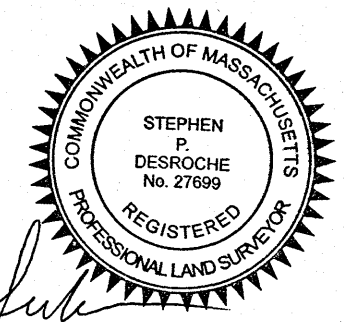


SITE PLAN
 SHOWING
 EXISTING CONDITIONS
 AT
 143 LINCOLN STREET
 IN
 NEWTON, MASS.

PREPARED FOR:
 ARMAN CHITCHIAN

PREPARED BY:
 NEPONSET VALLEY SURVEY ASSOC., INC.
 95 WHITE STREET
 QUINCY, MA 02169

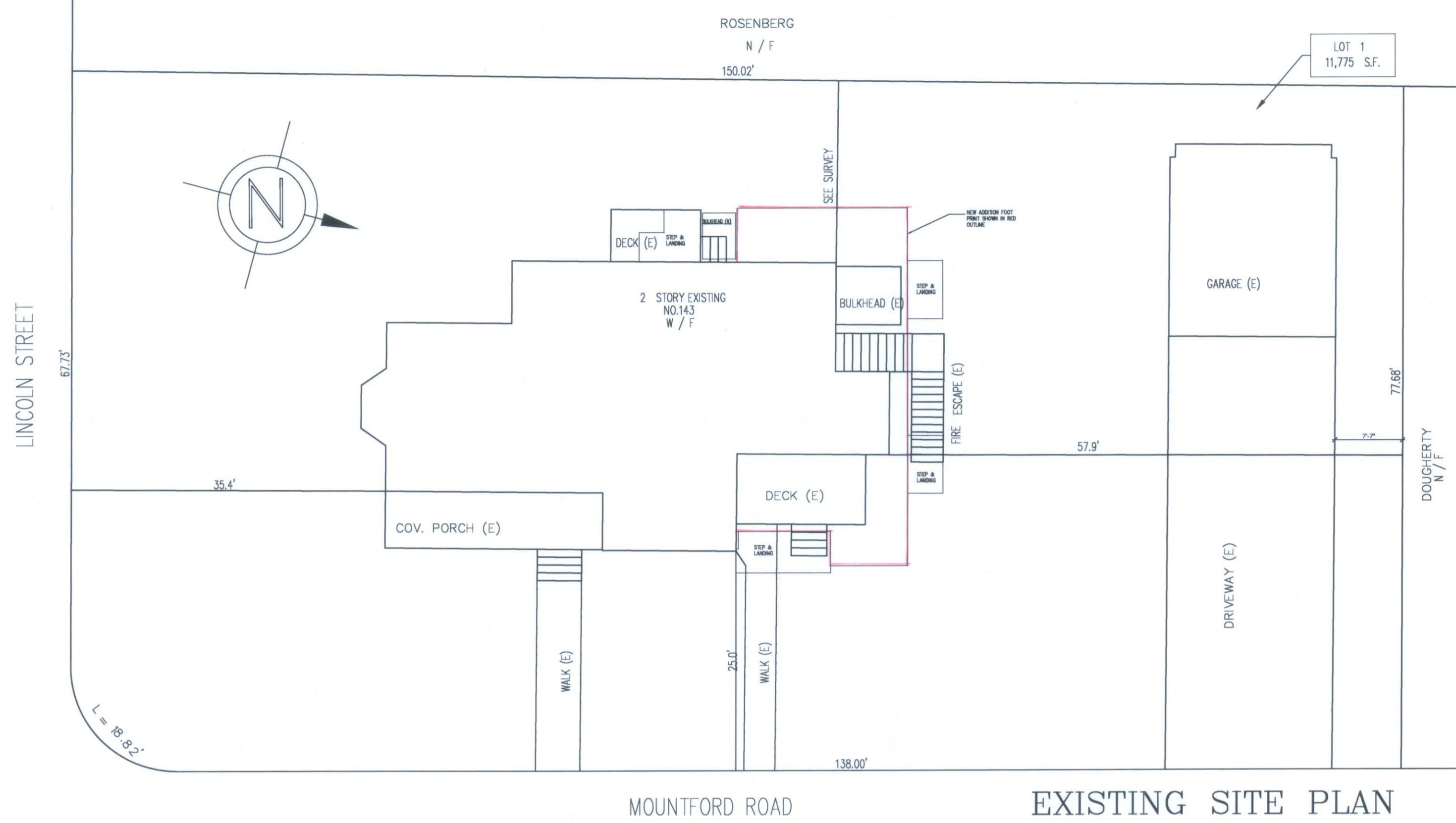
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 DATE: OCTOBER 15, 2014



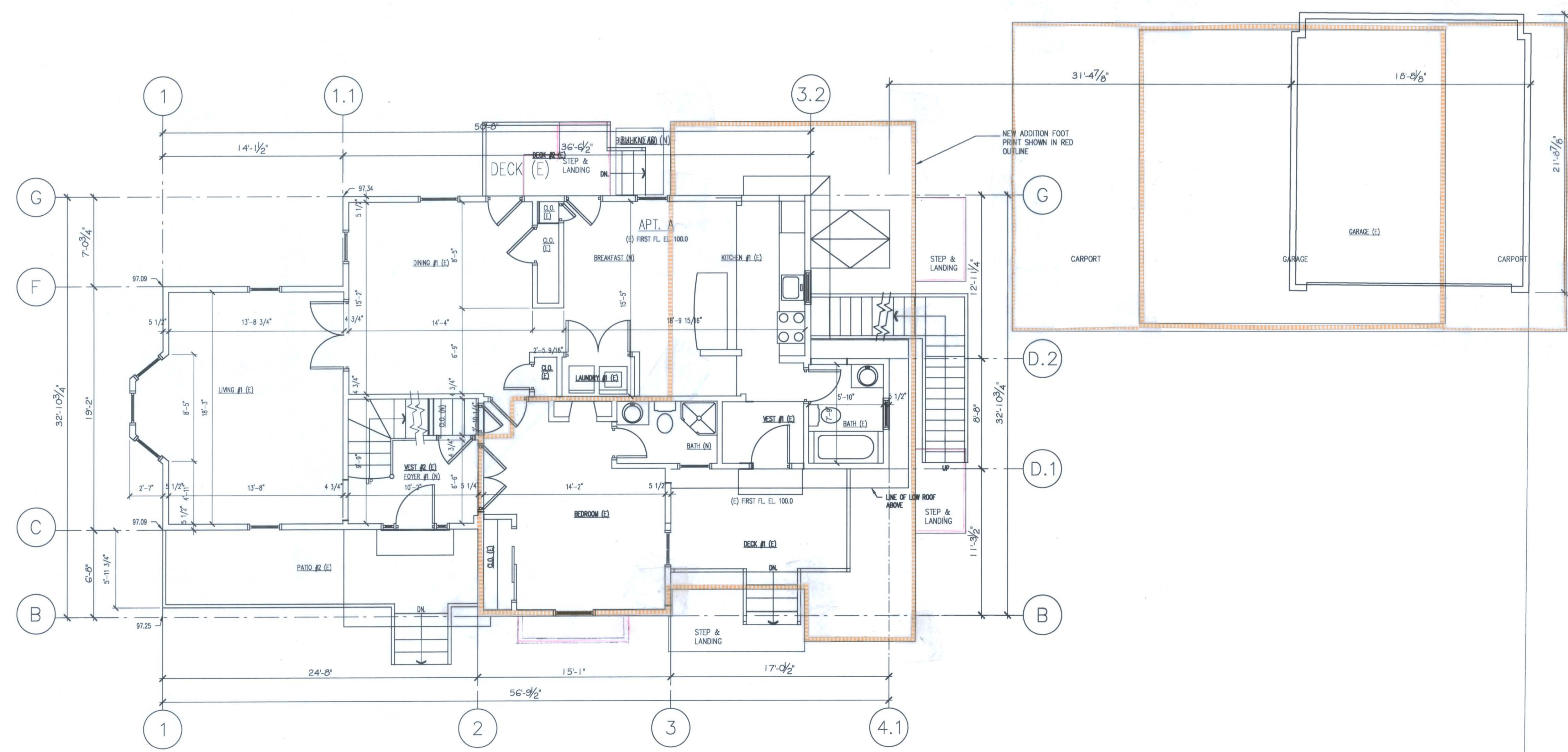
Stephen P. Desroche
 STEPHEN P. DESROCHE PLS No. 27699

LINCOLN STREET

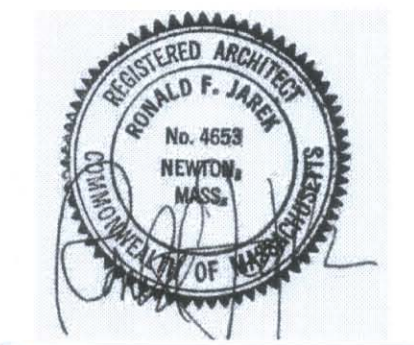
ROAD
 MOUNTFORT



EXISTING SITE PLAN
3/32" = 1'-0"



EXISTING FIRST FLOOR PLAN **NEW UNIT IN RED**
3/16" = 1'-0"



EXISTING FIRST FLOOR PLAN

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON CENTER, MA 02461

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE: MAY 24, 2014
SCALE: AS NOTED
DRAWN BY: N.G.H.
CHECKED BY: R.J.
ISSUED DATE: 9-9-2014
10-9-2014
1-19-2015

143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

CLIENT: ARMAN CHITICHIAN
79 BRANDEIS ROAD
NEWTON CENTER, MA 02459

EX-1, Prop
Overlay

SEGMENT	L	E1	E2	F1+E2/L	XL
1	41.4	96.7	96.02	96.36	3989.30
2	27.3	92.06	92.06	92.06	2513.24
3	10	96.02	97.3	96.65	966.60
4	13.3	97.3	97.3	97.3	1294.09
5	7.5	97.3	97.7	97.25	709.93
6	15.08	97.7	97.25	97.28	1465.98
7	7.3	97.25	97.5	97.38	710.87
8	24.49	97.5	97.09	97.30	2382.88
9	19.24	97.09	97.09	97.09	1868.01
10	14.10	97.09	97.7	97.40	1313.44
11	7.10	97.7	97.6	97.65	693.32
12	28.69	97.6	97.7	97.65	2801.58
13	5.8	97.7	97.7	97.7	565.68
14	37.4	97.7	96.7	97.20	3635.28
TOTAL	258.5				24972.06
24972.06/258.5 = 96.60					
PROPOSED MEAN AVG. GRADE = 96.60					

HIGHEST RIDGE EL. = 129.84'
 ATTAIC F. EL. = 121.92'
 PROP. 2ND F. EL. = 111.92'
 PROP. F.F. EL. = 100.00
 AVG. GRADE = 96.60
 EXIST. BSMNT = 91.92'
 ADDITION BSMNT = 89.92'

