foundation section.**

- Foundation:**
  - Windows U-0.30 or lower, door U-0.21 or lower. U-0.30 or lower, skylights U-0.55 or lower. Doors/hatches to unconditioned spaces must be gasketed + insulated, so no air leakage.
    - MA 804 Code R-6.04
    - MA 804 Code R-6.05
    - MA 804 Code R-6.06
    - MA 804 Code R-6.07
    - MA 804 Code R-6.08
    - MA 804 Code R-6.09
    - MA 804 Code R-6.10
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    - MA 804 Code R-6.99
    - MA 804 Code R-7.00
  - Up to 15% of "glazed fenestration" can be exempt from these requirements.
    - MA 804 Code R-6.04
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    - MA 804 Code R-6.99
    - MA 804 Code R-7.00

- Lighting:**
  - Lighting fixtures in code or unconditioned spaces, IRC rated and calculated or gasketed to their surface. Inspection: IECC 2009 402.4.5
  - At least 80% of new lights must be high-efficiency on plans. Inspection: IECC 2009 404.1
- MVAC:**
  - Equipment sized using Manuals J, S and D. Do not use Manual S. Inspection: IECC 2009 403.6, IRC 403.3
- Labeling:**
  - 401.3 Compliance checklist on plans. Inspection: IECC 103.1



## SEE NEPONSET VALLEY SURVEY ASSOC. INC. CURRENT SURVEY PLAN

### SITE PLAN

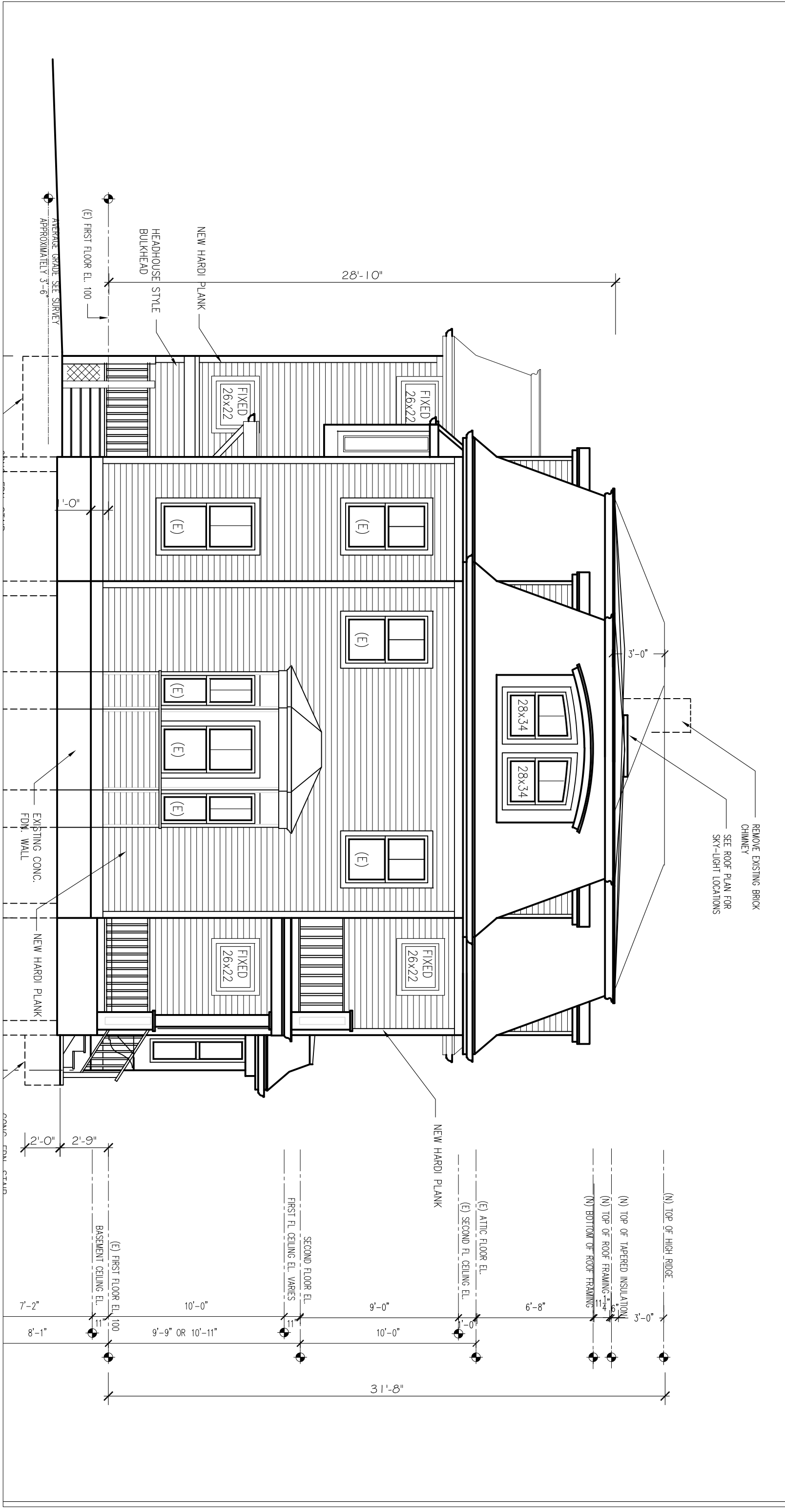
143 LINCOLN STREET, NEWTON HIGHLANDS, MA 02461

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	EXISTING WALLS TO REMAIN	AL	Aluminum	MIN	Minimum
	EXISTING WALLS/CONSTRUCTION TO BE REMOVED	APPROX	Approximately	MISC	Miscellaneous
	NEW WALLS	BD	Board	NIC	Not in Contact
(N)	NEW	BLDG	Building	NIS	Not to Scale
(E)	EXISTING	CLG	Ceiling	OPP	Opposite
	BUILDING SECTION	CLR	Clear	PLAM	Plastic Laminate
	DETAIL SECTION	COL	Column	PL	Plaster
	PARTITION TYPE	CONC	Concrete	PTD	Painted
	NEW DOOR & DOOR NUMBER	CONSTR	Construction	REQ	Required
	WINDOW NUMBER	CONT	Continuous	RO	Rough Opening
	INTERIOR ELEVATION	OPT	Carpet	RO	Similar
		CT	Ceramic Tile	SIM	Similar
		CIR	Center	SST	Stainless Steel
		DET	Detail	STD	Standard
		DIA	Diameter	STL	Steel
		DISP	Dispenser	STOR	Storage
		DN	Down	SUSP	Suspended
		DWG	Drawing	T&G	Tongue & Groove
		ELEC	Electric(Electrical)	THK	Thick
		EQ	Equal	TYP	Typical
		ETR	Existing to Remain	VCB	Vinyl Cove Base
		EXIST	Existing	VPB	Veneer Plaster Base
		FFL	Finish Floor	WC	Water closet
		GA	Gauge	WD	Wood
		GL	Gypsum Wall Board	W/O	Without
		GWB	Gypsum Wall Board	WT	Without Weight
		HCP	Handicapped		
		HDP	High Density Polymer		
		HR	Hour		
		HT	Height		
		HT	Height		
		INSUL	Insulation(Insulated)		
		LI	Light		
		MAX	Maximum		
		MECH	Mechanical		

### LEGEND

### ABBREVIATIONS



## 2 FAMILY RESIDENCE

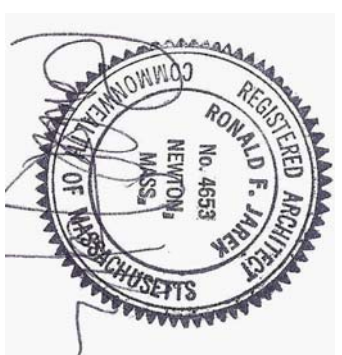
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### LIST OF DRAWINGS

- A-0 TITLE SHEET
- A-1 NOTES & MATERIALS
- A-2 PROPOSED BASEMENT FLOOR PLAN
- A-3 PROPOSED FIRST FLOOR & SITE PLAN
- A-3a PROPOSED FIRST FLOOR & SITE PAVING PLAN
- A-3b PROPOSED VS. EXISTING DIAGRAMMATIC PLAN
- A-4 PROPOSED SECOND FLOOR PLAN
- A-5 PROPOSED ATTIC FLOOR PLAN
- A-6 PROPOSED ROOF PLAN
- A-7 PROPOSED FRONT ELEVATION
- A-8 PROPOSED RIGHT SIDE ELEVATION
- A-8a PROPOSED GARAGE
- A-8b PROPOSED VS. EXISTING RIGHT SIDE OVERLAY
- A-9 PROPOSED LEFT SIDE ELEVATION
- A-10 PROPOSED REAR ELEVATION
- A-11 PROPOSED SECTION A-A
- A-12 PROPOSED SECTION B-B
- A-13 PROPOSED WALL SECTIONS
- A-14 PROPOSED SECTIONS & DETAILS
- A-15 PROPOSED SECTIONS & DETAILS
- F-1 PROPOSED FOUNDATION PLAN
- F-2 PROPOSED FIRST FLOOR FRAMING PLAN
- F-3 PROPOSED SECOND FLOOR FRAMING PLAN
- F-4 PROPOSED ATTIC FLOOR FRAMING PLAN
- F-5 PROPOSED ROOF FRAMING PLAN
- F-6 TYPICAL SECTIONS & DETAILS
- EX-1 EXISTING FIRST FLOOR PLAN
- EX-2 EXISTING SECOND, BASEMENT & ATTIC FLOOR PLANS
- EX-3 EXISTING ELEVATIONS

**Architect:**  
**Ronald F. Jarek**

487 Watertown Street  
Newtonville, MA 02460  
(617) 818-4540



### TITLE & DRAWINGS LIST

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	APPROVAL:
SCALE:	AS SHOWN
DRAWN BY:	NFL
CHECKED BY:	RJ
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**A-0**

ORIGINAL PLANS WERE DESIGNED BY CHARLES DEMARCO, ARCHITECT,  
 DEMARCO ASSOCIATES, COMPLETION OF CONSTRUCTION DOCS. BY  
 RONALD F. JAREK, ARCHITECT.

EXTERIOR MATERIALS LIST:  
 143 Lincoln St., Newton Highlands, MA 02461

**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HERS RATINGS.
2. PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. DRAWING INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5. CONTRACTOR SHALL VERIFY THE EXISTING PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EXACT CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
9. IF HAZARDOUS WASTE IS ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHD0 STANDARDS.

**GENERAL NOTES STRUCTURAL**

1. ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS.
2. DO NOT SCALE THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LIMITS, AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS. REFER TO ARCH. DWGS. FOR ALL ELEVATIONS.
3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPOINTMENTS.
4. DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL STRUCTURING LAYOUT ITEMS AND CONDITIONS MAY DIFFER FROM AS SHOWN. ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
7. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
8. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

**FOUNDATION NOTES**

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
2. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY WEIGHT.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

**PLYWOOD NOTES**

1. ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL I. PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
2. ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4".
2. ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

**CONCRETE NOTES**

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
2. CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE MIN. COMPRESSIVE STRENGTH = 4000 PSI
3. ALL BARR REINFORCEMENT SHALL CONFORM TO ASTM A615 - GRADE 60
4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A615 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6--W4x4W UNLESS NOTED.
5. MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:
  - SLABS: TOP - 2" - 2" (MIN.)
  - WALLS: ALL SIDES - 2" (MIN.)
6. ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL, WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOINTS AND FNS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN. TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS & OWNER.
7. CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
8. BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDBONET" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD. OR APPROVED EQUAL.
9. DOWELLING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
10. CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

**WOOD NOTES**

1. ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
2. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL, WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fb = 1500 PSI, Fv = 190 PSI.

**NOTE - DIMENSION**

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

**PRODUCTS**

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES

**ROOF:**

- 30 year Simulated Synthetic Shingles
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

**TRIM**

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

**SIDING**

- Hardie Plank or equal, 4.5" to weather, texture side out
- Synthetic Standard or Scalloped Shingles at Pediments (2)
- Painted MDO Plywood at Pediments
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs
- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs

**DOWN SPOUTS AND GUTTERS**

- Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings

**WINDOWS**

- Marvin, Jeldwin or equal Insulated Glass, Simulated 2 over 1 Divided Lies and Ovals

**DOORS**

- Synthetic Panel Entry Units with Vision Lies and/or Simulated Divided Side Lies
- Synthetic Panel Style Garage Doors

**COLUMNS**

- Azek or equal Square field built Columns, Plinth and Capital

**PORCH, DECK and STEPS**

- Trex or equal Porch, Deck and Stair Treads
- Azek or equal Risers and Stringers
- Synthetic Balustrade and Square field built Newel Posts

**LIGHTING**

- Wall Mounted Lantern Style

**HARDWARE**

- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

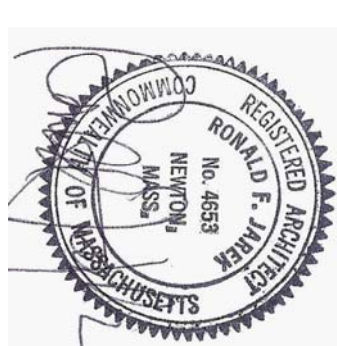
**WALKS**

- Modular Pervious Pavers at Entry Points

**DRIVEWAY**

- Bituminous and Pervious Pavers

FAR / SQ. FT. CALCULATIONS, SR2 ZONE, LOT SIZE 11,775 SF	UNIT "A"		UNIT "B"		TOTAL S.F. ALLOWED @ 0.38 FAR 4474 S.F.	TOTAL S.F. PROVIDED @ 0.41 FAR 4827 S.F.
	SF. (3/17)	SF. (3/25)	SF. (3/17)	SF. (3/25)		
AREA	---	---	---	---	---	---
GARAGE	854 SF.	854 SF.	998 SF.	954 SF.	---	1808 SF.
FIRST FLOOR	817 SF.	817 SF.	989 SF.	961 SF.	---	1778 SF.
SECOND FLOOR	397 SF.	397 SF.	616 SF.	276 SF.	---	673 SF.
HIT ATTC. FL. AREA MORE 7'-0"	---	---	---	---	---	---
TOTAL SQ. FT.	2,068 SF.	2,068 SF.	2,603 SF.	2,191 SF.	4,474 SF.	4,827 SF.
---	---	---	---	---	353 SF. ABOVE ALLOWED = 0.03 INCREASE REQUESTED	---



