

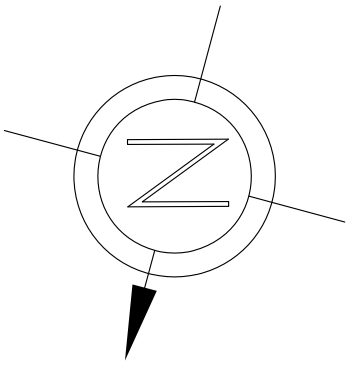
# INSULATION GUIDELINES

## Code Checklist for Designers - Stretch Code

Always consult the current International Building Code (IBC), International Residential Code (IRC) or International Energy Conservation Code (IECC) for the latest code requirements. On the following list, "I" indicates that the code has been updated or amended since the 2009 code. On the following list, "R" indicates that the code has been updated or amended since the 2009 code. On the following list, "S" indicates that the code has been updated or amended since the 2009 code. On the following list, "U" indicates that the code has been updated or amended since the 2009 code. On the following list, "V" indicates that the code has been updated or amended since the 2009 code. On the following list, "W" indicates that the code has been updated or amended since the 2009 code. On the following list, "X" indicates that the code has been updated or amended since the 2009 code. On the following list, "Y" indicates that the code has been updated or amended since the 2009 code. On the following list, "Z" indicates that the code has been updated or amended since the 2009 code.

- Insulation**
  - Roof or joists of unfinished attic: R-38, unless the existing rafters aren't deep enough, then R-35. The minimum R-value for attic insulation shall be determined by the following table. On the following list, "I" indicates that the code has been updated or amended since the 2009 code. On the following list, "R" indicates that the code has been updated or amended since the 2009 code. On the following list, "S" indicates that the code has been updated or amended since the 2009 code. On the following list, "U" indicates that the code has been updated or amended since the 2009 code. On the following list, "V" indicates that the code has been updated or amended since the 2009 code. On the following list, "W" indicates that the code has been updated or amended since the 2009 code. On the following list, "X" indicates that the code has been updated or amended since the 2009 code. On the following list, "Y" indicates that the code has been updated or amended since the 2009 code. On the following list, "Z" indicates that the code has been updated or amended since the 2009 code.
- EXCEPTION**--up to 500 sq ft or 25%, whichever is less, of roof can be R-30
  - IECC 2009 402.2.2
- Existing walls - fill in with R-3.5-inch mineral New rigid foam sheathing on exterior wall. IECC 2009 402.1.1
- Floors R-9.0, existing floors R-3.5/inch on joists, inspection IECC 2009 402.1.1
- Basement wall R-10 on the foundation wall or R-3 in a single layer, inspection IECC 2009 402.1.1
- Slab R-10, slab perimeter R-10 or plans, inspection IECC 2009 402.1.1
- Chimney space wall R-10 on plans, inspection IECC 2009 402.1.1
- Mass walls (concrete/masonry) R-3 if 45% of outside wall is mass wall, R-17 if 45% of outside wall is mass wall, inspection IECC 2009 402.1.1
- For additions** all values must meet IECC 2009 standards. No R-3.5-inch exception for existing code, inspection see foundation section.

- Penetration:**
  - Windows U-0.30 or lower, door U-0.21 or lower, skylight U-0.15 or lower, door hardware to be installed in accordance with manufacturer's requirements. Insulation, so wood window/door or opaque glazing must be installed in accordance with MA 804 Code R-6.04, MA 804 Code R-6.05, MA 804 Code R-6.06, MA 804 Code R-6.07, MA 804 Code R-6.08, MA 804 Code R-6.09, MA 804 Code R-6.10, MA 804 Code R-6.11, MA 804 Code R-6.12, MA 804 Code R-6.13, MA 804 Code R-6.14, MA 804 Code R-6.15, MA 804 Code R-6.16, MA 804 Code R-6.17, MA 804 Code R-6.18, MA 804 Code R-6.19, MA 804 Code R-6.20, MA 804 Code R-6.21, MA 804 Code R-6.22, MA 804 Code R-6.23, MA 804 Code R-6.24, MA 804 Code R-6.25, MA 804 Code R-6.26, MA 804 Code R-6.27, MA 804 Code R-6.28, MA 804 Code R-6.29, MA 804 Code R-6.30, MA 804 Code R-6.31, MA 804 Code R-6.32, MA 804 Code R-6.33, MA 804 Code R-6.34, MA 804 Code R-6.35, MA 804 Code R-6.36, MA 804 Code R-6.37, MA 804 Code R-6.38, MA 804 Code R-6.39, MA 804 Code R-6.40, MA 804 Code R-6.41, MA 804 Code R-6.42, MA 804 Code R-6.43, MA 804 Code R-6.44, MA 804 Code R-6.45, MA 804 Code R-6.46, MA 804 Code R-6.47, MA 804 Code R-6.48, MA 804 Code R-6.49, MA 804 Code R-6.50, MA 804 Code R-6.51, MA 804 Code R-6.52, MA 804 Code R-6.53, MA 804 Code R-6.54, MA 804 Code R-6.55, MA 804 Code R-6.56, MA 804 Code R-6.57, MA 804 Code R-6.58, MA 804 Code R-6.59, MA 804 Code R-6.60, MA 804 Code R-6.61, MA 804 Code R-6.62, MA 804 Code R-6.63, MA 804 Code R-6.64, MA 804 Code R-6.65, MA 804 Code R-6.66, MA 804 Code R-6.67, MA 804 Code R-6.68, MA 804 Code R-6.69, MA 804 Code R-6.70, MA 804 Code R-6.71, MA 804 Code R-6.72, MA 804 Code R-6.73, MA 804 Code R-6.74, MA 804 Code R-6.75, MA 804 Code R-6.76, MA 804 Code R-6.77, MA 804 Code R-6.78, MA 804 Code R-6.79, MA 804 Code R-6.80, MA 804 Code R-6.81, MA 804 Code R-6.82, MA 804 Code R-6.83, MA 804 Code R-6.84, MA 804 Code R-6.85, MA 804 Code R-6.86, MA 804 Code R-6.87, MA 804 Code R-6.88, MA 804 Code R-6.89, MA 804 Code R-6.90, MA 804 Code R-6.91, MA 804 Code R-6.92, MA 804 Code R-6.93, MA 804 Code R-6.94, MA 804 Code R-6.95, MA 804 Code R-6.96, MA 804 Code R-6.97, MA 804 Code R-6.98, MA 804 Code R-6.99, MA 804 Code R-7.00.
- Attic-vent:**
  - All attic, seams, and penetrations between conditioned + unconditioned space must be sealed, inspection IECC 2009 402.2.5
  - At least 80% of new lights must be high-efficiency on plans, inspection IECC 2009 404.1
- Lighting:**
  - Lighting fixture in attic or unconditioned space, to be sealed and calibrated or gasketed to their surface, inspection IECC 2009 402.2.5
  - At least 80% of new lights must be high-efficiency on plans, inspection IECC 2009 404.1
- MVAC:**
  - Equipment sized using Manuals J, S and D, Do not exceed design capacity, inspection IECC 2009 403.6, IRC 1401.3
- Labeling:**
  - 401.3 Compliance checklist on plans, inspection IECC 103.1



## SEE NEPONSET VALLEY SURVEY ASSOC. INC. CURRENT SURVEY PLAN

**SITE PLAN** 143 LINCOLN STREET, NEWTON HIGHLANDS, MA 02461

NIS

	EXISTING WALLS TO REMAIN	AL	Aluminum
	EXISTING WALLS/CONSTRUCTION TO BE REMOVED	APPROX	Approximately
	NEW WALLS	BLDG	Building
(N)	NEW	CLG	Ceiling
(E)	EXISTING	CLR	Clear
	BUILDING SECTION	COL	Column
	DETAIL SECTION	CONC	Concrete
	PARTITION TYPE	CONSTR	Construction
	NEW DOOR & DOOR NUMBER	CONT	Continuous
	WINDOW NUMBER	OPT	Carpet
	INTERIOR ELEVATION	CT	Ceramic Tile
		CIR	Center
		DET	Detail
		DIA	Diameter
		DISP	Dispenser
		DN	Down
		DWG	Drawing
		ELEC	Electric(Electrical)
		EQ	Equal
		ETR	Existing to Remain
		EXIST	Existing
		FFL	Finish Floor
		GA	Gauge
		GL	Gypsum Wall Board
		GWB	Gypsum Wall Board
		HCP	Handicapped
		HDP	High Density Polymer
		HR	Hour
		HT	Height
		INSUL	Insulation(Insulated)
		LI	Light
		MAX	Maximum
		MECH	Mechanical

<b>LEGEND</b>	<b>ABBREVIATIONS</b>
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# 2 FAMILY RESIDENCE

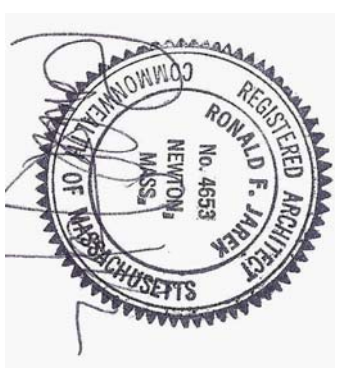
143 LINCOLN STREET, NEWTON HIGHLANDS, MA 02461

## LIST OF DRAWINGS

- A-0 TITLE SHEET
- A-1 NOTES & MATERIALS
- A-2 PROPOSED BASEMENT FLOOR PLAN
- A-3 PROPOSED FIRST FLOOR & SITE PLAN
- A-3a PROPOSED FIRST FLOOR & SITE PAVING PLAN
- A-3b PROPOSED VS. EXISTING DIAGRAMMATIC PLAN
- A-4 PROPOSED SECOND FLOOR PLAN
- A-5 PROPOSED ATTIC FLOOR PLAN
- A-6 PROPOSED ROOF PLAN
- A-7 PROPOSED FRONT ELEVATION
- A-8 PROPOSED RIGHT SIDE ELEVATION
- A-8a PROPOSED GARAGE
- A-8b PROPOSED VS. EXISTING RIGHT SIDE OVERLAY
- A-9 PROPOSED LEFT SIDE ELEVATION
- A-10 PROPOSED REAR ELEVATION
- A-11 PROPOSED SECTION A-A
- A-12 PROPOSED SECTION B-B
- A-13 PROPOSED WALL SECTIONS
- A-14 PROPOSED SECTIONS & DETAILS
- A-15 PROPOSED SECTIONS & DETAILS
- F-1 PROPOSED FOUNDATION PLAN
- F-2 PROPOSED FIRST FLOOR FRAMING PLAN
- F-3 PROPOSED SECOND FLOOR FRAMING PLAN
- F-4 PROPOSED ATTIC FLOOR FRAMING PLAN
- F-5 PROPOSED ROOF FRAMING PLAN
- F-6 TYPICAL SECTIONS & DETAILS
- EX-1 EXISTING FIRST FLOOR PLAN
- EX-2 EXISTING SECOND, BASEMENT & ATTIC FLOOR PLANS
- EX-3 EXISTING ELEVATIONS

COMPLETION OF DOCUMENTS (WITH PERMISSION) ORIGINALLY SUBMITTED BY DEMARCO & ASSOCIATES, ARCHITECTS AND PLANNERS, 14 FRONT STREEF, SALEM, MA

Architect:  
**Ronald F. Jarek**  
 487 Watertown Street  
 Newtonville, MA 02460  
 (617) 818-4540

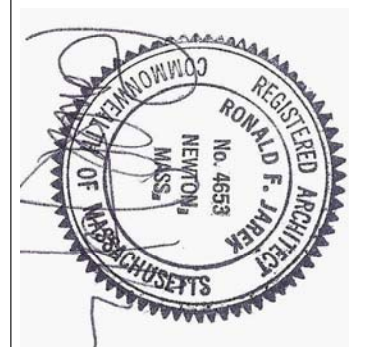


TITLE & DRAWINGS LIST  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	REVISION 2/01
SCALE:	AS SHOWN
DRAWN BY:	NFA
CHECKED BY:	RJ
REV:	06/2014 JAS/MS
<b>A-0</b>	



ORIGINAL PLANS WERE DESIGNED BY CHARLES DEMARCO, ARCHITECT,  
 DEMARCO ASSOCIATES, COMPLETION OF CONSTRUCTION DOCS. BY  
 RONALD F. JAREK, ARCHITECT.

**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF NEWTON, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK INCLUDING HECS RATINGS.
2. PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT, THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. DRAWING INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FINISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
8. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
9. IF HAZARDOUS WASTE IS ENCOUNTERED, STOP WORK & CONTACT THE OWNER & ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHD STANDARDS.

**GENERAL NOTES: STRUCTURAL**

1. ALL WORK SHALL COMPLY WITH THE STATE OF MASSACHUSETTS BUILDING CODE, REQUIREMENTS OF THE CITY OF NEWTON, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS.
2. DO NOT SCALE THIS DRAWING. REFER TO ARCH. DIMS. FOR ALL ELEVATIONS.
3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPURTENANCES.
4. DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO DETAILING, FABRICATION AND ERECTION OF ALL STRUCTURAL MEMBERS.
5. EXISTING MEASUREMENTS AND CONDITIONS MAY DIFFER FROM AS SHOWN, ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
6. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO SO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
7. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS AND EXTENT OF ALL MEMBERS, CONNECTIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
8. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

**FOUNDATION NOTES**

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN A SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
2. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER, WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY DENSITY.
3. PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

**PLYWOOD NOTES**

1. ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL I. PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
2. ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4".
3. ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

**CONCRETE NOTES**

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
2. CONCRETE STRENGTH SHALL BE AS FOLLOWS: ALL CONCRETE - MIN. COMPRESSIVE STRENGTH = 4000 PSI
3. ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM A615 - GRADE 60
4. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6x6-W4xW4 UNLESS NOTED.
5. MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:
  - SLABS: TOP - 2"
  - BASE: ALL SIDES - 2" (MIN.)
6. ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL, WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOINTS AND FINIS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN, TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS & OWNER.
7. CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
8. BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDORITE" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR EQUIVALENT.
9. DOWELLING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
10. CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

**WOOD NOTES**

1. ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF WOOD STRUCTURES.
2. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL WITH MINIMUM PROPERTIES OF: E = 1,800,000 PSI, Fv = 1500 PSI, Fv = 190 PSI.

**NOTE - DIMENSION**

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE A LAYOUT DRAWING WITH ALL EXISTING CONDITION PRIOR TO PROCEEDING WITH ANY NEW WORK.

**PRODUCTS**

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES

**EXTERIOR MATERIALS LIST:**  
 143 Lincoln St., Newton Highlands, MA 02461

**ROOF:**

- 30 year Simulated Synthetic Shingles
- Corrugated (black) Ridge Vent
- Black Vent Pipes
- Natural Heating Exhaust Stacks (flush style)

**TRIM**

- Azek or equal Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

**SIDING**

- Hardie Plank or equal, 4.5" to weather, texture side out
- Synthetic Scalloped Shingles at Pediments (2)
- Painted MDO Plywood at Pediments
- Azek or equal Direct Vent Exhaust Block Outs, Lighting Block outs
- Painted Side-wall Vents (Dryer, Exhaust Fans) through Azek or equal Blocks outs
- DOWN SPOUTS AND GUTTERS
- Baked on Color Finish, Aluminum Box Trough Style w/ Round Leaders and Fittings
- WINDOWS
- Marvin, Jeldwin or equal Insulated Glass, Simulated 2 over 1 Divided Lies and Ovals

**DOORS**

- Synthetic Panel Entry Units with Vision Lies and/or Simulated Divided Side Lies
- Synthetic Panel Style Garage Doors

**COLUMNS**

- Azek or equal Square field built Columns, Plinth and Capital

**PORCH, DECK and STEPS**

- Trex or equal Porch, Deck and Stair Treads
- Azek or equal Risers and Stringers
- Synthetic Balustrade and Square field built Newel Posts

**LIGHTING**

- Wall Mounted Lantern Style

**HARDWARE**

- Stainless Steel Lever or Thumb Latch Style
- Mail Boxes Stainless Steel
- House Numbers Stainless Steel

**WALKS**

- Modular Pervious Pavers at Entry Points
- DRIVEWAY
- Bituminous and Pervious Pavers

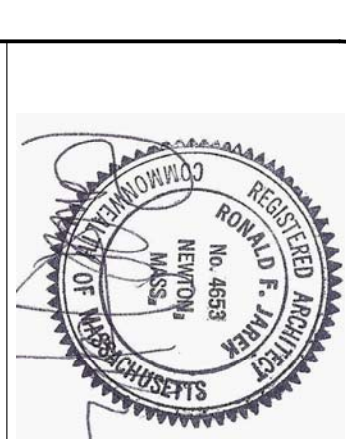
**PREVIOUS (1-27-2015) FAR SQUARE FEET CALCULATION**

FAR / SQ. FT. CALCULATIONS, SR2 ZONE, OLD LOT SIZE 11,775 SF	UNIT "A"		UNIT "B"		TOTAL S.F. ALLOWED @ 0.56 FAR 4239 SF.	TOTAL S.F. PROVIDED @ 0.554 FAR 4175 SF.
	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR		
BASEMENT	** 000.0 SF.	** 813 SF.	** 000.0 SF.	** 979 SF.		**557 SF.
GARAGE	**278.5 SF.	** CARPORT	**278.5 SF.	**998 SF.		**1812 SF.
FIRST FLOOR	**814 SF.		**998 SF.			**1806 SF.
SECOND FLOOR	**817 SF.		**989 SF.			
INTERSTITIAL SPACE						
PORCH/DECK	** 000.0 SF.	** 210 SF.		** 90 SF.		
ATTIC FLOOR AREA LESS THAN 7'-0" HI	** 000.0 SF.	LESS THAN 7'	** 000.0 SF.	** 758 SF.		
TOTAL SQ. FT.	**1,909.5 SF.	**2,285.5 SF.	**4,239 SF.	**4,175 SF.		

**CURRENT (3-17-2015) FAR SQUARE FEET CALCULATION**

FAR / SQ. FT. CALCULATIONS, SR2 ZONE, LOT SIZE 11,775 SF	UNIT "A"		UNIT "B"		TOTAL S.F. ALLOWED @ 0.56 FAR 4474.5 SF.	TOTAL S.F. PROVIDED @ 0.567 FAR 5267.0 SF.
	S.F.	NOT INCLUDED IN FAR	S.F.	NOT INCLUDED IN FAR		
BASEMENT	** 000.0 SF.	** 813 SF.	** 000.0 SF.	** 979 SF.		**586 SF.
GARAGE	**298.0 SF.	PORTE COCHERE	**298.0 SF.	ON GRADE		**1852 SF.
FIRST FLOOR	**854 SF.		**989 SF.			**1806 SF.
SECOND FLOOR	**817 SF.		**989 SF.			
INTERSTITIAL SPACE						
PORCH/DECK	** 000.0 SF.	** 210 SF.	** 000.0 SF.	** 90 SF.		
HIT ATTIC FL. AREA LESS & MORE 7'-0"	* 397 SF.	LESS THAN 7'	* 287 SF.	* 199 SF.		*1013 SF.
TOTAL SQ. FT.	**2,366.0 SF.	**2,901.0 SF.	**4,474.5 SF.	**5,267 SF.		