PROP. DWELLING HEIGHT CALCULATION

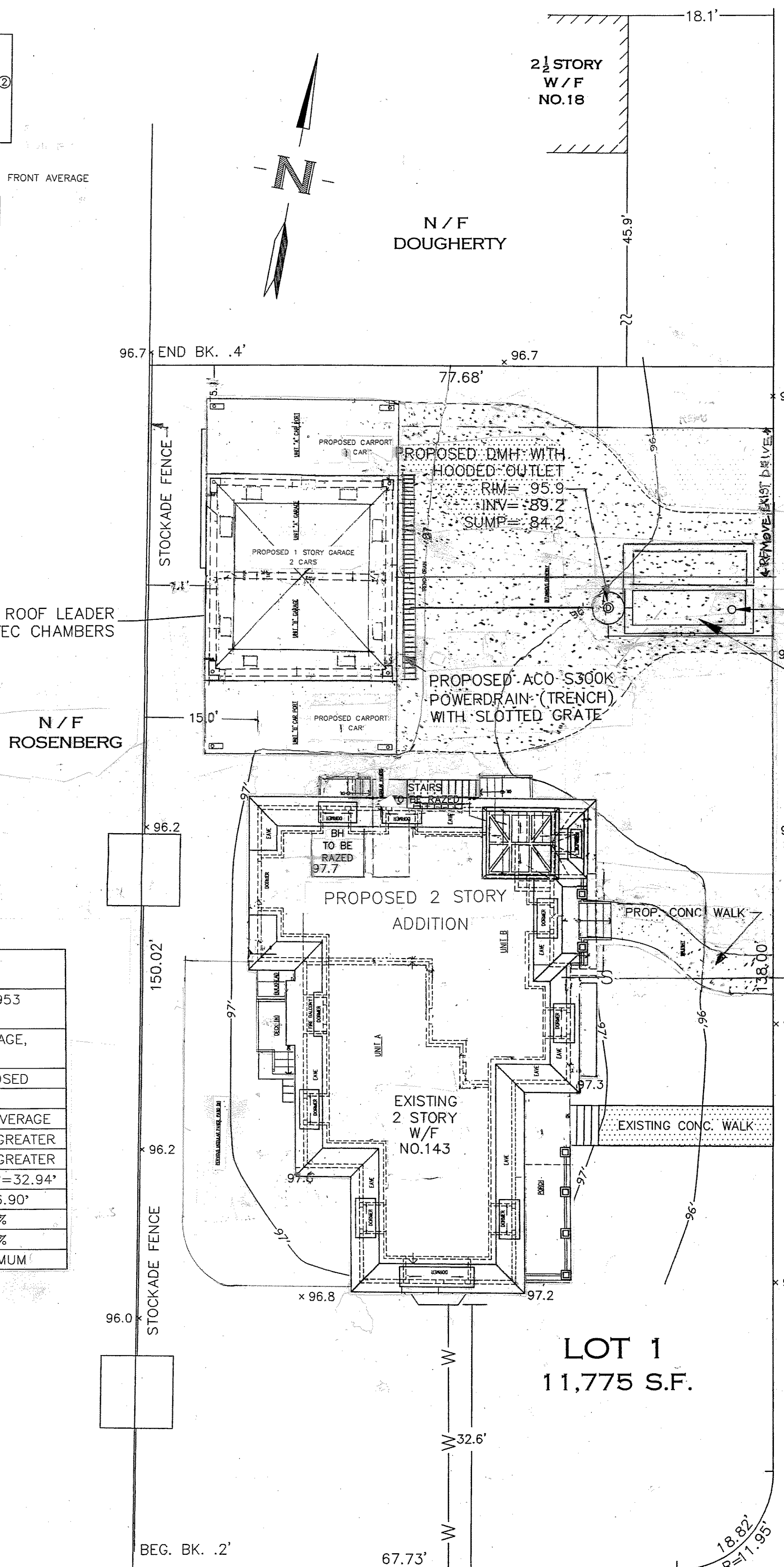
ZONING CHART NEWTON, MASSACHUSETTS			
SR-2 ZONE, ALLOWABLE FAR = 0.36, OLD LOT PRE 12/7/1953			
11,775 SQFT LOT, 4,239SF ALLOWED, 4,175SF PROPOSED			
CORNER OLD LOT SETBACKS = 2 FRONTS @ 25.0' OR AVERAGE, 1 SIDE @ 15.0' & 1 REAR @ 15.0'			
	REQUIRED	EXISTING	PROPOSED
FRONTAGE	80.0'	80.0' & 138.0'	NC
FRONT	25.0'	32.6' & 25.0'	NC OR AVERAGE
SIDE	15.0'	15' OR GREATER	*15' OR GREATER
REAR	15.0'	15' OR GREATER	*15' OR GREATER
HEIGHT	36.0' OR LESS	-	EL. 129.84' = 32.94'
AVG GRADE	-	-	EL. 96.90'
LOT COVERAGE	30%	-	27%
OPEN SPACE	50%	-	52%
*GARAGE	FRONT, REAR OR SIDE SETBACK 5.0' MINIMUM		

DEEP OBSERVATION HOLE DATA

TP#	NO GROUNDWATER ENCOUNTERED	DEPTH	TP#
1	NO MOTTLES	0'	1
		10 YR 3/2	
		12'	
		10 YR 6/6	
		25'	
		2.5Y 5/4	
		MED. SAND	
		110'	
		NO GROUNDWATER ENCOUNTERED	

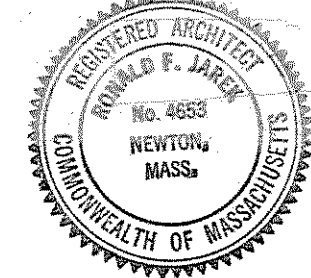
PERCOLATION TEST DATA

HOLE: TP-1
 DEPTH: 34"
 RATE: < 2MPI
 DATE: SEPTEMBER 7, 2011
 BY: STEPHEN B. NELSON, REHS/RS

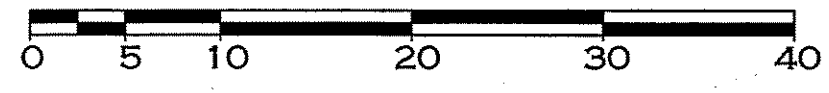


LINCOLN STREET

MOUNTFORT

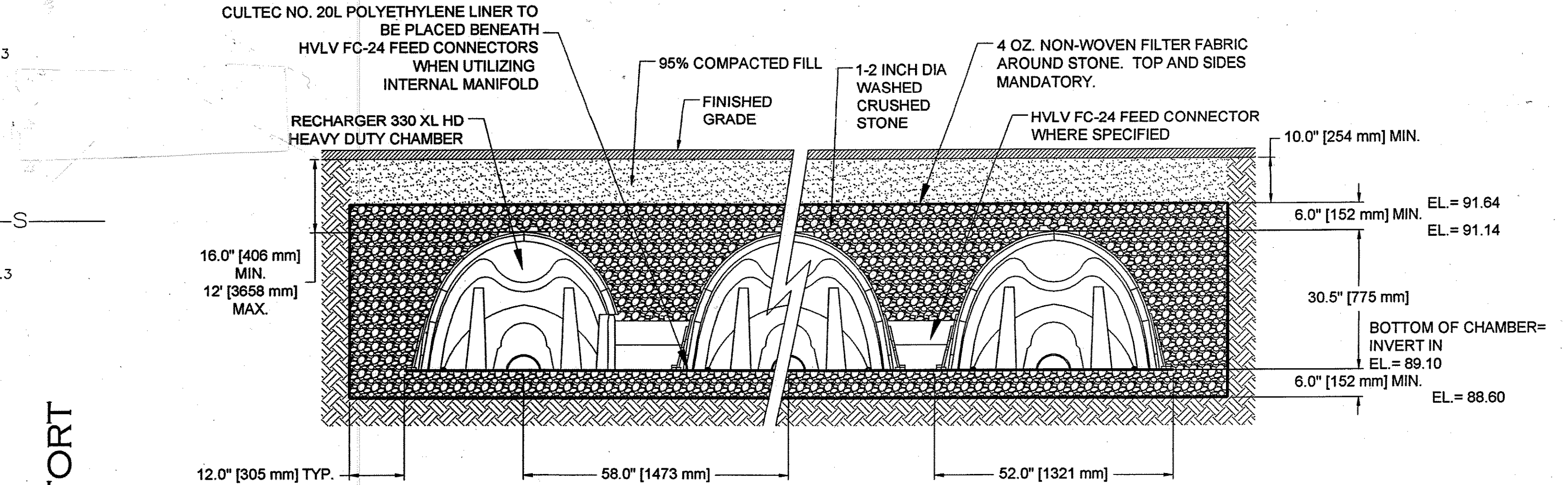
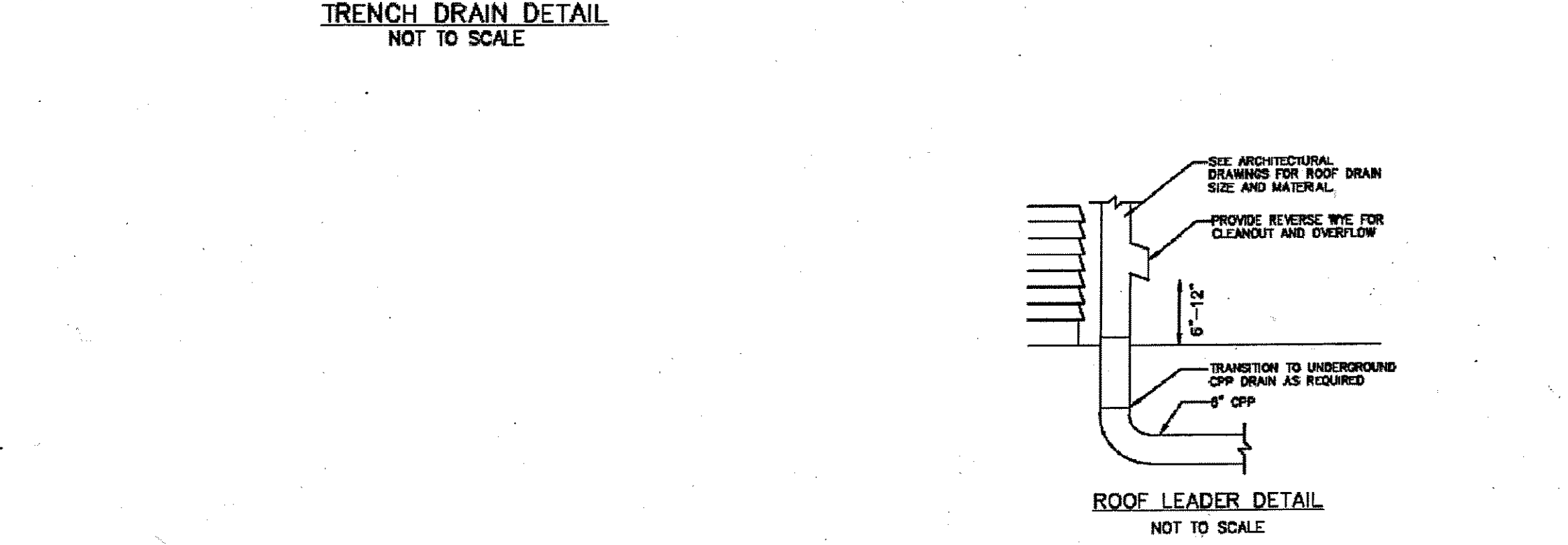
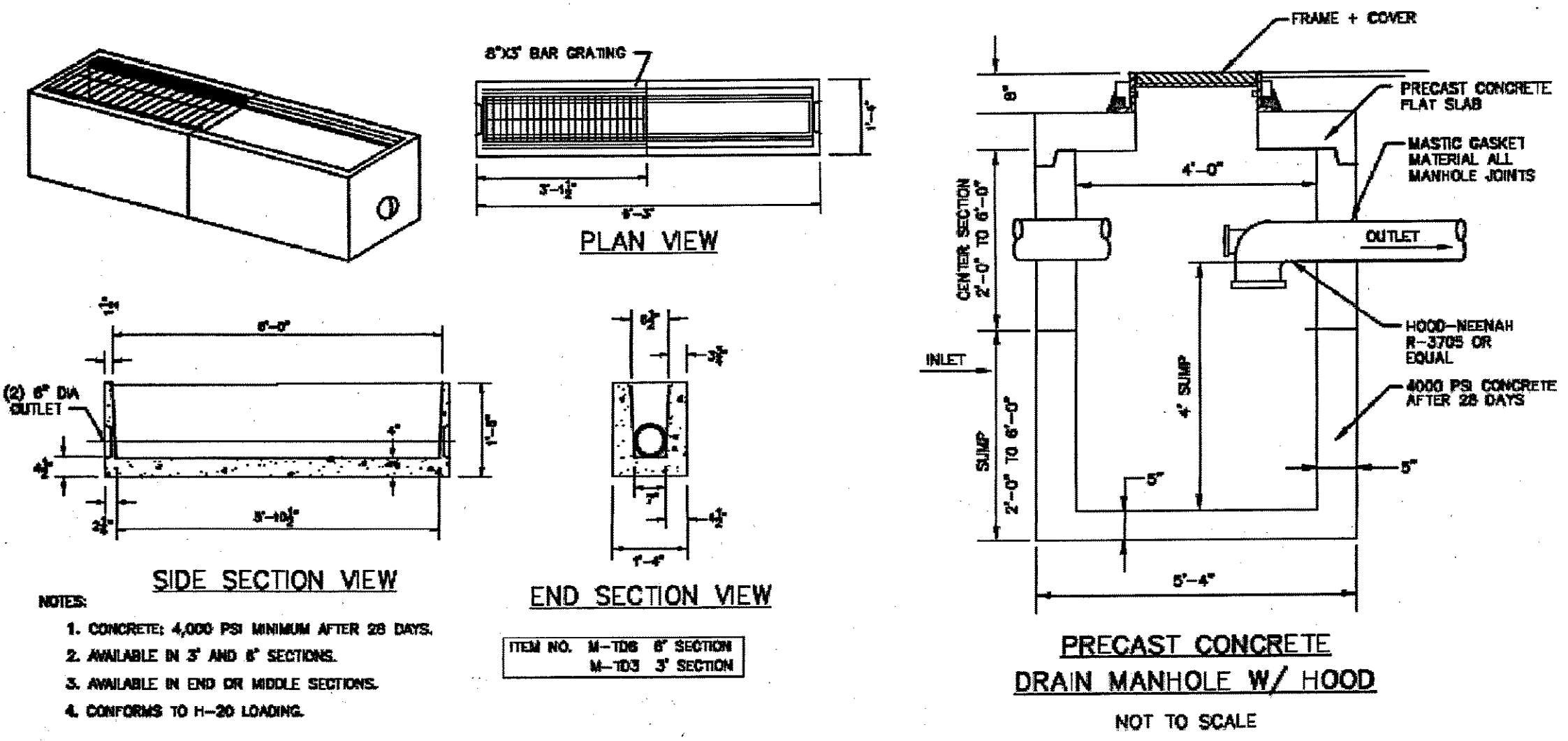