**NOTES, FAR & MATERIALS**

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

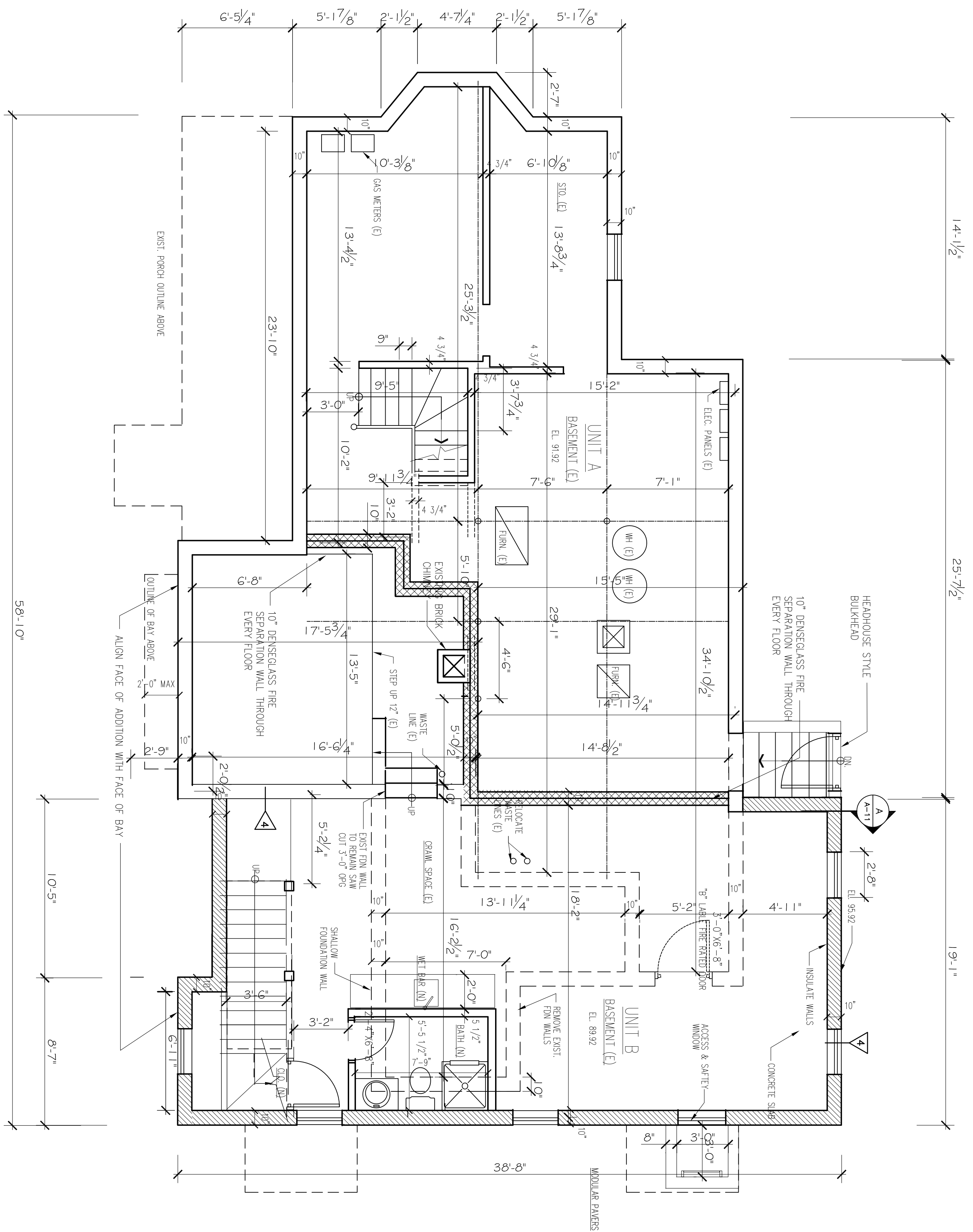
PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

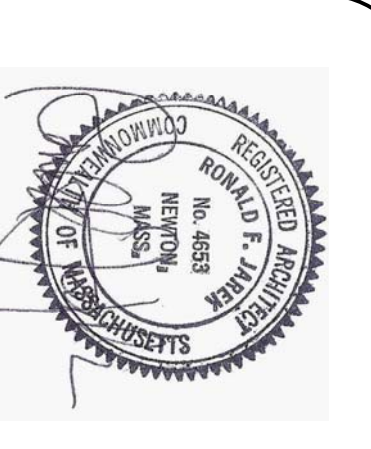
Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE	APPROVED BY	SCALE
6/24/2014	AS NOTED	
DRAWN BY	NEH	CHECKED BY
RJ		
DATE	SCALE	
6/24/2014	AS NOTED	
DRAWN BY	NEH	CHECKED BY
RJ		
DATE	SCALE	
6/24/2014	AS NOTED	
DRAWN BY	NEH	CHECKED BY
RJ		

A-1



PROPOSED BASEMENT PLAN  
1/4" = 1'-0"



PROPOSED BASEMENT FLOOR PLAN

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE: AUGUST 20, 2014

SCALE: AS SHOWN

DRAWN BY: NSH

CHECKED BY: RJ

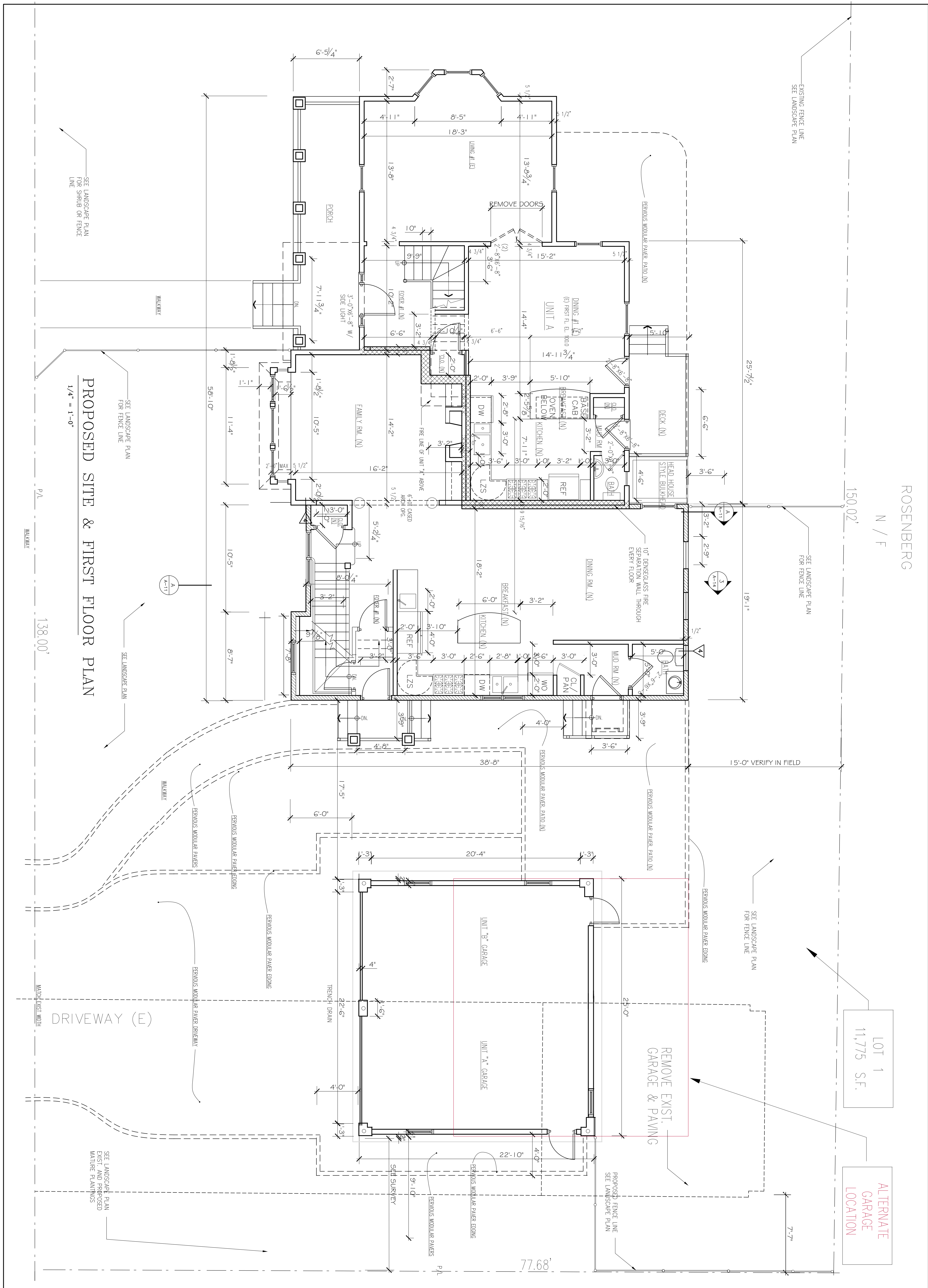
REV: 04.2014 1-2.2014  
04.2014 3-24.2015  
7-28.2014

ROSENBERG

N / F

LOT 1  
11,775 S.F.

ALTERNATE  
GARAGE  
LOCATION

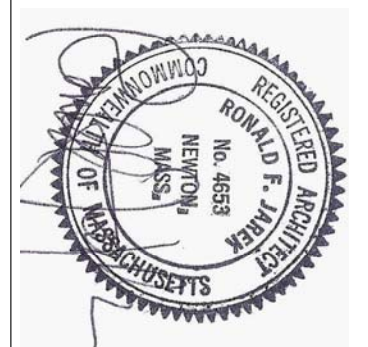


PROPOSED FIRST FLOOR PLAN

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461



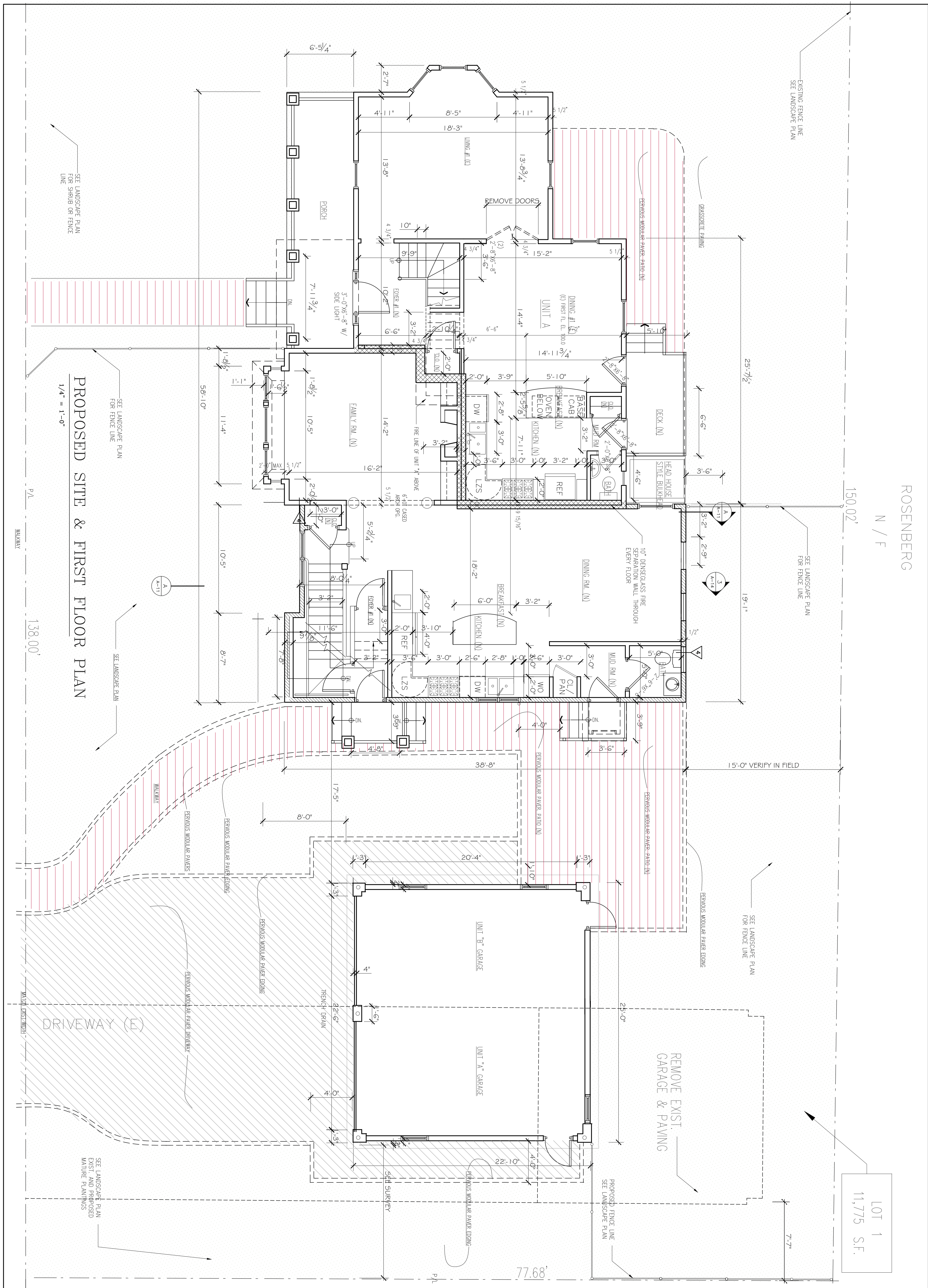
Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	APRIL 2014
SCALE:	AS SHOWN
DRAWN BY:	NJA
CHECKED BY:	NJA
REV:	6/2014 JAJ/NT 9/2014 JAJ/NT 1/2015 JAJ/NT 7/2015 JAJ/NT

ROSENBERG

N / F

LOT 1  
11,775 S.F.