\* INCLUDES 1 1/2" SHEATHING AND SIDING THICKNESS  
 \*\* DOES NOT INCLUDE 1 1/2" SHEATHING AND SIDING THICKNESS



**NOTES, FAR & MATERIALS**

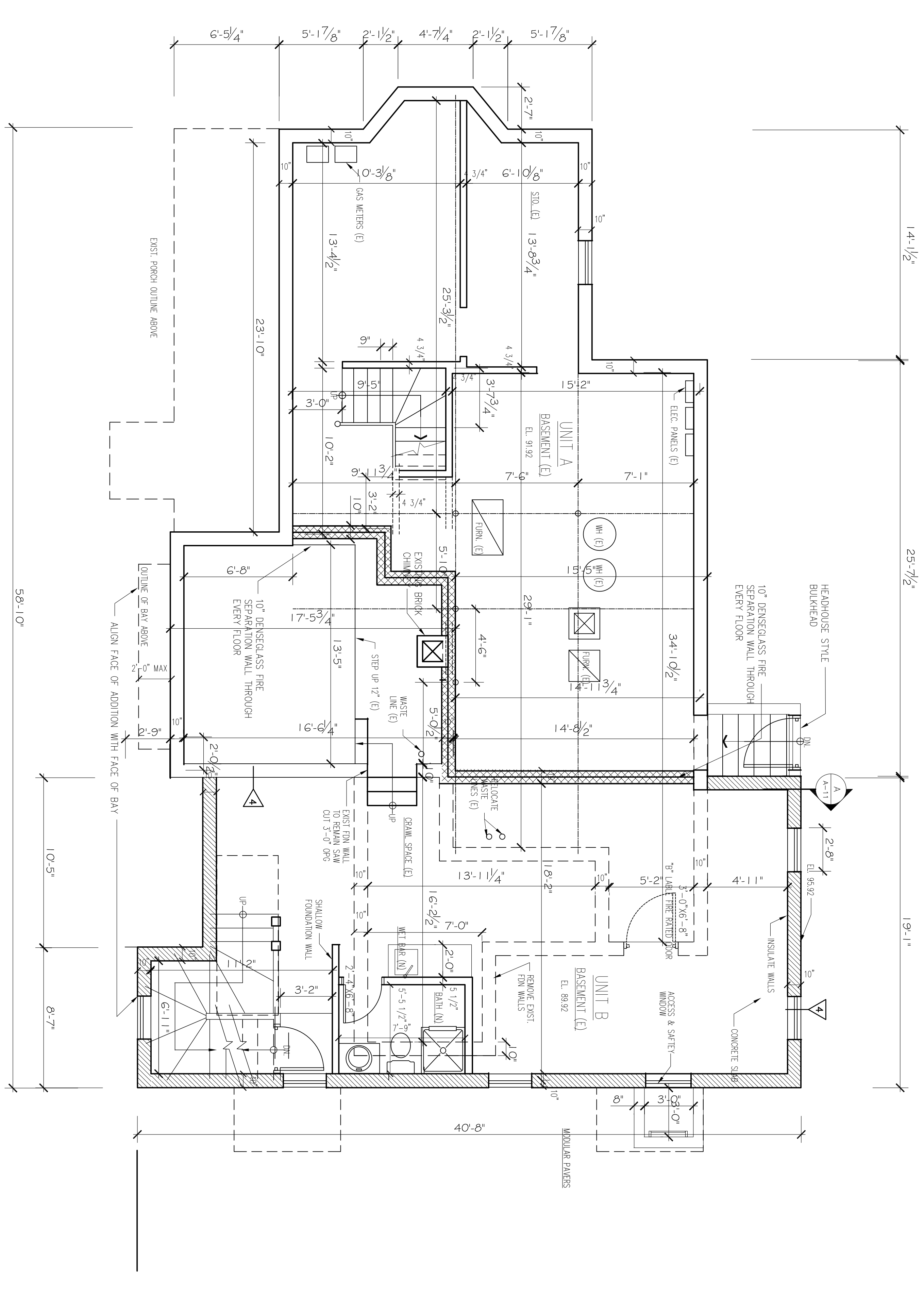
143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

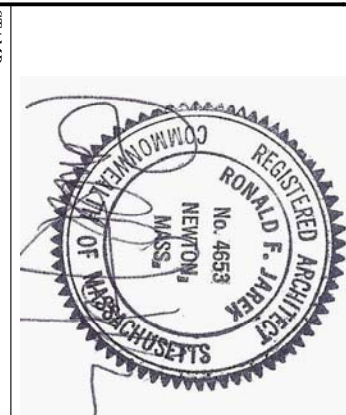
**Ronald F. Jarek, Architect**

487 Watertown Street  
 Newtonville, MA 02460



PROPOSED BASEMENT PLAN

1/4" = 1'-0"



17/2/2016

PROPOSED BASEMENT FLOOR PLAN  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE: AUGUST 2014

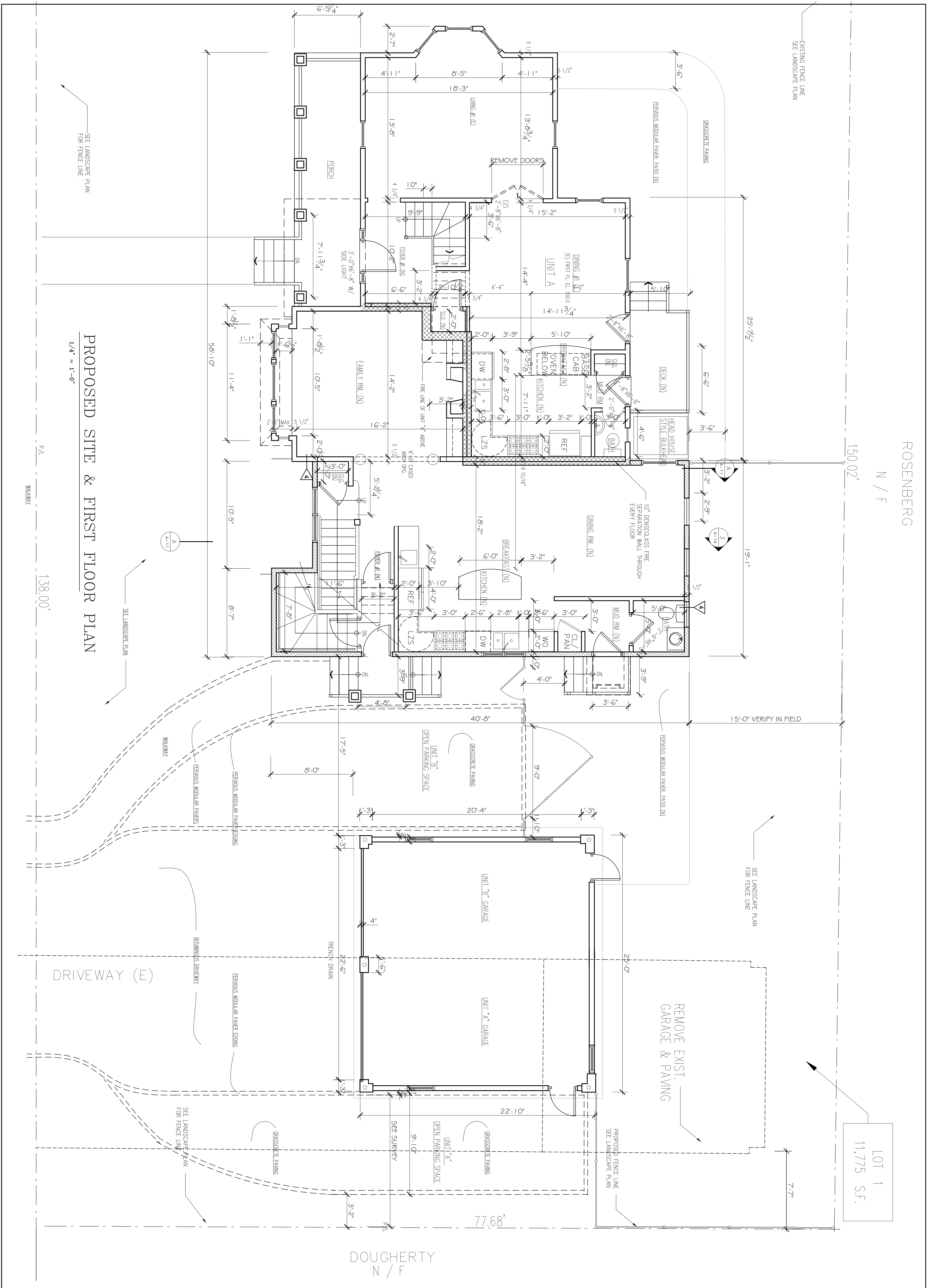
SCALE: AS SHOWN

DRAWN BY: NJ

CHECKED BY: NJ

PROJECT: 96-3014 / 1-2013 / 1-18-2015

A-2



ROSENBERG  
N / F

150.02'

LOT 1  
11,775 S.F.

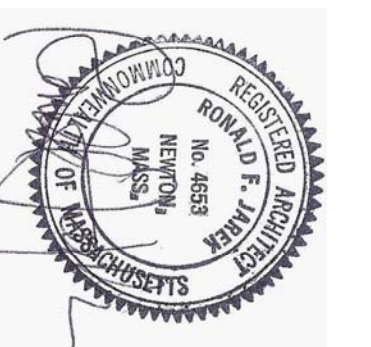
DOUGHERTY  
N / F

**PROPOSED FIRST FLOOR PLAN**

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461  
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

**Ronald F. Jarek, Architect**  
487 Watertown Street  
Newtonville, MA 02460



DATE: AUGUST 14, 2014

SCALE: AS SHOWN

DRAWN BY: NAJ

CHECKED BY: RJ

REV: 06/20/14 JAS/BJG

DATE: 7/18/2015

**A-3**

LOT 1  
11,775 S.F.

ROSENBERG  
N / F

EXISTING FENCE LINE  
SEE LANDSCAPE PLAN

150.02'

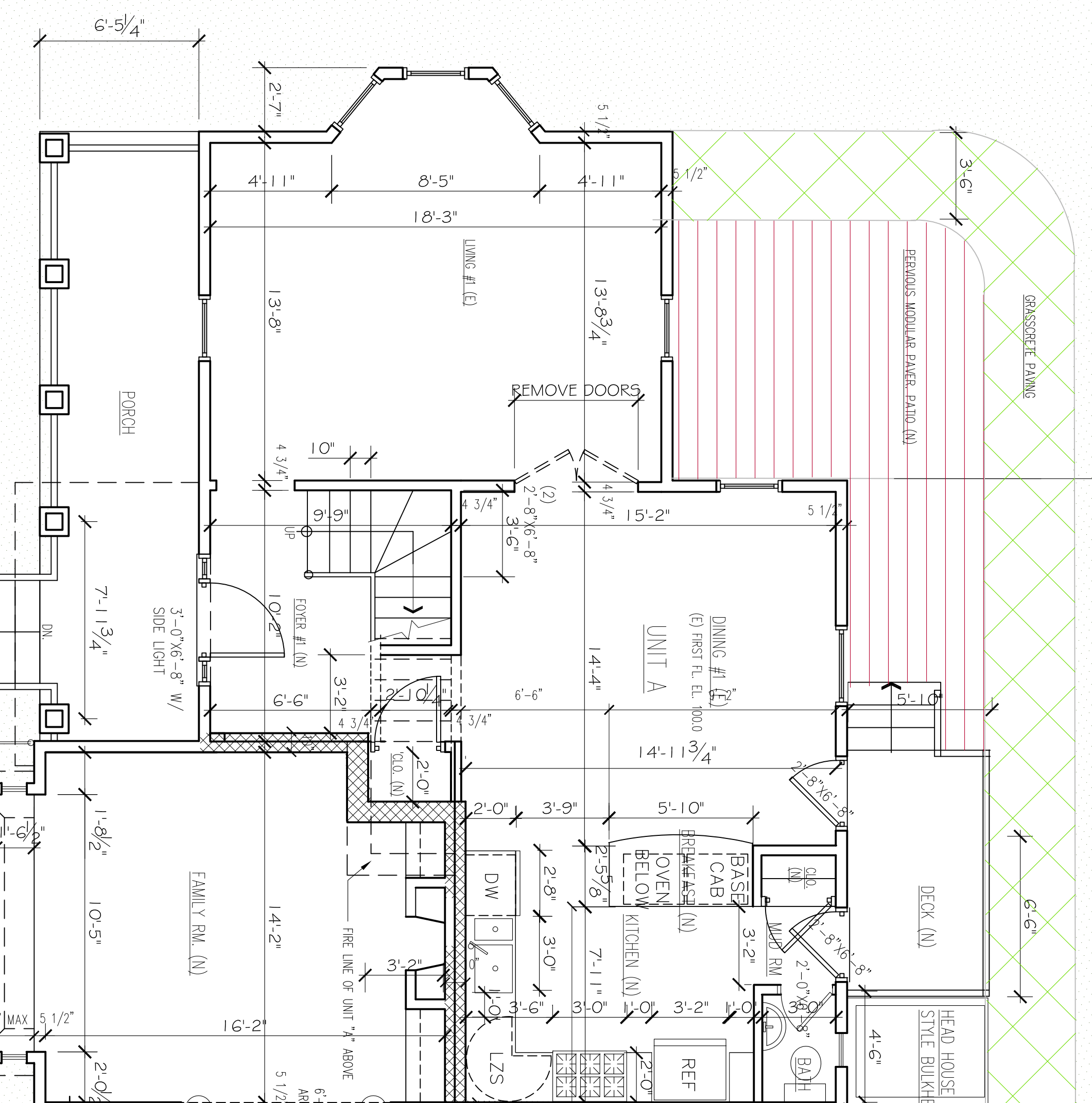
14.0'

SEE LANDSCAPE PLAN  
FOR FENCE LINE

15'-0" VERIFY IN FIELD

25'-7 1/2"

GRASSCOTE FINISH  
PERVIOUS MODULAR PAVEMENT PATIO (N)



REMOVE EXIST.  
GARAGE & PAVING

UNIT 'A' GARAGE

UNIT 'B' GARAGE

OPEN PARKING SPACE  
UNIT 'A'

OPEN PARKING SPACE  
UNIT 'B'

**PROPOSED SITE & FIRST FLOOR PLAN**

1/4" = 1'-0"

SEE LANDSCAPE PLAN

SEE LANDSCAPE PLAN  
FOR FENCE LINE

138.00'

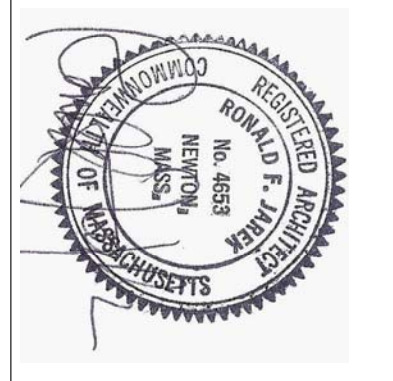
PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

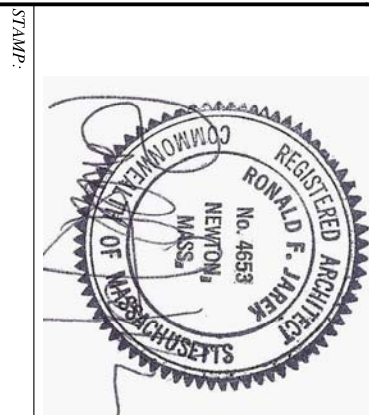
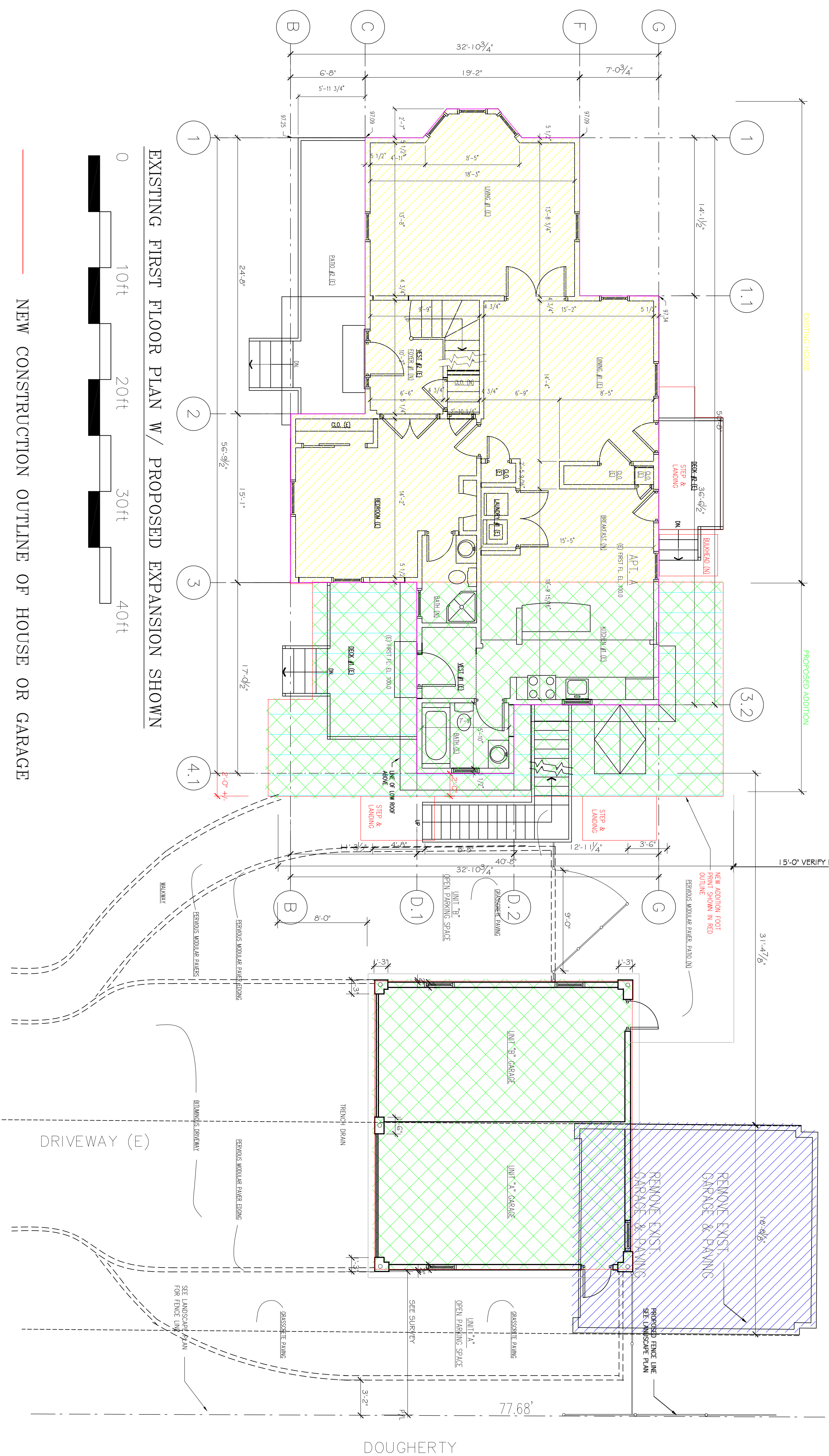
**PROPOSED FIRST FL. & SITE PAVING PLAN**