CREATED OR MODIFIED BY RONALD F. JAREK, ARCHITECT 1/19/2015



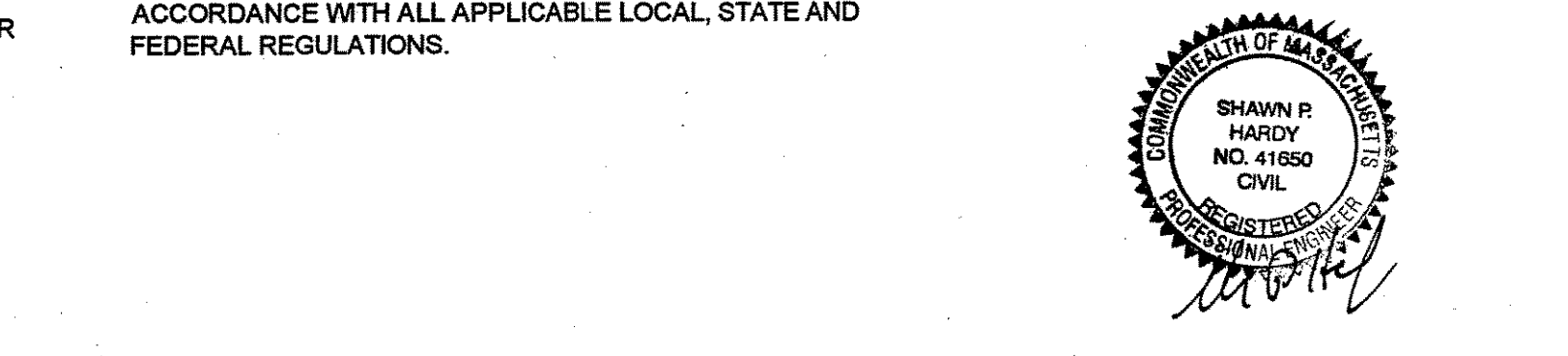
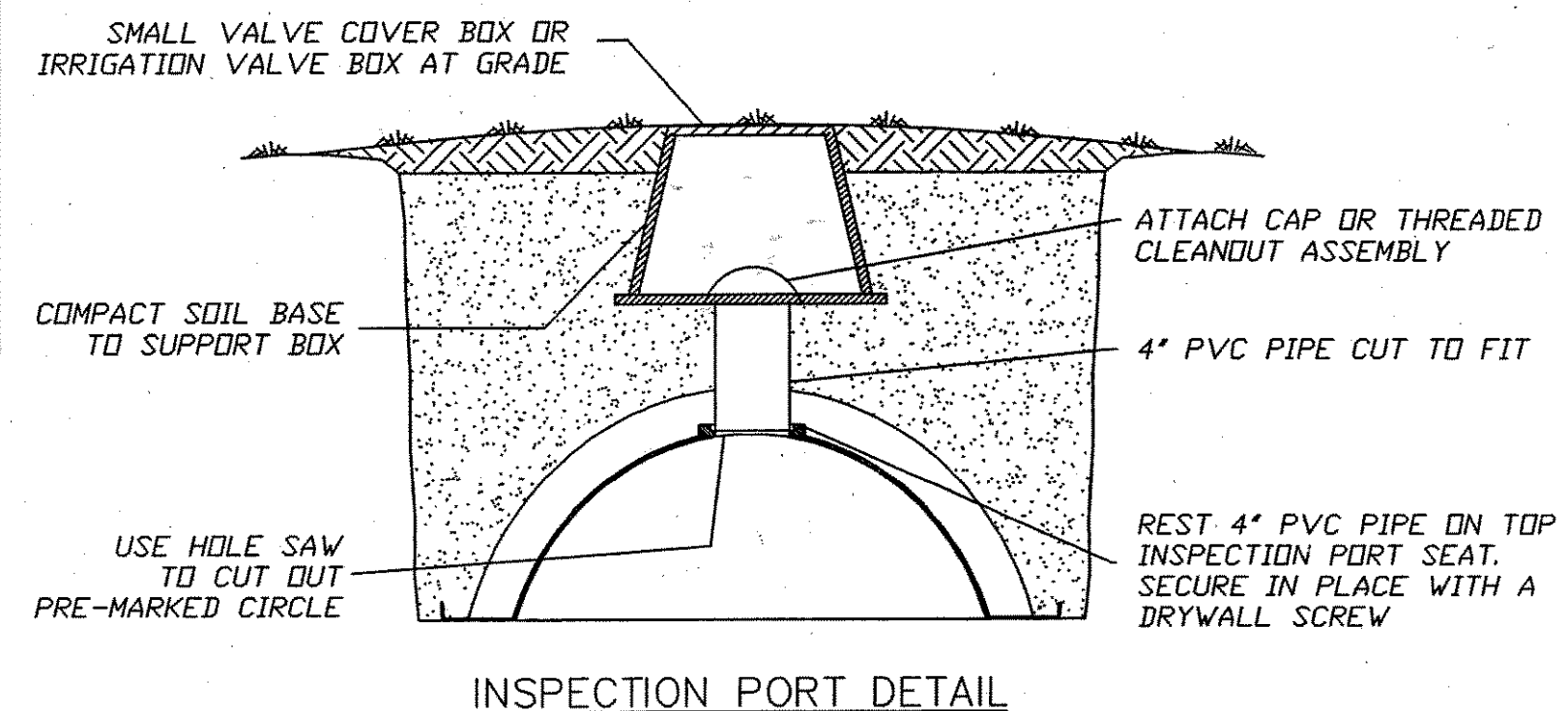
TBM - EXISTING FIRST FLOOR=100.00' (ASSUMED)

- GENERAL NOTES:**
- NO EXCAVATION IS ALLOWED WITHIN ANY CITY RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY DPW COMMISSIONER VIA THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. APPLICANT OR APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
 - AS OF JANUARY 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 26A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC OR PRIVATE PROPERTY.
 - THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, AND AN INSTALL CURB & SIDEWALK PERMIT WITH THE DPW PRIOR TO START OF WORK.
 - AFTER ALL ENGINEERING PERMITS ARE OBTAINED, THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY THEN BE BACK FILLED.
 - WITH THE EXCEPTION OF GAS SERVICES, ALL UTILITY TRENCHES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY WILL BE BACK FILLED WITH TYPE IIE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION BOTH DIGITAL FORMAT AND IN HARD COPY. THE PLAN MUST SHOW UTILITIES AND DRAINAGE (UTILIZING SWING TIES), ANY EASEMENTS AND FINAL GRADING.
 - IF ENGINEERING DIVISION ACCEPTANCE IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.



GENERAL NOTES
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

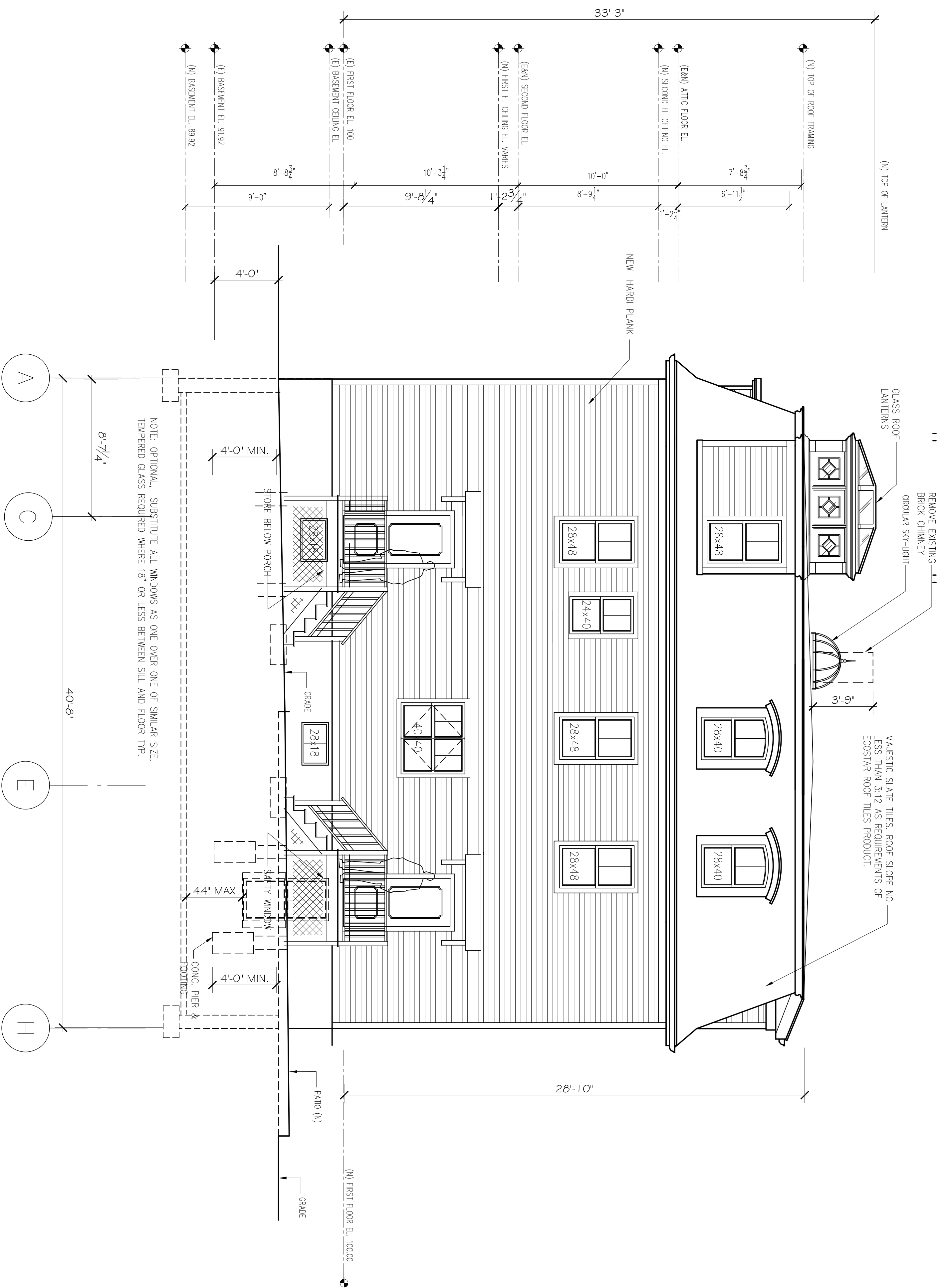
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



STEPHEN P. DESROCHE PLS No. 27699

SITE PLAN
 SHOWING
 PROPOSED ADDITION
 AT
 143 LINCOLN STREET
 IN
 NEWTON, MASS.
 PREPARED FOR:
 ARMAN CHITCHIAN
 PREPARED BY:
 NEPONSET VALLEY SURVEY ASSOC., INC.
 95 WHITE STREET
 QUINCY, MA 02169

SCALE: 1"=10'
 DATE: OCTOBER 10, 2014



PROPOSED REAR ELEVATION (NORTH)

1/4" = 1'-0"



PROPOSED REAR ELEVATION

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE:	APR 27, 2014
SCALE:	AS NOTED
DRAWN BY:	NEH
CHECKED BY:	RJ
NO.:	64304
REV.:	1/25/2014

ORIGINAL PLANS WERE DESIGNED BY CHARLES DEMARCO, ARCHITECT,
 DEMARCO ASSOCIATES, COMPLETION OF CONSTRUCTION DOCS. BY
 RONALD F. JAREK, ARCHITECT.