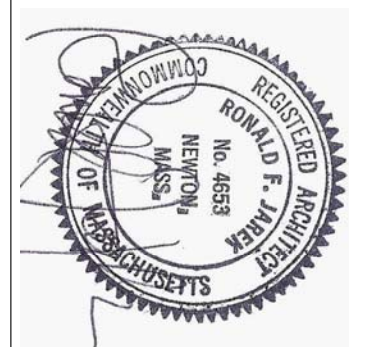
PROPOSED SITE & FIRST FLOOR PLAN  
1/4" = 1'-0"

PROPOSED FIRST FL. & SITE PAVING PLAN

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461  
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

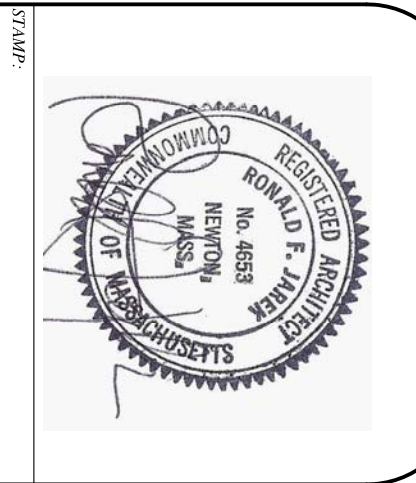
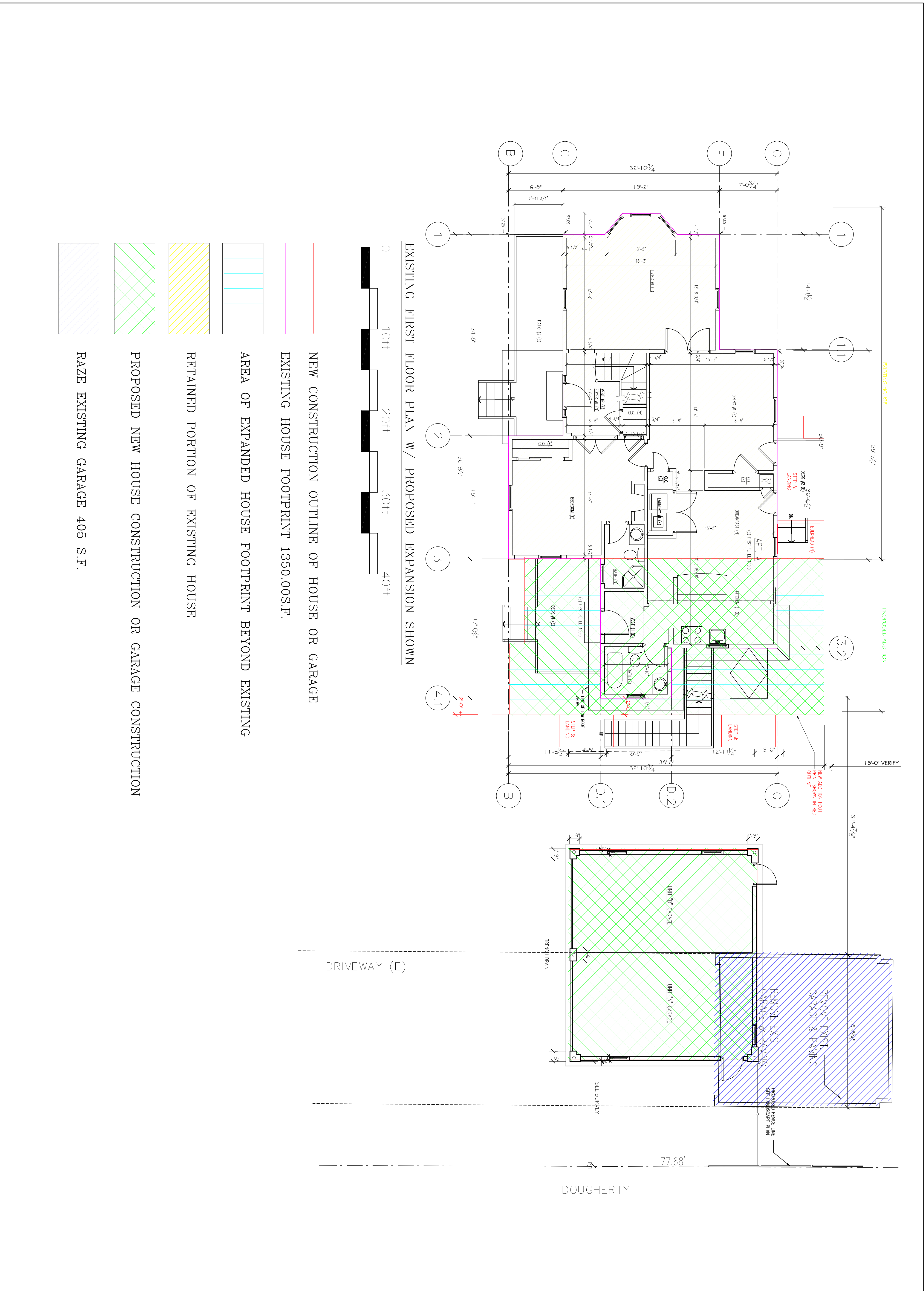
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461



A-3a

DATE:	APRIL 2014
SCALE:	AS SHOWN
DRAWN BY:	NEH
CHECKED BY:	RJ
REV:	6/20/14 JAS/MS 9/26/14 JAS/MS 7/16/2015 JAS/MS



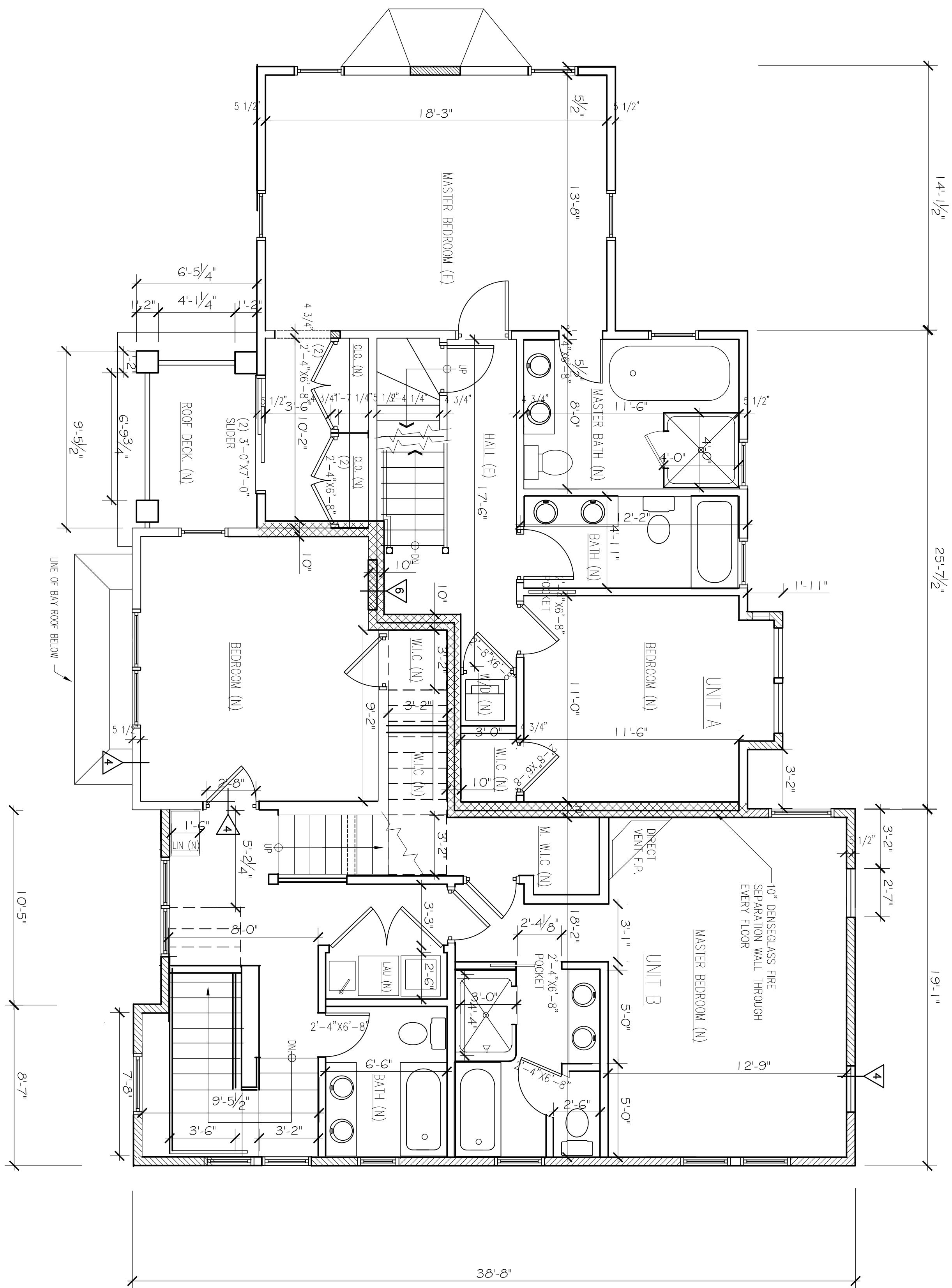
**COLOR CODED EXPANSION PLAN**

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

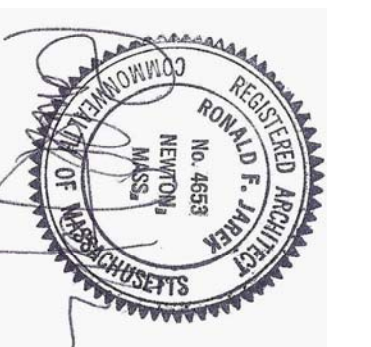
CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE: AUGUST 2014

SCALE: AS SHOWN

DRAWN BY: NGA

CHECKED BY: NJ

REV: 06/2014 JAS/ST  
 07/2014 JAS/ST  
 11/2015 JAS/ST



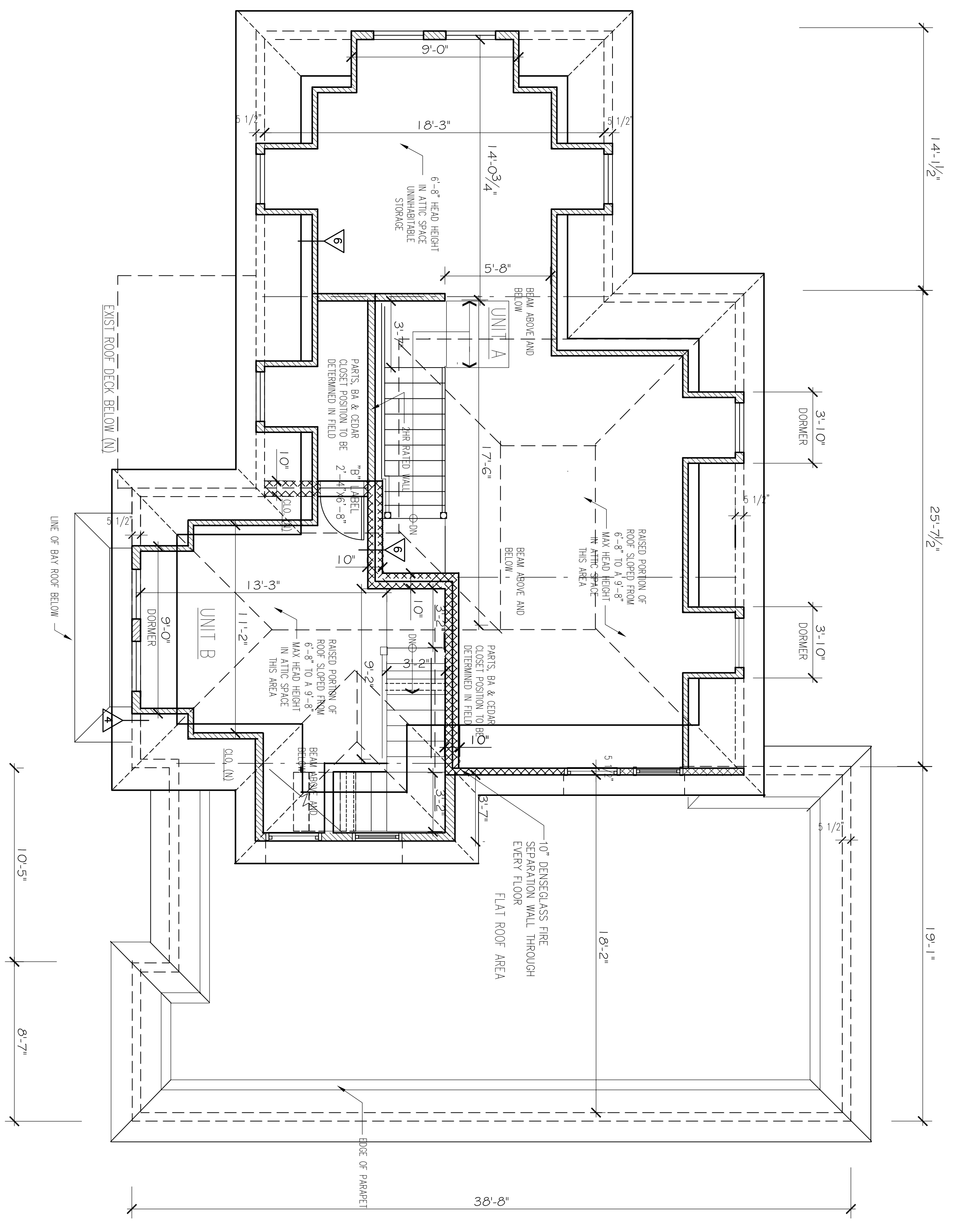
PROPOSED ATTIC FLOOR PLAN  
143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461  
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

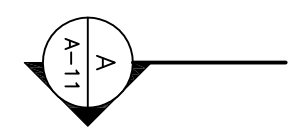
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	APRIL 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REV:	6-23-2014 1-23-2015 2-24-2015

A-5



PROPOSED ATTIC FLOOR PLAN  
1/4" = 1'-0"