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

**Ronald F. Jarek, Architect**  
487 Watertown Street  
Newtonville, MA 02460



DATE:	AUGUST 14, 2014
SCALE:	AS SHOWN
DRAWN BY:	NJH
CHECKED BY:	RJ
REV:	05/20/14 JAS/ST 01/10/15 JAS/ST 07/28/2015



**COLOR CODED EXPANSION PLAN**

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

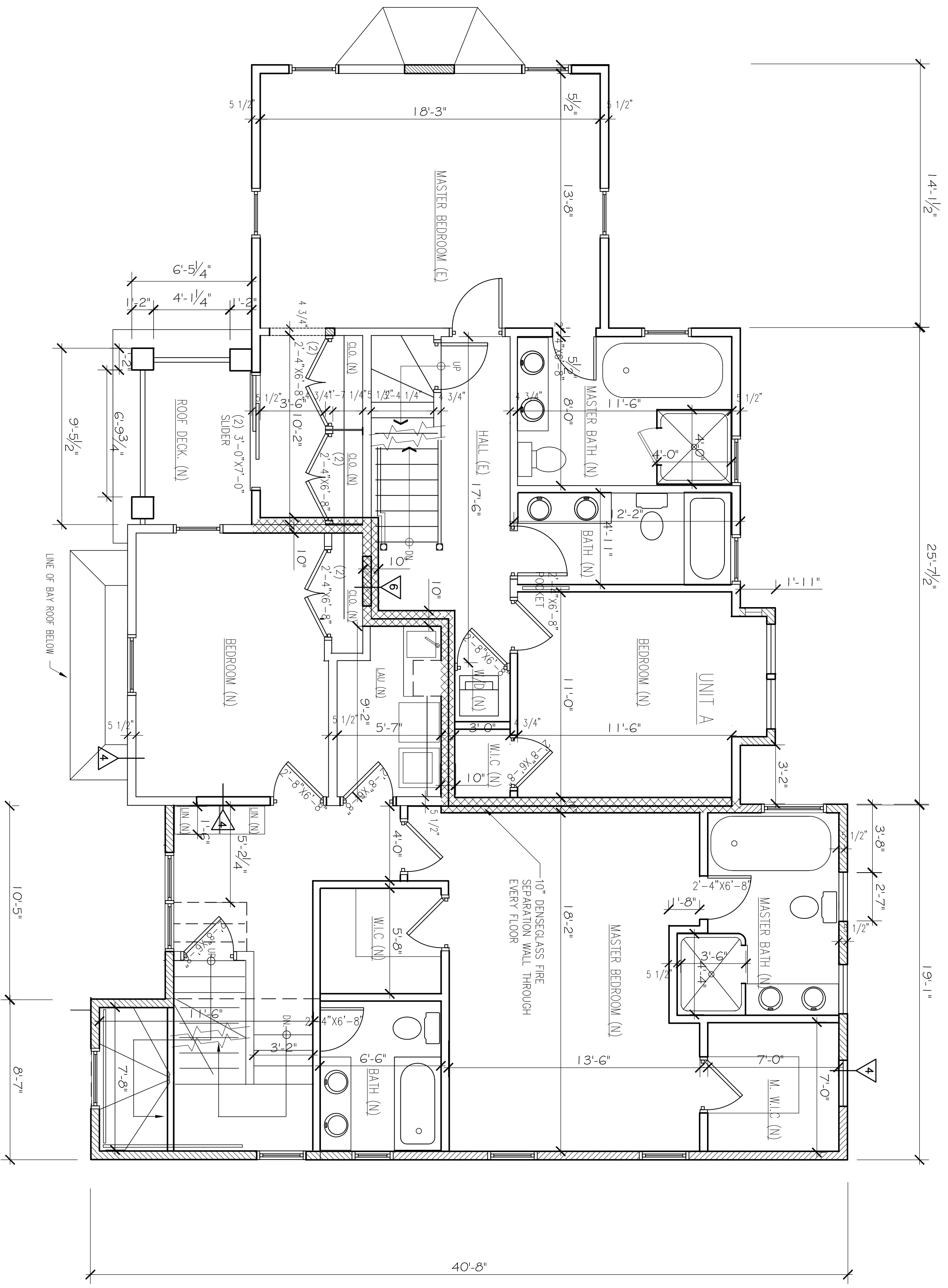
PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
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**Ronald F. Jarek, Architect**

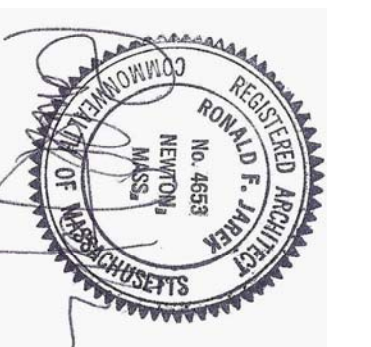
487 Watertown Street  
 Newtonville, MA 02460

DATE:	August 10, 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REV:	06/25/14 J.A.S/05 06/30/14 J.A.S/05 7/16/2015



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	APRIL 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REV:	02/20/14 JAS/JS
	1/28/2015



PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE: AUGUST 10, 2014

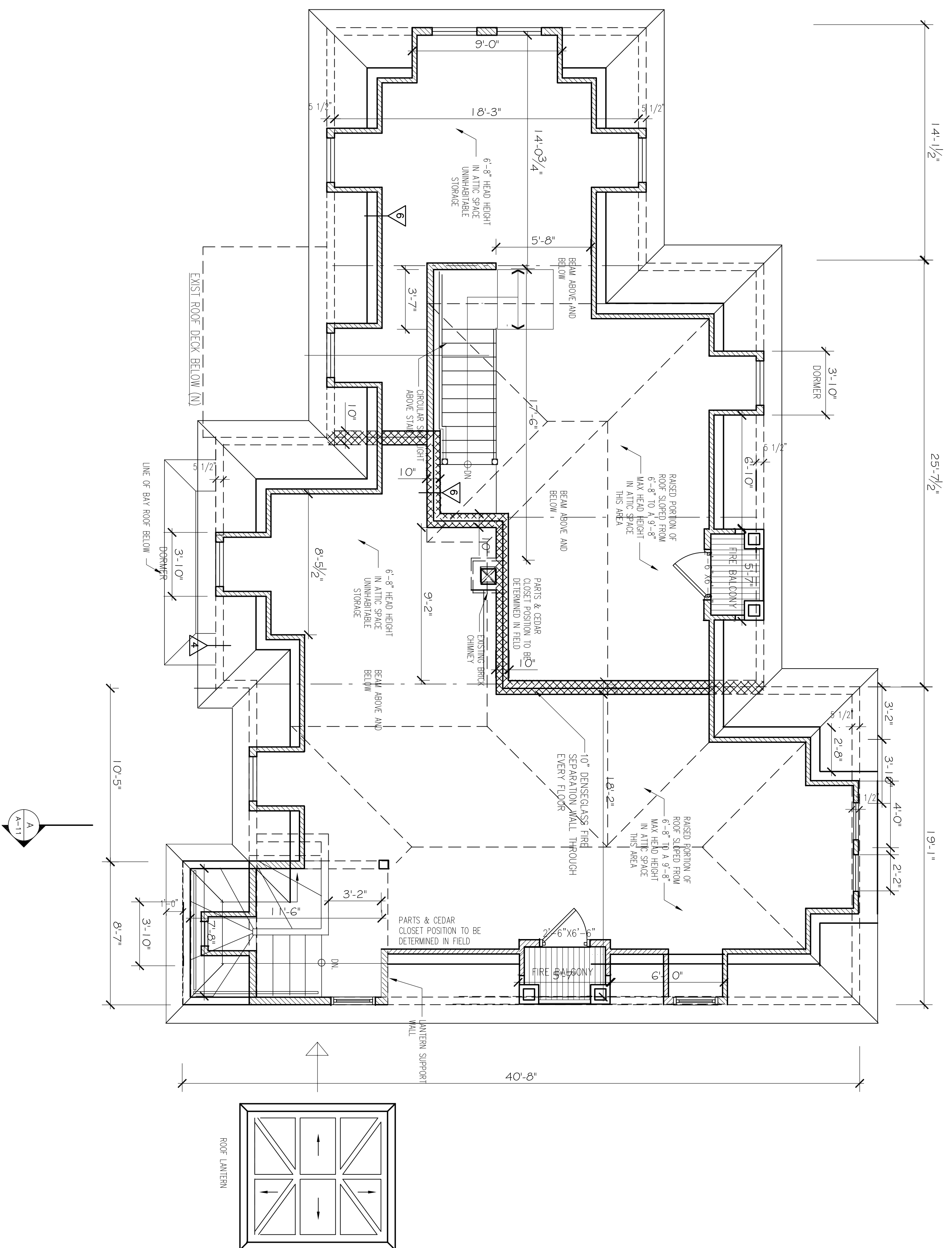
SCALE: AS SHOWN

DRAWN BY: NGA

CHECKED BY: NJ

REV: 06/20/14 JAS/SJS  
 07/20/14 JAS/SJS  
 11/20/15

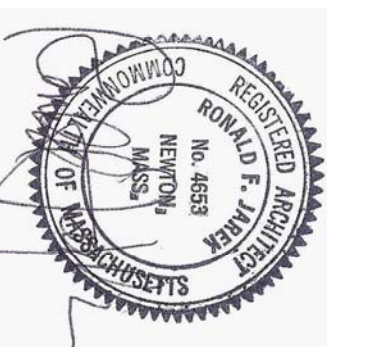
A-5



PROPOSED ATTIC FLOOR PLAN

1/4" = 1'-0"





**PROPOSED ROOF PLAN**  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

**PROJECT: ADDITIONS & ALTERATIONS**  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
**CLIENT: ARMAN CHITCHIAN**  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

DATE: AUGUST 2014

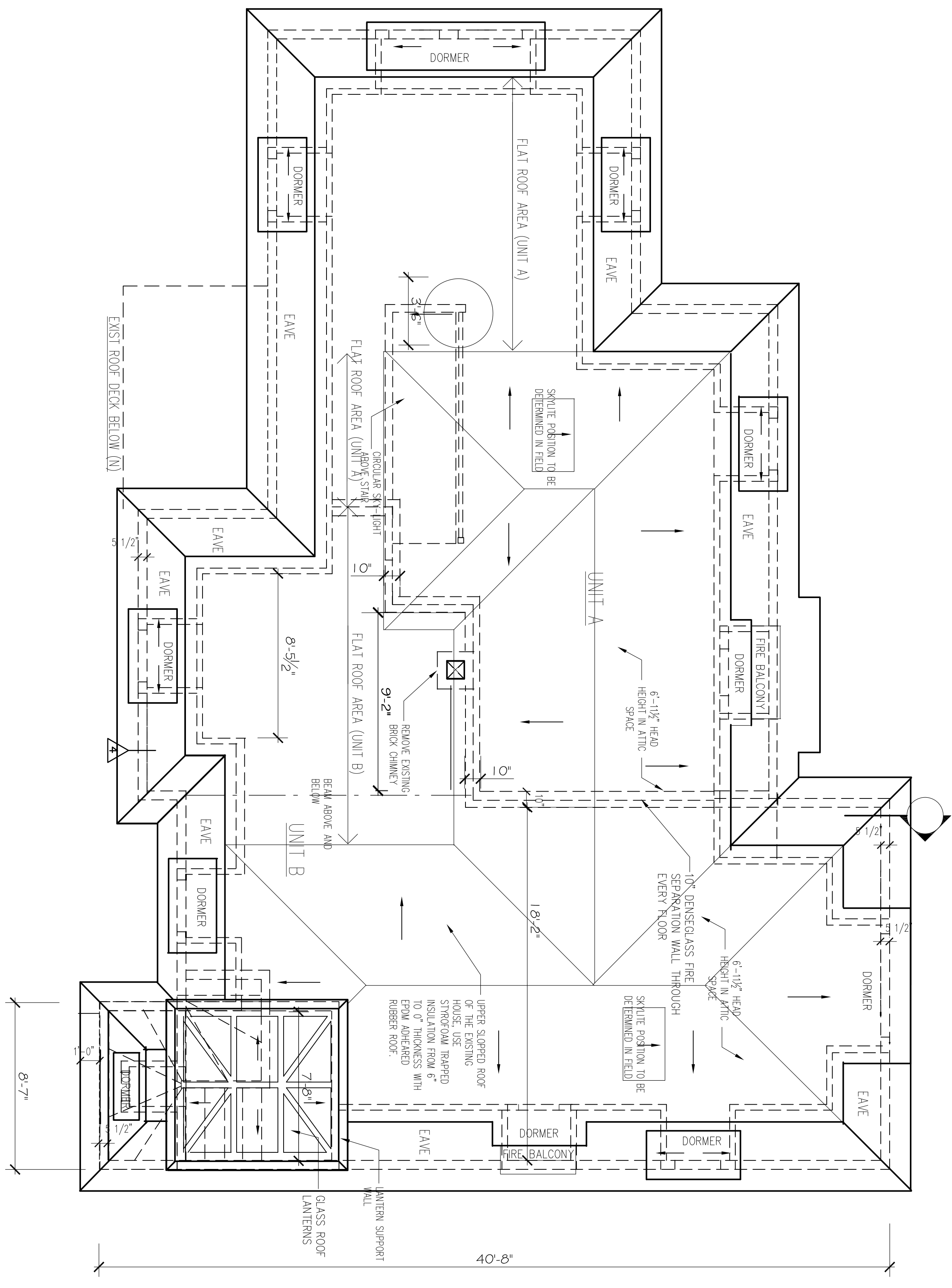
SCALE: AS SHOWN

DRAWN BY: NGA

CHECKED BY: NJ

REV: 06/2014 J.S.M.S.  
 1-19/2013

**A-6**



**PROPOSED ROOF PLAN**

1/4" = 1'-0"