EXTERIOR MATERIALS LIST:
 143 Lincoln St., Newton Highlands, MA 02461

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HERS RATINGS.
2. PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. DRAWING INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS ETC.
7. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
9. IF HAZARDOUS WASTE IS ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHD0 STANDARDS.

GENERAL NOTES STRUCTURAL

1. ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS.
2. DO NOT SCALE THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, LIMITS, AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS. REFER TO ARCH. DWGS. FOR ALL ELEVATIONS.
3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APERTURES.
4. STRUCTURAL MEMBERS ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL EXISTING LAYOUT ITEMS AND CONDITIONS MAY DIFFER FROM AS SHOWN. ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
7. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
8. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

FOUNDATION NOTES

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
2. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY WEIGHT.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

PLYWOOD NOTES

1. ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL 1. PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
2. ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4".
3. ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

CONCRETE NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
2. CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE MIN. COMPRESSIVE STRENGTH = 4000 PSI
3. ALL BARR REINFORCEMENT SHALL CONFORM TO ASTM A615 - GRADE 60
4. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6-W4x4W UNLESS NOTED.
5. MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING SLABS: TOP - 2" (MIN.)
6. ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL, WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOINTS AND FNS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN. TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS & OWNER.
7. CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
8. BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDORCET" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD. OR APPROVED EQUAL.
9. DOWELLING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
10. CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

WOOD NOTES

1. ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
2. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL, WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fb = 1500 PSI, Fv = 190 PSI.

NOTE - DIMENSION

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

PRODUCTS

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES

ROOF:

- 30 year Simulated Synthetic Shingles
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

TRIM

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

SIDING

- Hardie Plank or equal, 4.5" to weather, texture side out and/or Match Existing
- Synthetic Scalloped Shingles at Pediments (2)
- Painted MDO Plywood at Pediments
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs
- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs
- DOWN SPOUTS AND GUTTERS
- Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings

WINDOWS

- Marvin, Jeldwin or equal Insulated Glass, Simulated 2 over 1 Divided Lies and Ovals

DOORS

- Synthetic Panel Entry Units with Vision Lies and/or Simulated Divided Side Lies
- Synthetic Panel Style Garage Doors

COLUMNS

- Azek or equal Square field built Columns, Pilinth and Capital

PORCH, DECK and STEPS

- Tex or equal Porch, Deck and Stair Treads
- Azek or equal Risers and Stringers

LIGHTING

- Synthetic Balustrade and Square field built Newel Posts

HARDWARE

- Wall Mounted Lantern Style
- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

WALKS

- Modular Pervious Pavers at Entry Points

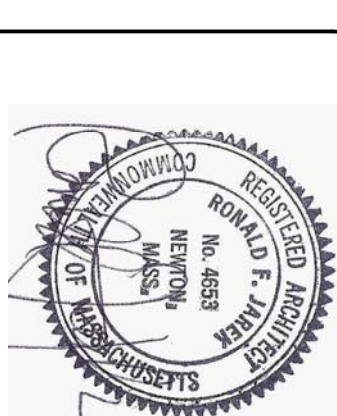
DRIVEWAY

- Bituminous

SQUARE FEET CALCULATION

AREA	UNIT "A"		UNIT "B"		TOTAL S.F. ALLOWED @ 0.36 FAR 4239 SF.	TOTAL S.F. PROVIDED @ 0.354 FAR 4175 SF.
	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR		
BASEMENT	** 000.0 SF.	** 813 SF.	** 000.0 SF.	** 979 SF.		**557 SF.
GARAGE	**278.5 SF.	** CARPORT	**278.5 SF.	** CARPORT		**1812 SF.
FIRST FLOOR	**814 SF.		**998 SF.			**1806 SF.
SECOND FLOOR	**817 SF.		**989 SF.			
INTERSTITIAL SPACE						
PORCH/DECK	** 000.0 SF.	** 210 SF.		** 90 SF.		
ATTIC FLOOR AREA LESS THAN 7'-0" HT	** 000.0 SF.	LESS THAN 7'	** 000.0 SF.	LESS THAN 7'		
		** 633 SF.		** 758 SF.		
TOTAL SQ. FT.	**1,909.5 SF.		**2,265.5 SF.		**4,239 SF.	**4,175 SF.

** INCLUDES 1 1/2" SHEATHING AND SIDING THICKNESS
 ** DOES NOT INCLUDE 1 1/2" SHEATHING AND SIDING THICKNESS



NOTES, FAR & MATERIALS

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect

487 Watertown Street
 Newtonville, MA 02460

DATE: AUGUST 04, 2014

SCALE: AS NOTED

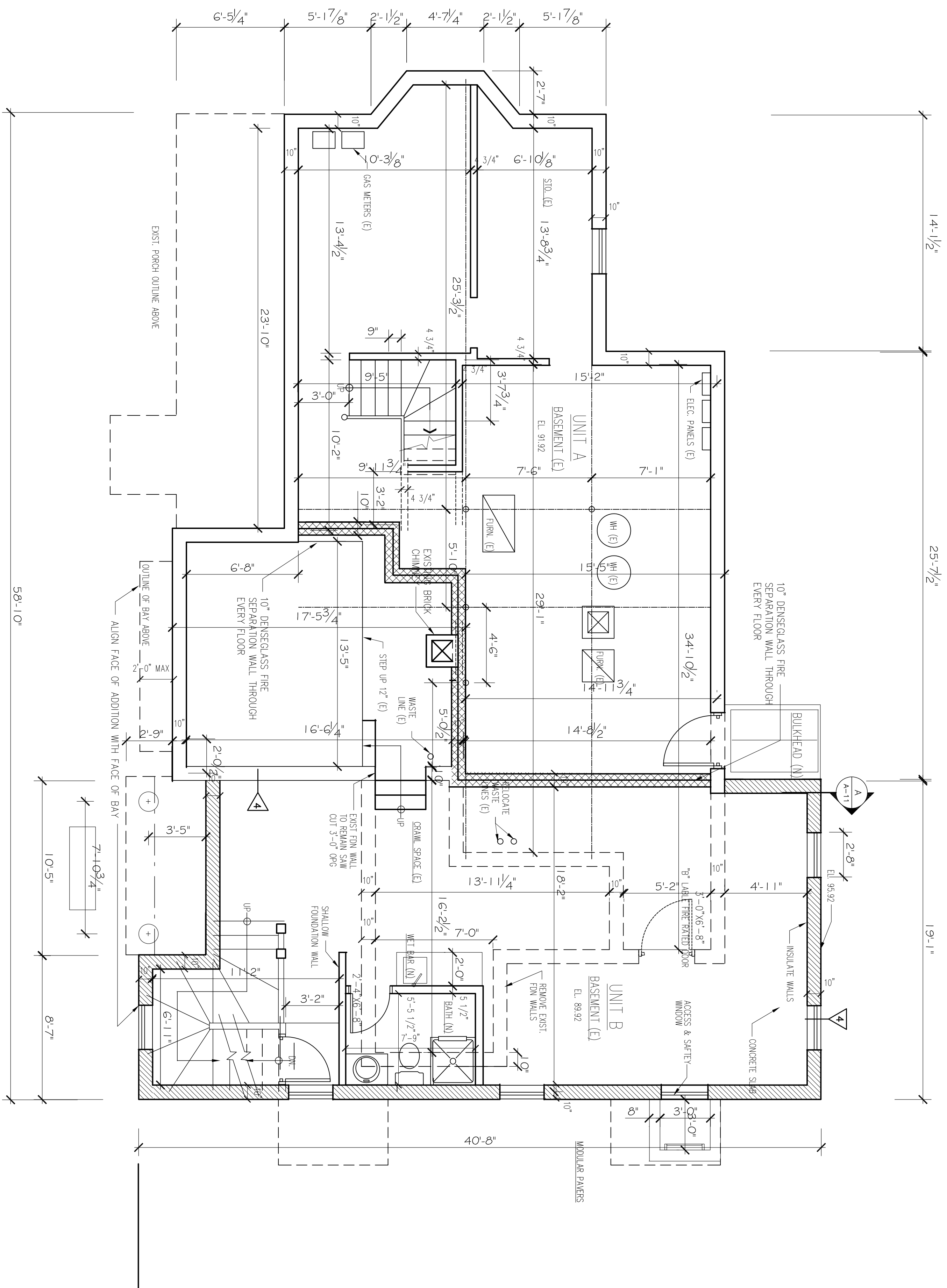
DRAWN BY: N.F.H.

CHECKED BY: R.J.

DATE: 08/20/14

TIME: 1:30 PM

A-1



PROPOSED BASEMENT PLAN

1/4" = 1'-0"



PROPOSED BASEMENT FLOOR PLAN

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect

487 Watertown Street
 Newtonville, MA 02460

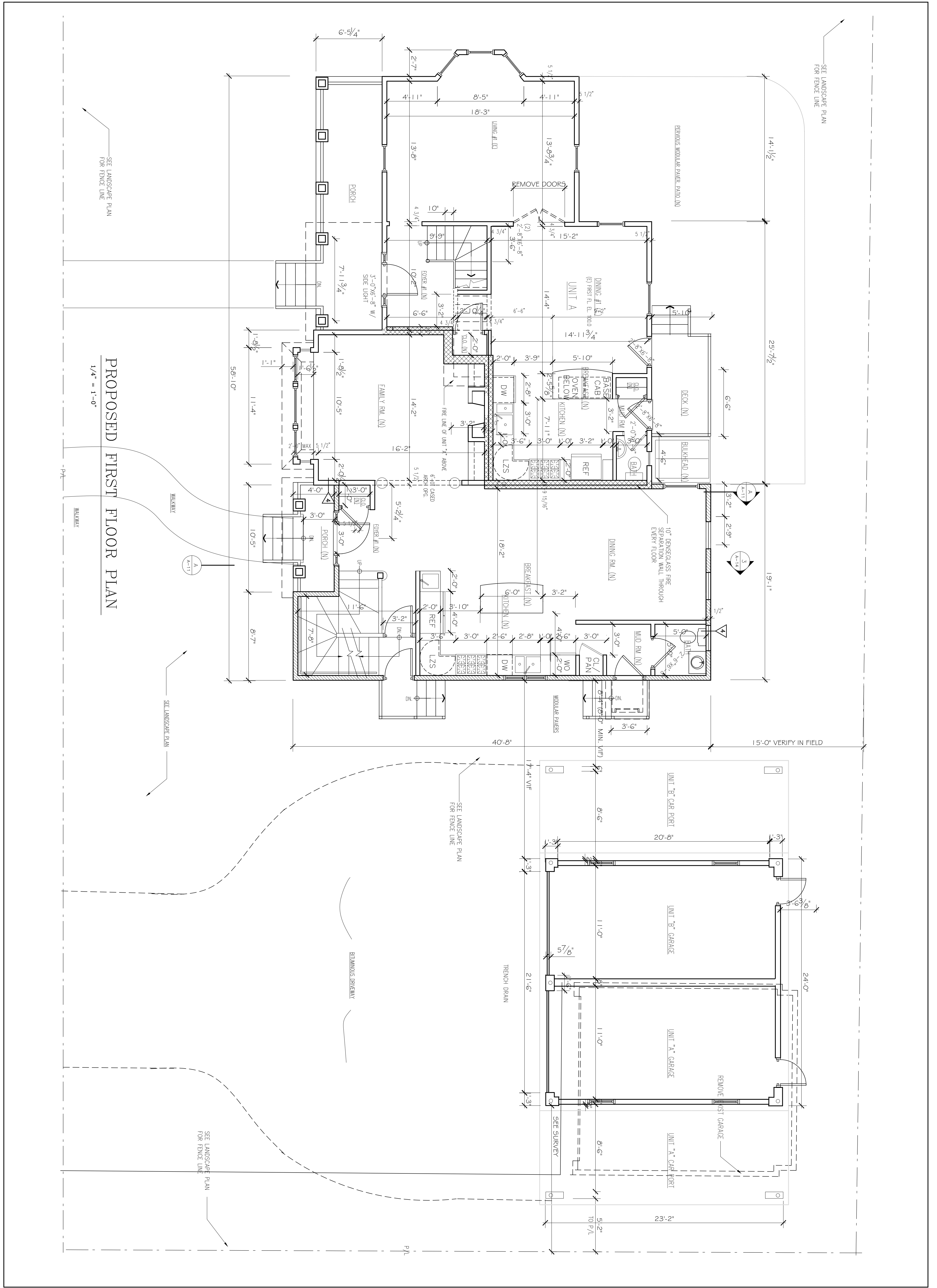
DATE: AUGUST 10, 2014

SCALE: AS NOTED

DRAWN BY: NSH

CHECKED BY: RJ

REV: 04.2014
 04.2014
 7.2014



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN
79 BRANDEIS ROAD
NEWTON CENTER, MA 02459