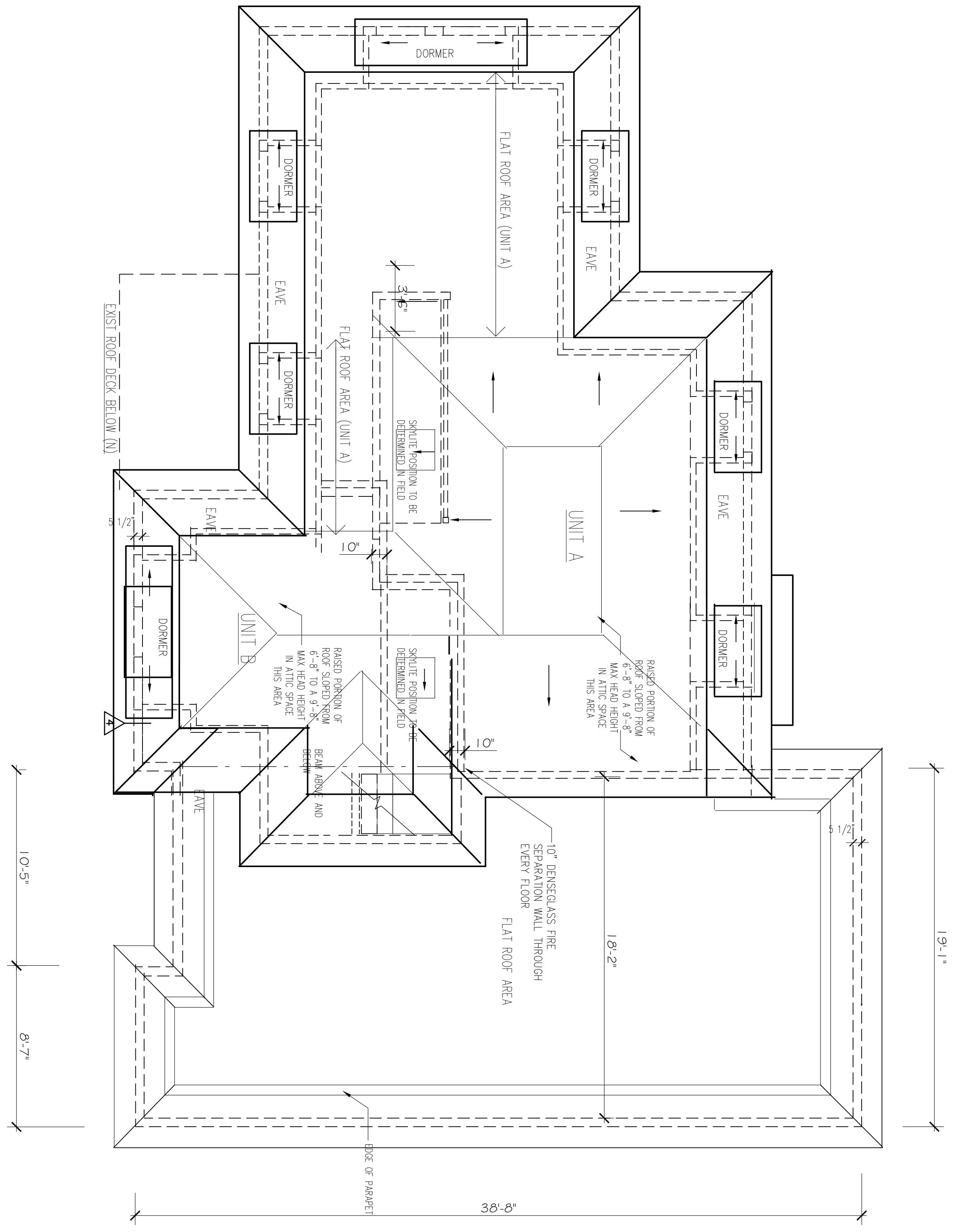


**PROPOSED ROOF PLAN**  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

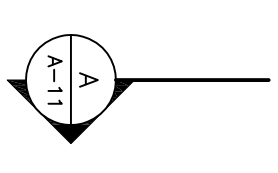
**PROJECT: ADDITIONS & ALTERATIONS**  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
**CLIENT: ARMAN CHITCHIAN**  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

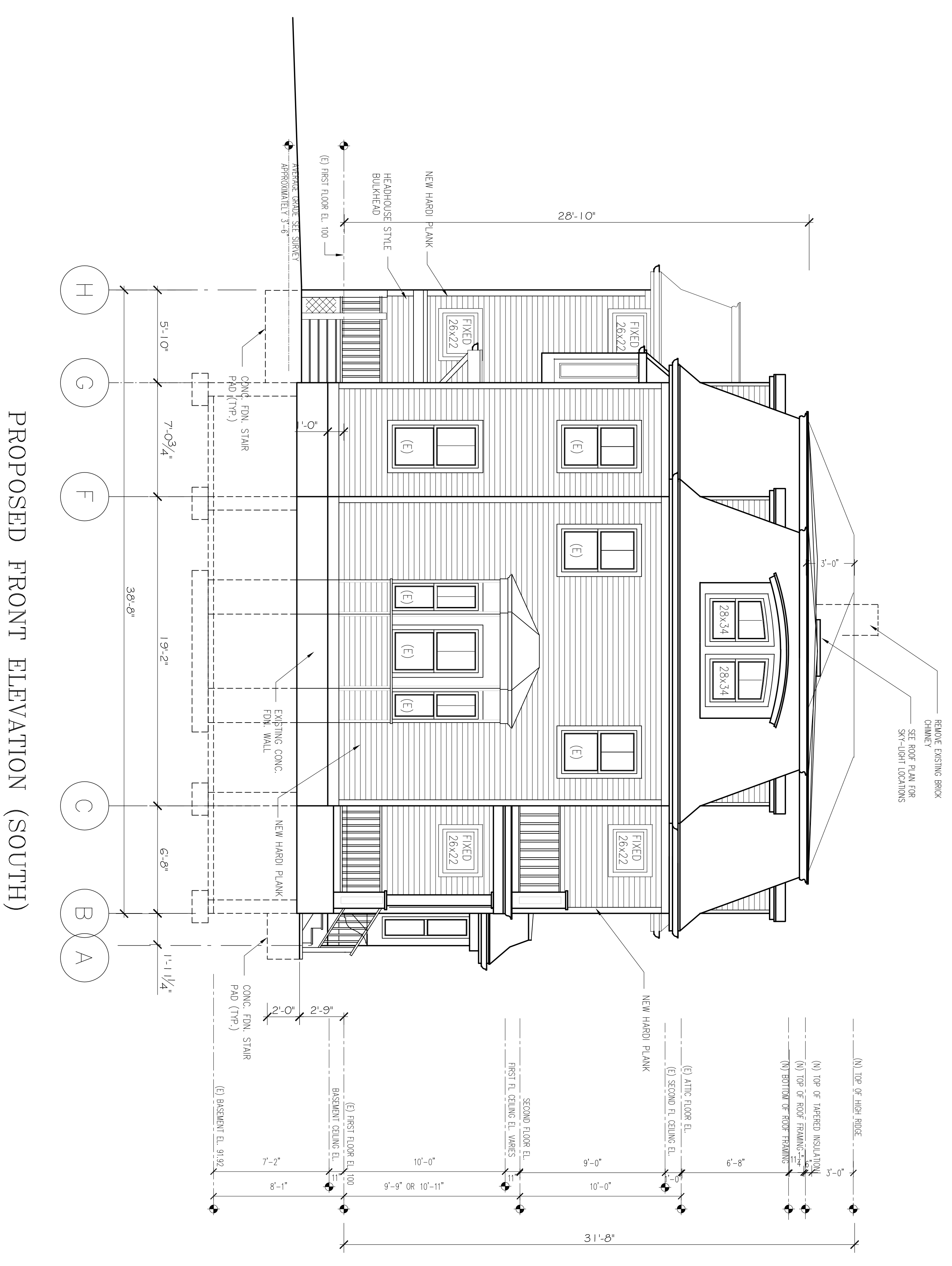
**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	APRIL 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REV:	06/2014 JLS/MS 08/2014 JLS/MS 11/2014 JLS/MS 02/2015 JLS/MS

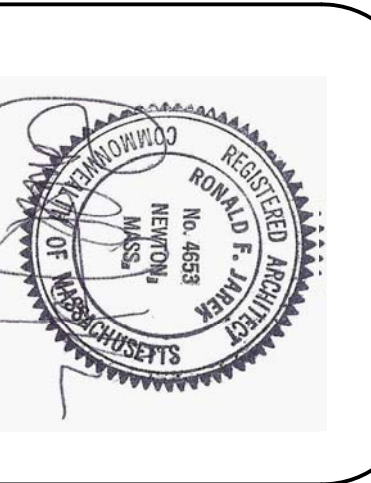


**PROPOSED ROOF PLAN**  
 1/4" = 1'-0"





PROPOSED FRONT ELEVATION (SOUTH)  
 1/4" = 1'-0"



PROPOSED FRONT ELEVATION  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

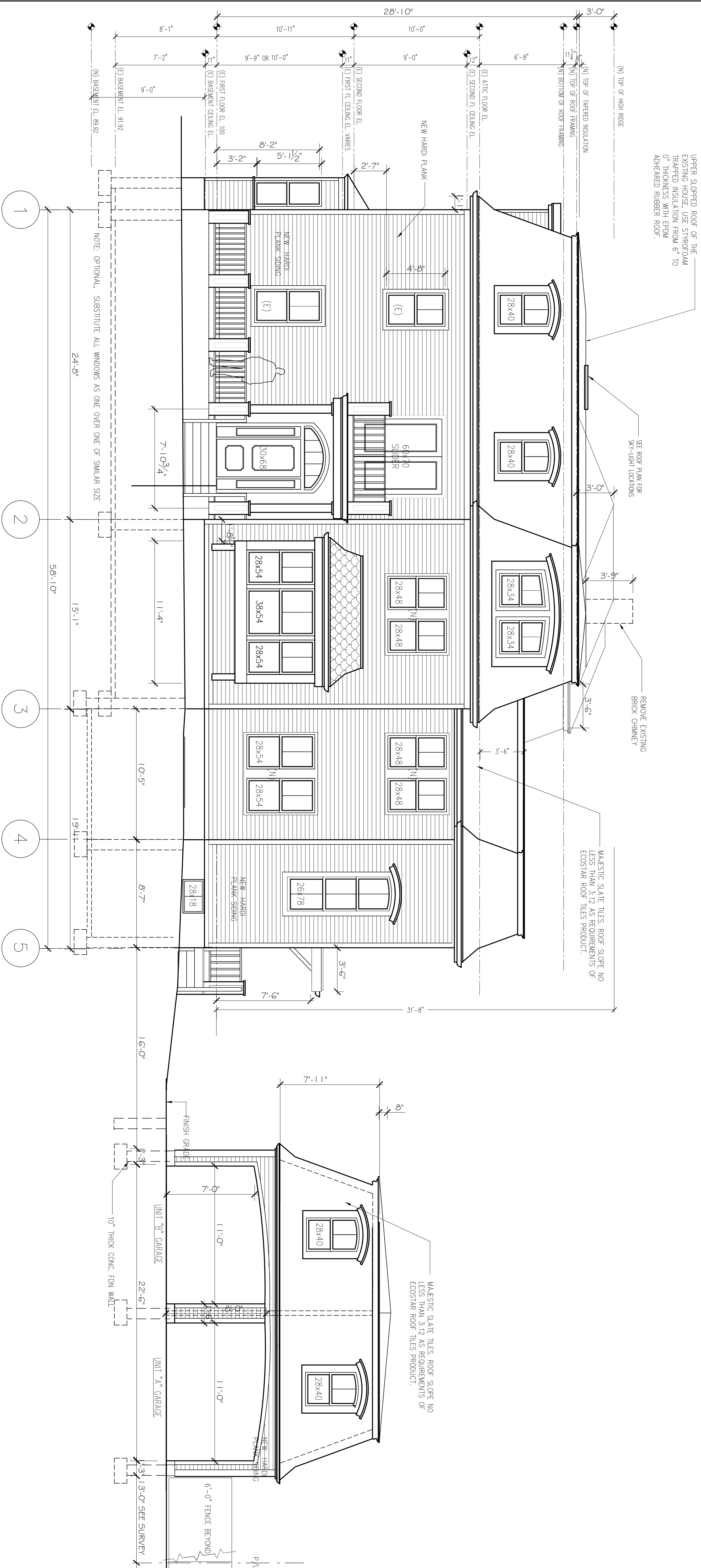
DATE: AUGUST 2014

SCALE: AS SHOWN

DRAWN BY: NJH

CHECKED BY: NJ

REV: 06/2014 JAS/BJ  
 11/2013 JAS/BJ  
 11/2013 JAS/BJ



PROPOSED RIGHT SIDE ELEVATION (EAST)  
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