**PROPOSED REAR ELEVATION**

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

**PROJECT: ADDITIONS & ALTERATIONS**  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

**CLIENT: ARMAN CHITCHIAN**  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

DATE: AUGUST 2014

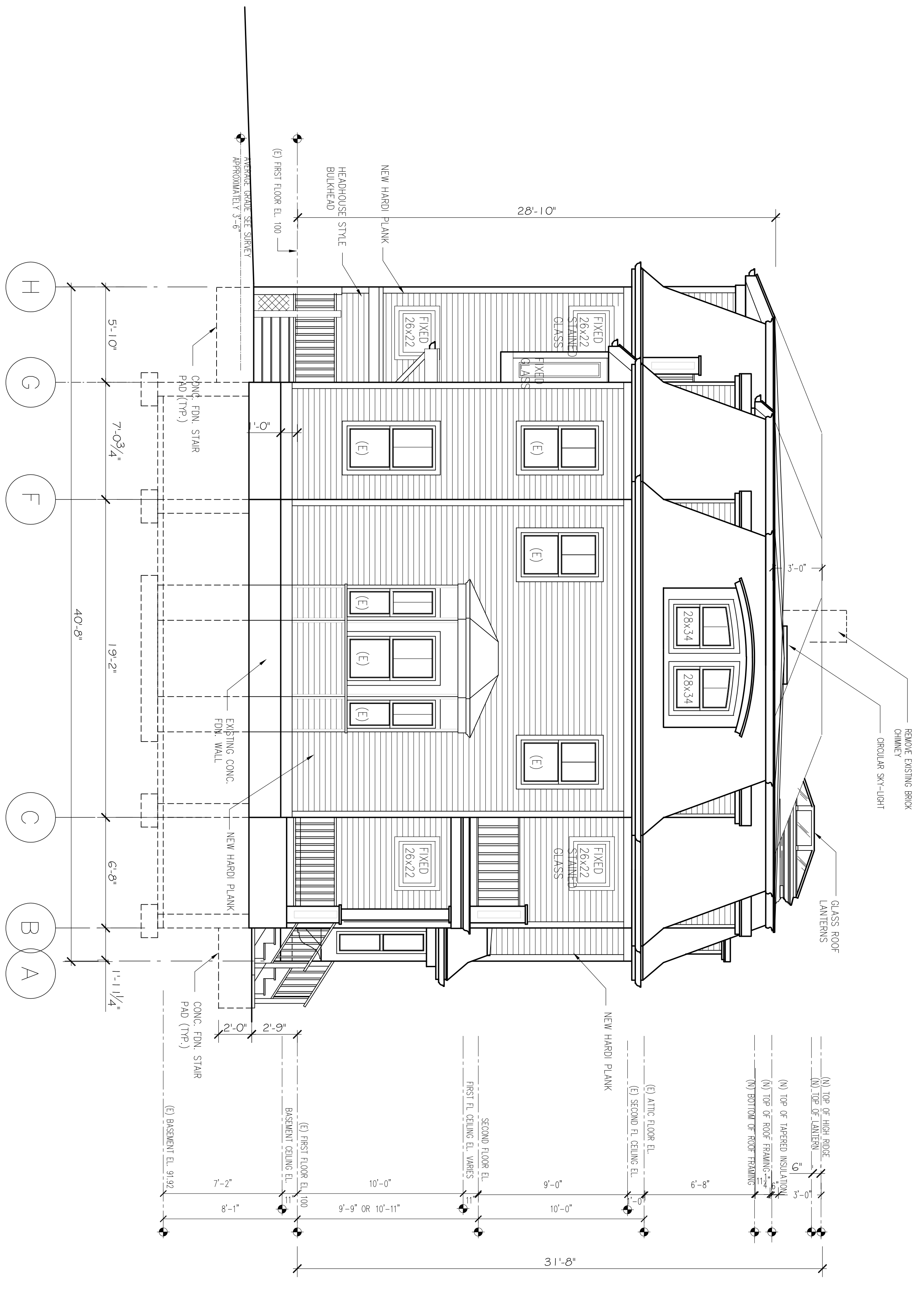
SCALE: AS SHOWN

DRAWN BY: NCH

CHECKED BY: RJ

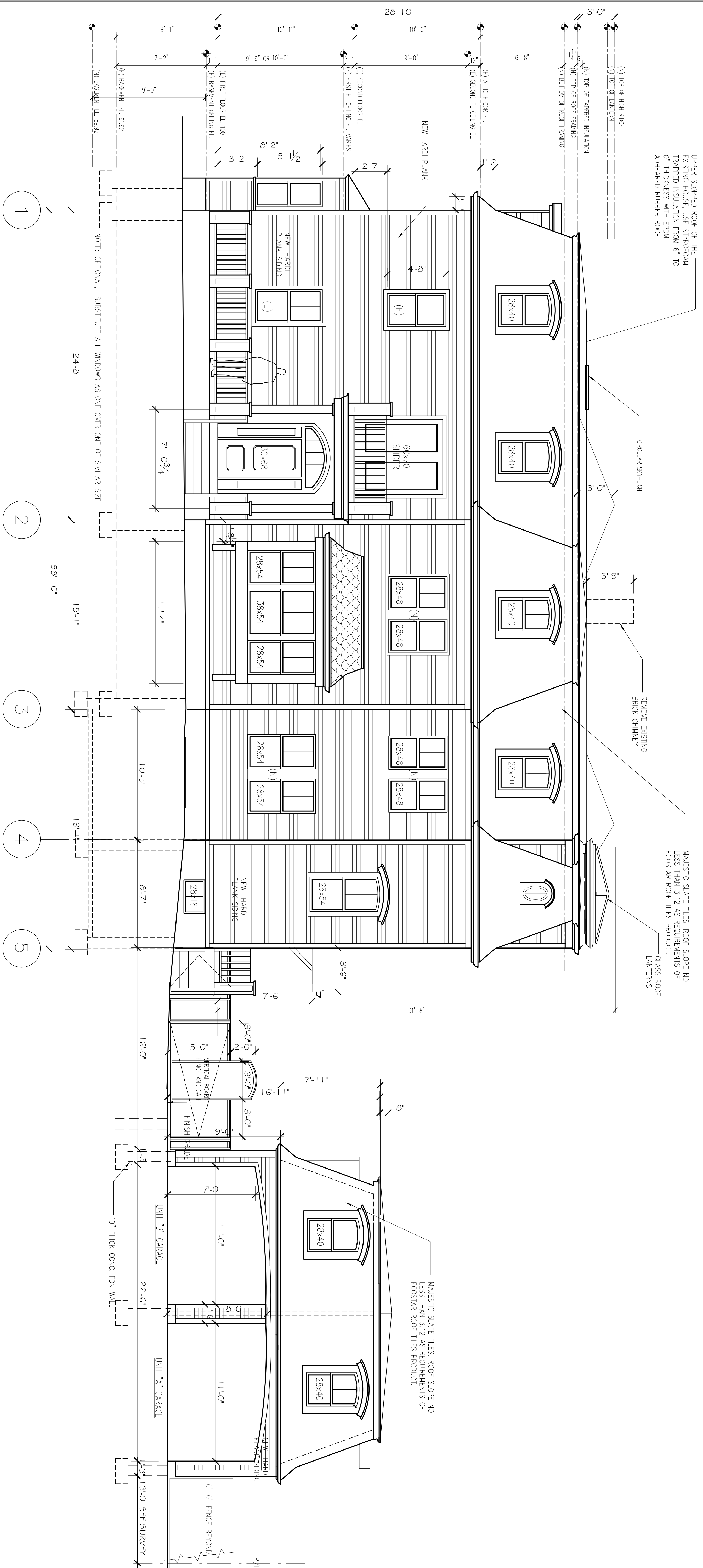
REV: 06/2014 JAS/MS  
 11/20/2013

**A-7**

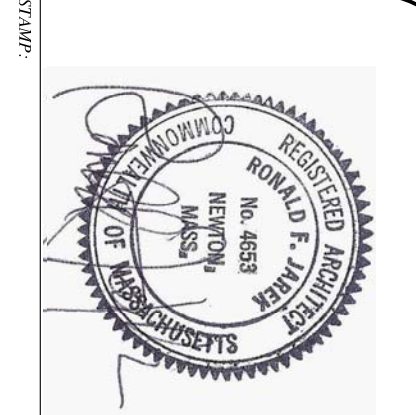


**PROPOSED FRONT ELEVATION (SOUTH)**

1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION (EAST)



PROPOSED RIGHT SIDE ELEVATION

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE: AUGUST 10, 2014

SCALE: AS NOTED

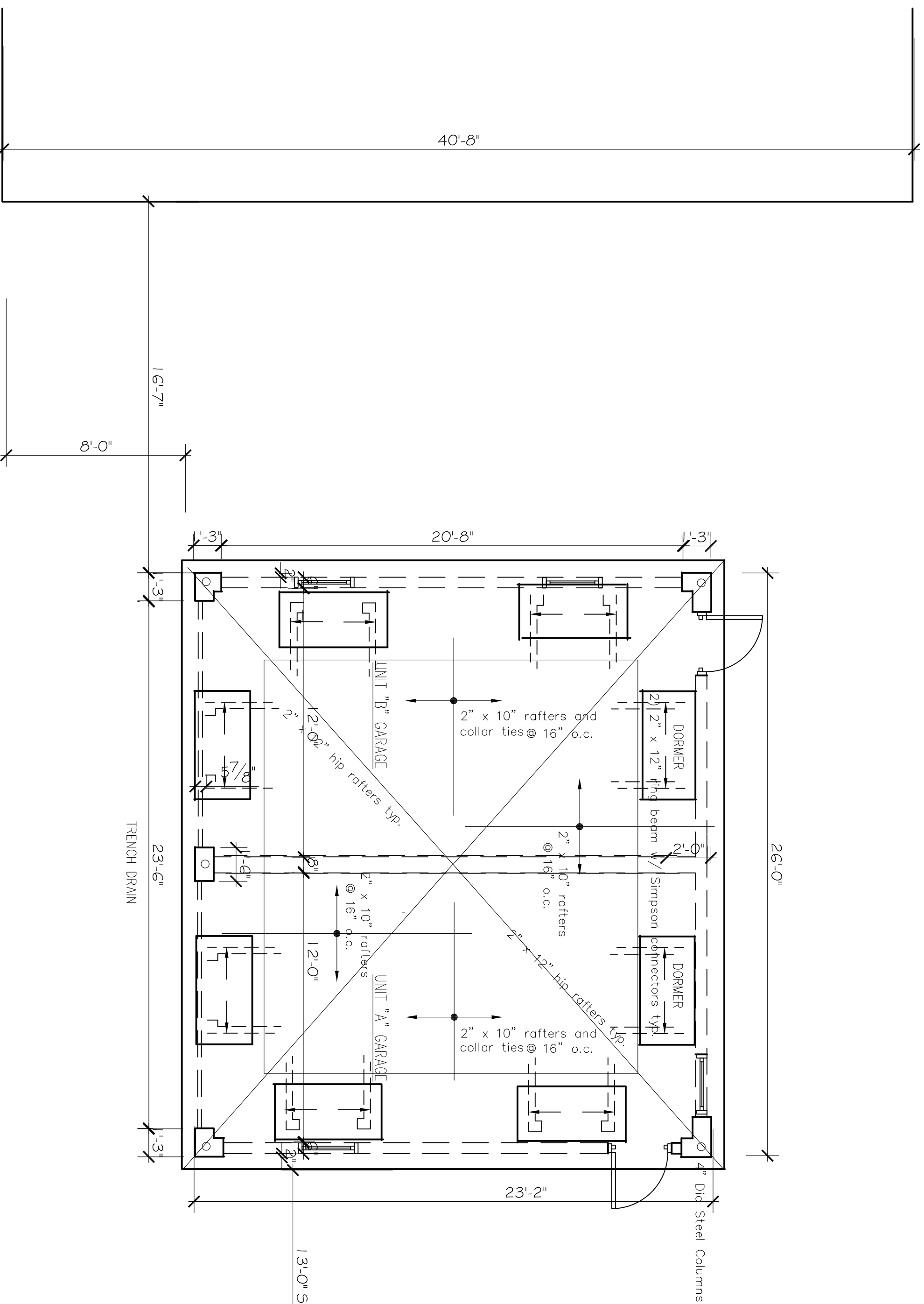
ARCHITECT: R.F.J.

DATE: 8/10/14

PROJECT: 143 LINCOLN STREET

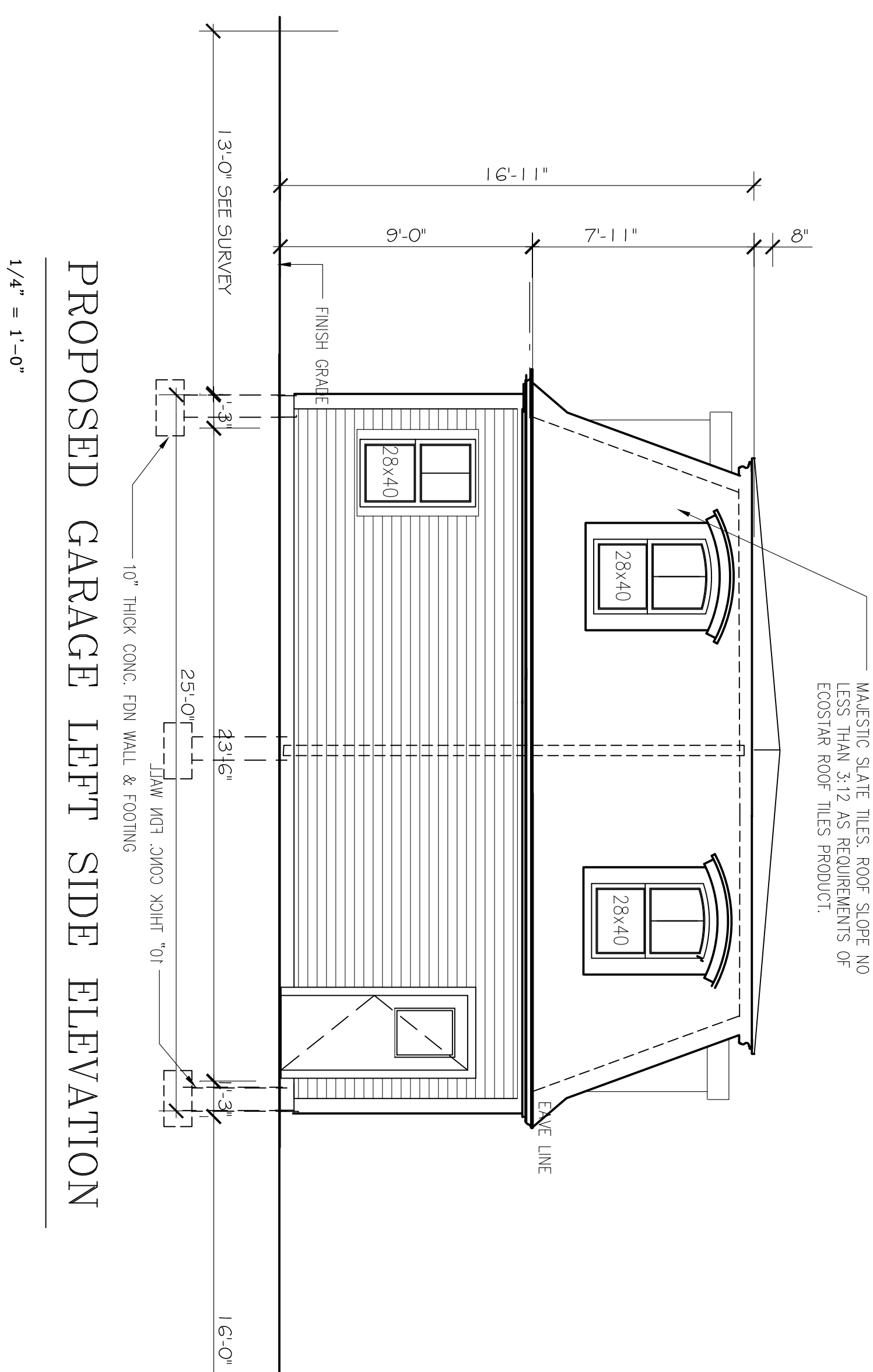
NO. 6653

STATE OF MASSACHUSETTS



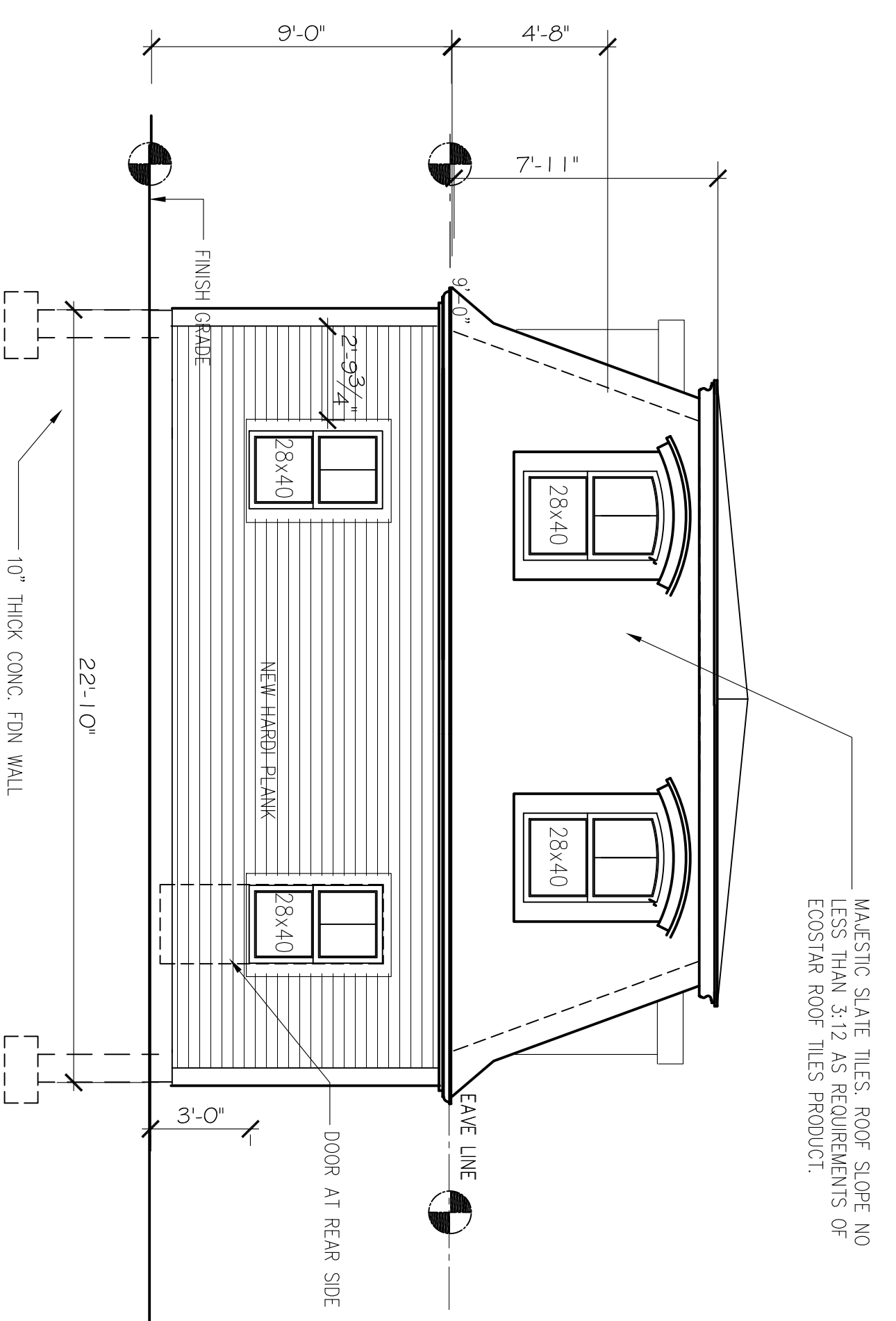
PROPOSED GARAGE ROOF PLAN

1/4" = 1'-0"



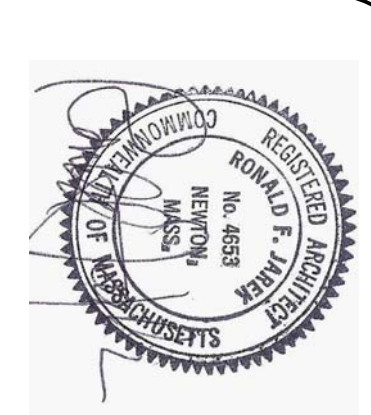
PROPOSED GARAGE LEFT SIDE ELEVATION

1/4" = 1'-0"



PROPOSED GARAGE FRONT & REAR SIDE ELEVATION

1/4" = 1'-0"



PROPOSED PLAN & ELEVATION

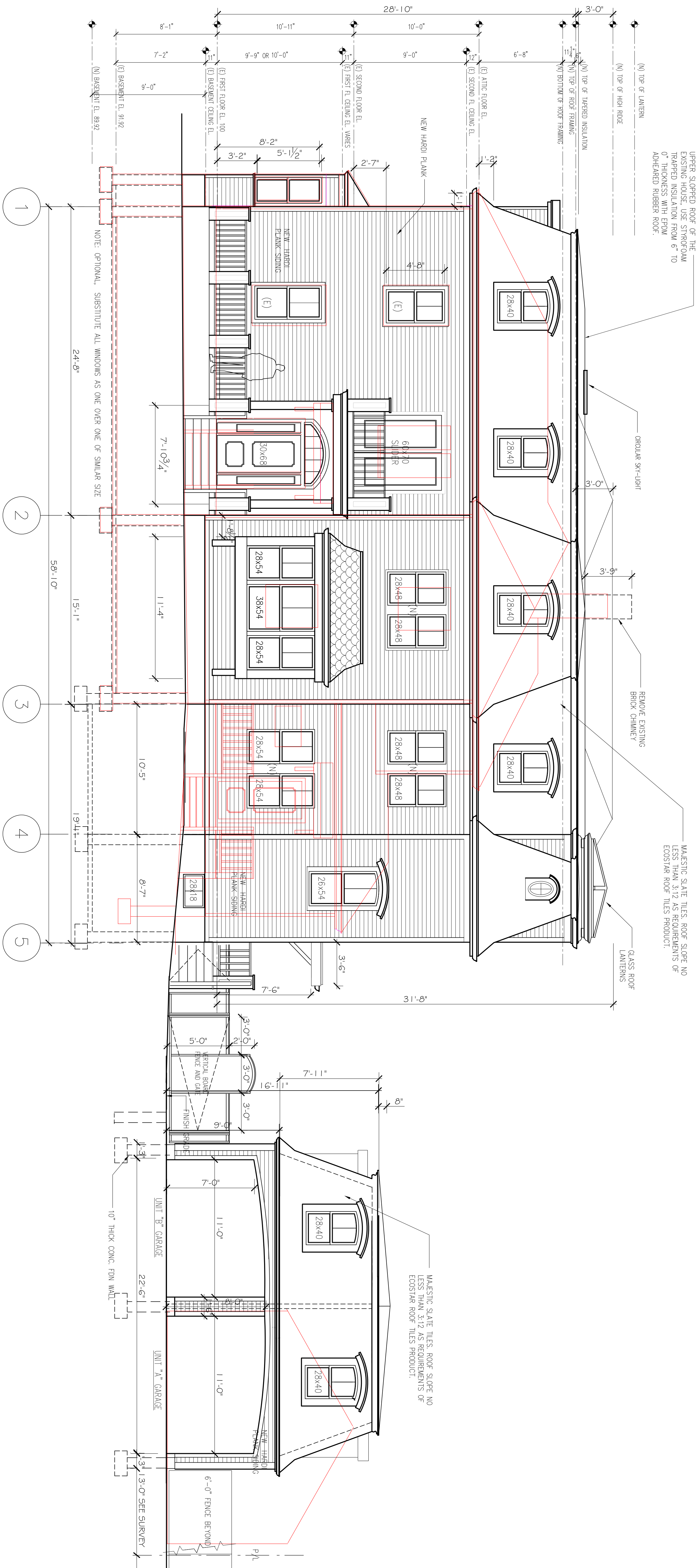
143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