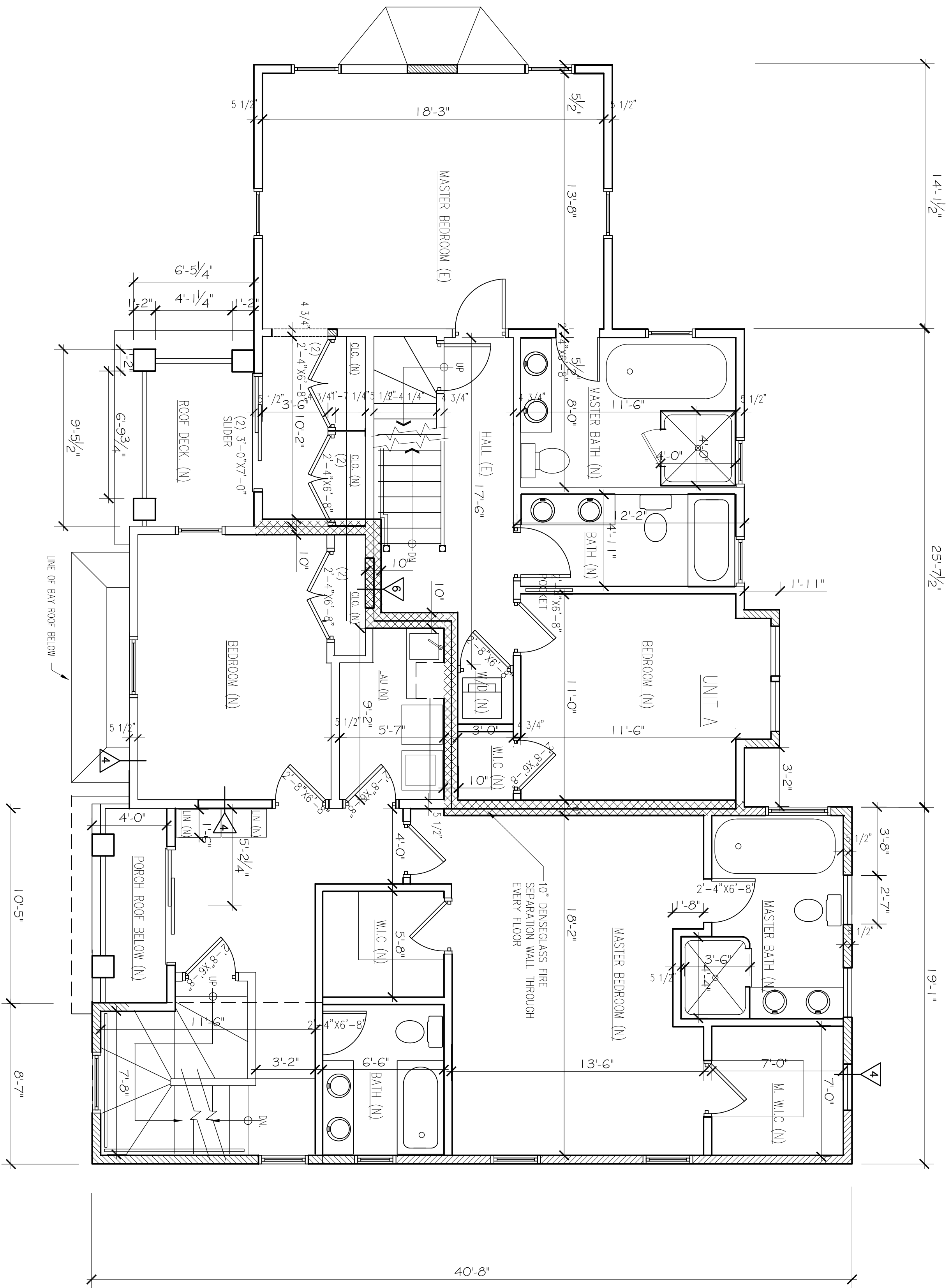
PROPOSED FIRST FLOOR PLAN

143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

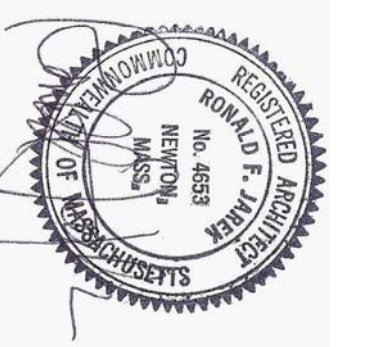


Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

DATE:	APRIL 20, 2014
SCALE:	AS NOTED
DRAWN BY:	NEH
CHECKED BY:	RJ
NO.:	643014 11/20/14



PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



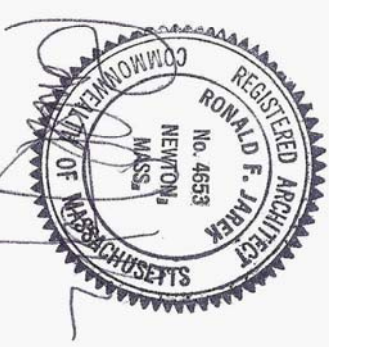
PROPOSED SECOND FLOOR PLAN

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE:	APR 27, 2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
REV:	NO. DATE BY
	1 5/20/14
	2 7/20/14

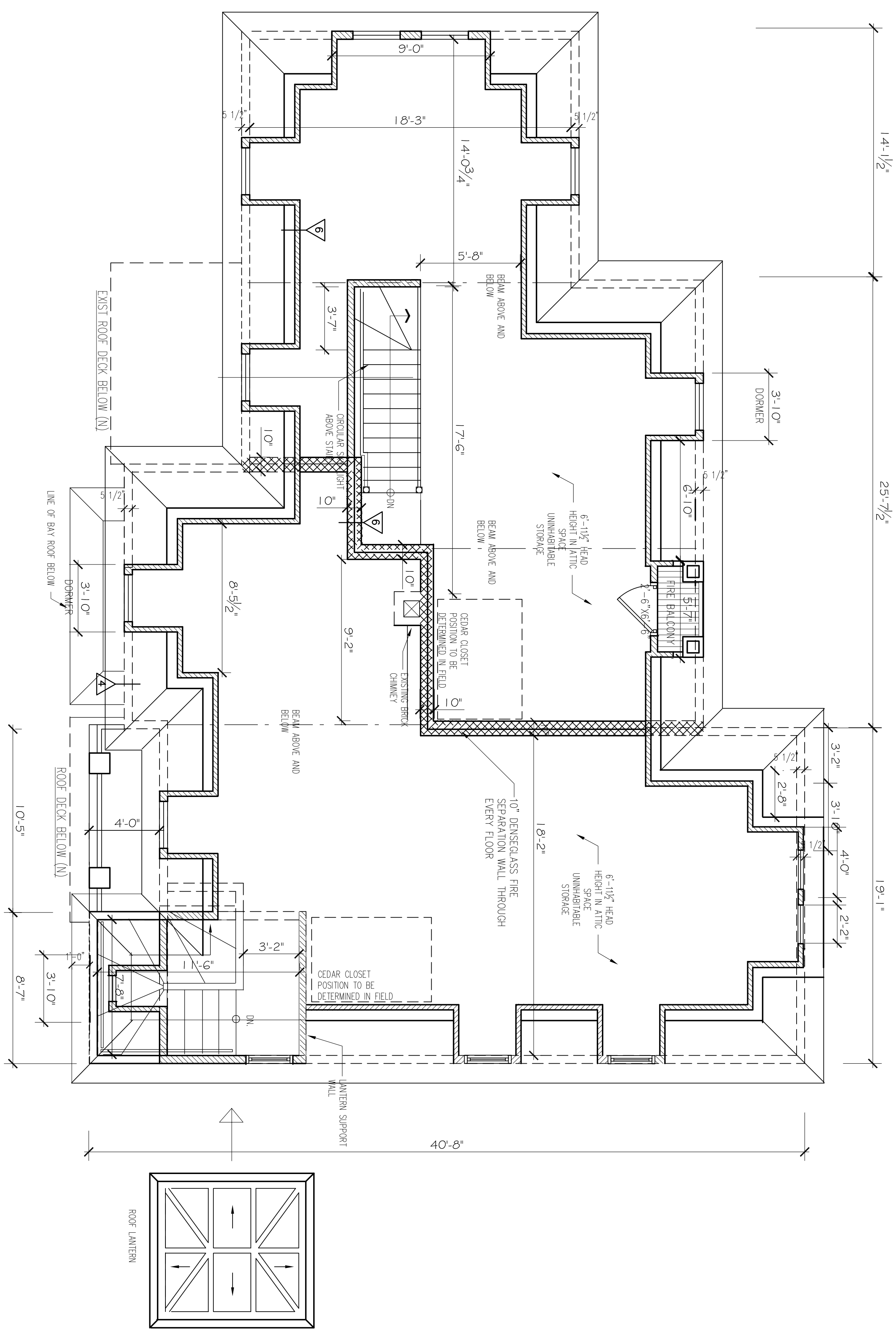


PROPOSED ATTIC FLOOR PLAN

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

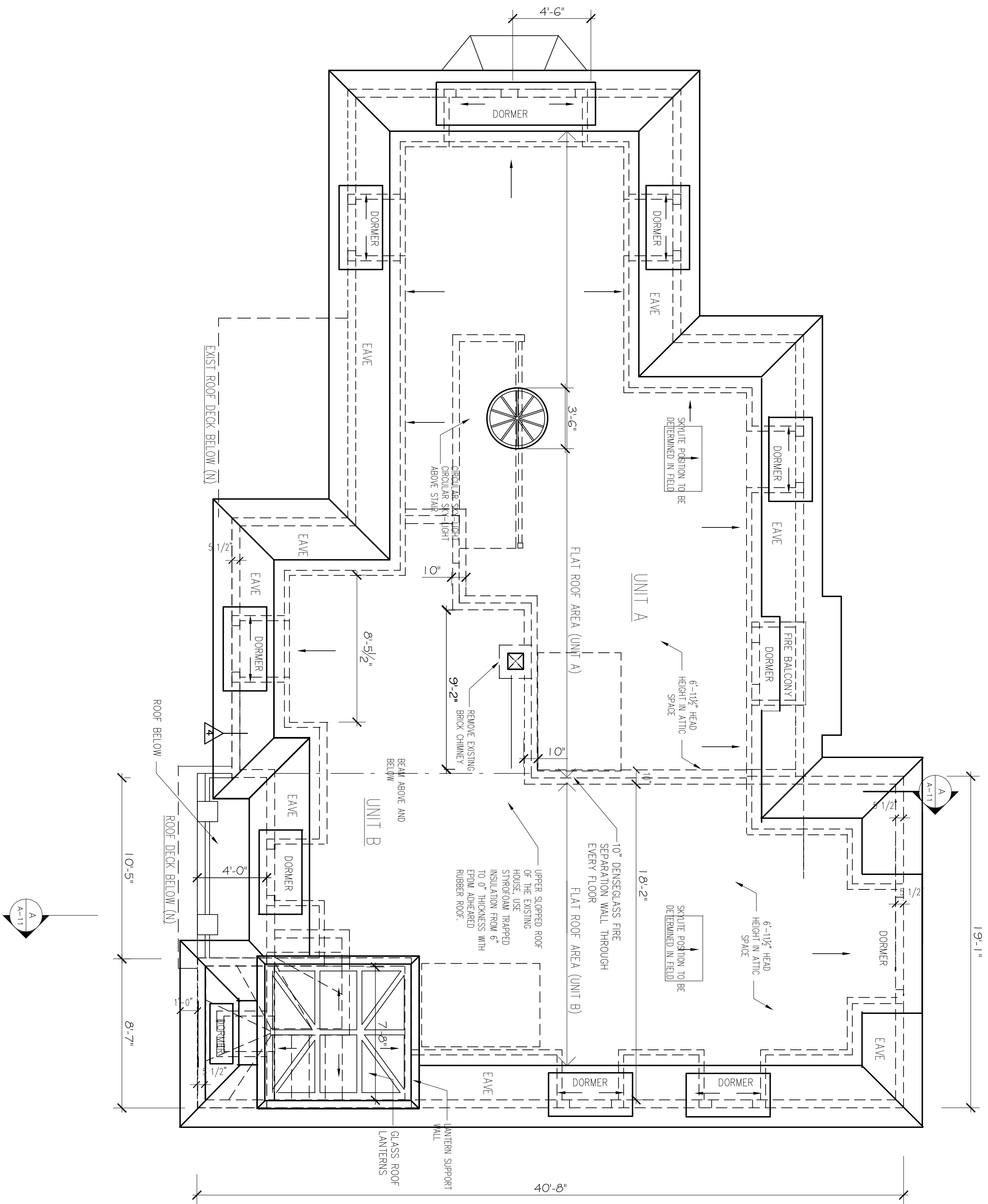
PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