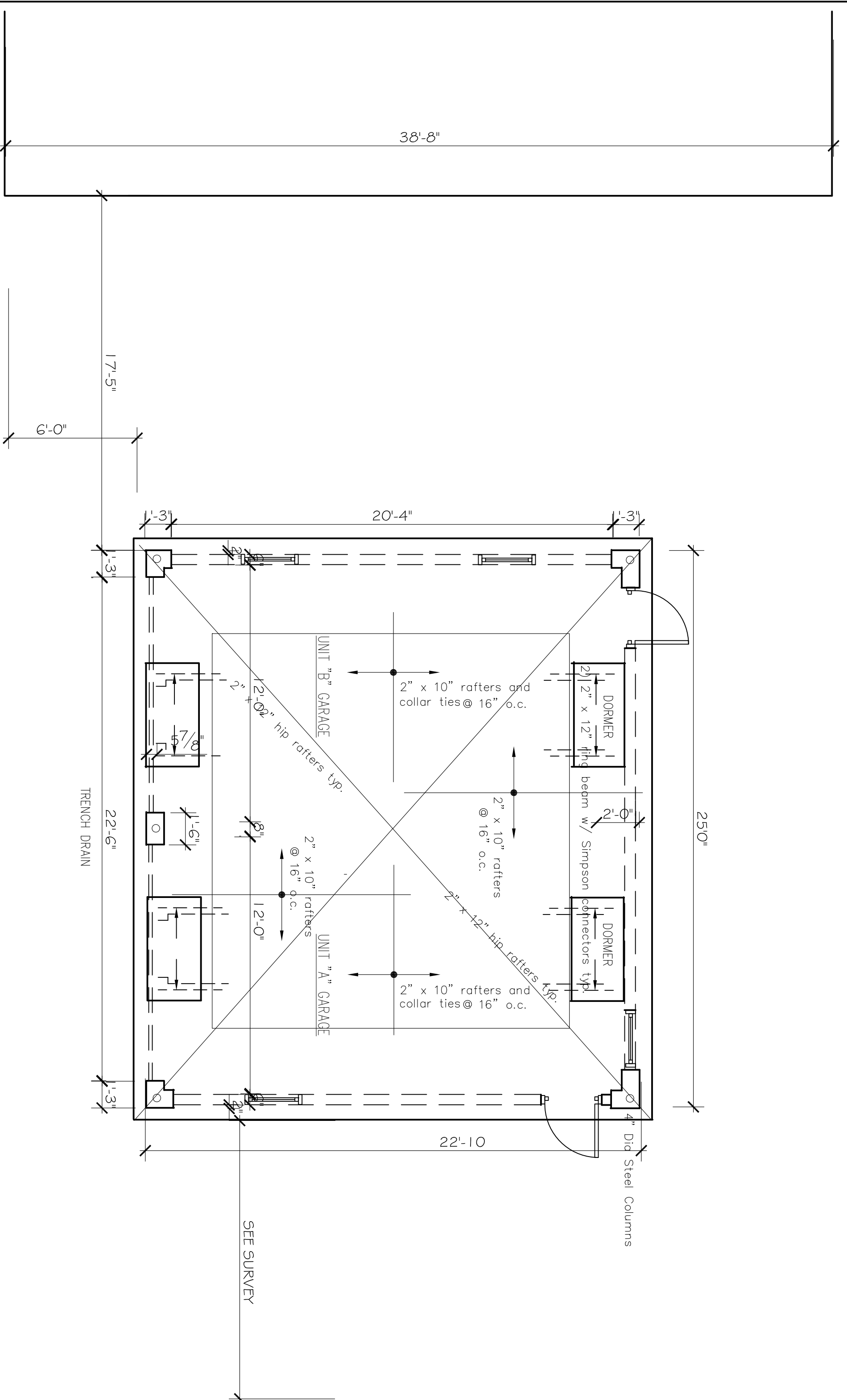
143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

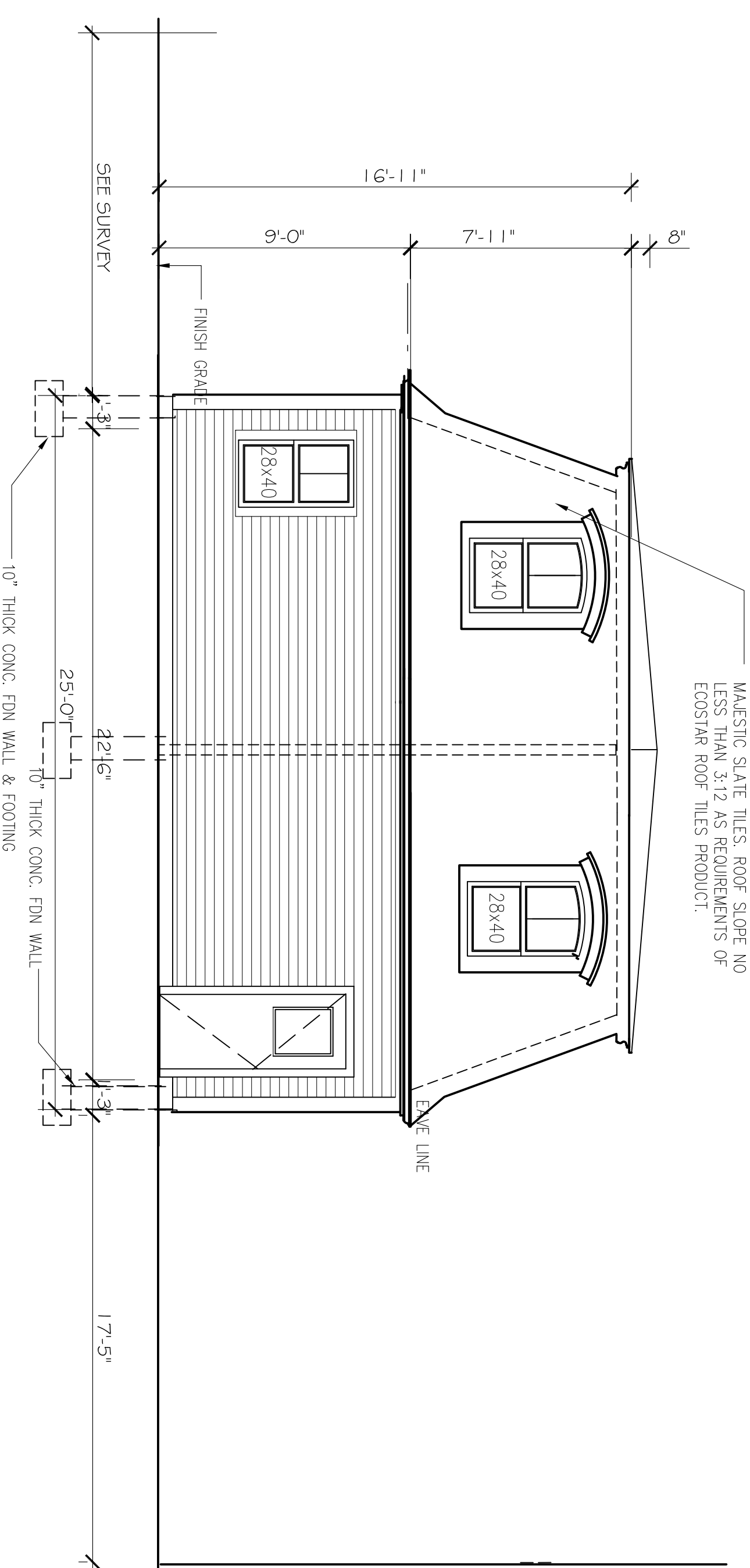
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE	APPROVED BY SHM
SCALE	AS NOTED
ARCHITECT	R.F.J.
DATE	12/2014
PROJECT	2 FAMILY RESIDENCE - 143 LINCOLN STREET, NEWTON CENTER, MA 02461



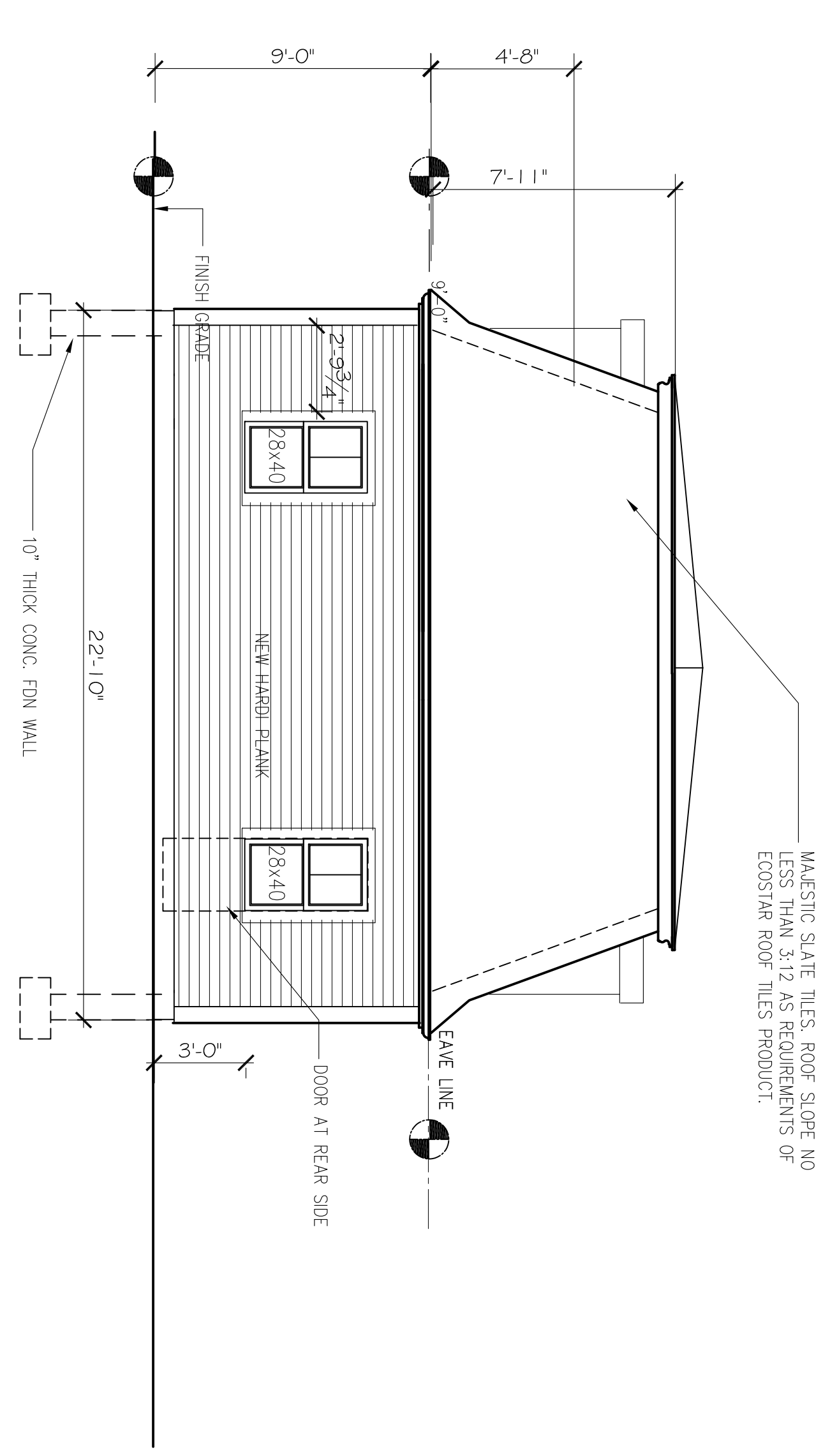
PROPOSED GARAGE ROOF PLAN

1/4" = 1'-0"



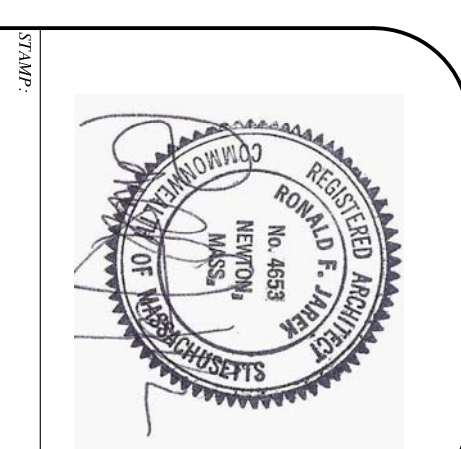
PROPOSED GARAGE LEFT SIDE ELEVATION

1/4" = 1'-0"



PROPOSED GARAGE FRONT & REAR SIDE ELEVATION

1/4" = 1'-0"



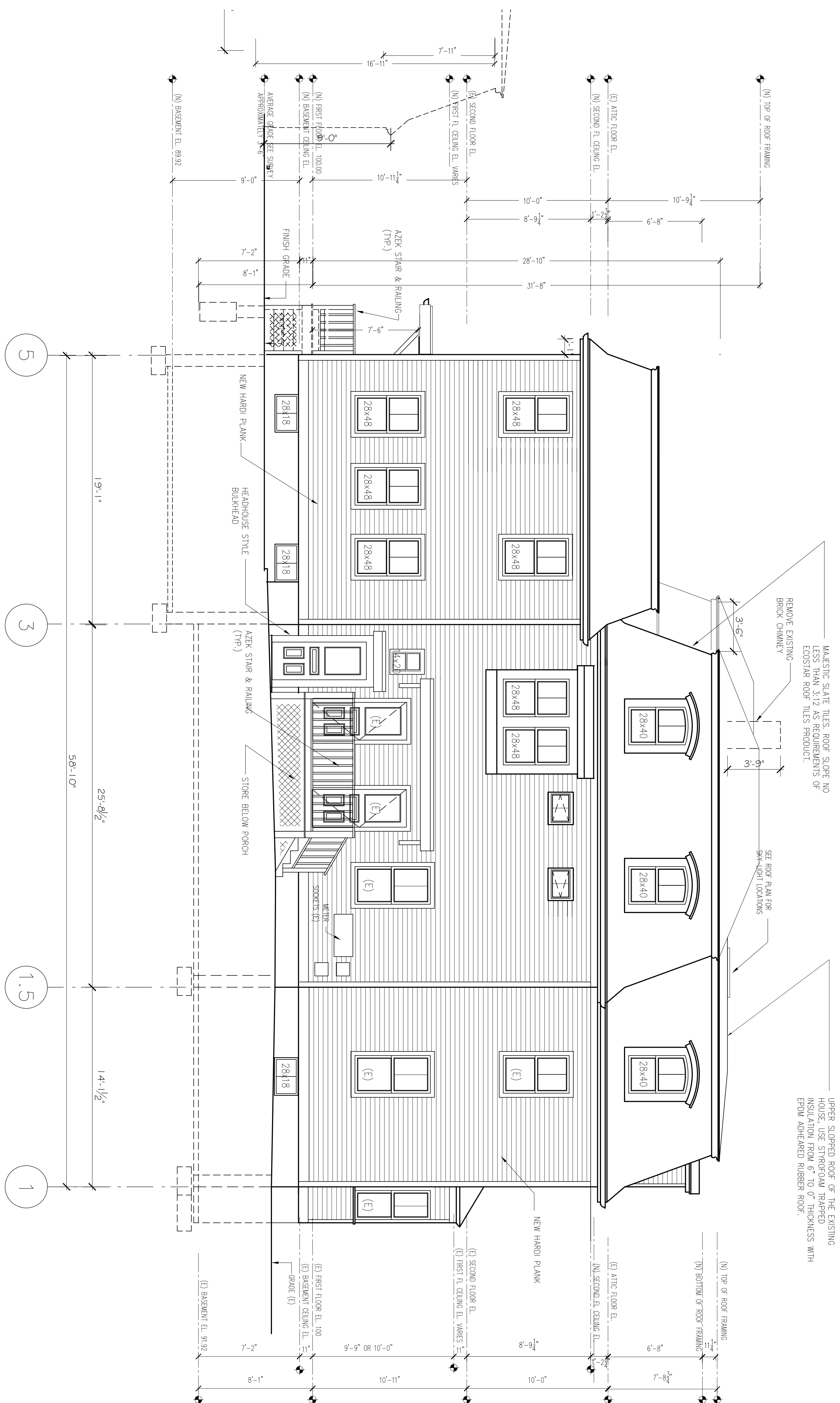
PROPOSED PLAN & ELEVATION

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461  
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