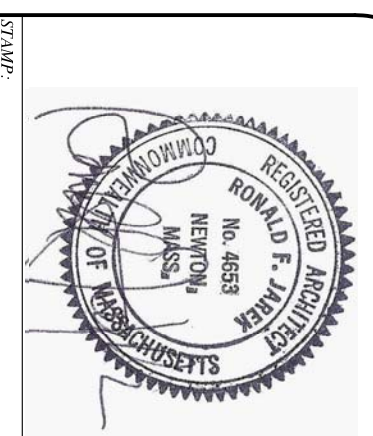
Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	APR 2019 TO 3/14
SCALE:	AS NOTED
ARCHITECT:	R.F.J.
DESIGNER:	R.F.J.
DATE:	6/20/19 J.F.J./A.S.
DATE:	6/20/19 J.F.J./A.S.
DATE:	7/16/2019



PROPOSED RIGHT SIDE ELEVATION (EAST)

RED OUTLINE REPRESENTS EXISTING STRUCTURE



PROPOSED RIGHT SIDE OVERLAY

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE	APPROVED BY SH#4
SCALE	AS NOTED
ARCHITECT	R.F.J.
DATE	1/23/2024
PROJECT	2 FAMILY RESIDENCE - 143 LINCOLN STREET, NEWTON CENTER, MA 02461
NO.	A-8b

A-8b

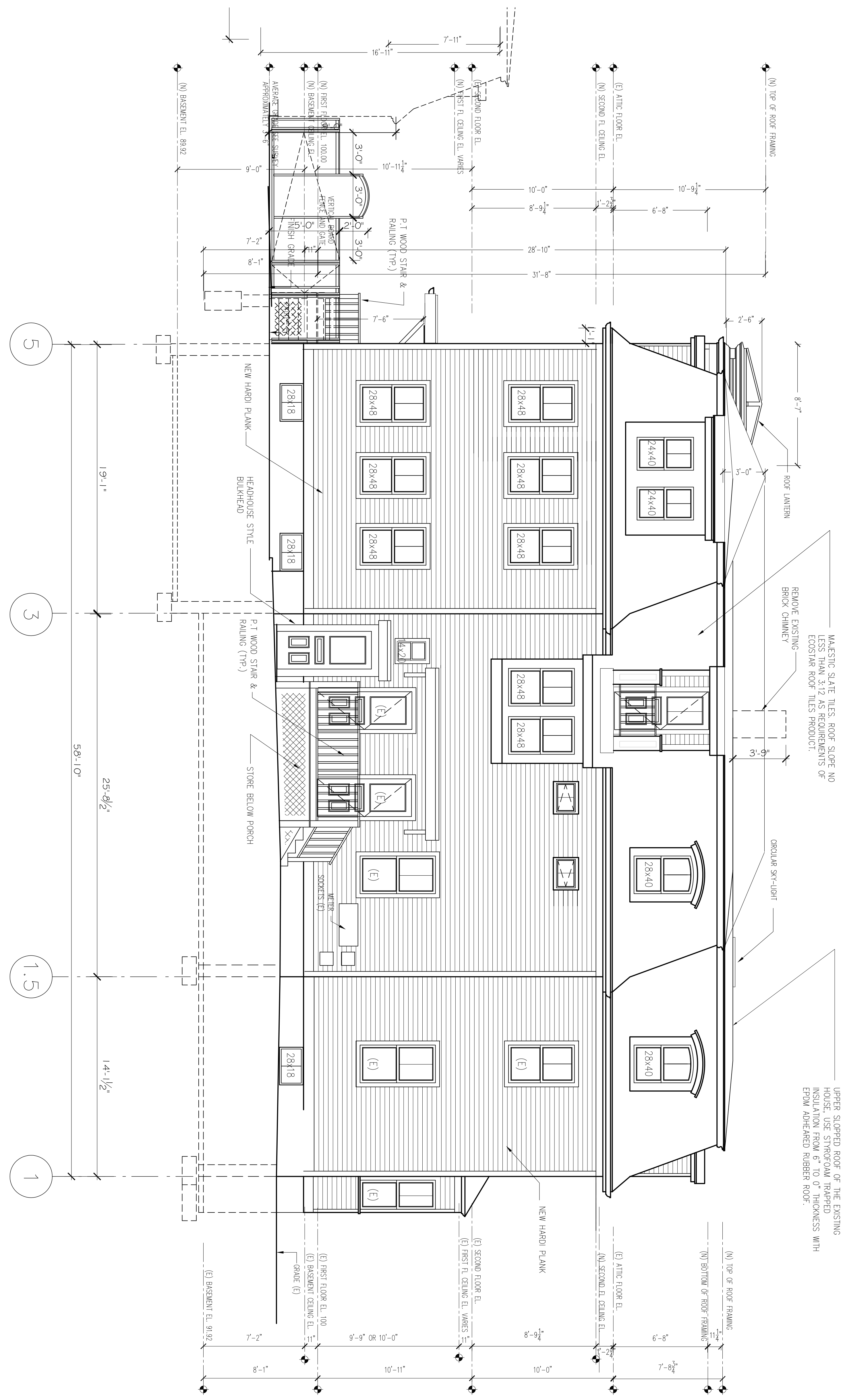


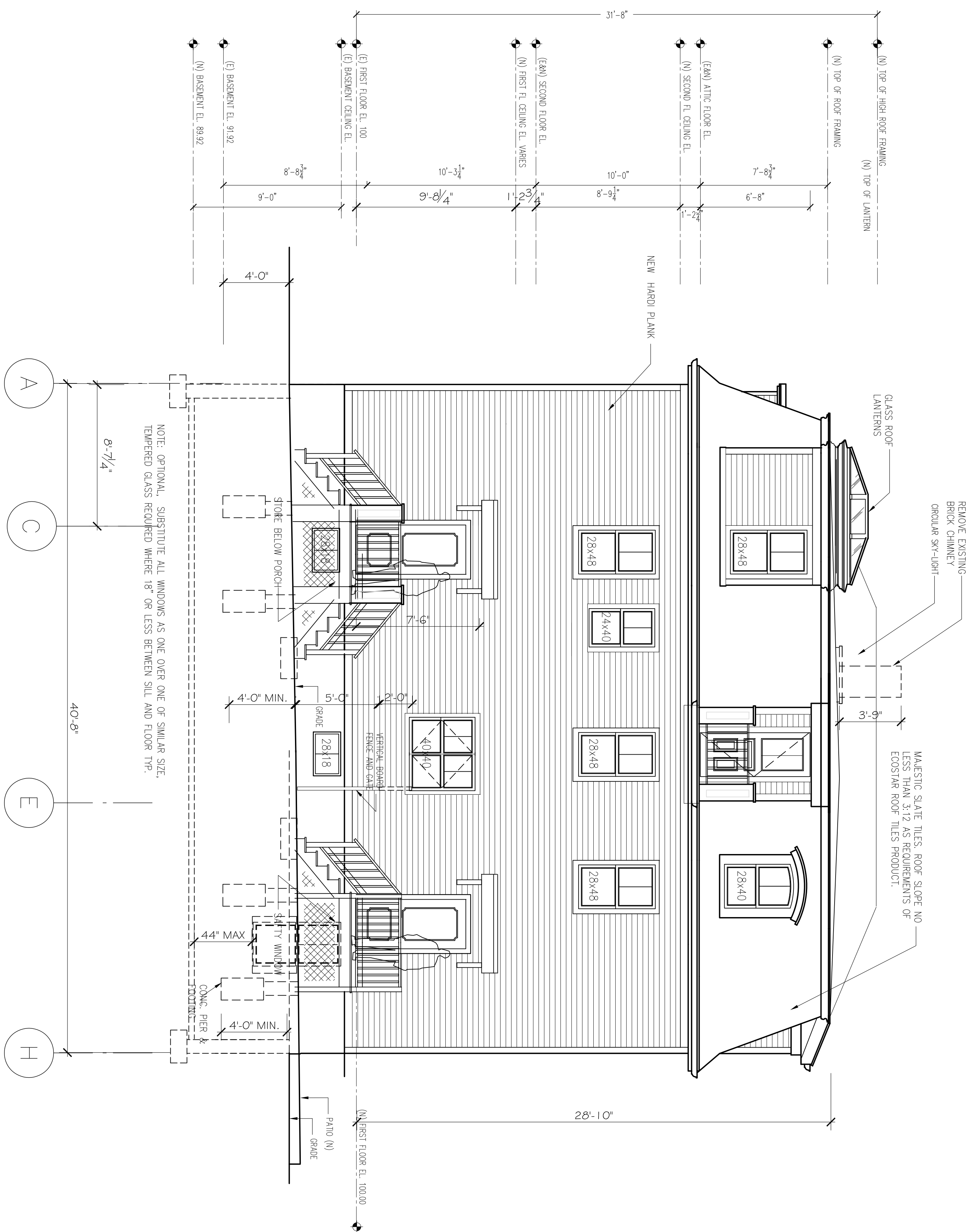
**PROPOSED LEFT SIDE ELEVATION**  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

**PROJECT: ADDITIONS & ALTERATIONS**  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

**Ronald F. Jarek, Architect**  
 487 Watertown Street  
 Newtonville, MA 02460

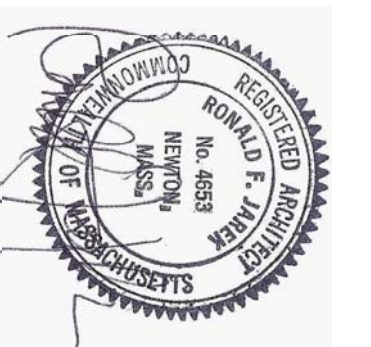
**PROPOSED LEFT SIDE ELEVATION (WEST)**





PROPOSED REAR ELEVATION (NORTH)

1/4" = 1'-0"



PROPOSED REAR ELEVATION

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

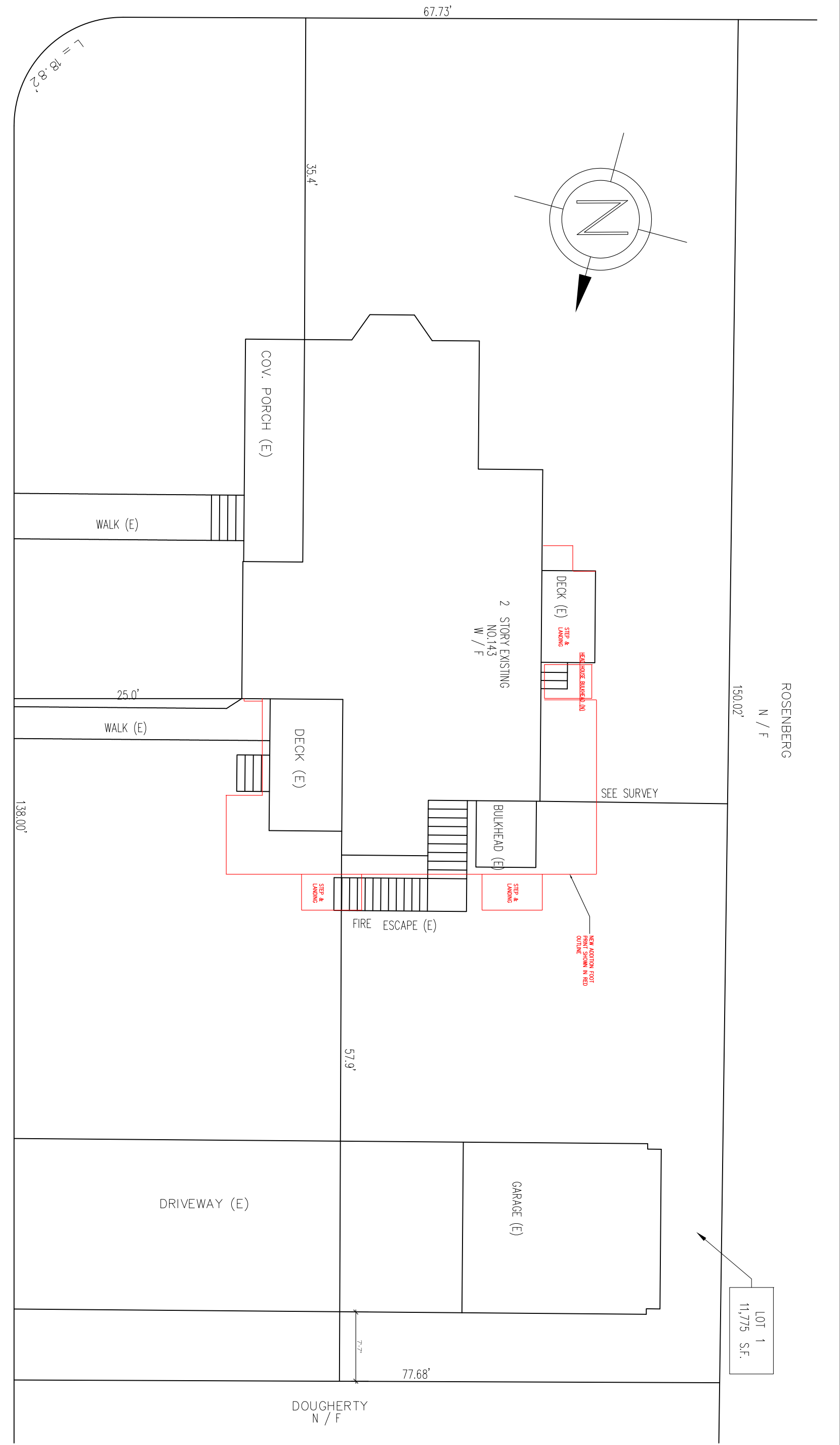
PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

DATE:	AGUSTIN 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REV:	6/20/14 JAS/ST 9/25/14 JAS/ST 11/20/15

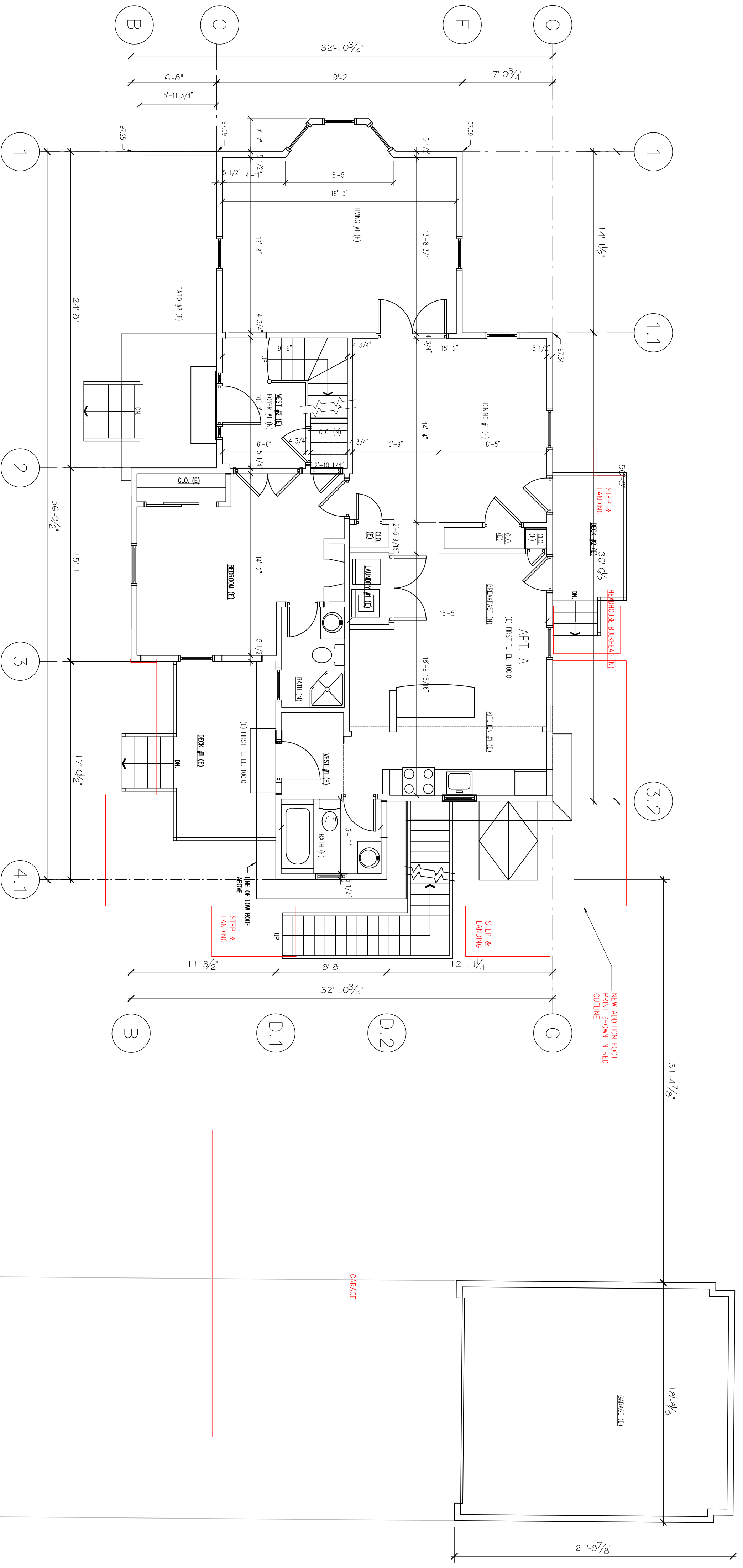
LINCOLN STREET



MOUNTFORD ROAD

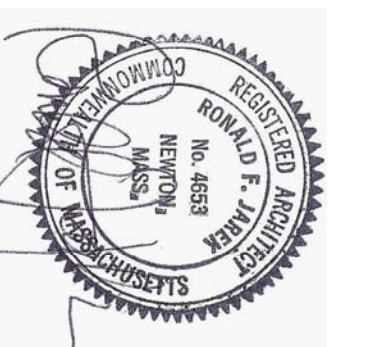
EXISTING SITE PLAN

3/28" = 1'-0"



EXISTING FIRST FLOOR PLAN

3/28" = 1'-0"