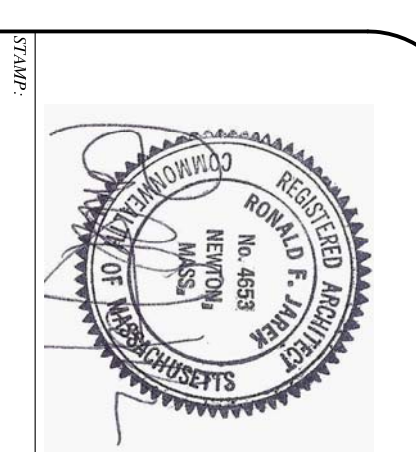


PROPOSED ATTIC FLOOR PLAN

1/4" = 1'-0"



PROPOSED ROOF PLAN
 1/4" = 1'-0"

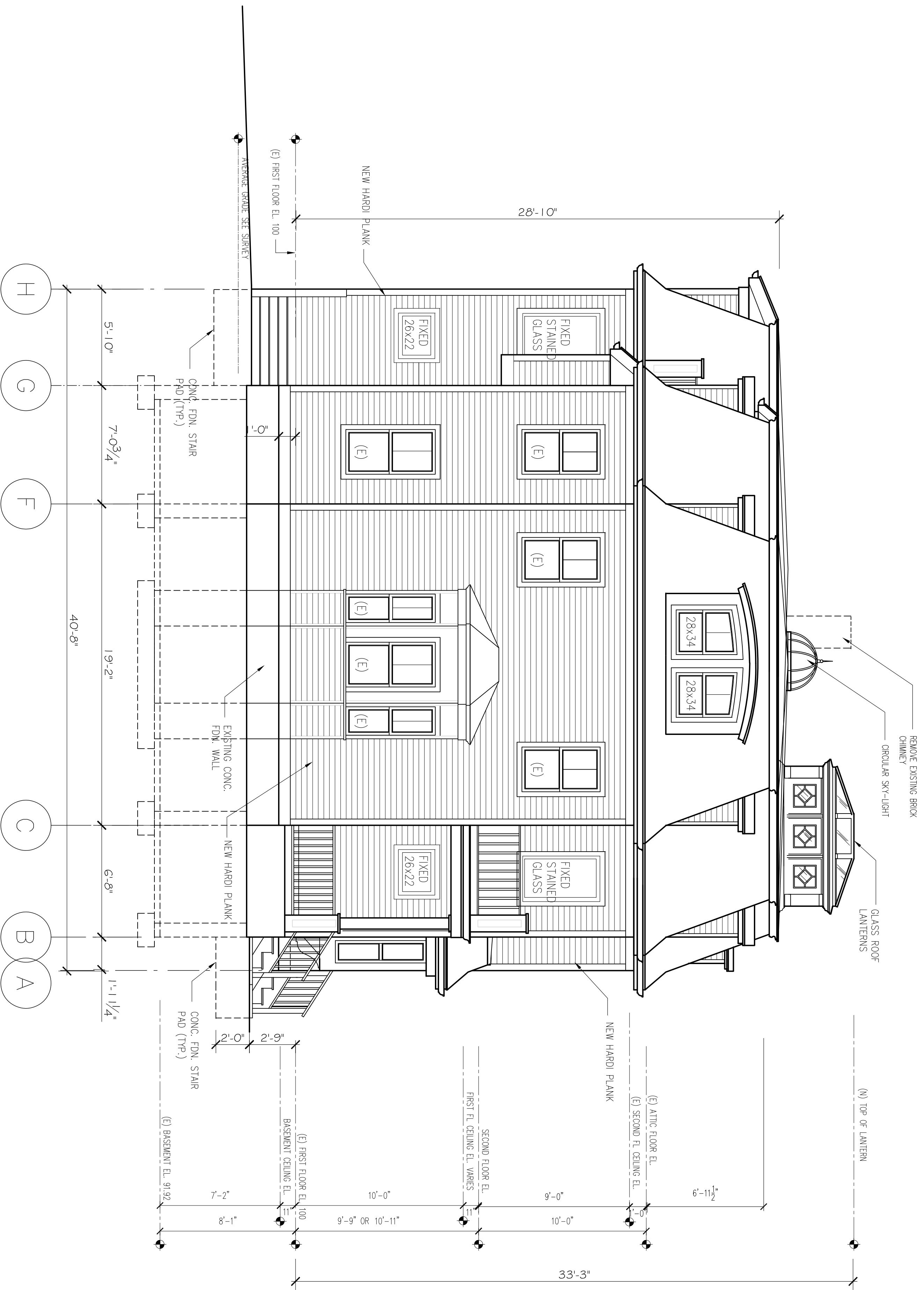


PROPOSED ROOF PLAN
 143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

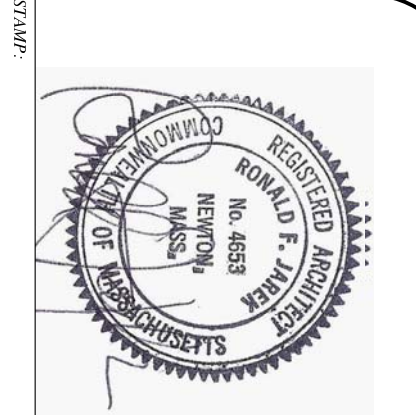
PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE:	APRIL 27, 2014
SCALE:	AS NOTED
DRAWN BY:	NSH
CHECKED BY:	RJ
REV:	6-25-2014
	7-15-2015



PROPOSED FRONT ELEVATION (SOUTH)
1/4" = 1'-0"



PROPOSED REAR ELEVATION

143 LINCOLN STREET
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
2 FAMILY RESIDENCE - 143 LINCOLN STREET,
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN
79 BRANDEIS ROAD
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
487 Watertown Street
Newtonville, MA 02460

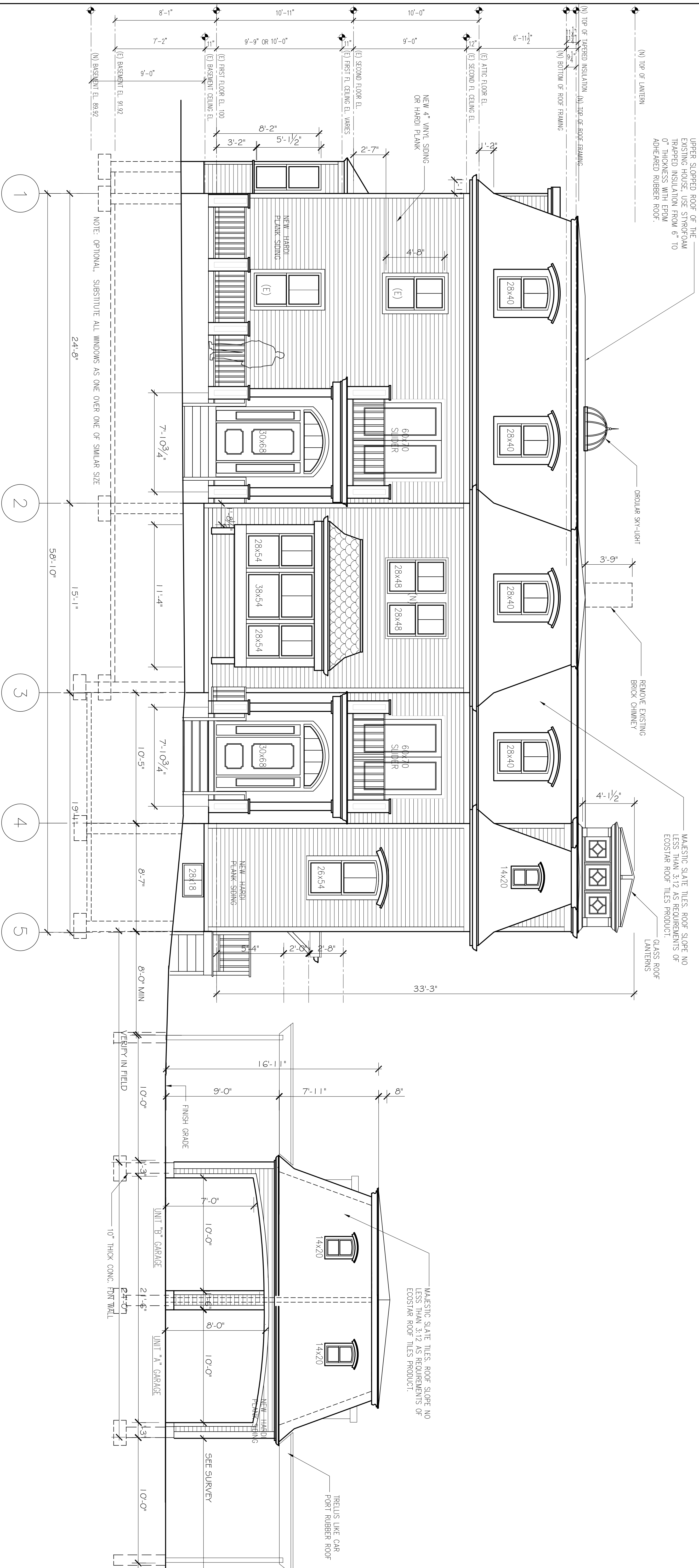
DATE: AUGUST 10, 2014

SCALE: AS NOTED

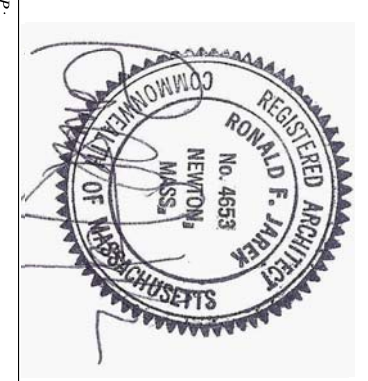
DRAWN BY: NSH

CHECKED BY: RJ

PROJECT: 84-2014
7-15-2015



PROPOSED RIGHT SIDE ELEVATION (EAST)
 1/4" = 1'-0"

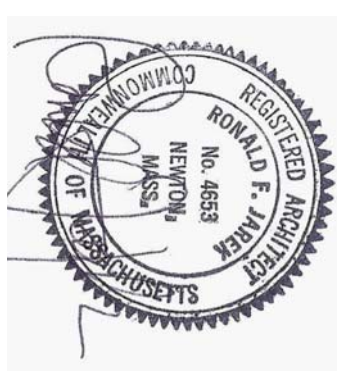


PROPOSED RIGHT SIDE ELEVATION
 143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE:	APRIL 2014
SCALE:	AS SHOWN
DESIGNED BY:	RJ
CHECKED BY:	RJ
DATE:	APRIL 2014
SCALE:	AS SHOWN
DESIGNED BY:	RJ
CHECKED BY:	RJ