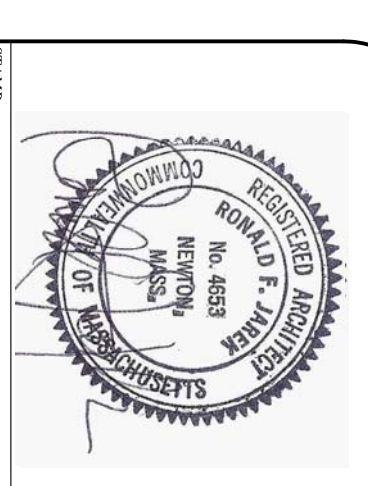
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE	APPROVED BY SH#4
SCALE	AS NOTED
ARCHITECT	R.F.J.
DATE	10/20/2018
PROJECT	2 FAMILY RESIDENCE - 143 LINCOLN STREET, NEWTON CENTER, MA 02461



PROPOSED LEFT SIDE ELEVATION (WEST)

1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE: AUGUST 14, 2014

SCALE: AS SHOWN

DRAWN BY: NJA

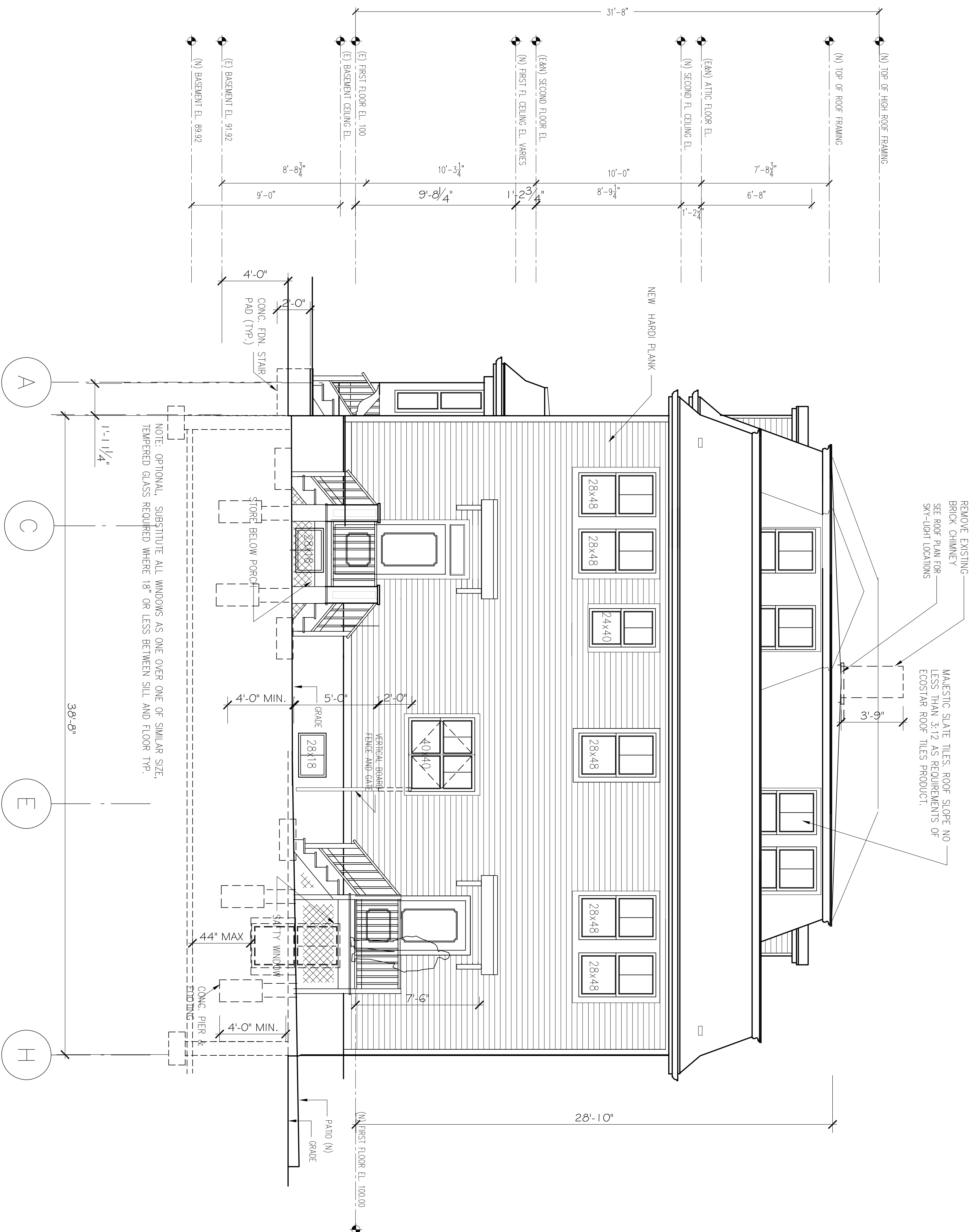
CHECKED BY: NJA

NO. 4853

STATE OF MASSACHUSETTS

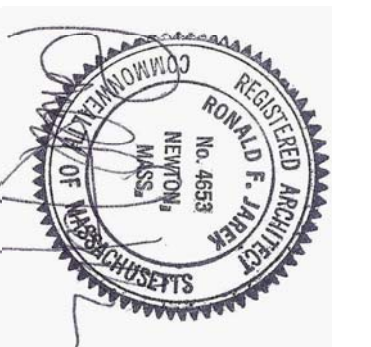
REGISTERED PROFESSIONAL ARCHITECT

RONALD F. JAREK



PROPOSED REAR ELEVATION (NORTH)

1/4" = 1'-0"



PROPOSED REAR ELEVATION

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

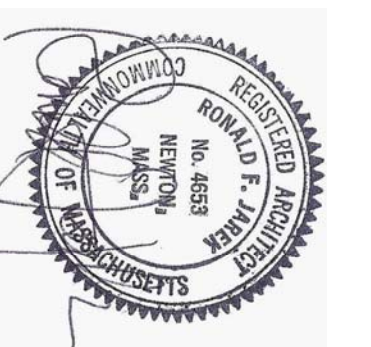
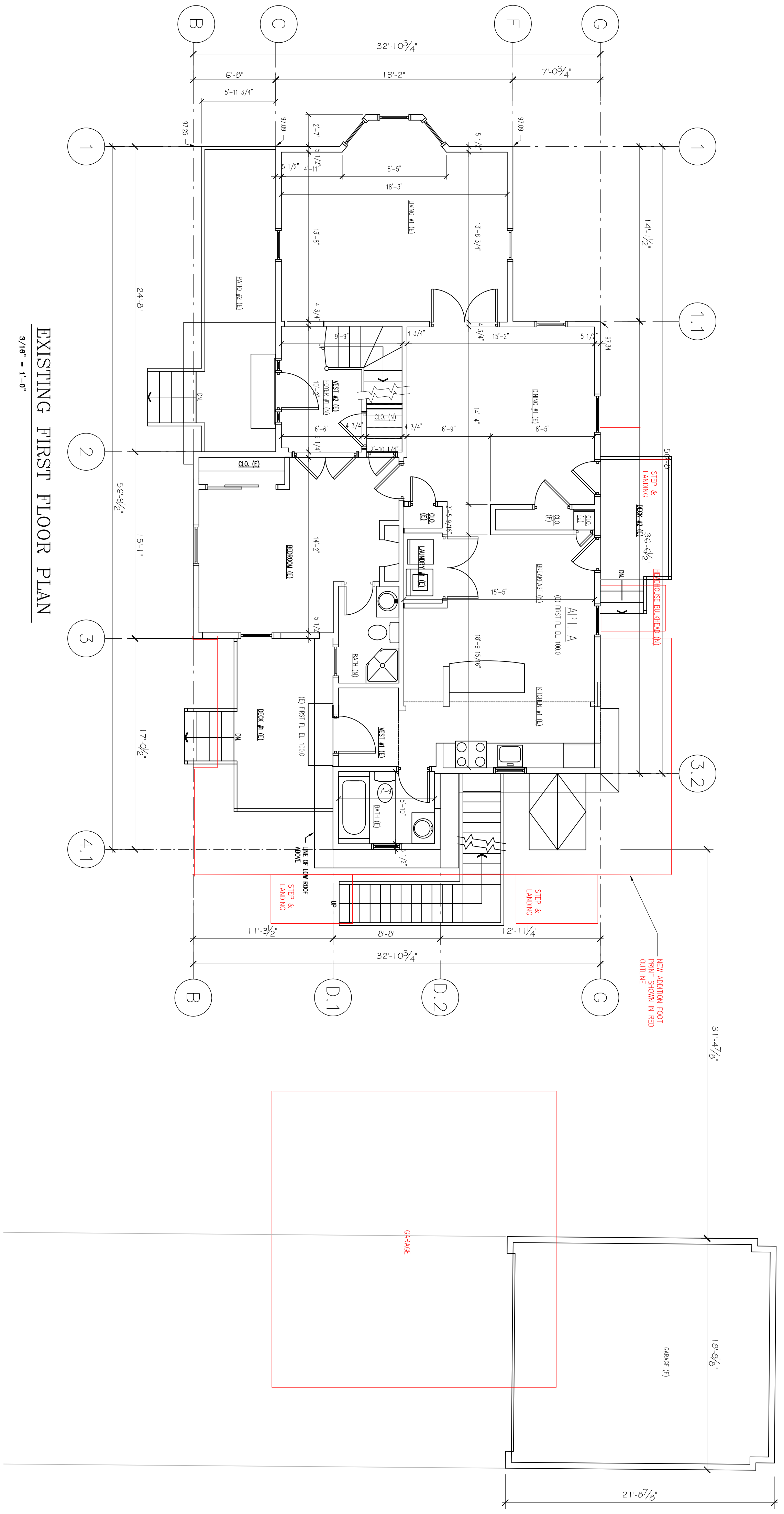
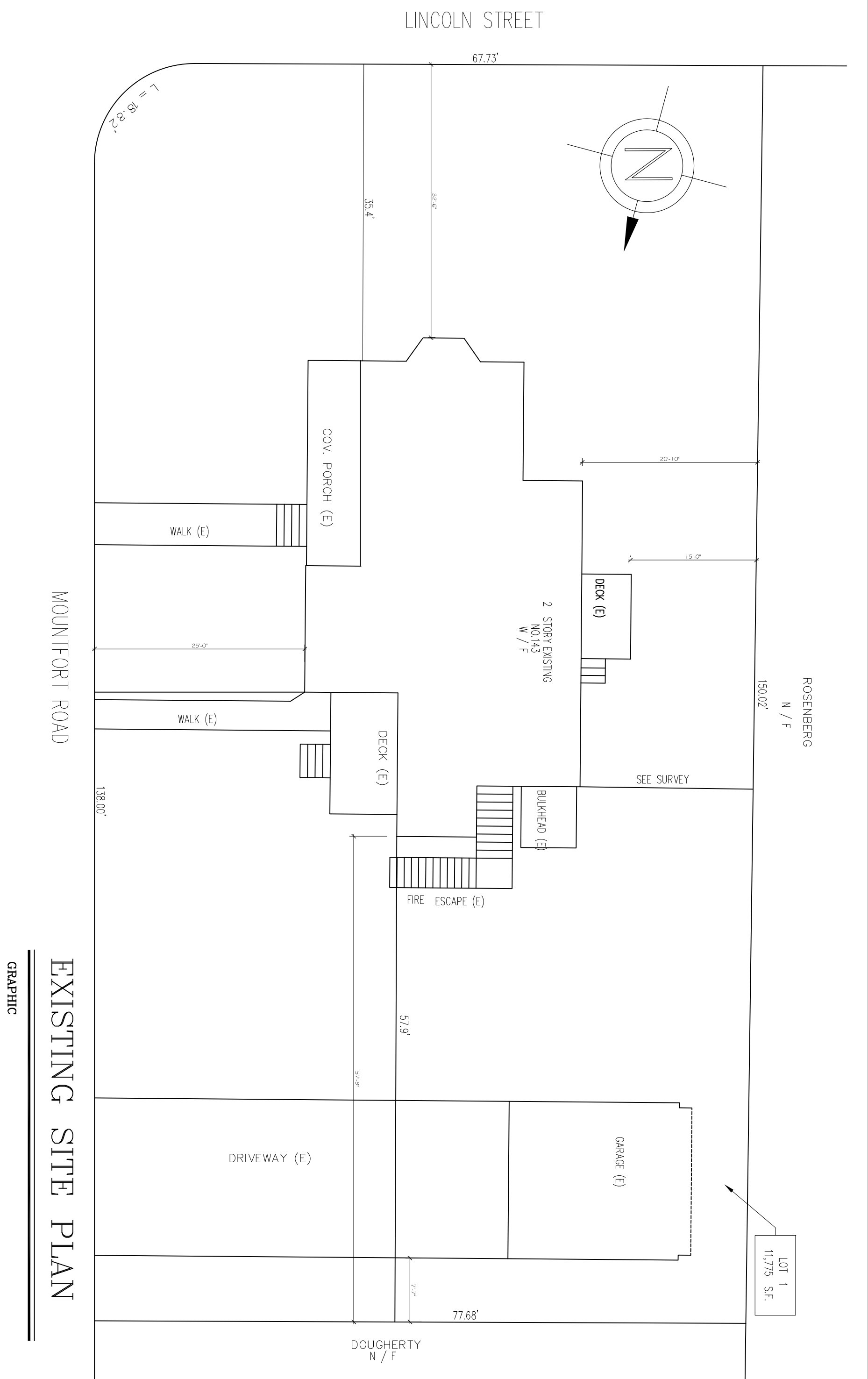
DATE: AUGUST 2014