EXISTING FIRST FLOOR PLAN W/ EXP. OUTLINE

143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

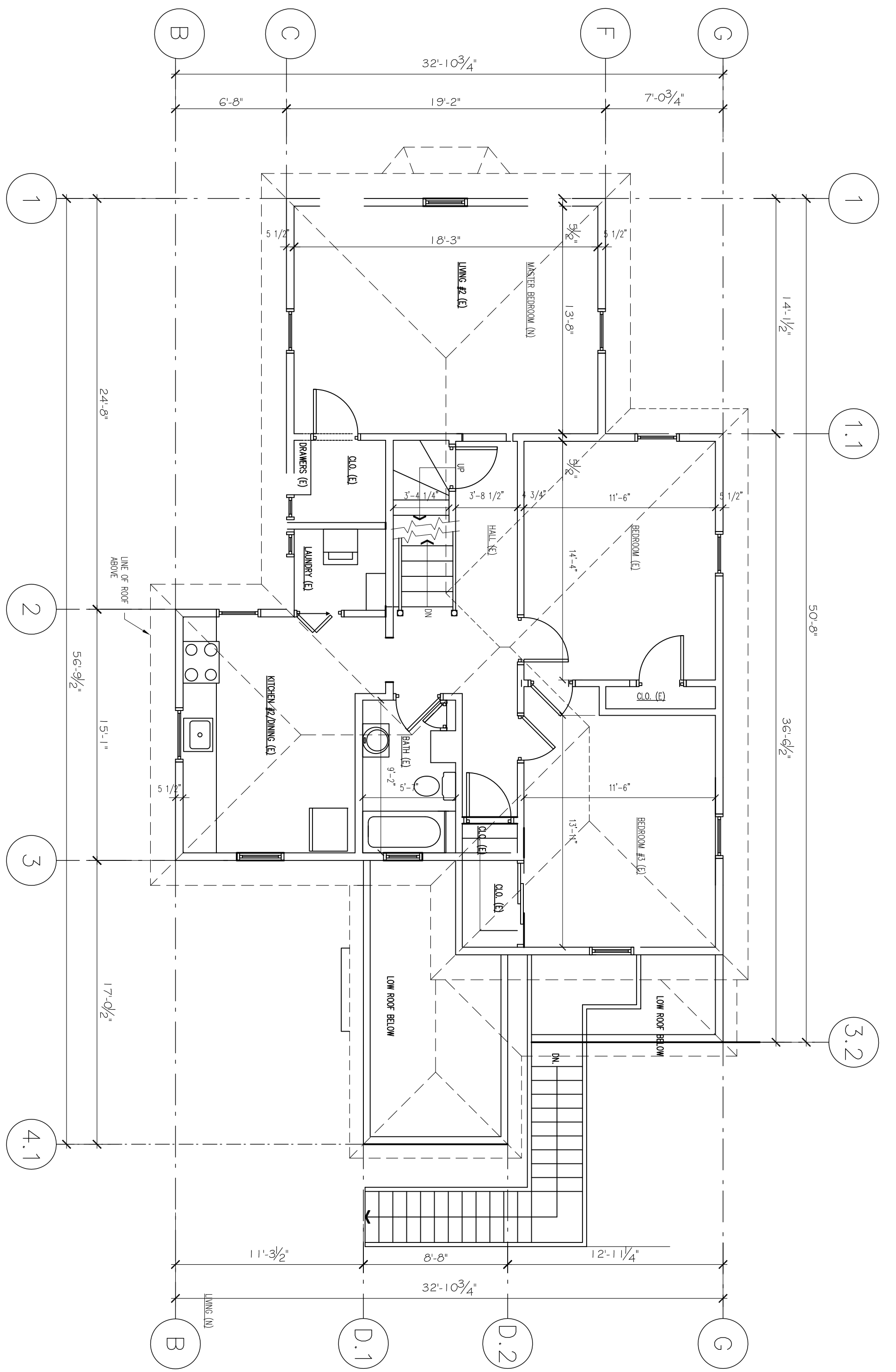
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

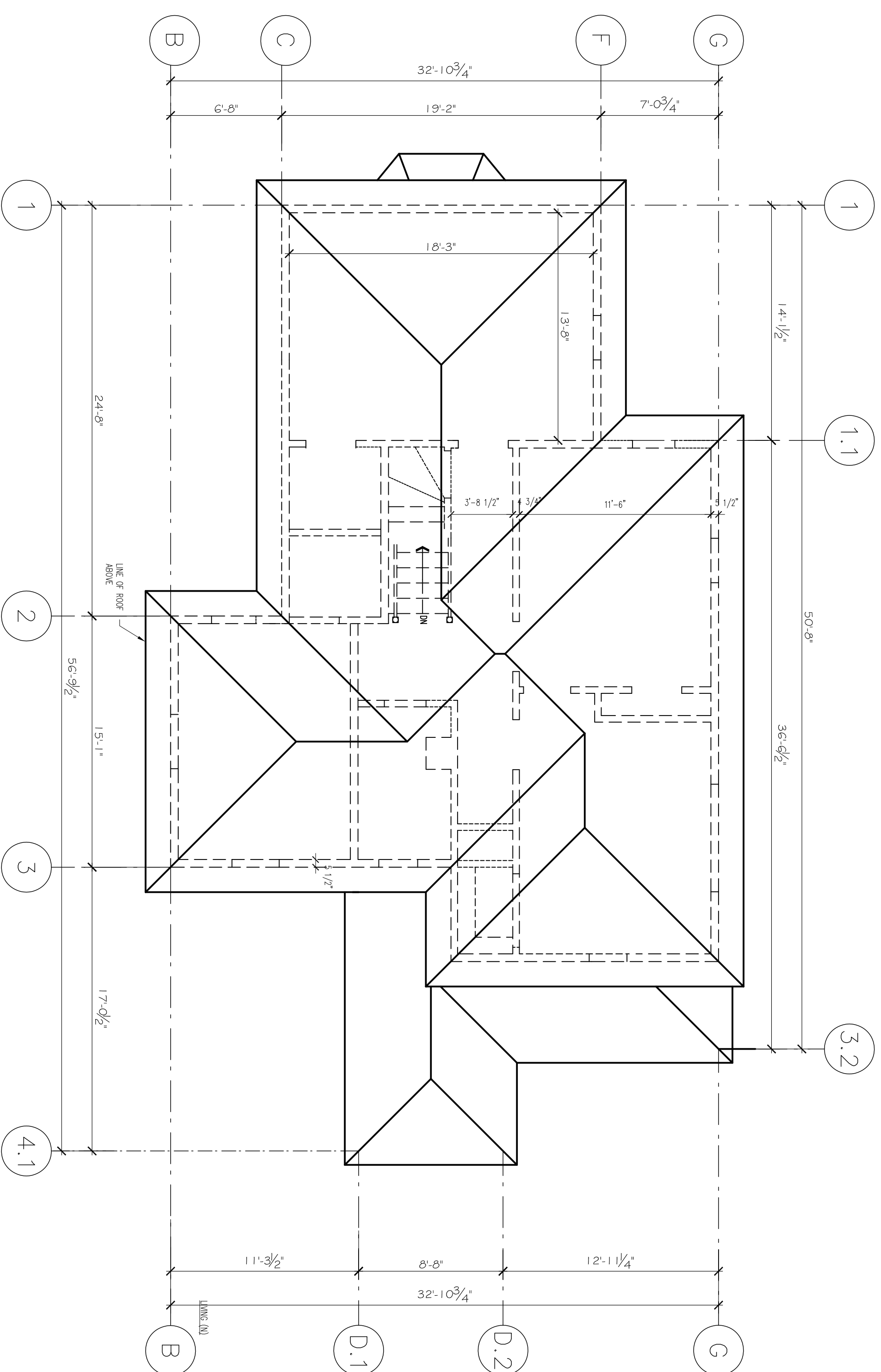
DATE:	MAY 24, 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
DESIGNED DATE:	02-26-2014 1:30PM
REVISED DATE:	1-29-2015

EX-1

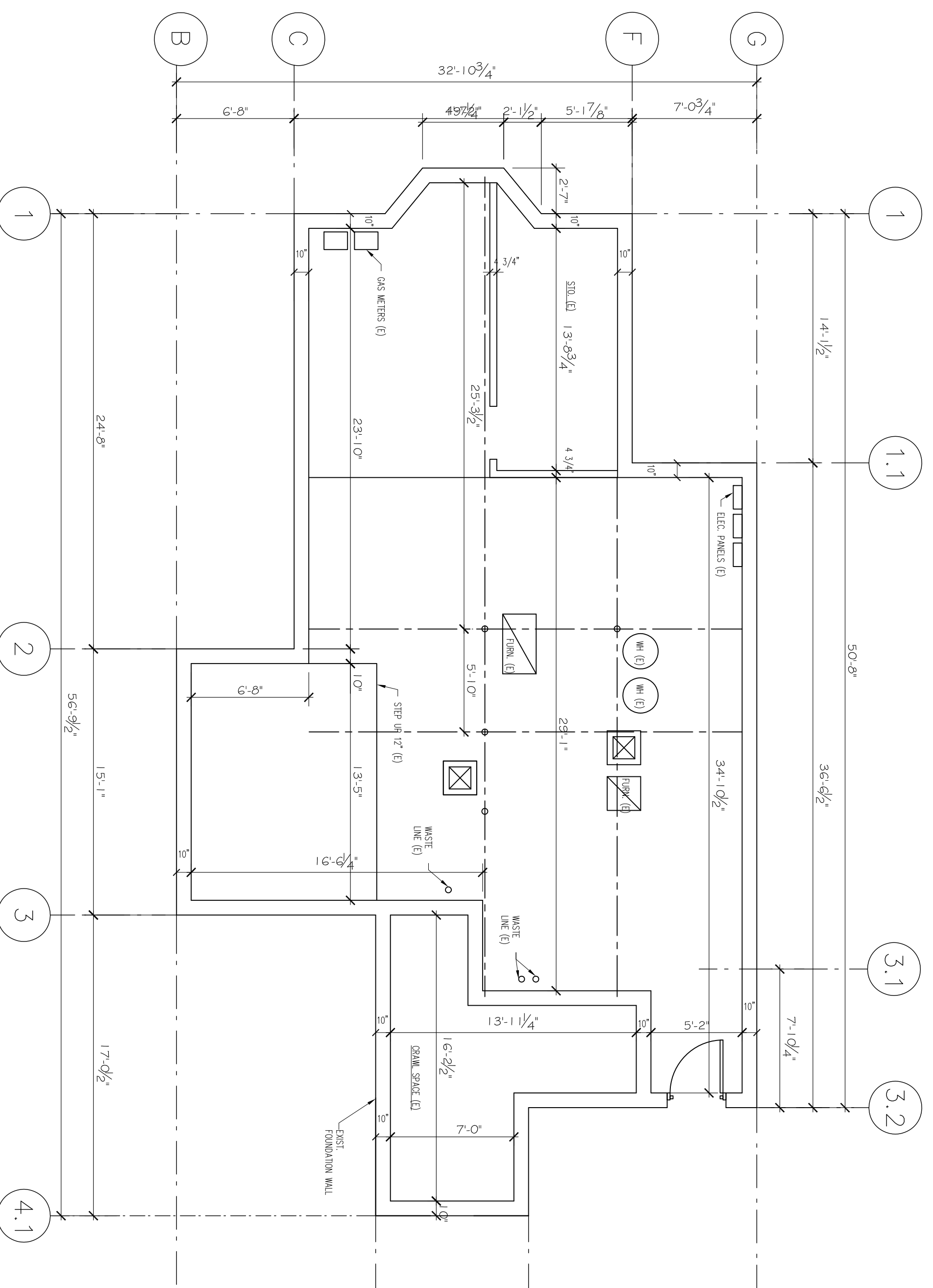




EXISTING SECOND FLOOR PLAN  
3/16" = 1'-0"



EXISTING ROOF PLAN  
3/16" = 1'-0"



EXISTING BASEMENT FLOOR PLAN  
3/16" = 1'-0"



EXISTING SECOND, BASEMENT & ROOF PLANS

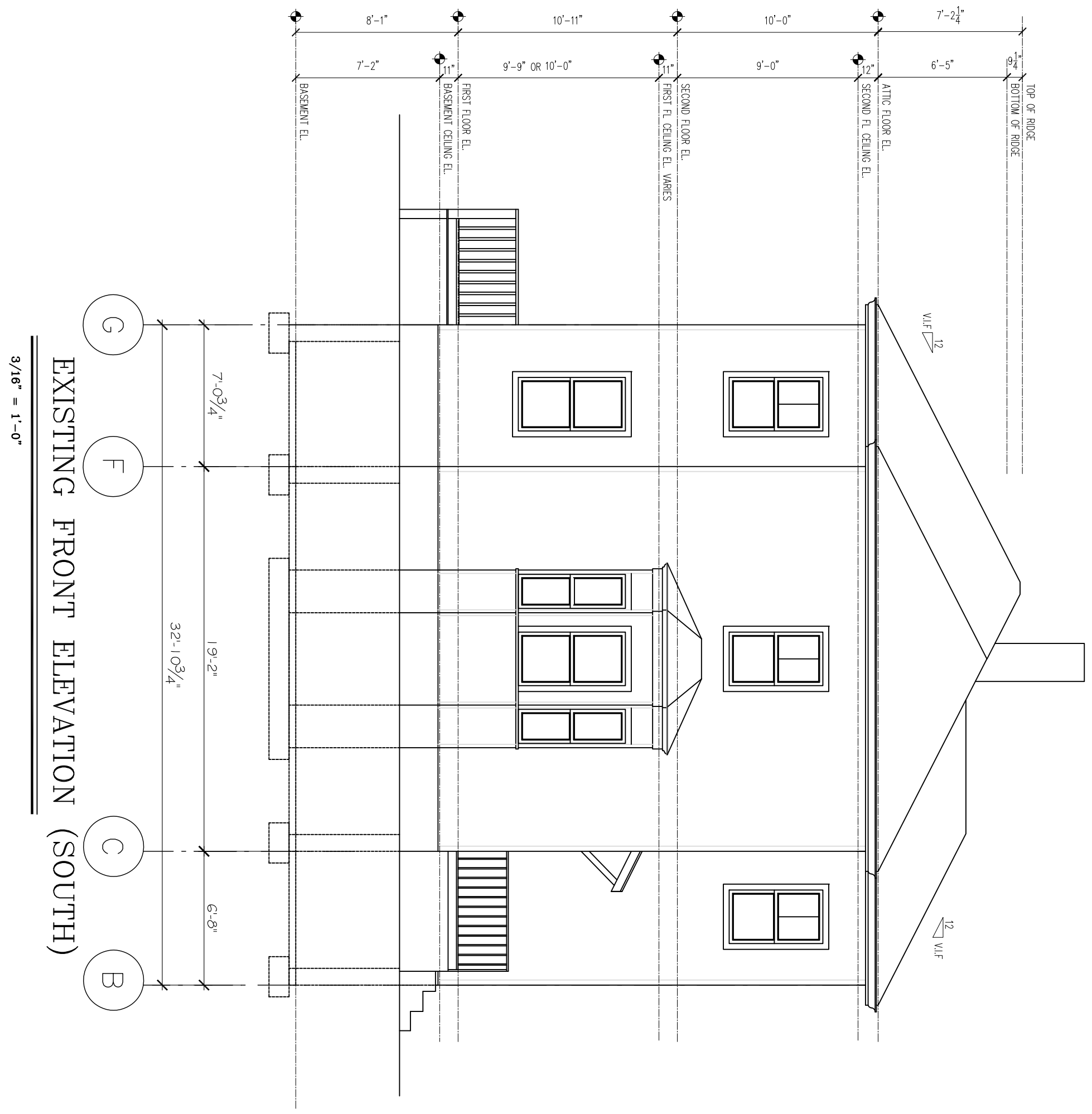
143 LINCOLN STREET  
NEWTON HIGHLANDS, MA 02461

PROJECT: ADDITIONS & ALTERATIONS  
2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
NEWTON CENTER, MA 02461

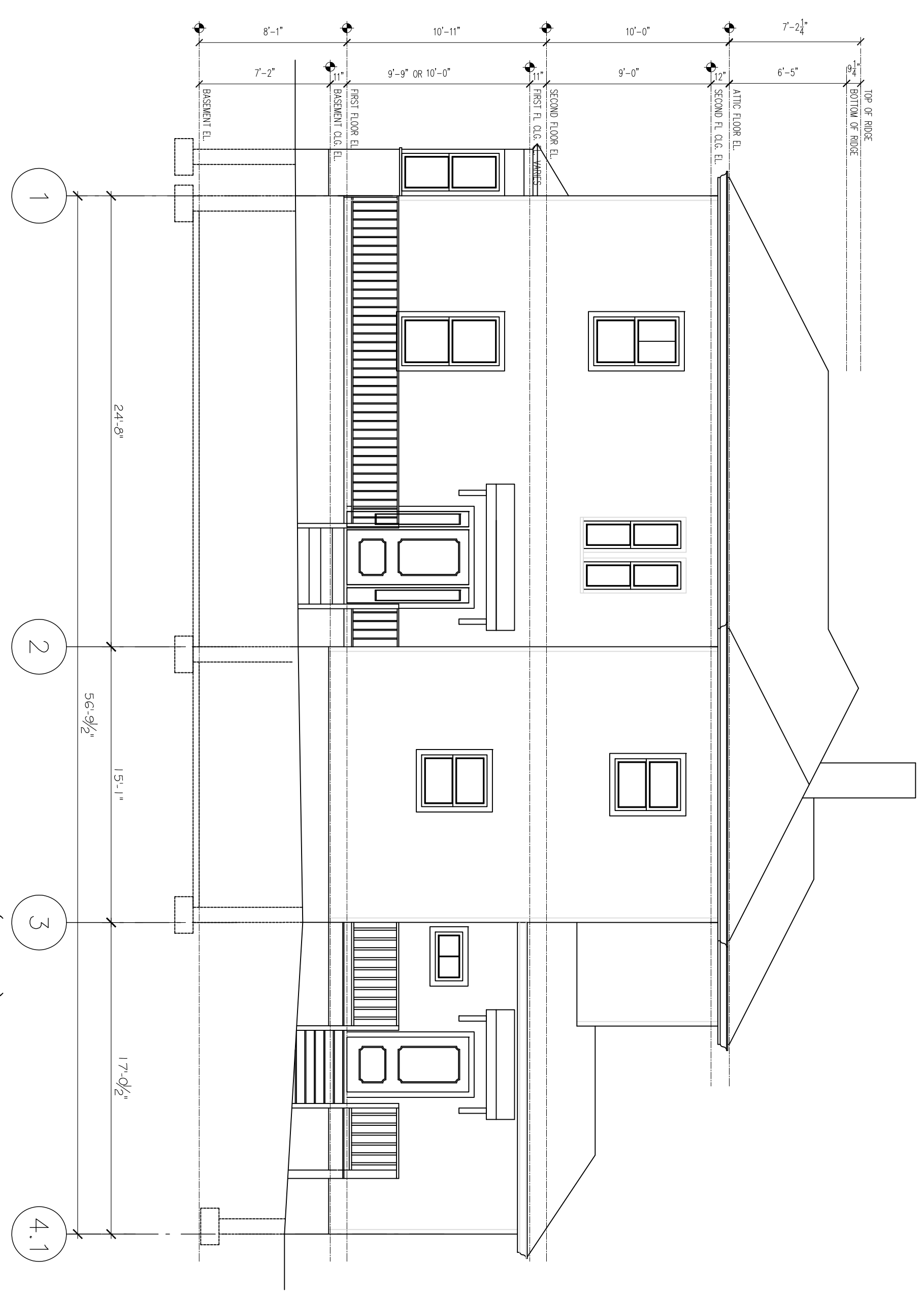
CLIENT: ARMAN CHITCHIAN  
79 BRANDEIS ROAD  
NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
487 Watertown Street  
Newtonville, MA 02460