SYMBOL

PROPOSED PLAN & ELEVATION

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

DATE: AUGUST 2014

SCALE: AS SHOWN

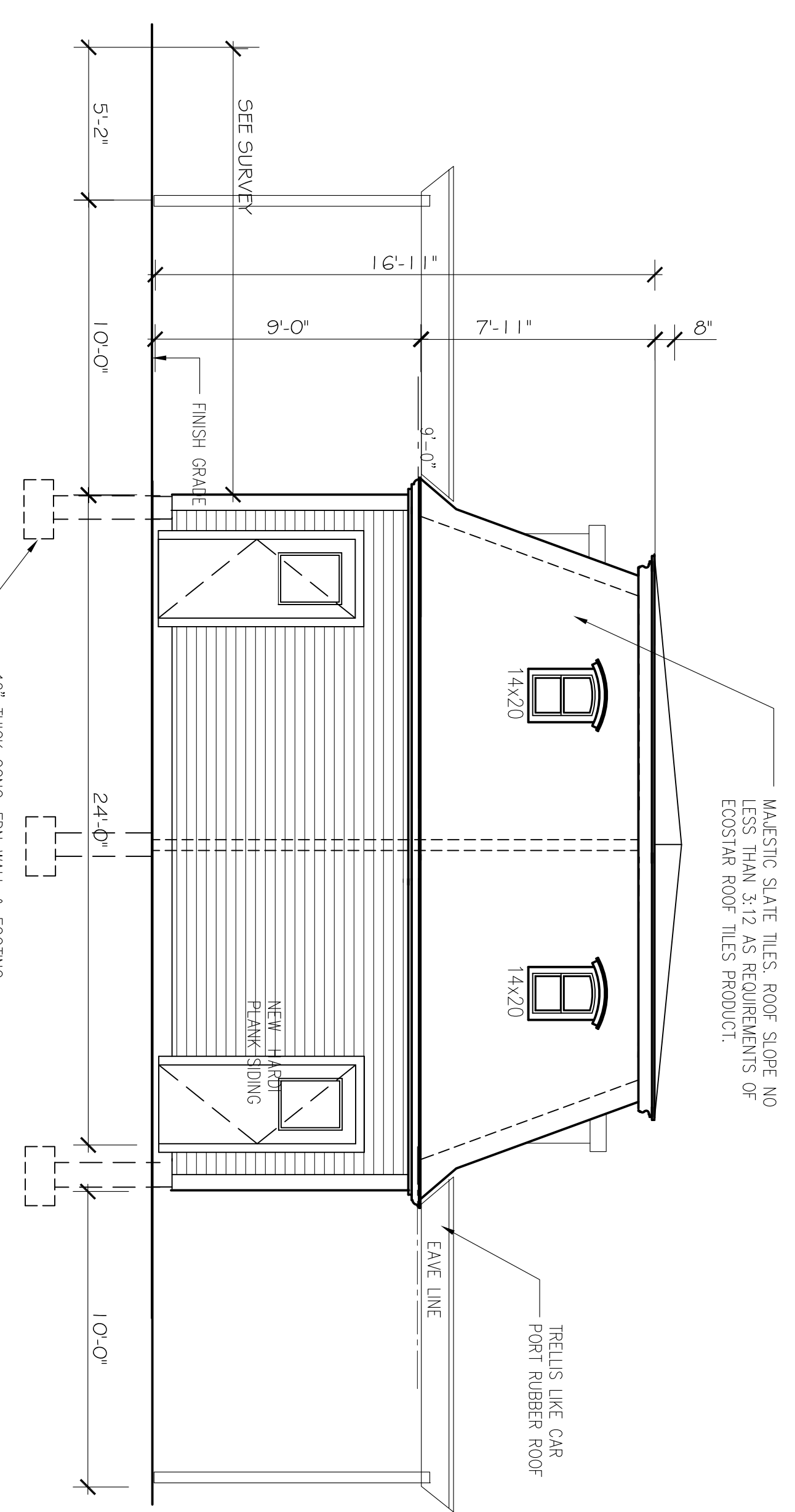
DESIGNED BY: RFL

CHECKED BY: RFL

REV: 04/2014

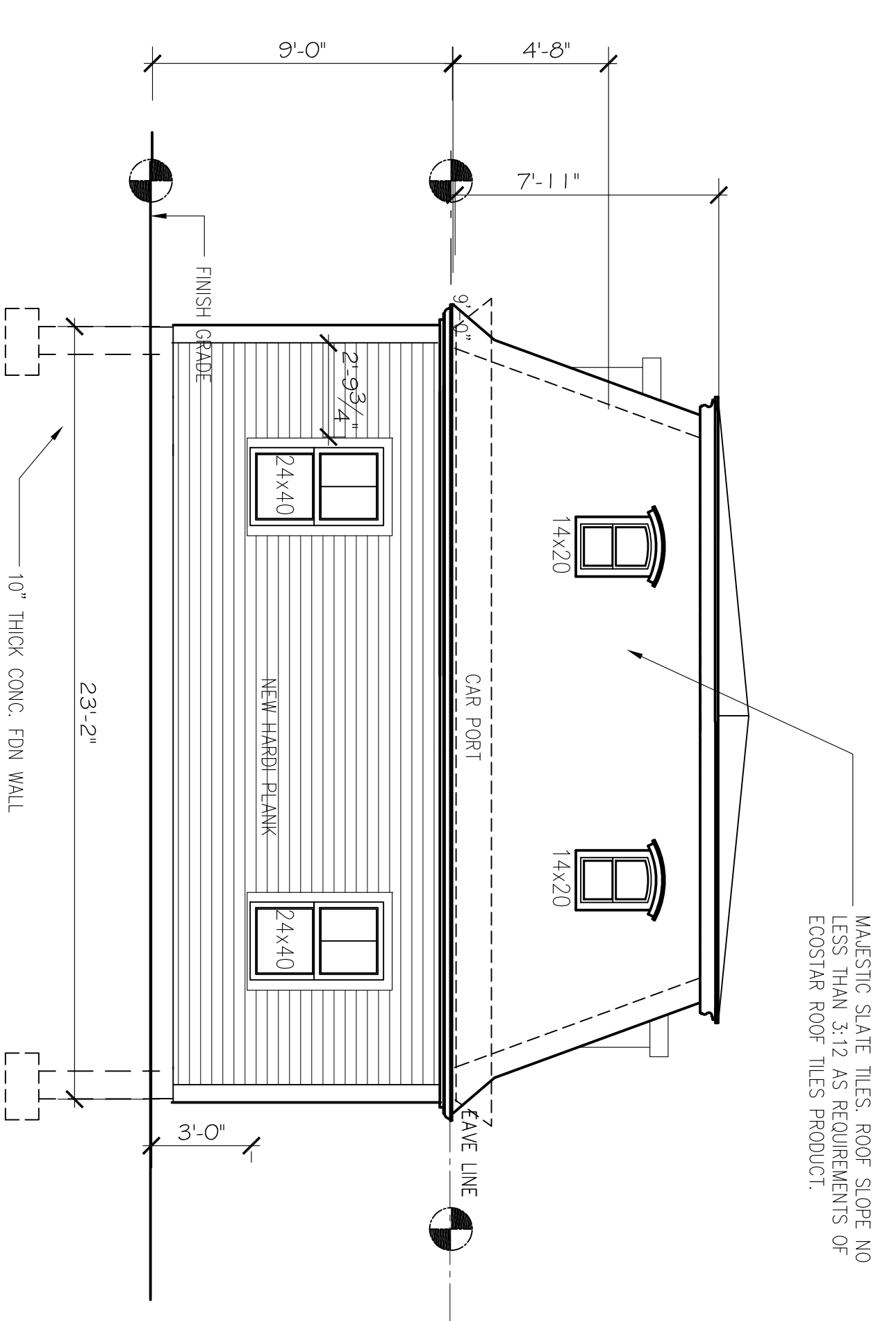
BY: RFL

A-8a



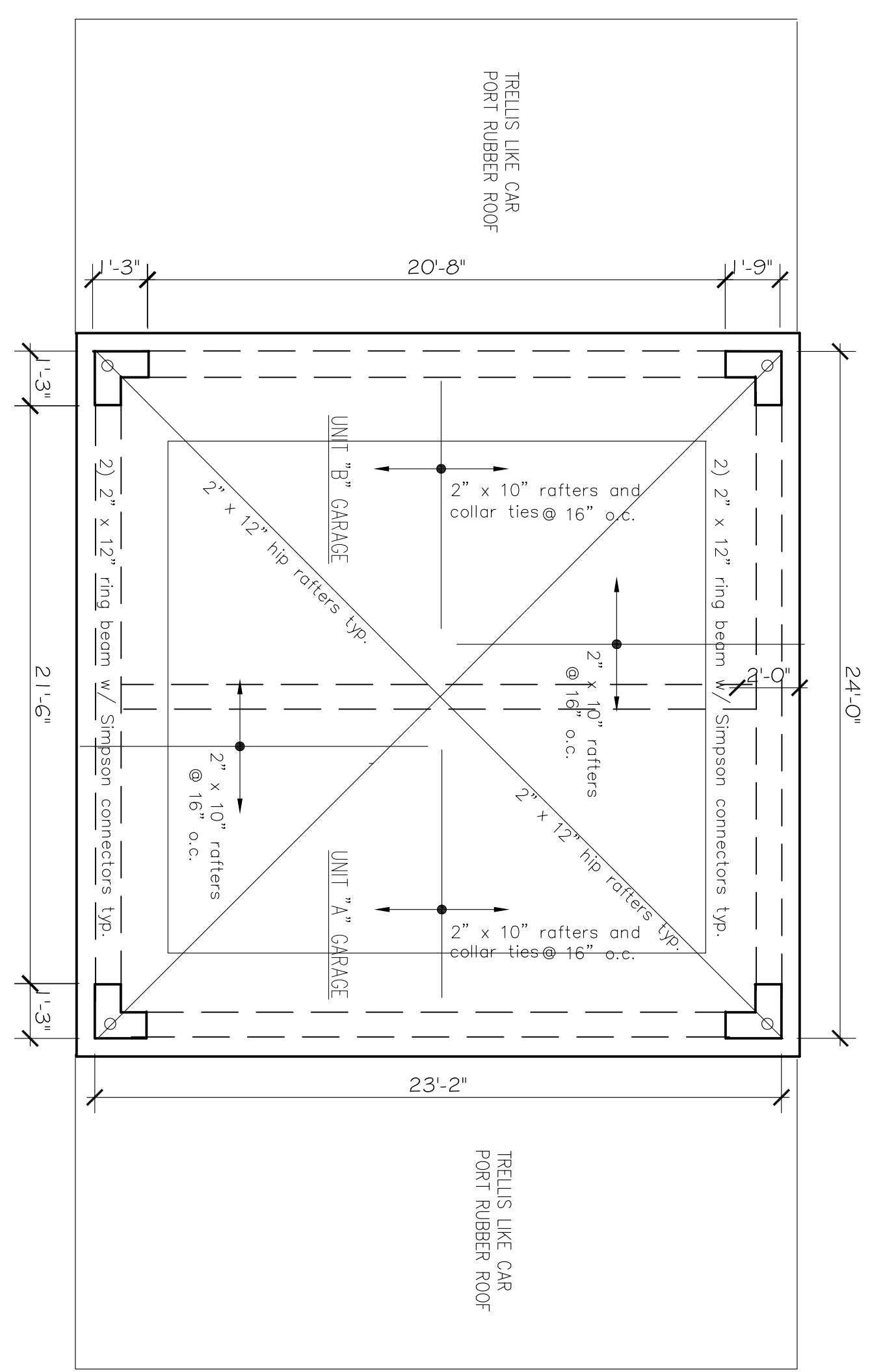
PROPOSED GARAGE LEFT SIDE ELEVATION

1/4" = 1'-0"