SCALE: AS SHOWN

DRAWN BY: NJH

CHECKED BY: NJ

REV: 04/2014 JAS/STP  
06/2014 JAS/STP  
07/2014 JAS/STP



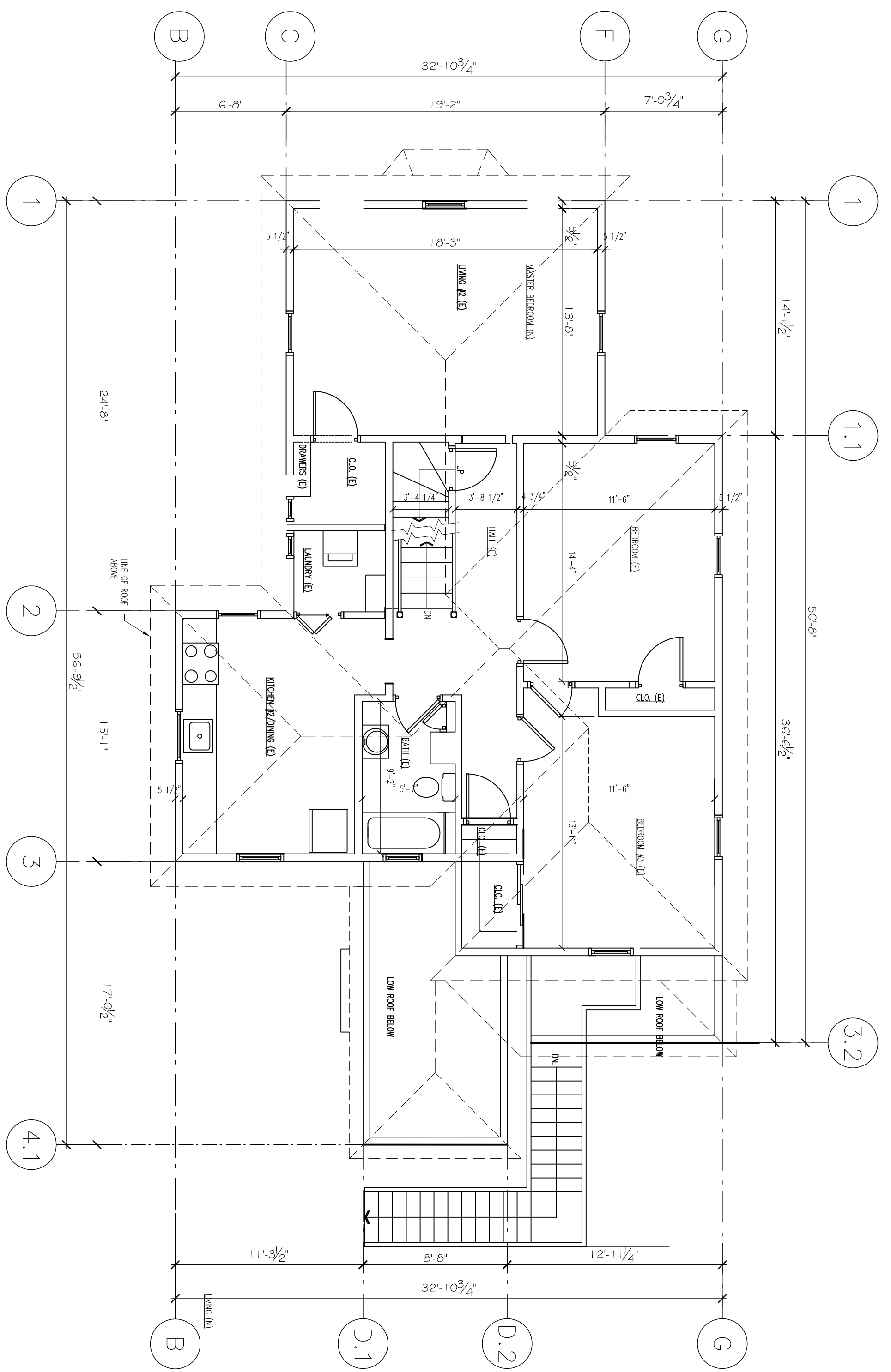
EXISTING FIRST FLOOR PLAN W/ EXP. OUTLINE  
143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461  
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

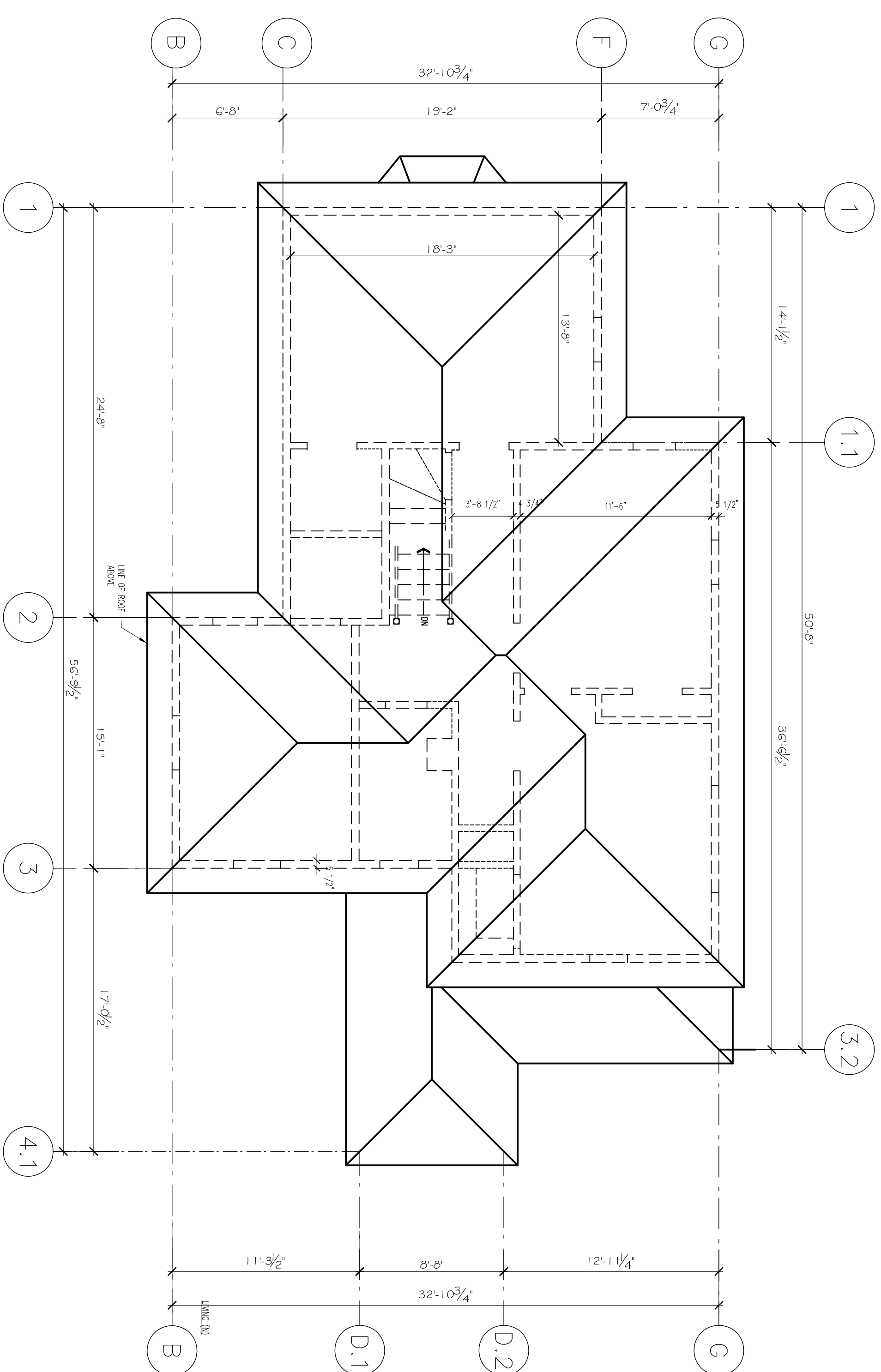
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE: MAY 24, 2014  
SCALE: AS SHOWN  
DRAWN BY: NCH  
CHECKED BY: RJ  
PROJECT: 143 LINCOLN STREET  
143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

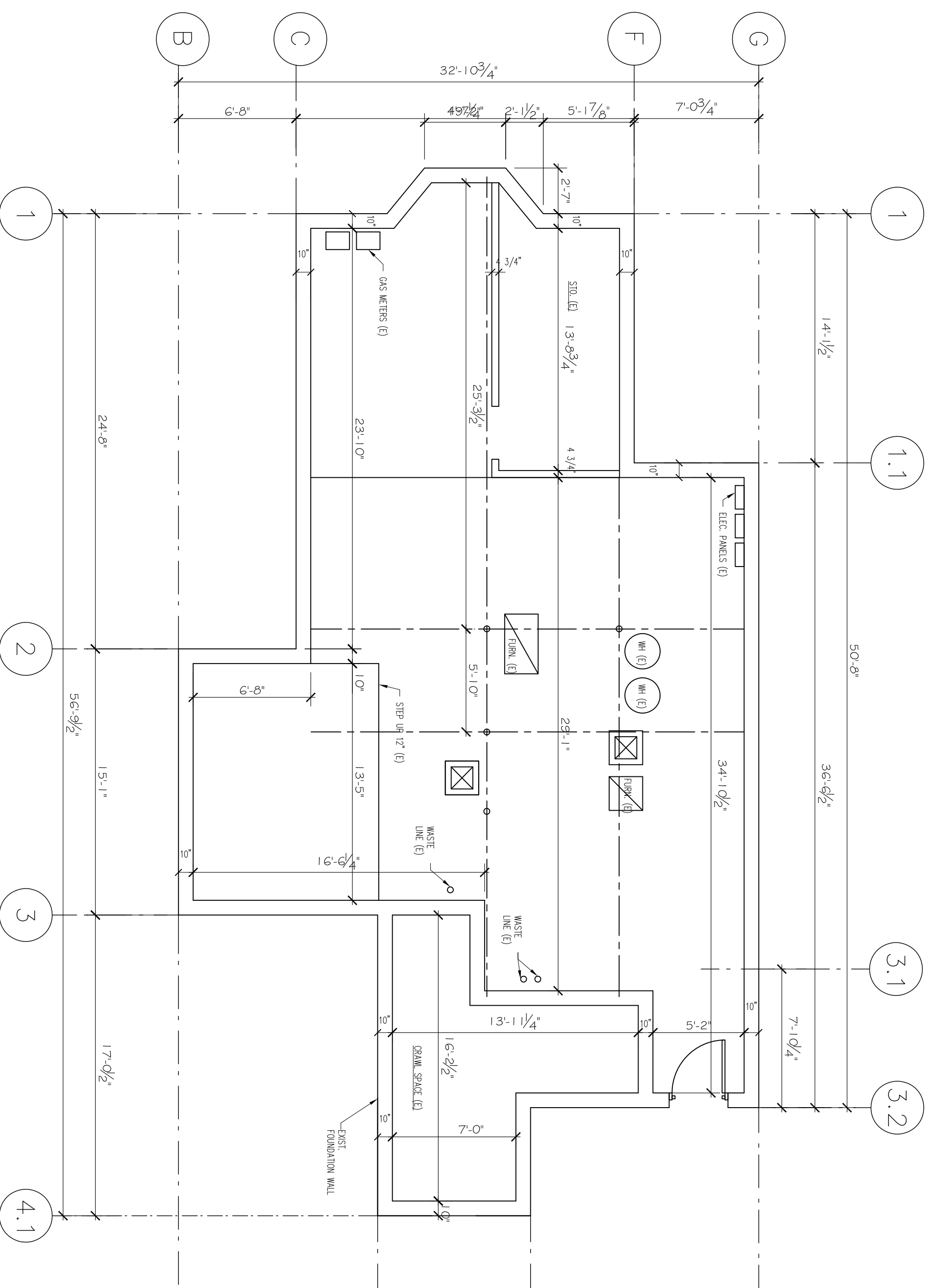
**EX-1**



EXISTING SECOND FLOOR PLAN  
3/16" = 1'-0"



EXISTING ROOF PLAN  
3/16" = 1'-0"



EXISTING BASEMENT FLOOR PLAN  
3/16" = 1'-0"



EXISTING SECOND, BASEMENT & ROOF PLANS

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

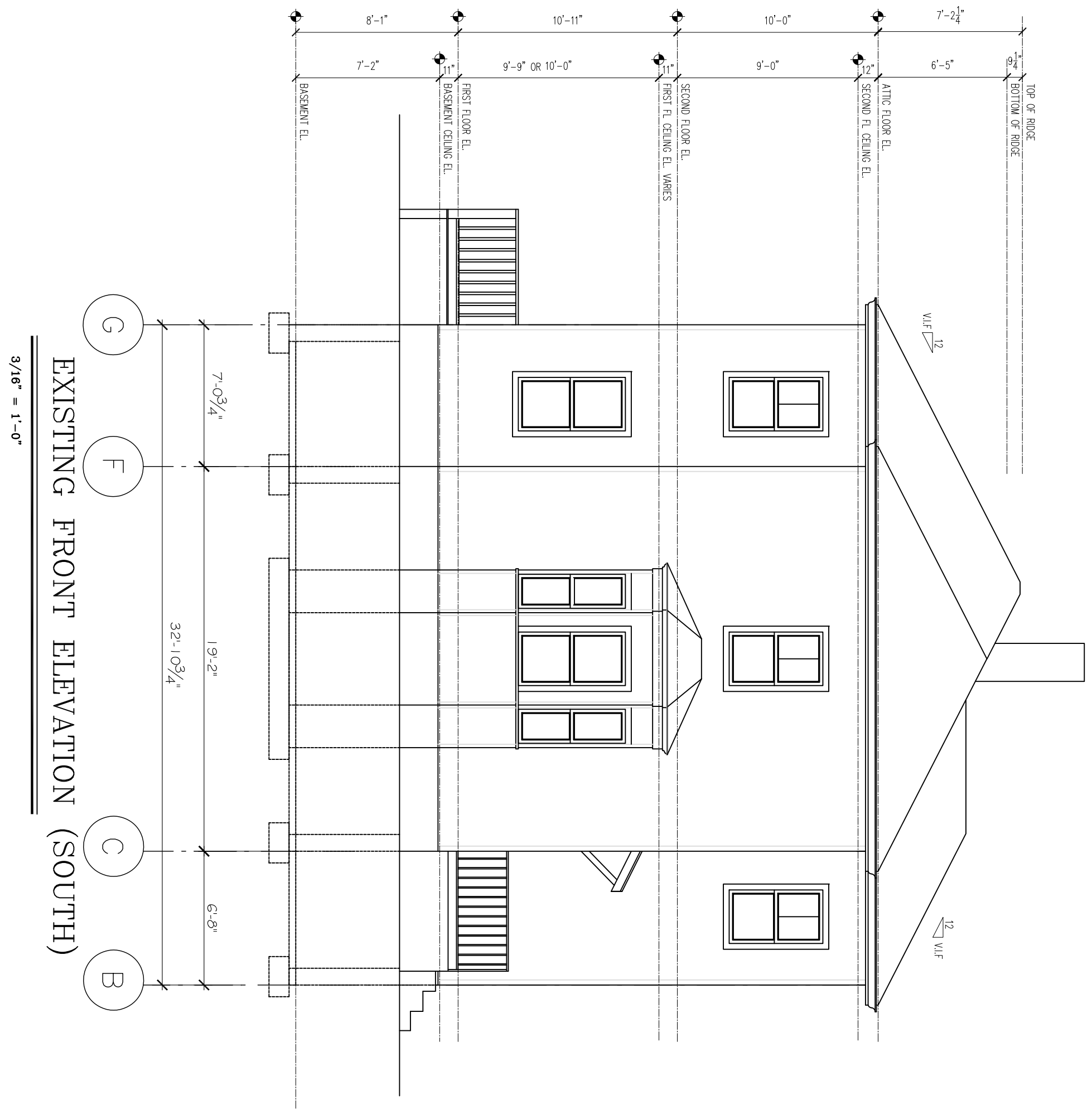
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