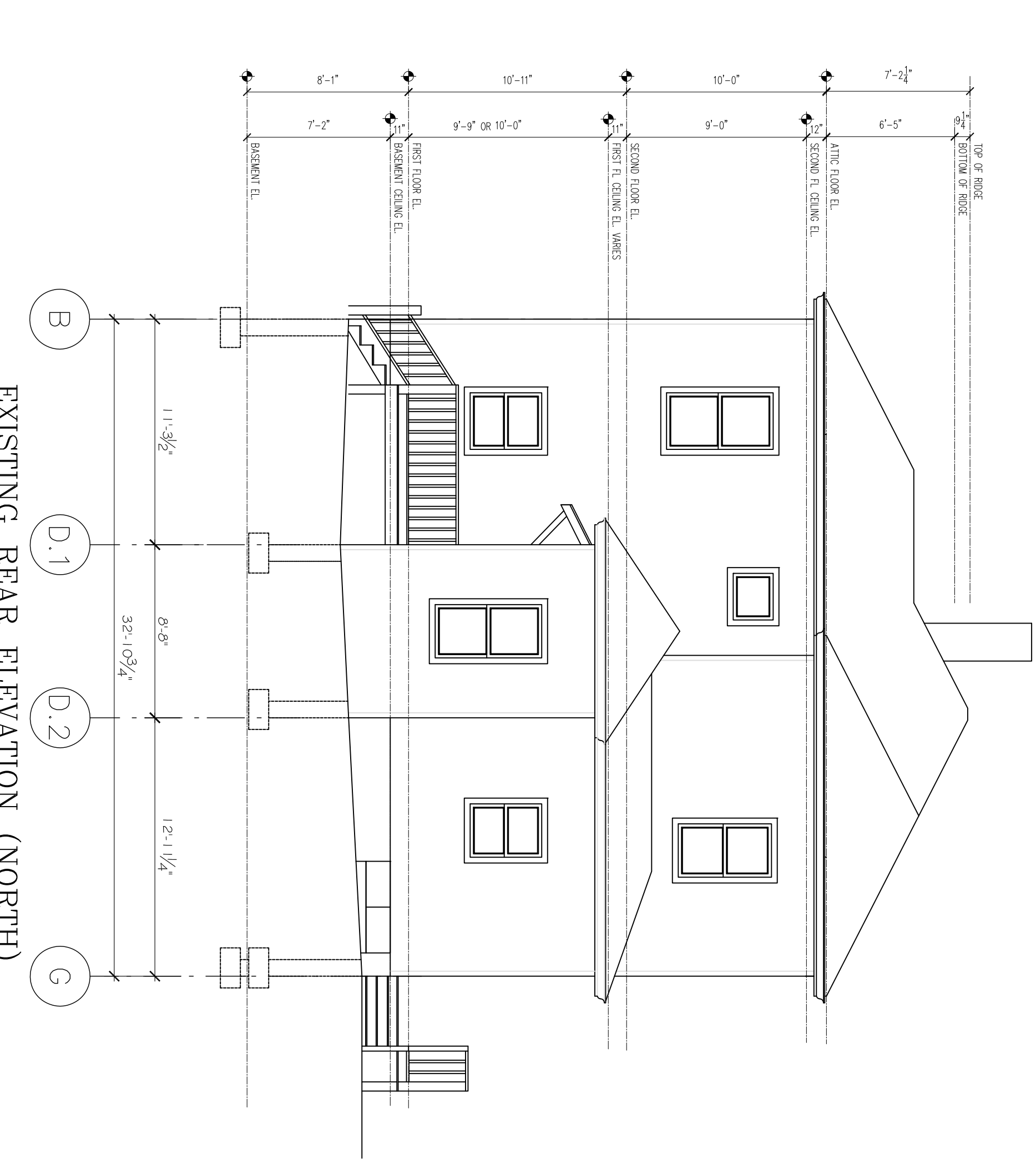
DATE:	MAY 21, 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
REVISION DATE:	10.8.2014



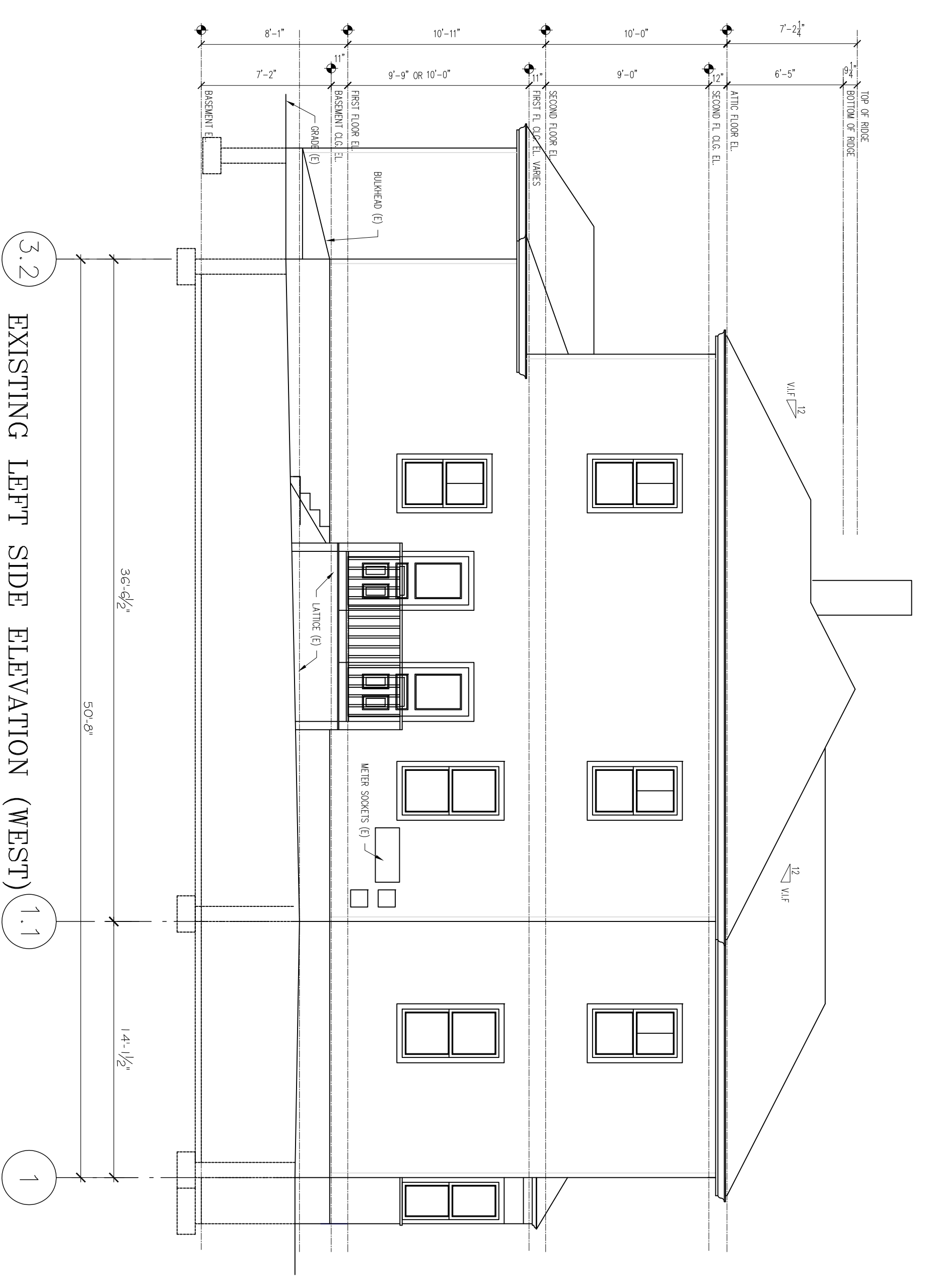
EXISTING FRONT ELEVATION (SOUTH)  
 3/16\"/>



EXISTING RIGHT SIDE ELEVATION (EAST)  
 3/16\"/>



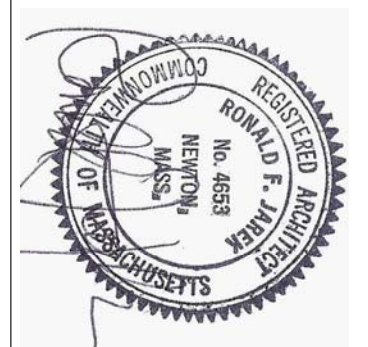
EXISTING REAR ELEVATION (NORTH)  
 3/16\"/>



EXISTING LEFT SIDE ELEVATION (WEST) 1.1  
 3/16\"/>

EXISTING ELEVATIONS

143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461

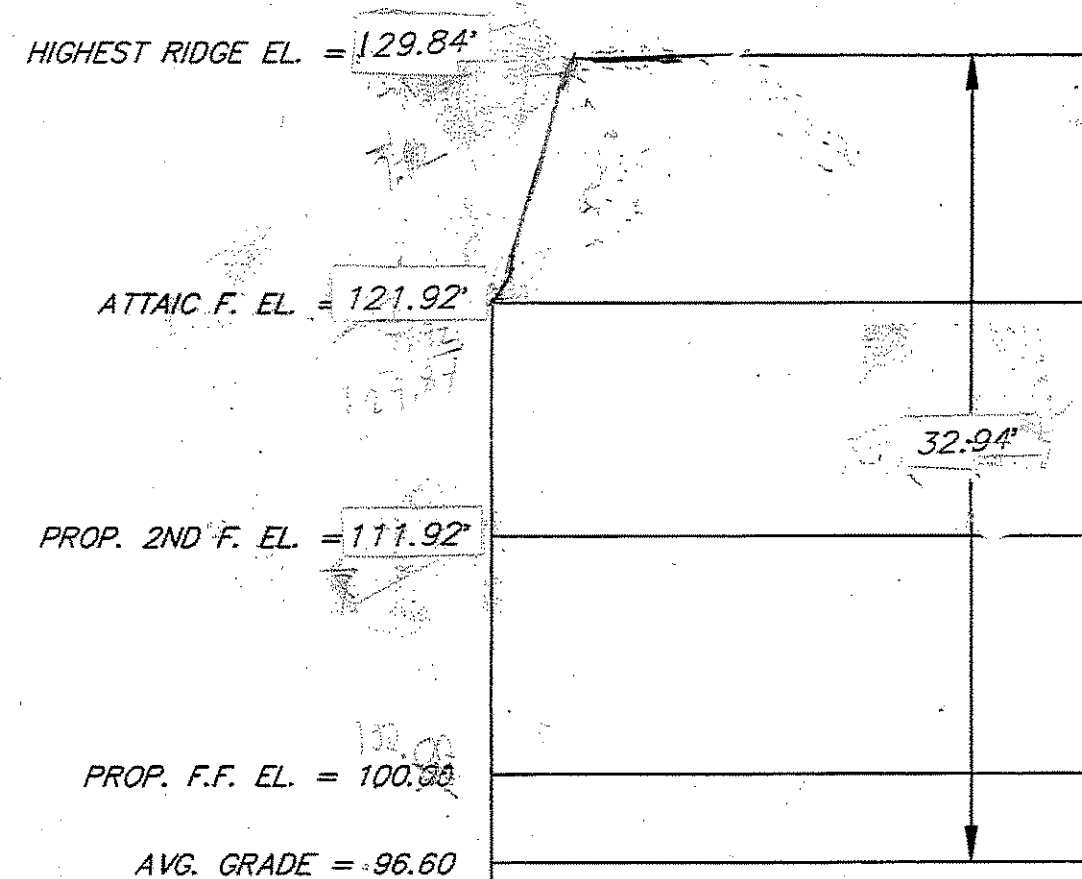
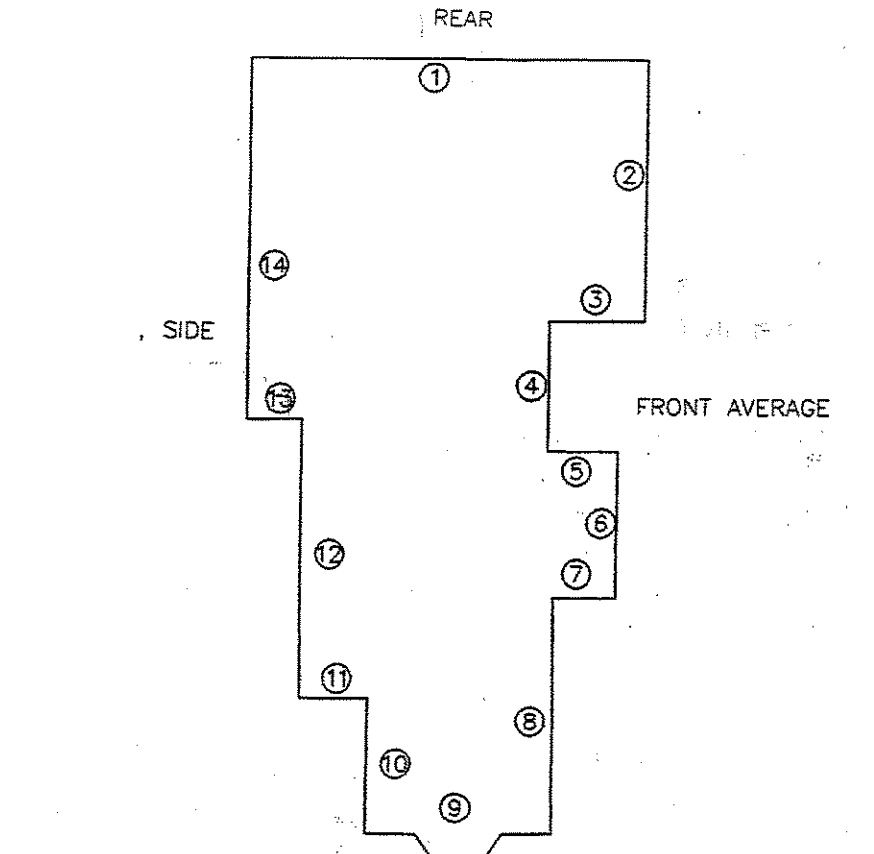


PROJECT: ADDITIONS & ALTERATIONS  
 2 FAMILY RESIDENCE - 143 LINCOLN STREET,  
 NEWTON CENTER, MA 02461  
 CLIENT: ARMAN CHITCHIAN  
 79 BRANDEIS ROAD  
 NEWTON CENTER, MA 02459

Ronald F. Jarek, Architect  
 487 Watertown Street  
 Newtonville, MA 02460

DATE:	MAY 24, 2014
SCALE:	AS SHOWN
DRAWN BY:	NCH
CHECKED BY:	RJ
PROJECT DATE:	10.9.2014

Table with 5 columns: SEGMENT, L, E1, E2, E1+E2/L, XL. It lists elevation data for various segments of a property line.



**PROP. DWELLING HEIGHT CALCULATION**

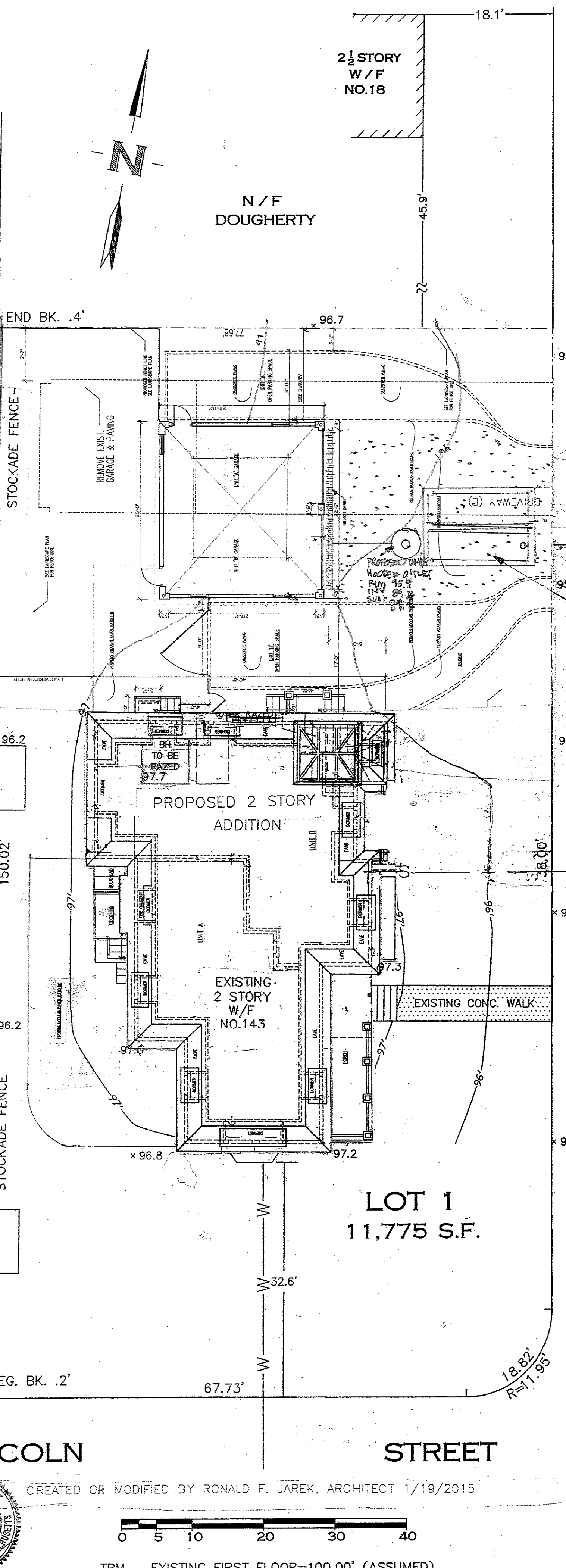
ZONING CHART NEWTON, MASSACHUSETTS table with columns for REQUIRED, EXISTING, and PROPOSED dimensions for Frontage, Front, Side, Rear, Height, Avg Grade, Lot Coverage, and Open Space.