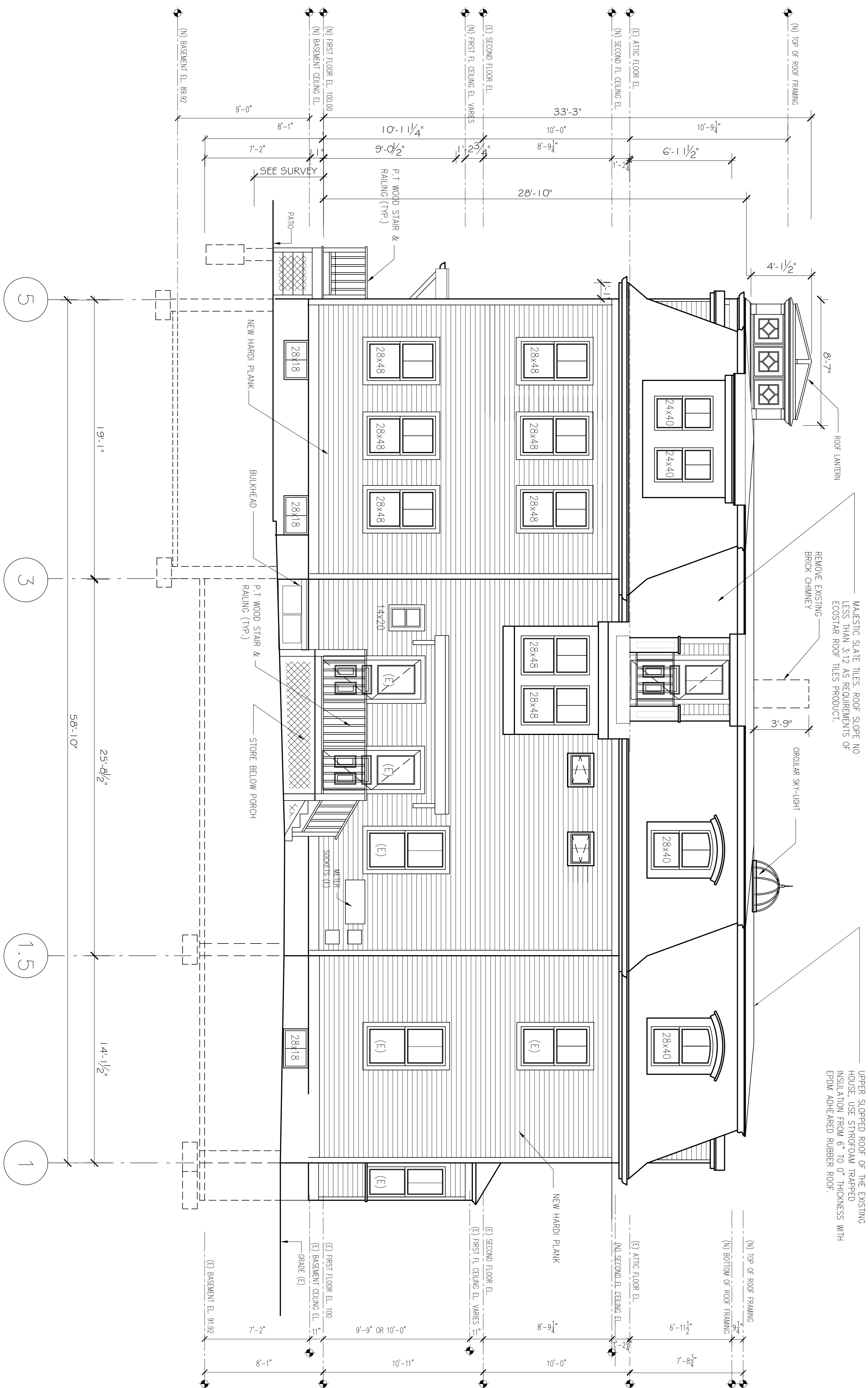
PROPOSED GARAGE FRONT & REAR SIDE ELEVATION

1/4" = 1'-0"



PROPOSED GARAGE ROOF PLAN

1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION (WEST)

MAJESTIC SLATE TILES, ROOF SLOPE NO LESS THAN 3:12 AS REQUIREMENTS OF ECOSTAR ROOF-TILES PRODUCT.
 REMOVE EXISTING BRICK CHIMNEY
 CIRCULAR SW-LIGHT
 UPPER SLOPED ROOF OF THE EXISTING HOUSE, USE STYROFOAM TRAPPED INSULATION FROM 6" TO 0" THICKNESS WITH EPDM ADHERED RUBBER ROOF.

PROPOSED LEFT SIDE ELEVATION

PROJECT: ADDITIONS & ALTERATIONS
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,
 NEWTON CENTER, MA 02461
 CLIENT: ARMAN CHITCHIAN
 79 BRANDEIS ROAD
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect
 487 Watertown Street
 Newtonville, MA 02460

143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461







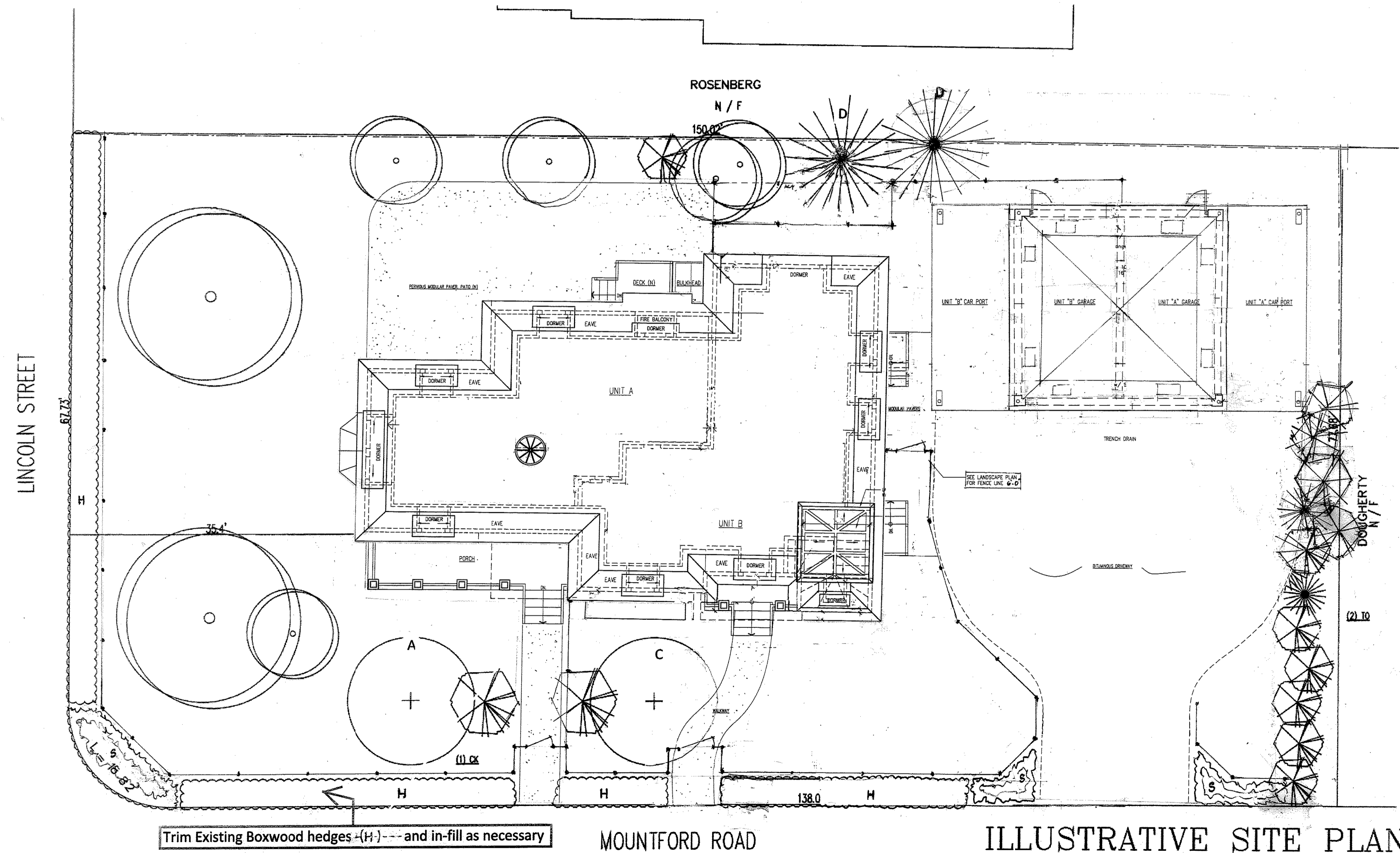
DATE: AUGUST 20, 2014
 SCALE: AS NOTED

DESIGNED BY: NEH
 CHECKED BY: RJ

NO. 1
 8/20/14
 11/20/14

Quantity	Common Name	Scientific Name	Size	Comments
Trees				
1	Kousa Dogwood	A <i>Cornus kousa</i>	20-30' Ht., 20-30' W.	Spreading habit. Creamy-white flowers 2-4". Flowers in April/May; Red fruit in Sept./Oct.; Sun/Partial Shade, Deep red fall color. Easy to prune and suitable hedging plant. select upright (pyramidal) form as listed
2	Pyramidal Arborvitae	B <i>Thuja occidentalis 'Pyramidalis'</i>	20-30' Ht., 5-8' W.	
1	Sargent Cherry	C <i>Prunus sargentii</i>	20-30' Ht., 20-30' W.	Upright, spreading habit; Dark pink flowers 1 1/4"-1 1/2" dia; flowers in May; purple fruit in June/July; Bronze-red fall color, underplant with daffodils
2	White Fir	D <i>Abies concolor</i>	30-50' Ht., 15-20' W.	1 1/2"-2 1/2" long needles
Shrubs				
2	Dwarf Summersweet Clethra	E <i>Clethra alnifolia 'Compacta'</i>	2 1/2-3' Ht., variable spread	Very fragrant during flowering of July/August; Densely rounded habit; Yellow fall color; fragrant, white flowers 2-4" long, select dwarf form as listed
1	English Boxwood	F <i>Buxus sempervirens 'Fastigiata'</i>	8-10' Ht., 3-4' W.	Select spiral, potted varieties from nursery
2	Dwarf Azalea	G <i>Rhododendron atlanticum</i>	4-5' Ht., 3-4' W.	Flowers in late spring, white flowers
TOTAL				
11				

-  EXISTING DECIDUOUS
-  EXISTING EVERGREEN
-  PROPOSED EVERGREEN
-  PROPOSED DECIDUOUS






Trim Existing Boxwood hedges (H) and in-fill as necessary

ILLUSTRATIVE SITE PLAN

1/8" = 1'

LEGEND / SYMBOLS

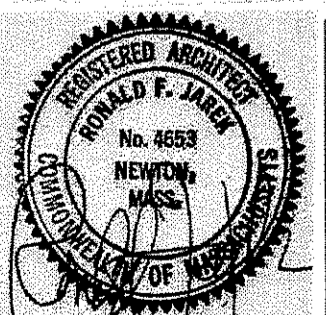
-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
-  NEW CONSTRUCTION
- (N) NEW
- (E) EXISTING

D&A DeMarco & Associates
 Architects & Planners
 16 Front Street
 Salem, MA 01970
 Phone: 978/744-4141
 FAX: 978/741-1288

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Project Title:
 ADDITIONS & ALTERATIONS TO
 CHITCHIAN RESIDENCE
 143 LINCOLN STREET
 NEWTON HIGHLANDS, MA 02461
Client:
 ARMAN CHITCHIAN
 79 BRANDEIS RD
 NEWTON CENTRE MA 02459

Sheet Title:
 LANDSCAPE PLAN



Scale: AS NOTED
 Date: 12/18/11
 Dr. By: CAD
 Job No. 10311

LA-1

Trees



White Fir
Abies concolor



Kousa Dogwood
Cornus kousa



Sargent Cherry
Prunus sargentii



Pyramidal Arborvitae
Thuja occidentalis 'Pyramidalis'

Shrubs



Dwarf Summersweet Clethra
Clethra alnifolia 'compacta'



Upright English Boxwood
Buxus sempervirens 'fastigiata'

Quantity	Common Name	Scientific Name	Size	Comments
Trees				
1	Kousa Dogwood	<i>Cornus kousa</i>	20-30' ht., 20-30' w.	Spreading habit; Creamy-white flowers 2-4"; Flowers in April/May; Red fruit in Sept./Oct.; Sun/Partial Shade, Deep color
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1	Sargent Cherry	<i>Prunus sargentii</i>	20-30' ht., 20-30' w.	Upright, spreading habit; Dark pink flowers 1 1/4"-1 1/2" dia.; Flowers in May; purple fruit in Jun/July; Bronze-red underplant with daffodils
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Shrubs				
2	Dwarf Summersweet Clethra	<i>Clethra alnifolia 'Compacta'</i>	2 1/2-3' ht., variable spread	Very fragrant during flowering of July/August; Densely rounded habit; Yellow fall color; Fragrant, white flowers 2-6 select dwarf form as listed
2	English Boxwood	<i>Buxus sempervirens 'Fastigiata'</i>	8-10' ht., 3-4' w.	
TOTAL				
10				Select spiral, potted varieties from nursery

Plant Images

Client Name:
Address:
December 15, 2011

LA-2