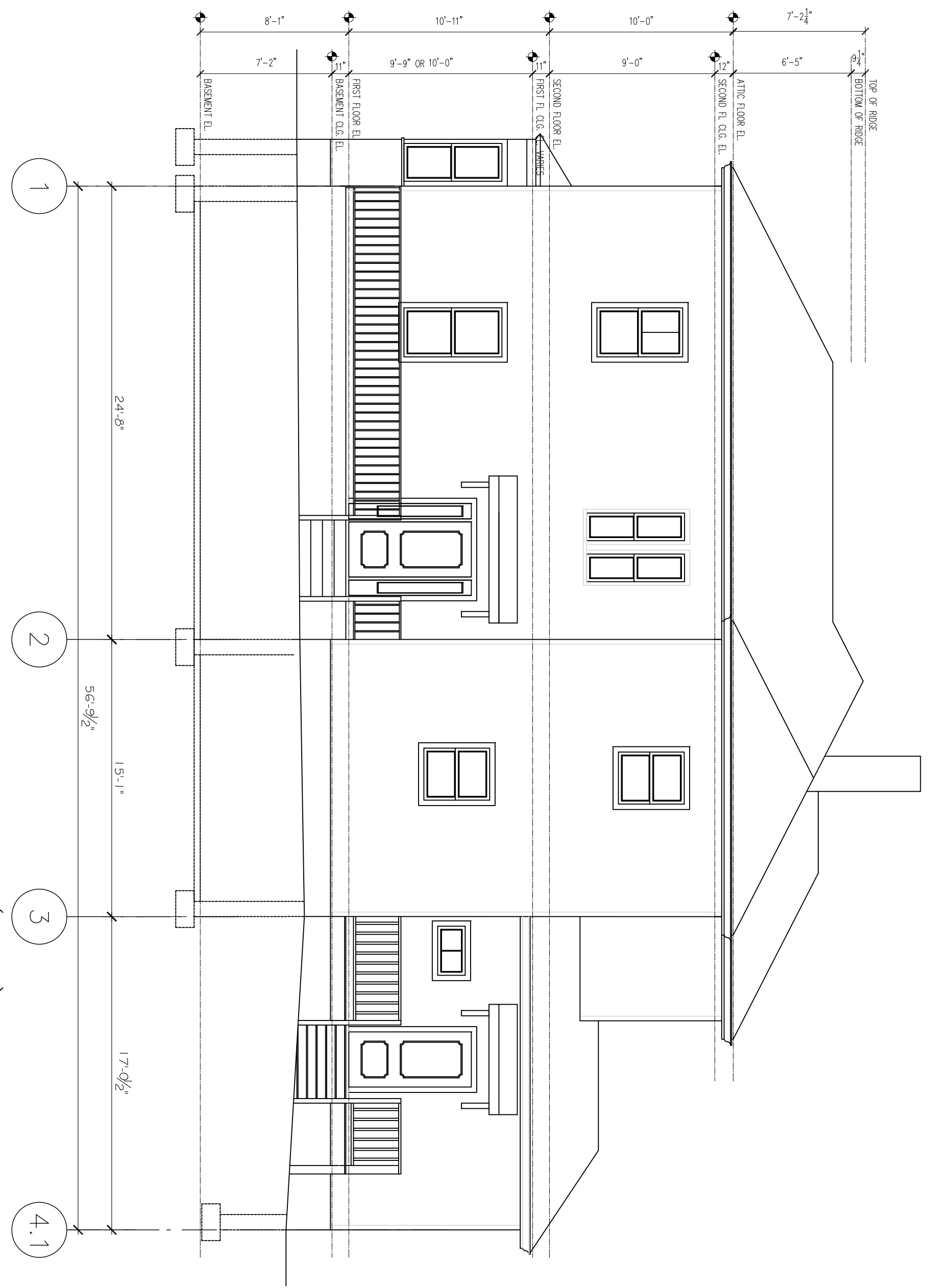
DATE:	MAY 21, 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REVISION DATE:	NOV 20, 2014

EX-2

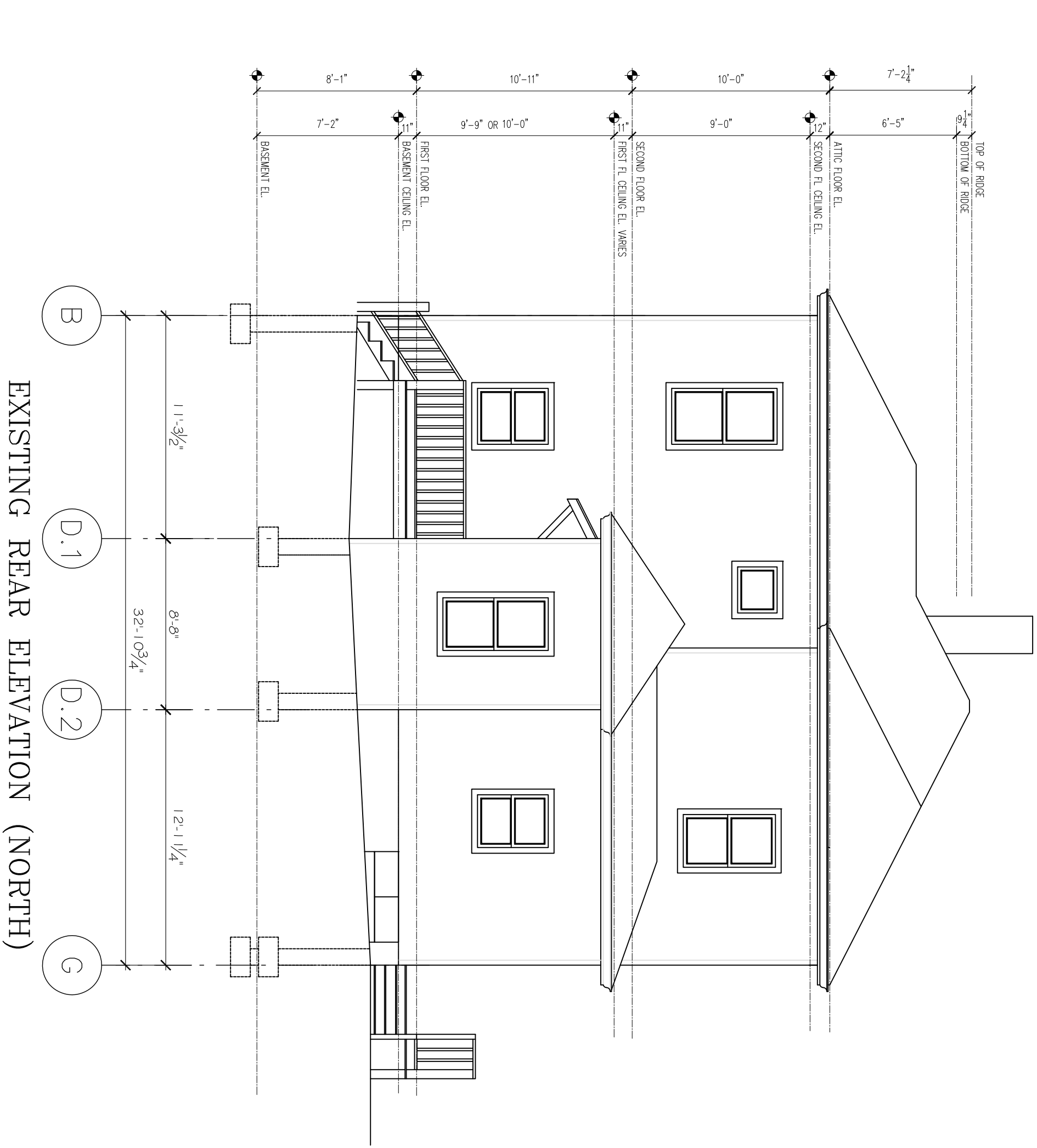




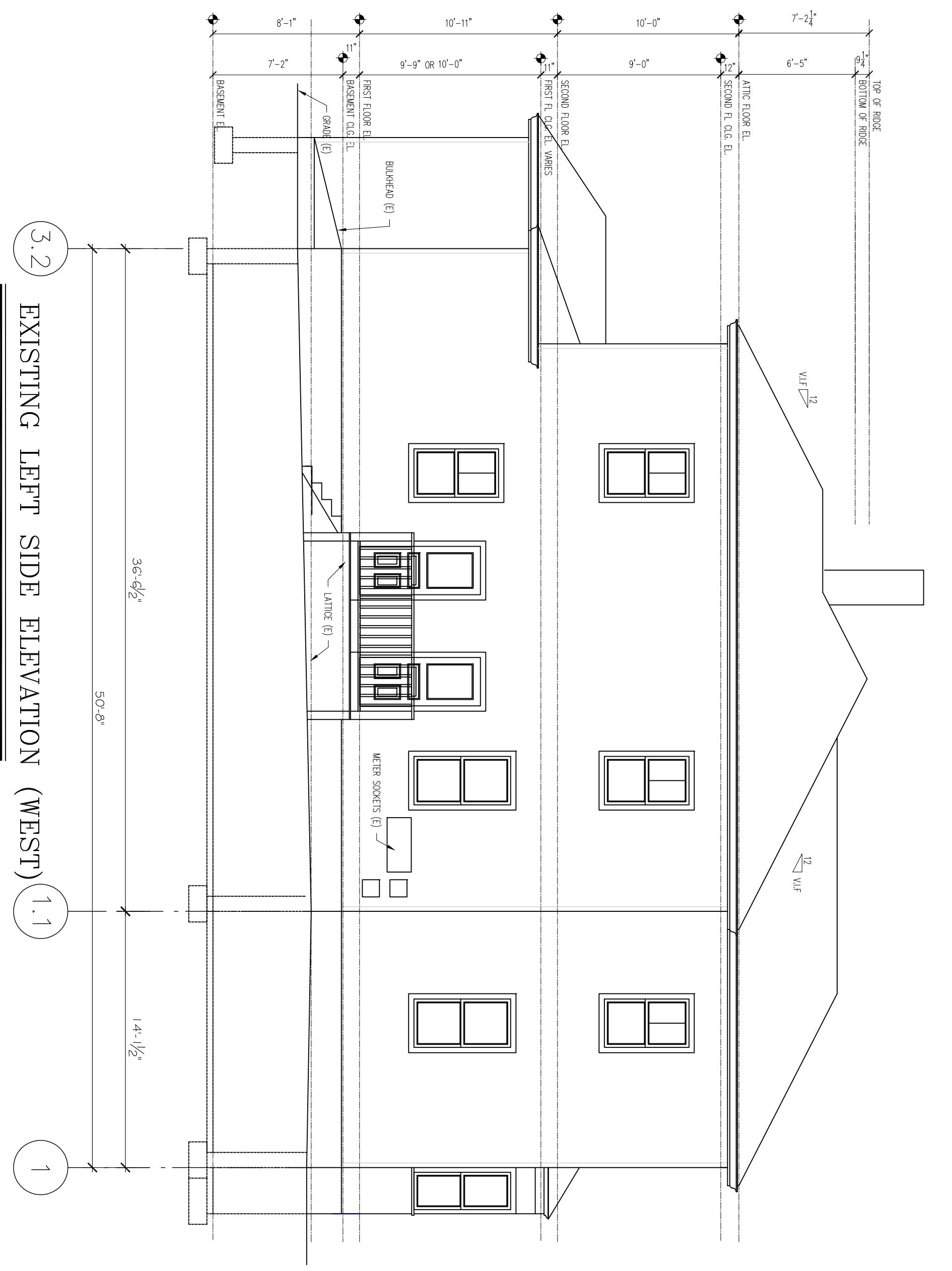
EXISTING FRONT ELEVATION (SOUTH)  
 3/16" = 1'-0"



EXISTING RIGHT SIDE ELEVATION (EAST)  
 3/16" = 1'-0"



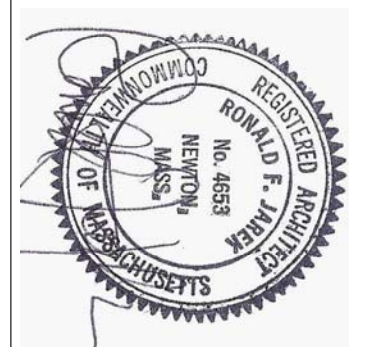
EXISTING REAR ELEVATION (NORTH)  
 3/16" = 1'-0"



EXISTING LEFT SIDE ELEVATION (WEST) 1.1  
 3/16" = 1'-0"

EXISTING ELEVATIONS

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461



PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	MAY 24, 2014
SCALE:	AS SHOWN
DRAWN BY:	NJH
CHECKED BY:	RJ
PROJECT DATE:	NOVEMBER 14, 2013
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