**DEEP OBSERVATION HOLE DATA**

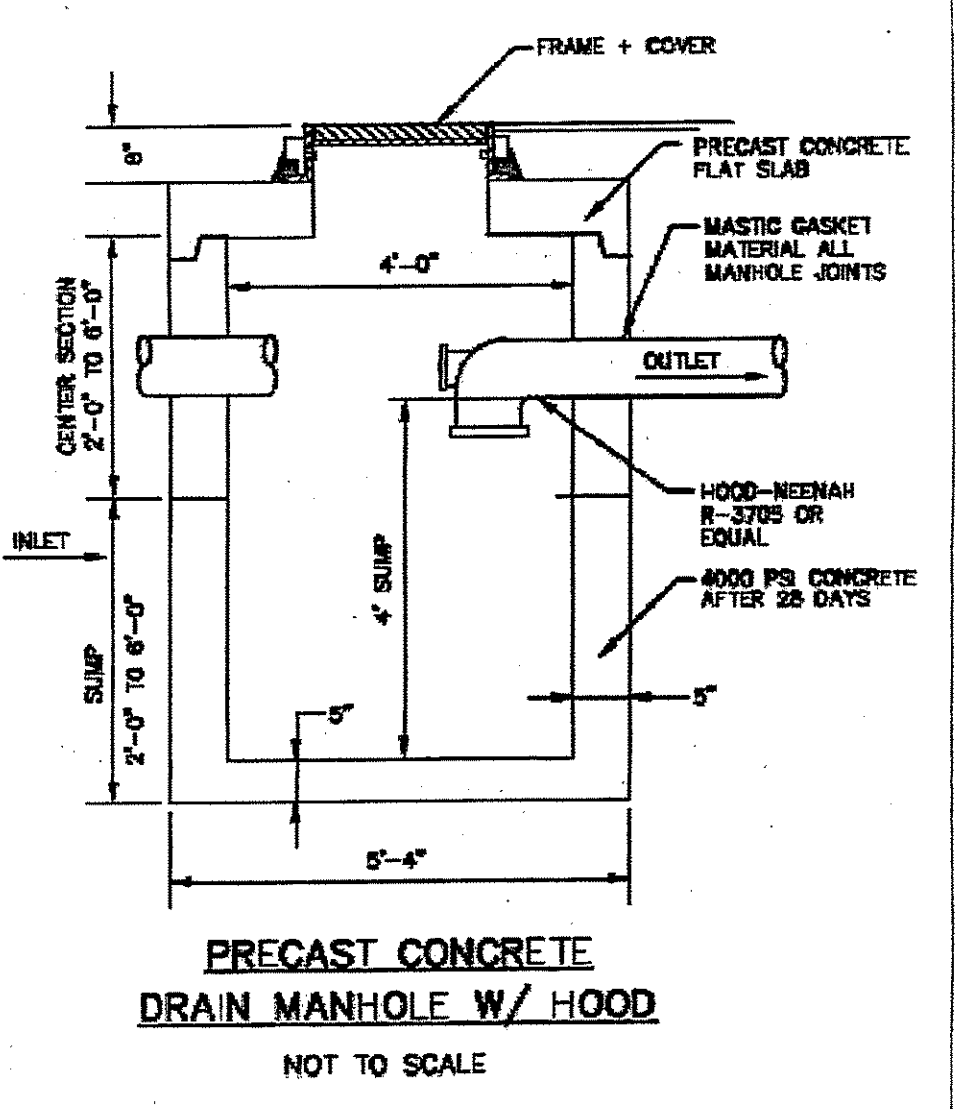
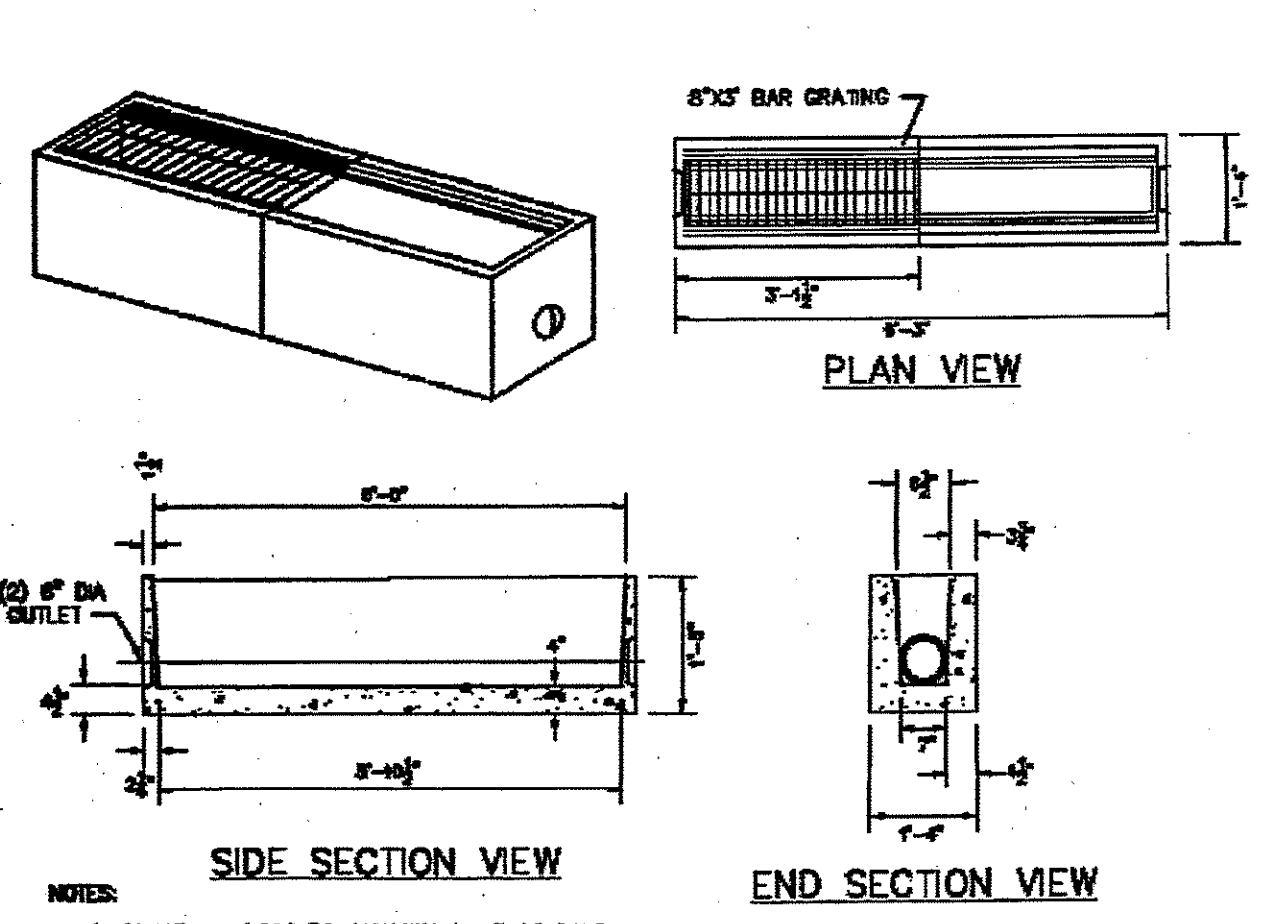
Table for Deep Observation Hole Data showing TP# 1, NO GROUNDWATER ENCOUNTERED, DEPTH 0', and TP# 1 with hole details like 10 YR 3/2 SL and 10 YR 6/6 SL.

**PERCOLATION TEST DATA**

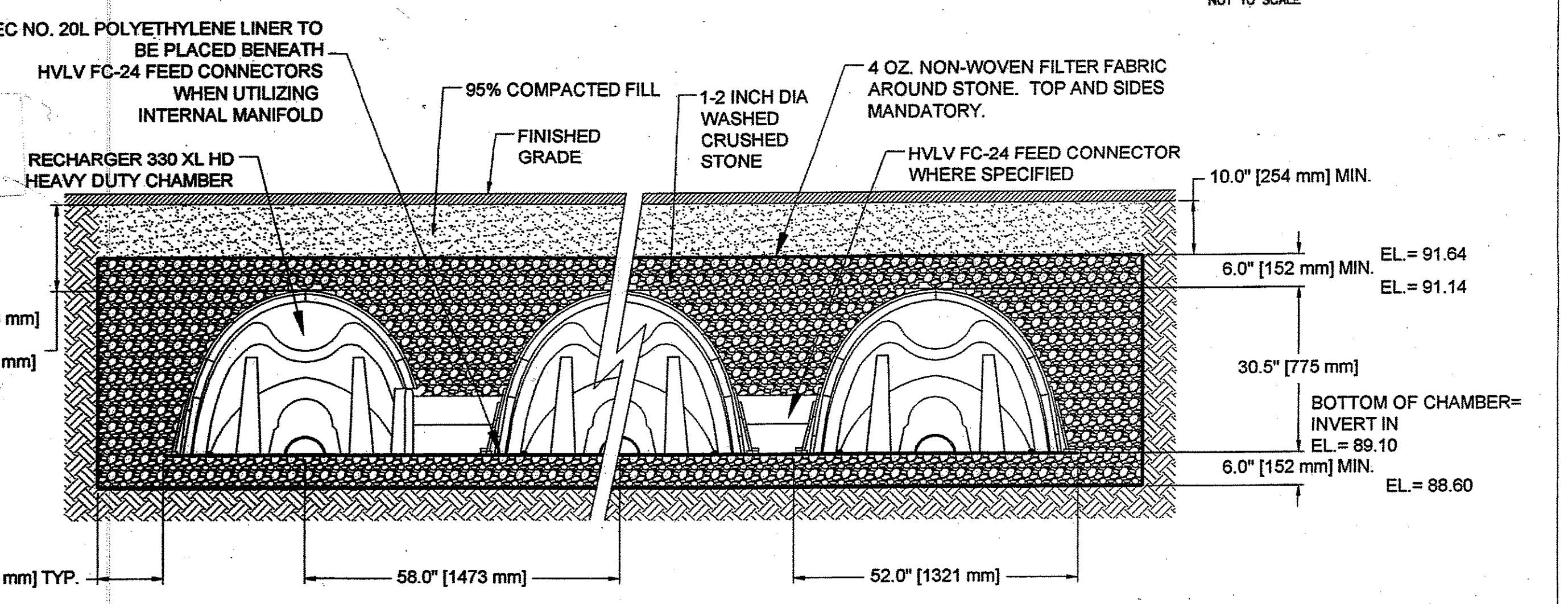
Table for Percolation Test Data showing HOLE: TP-1, DEPTH: 34", RATE: < 2MP, DATE: SEPTEMBER 7, 2011, and BY: STEPHEN B. NELSON, REHS/RS.



- GENERAL NOTES: 1. NO EXCAVATION IS ALLOWED WITHIN ANY CITY RIGHT-OF-WAY... 2. AS OF JANUARY 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A... 3. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING... 4. AFTER ALL ENGINEERING PERMITS ARE OBTAINED... 5. WITH THE EXCEPTION OF GAS SERVICES... 6. PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT... 7. IF ENGINEERING DIVISION ACCEPTANCE IS REQUESTED...

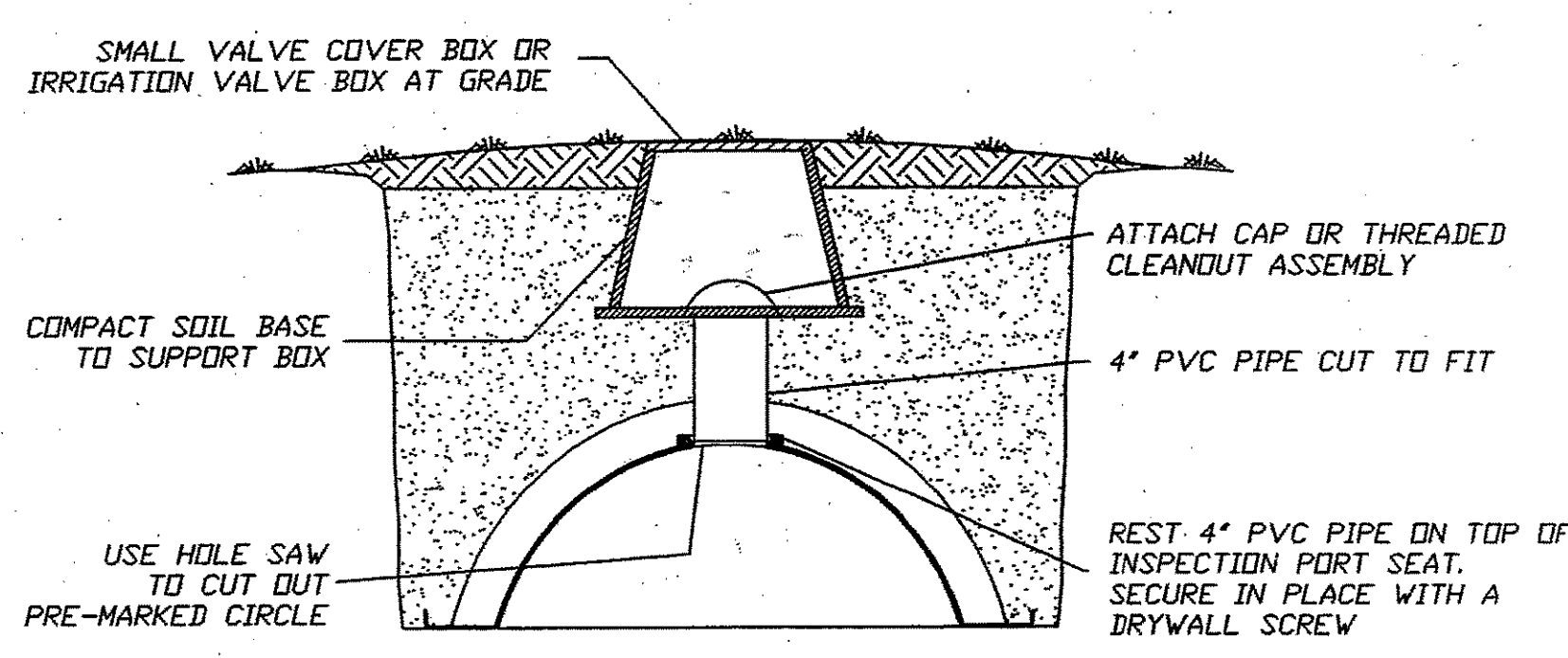


ROAD MOUNTFORT



GENERAL NOTES: RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.







LINCOLN STREET  
CREATED OR MODIFIED BY RONALD F. JAREK, ARCHITECT 1/19/2015  
Scale bar: 0 5 10 20 30 40  
TBM - EXISTING FIRST FLOOR=100.00' (ASSUMED)

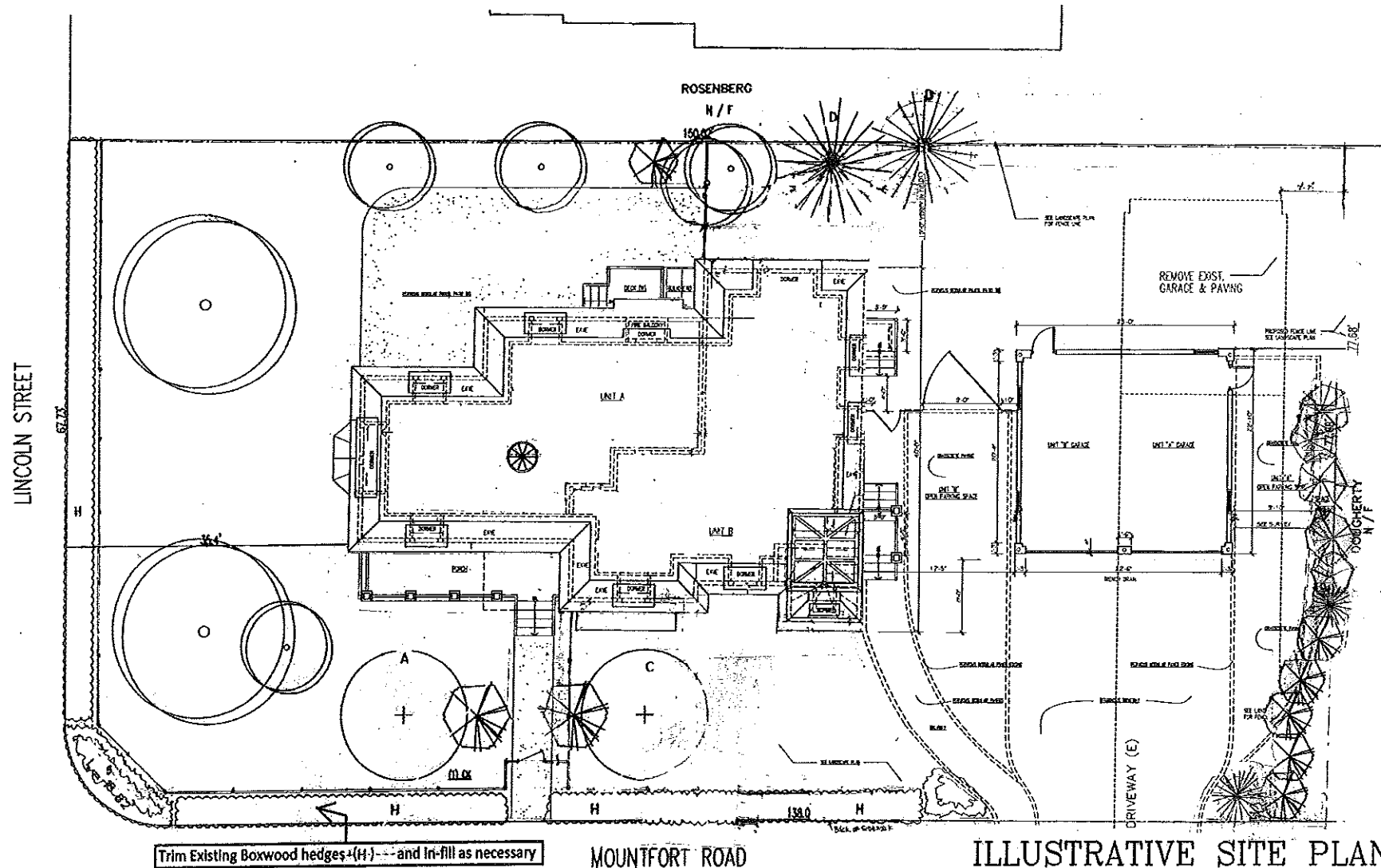


**SITE PLAN**  
SHOWING  
**PROPOSED ADDITION**  
AT  
143 LINCOLN STREET  
IN  
NEWTON, MASS.  
PREPARED FOR:  
ARMAN CHITCIAN  
PREPARED BY:  
NEPONSET VALLEY SURVEY ASSOC., INC.  
95 WHITE STREET  
QUINCY, MA 02169  
SCALE: 1\"/>

Signature of Stephen P. Desroche  
STEPHEN P. DESROCHE, PLS No. 27699

Quantity	Common Name	Scientific Name	Size	Comments
<b>Trees</b>				
1	Koala Dogwood	A	20-30' H., 30-35' W.	Spreading habit. Creamy-white flowers 2-4". Flowers in April/May; Red fruit in Sept./Oct. Soft/fragile. Deep red fall color.
2	Princeton Ash/Azalea	B	20-30' H., 5-8' W.	Easy to grow and suitable for planting plan, select upright specimens from as listed.
1	Sargent Cherry	C	20-30' H., 20-30' W.	Upright, spreading habit. Dark pink flowers 1 1/4" - 1 1/2" dia.; flowers in May; purple fruit in July/Aug. Brown-red fall color.
2	White Fir	D	10-20' H., 15-20' W.	Upright habit. 1 1/2" - 2 1/2" dia. cones.
<b>Shrubs</b>				
2	David's Dogwood	E	3-12' H. w/ variable spread	Very fragrant during flowering in July/August. Densely rounded habit. Yellow fall color, fragrant, white flowers 3-4" long, select dwarf form as listed.
1	English Yew	F	3-10' H., 3-4' W.	Select upright, formal specimen from nursery.
2	David's Azalea	G	4-5' H., 3-4' W.	Flowers in late spring, white flowers.
<b>TOTAL</b>				
<b>11</b>				

-  EXISTING DECIDUOUS
-  EXISTING EVERGREEN
-  PROPOSED EVERGREEN
-  PROPOSED DECIDUOUS






Trim Existing Boxwood hedges (H) and in-fill as necessary

**ILLUSTRATIVE SITE PLAN**

1/8" = 1'

**LEGEND / SYMBOLS**

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
-  NEW CONSTRUCTION
- (N) NEW
- (E) EXISTING

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**Project Title:**  
 ADDITIONS & ALTERATIONS TO  
 CHITCHIAN RESIDENCE  
 143 LINCOLN STREET  
 NEWTON HIGHLANDS, MA 02461  
**Client:**  
 ARMAN CHITCHIAN  
 79 BRANDEIS RD  
 NEWTON CENTRE MA 02469

**Sheet Title:**  
 LANDSCAPE PLAN



Scale: AS NOTED  
 Date: 12/18/11  
 3/4/15  
 Dr. D.J. O'NEILL  
 Job No. 10011

LA-1

# Proposed Landscape Materials

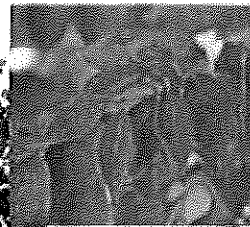
## Trees



White Fir  
*Abies concolor*



Kousa Dogwood  
*Cornus kousa*



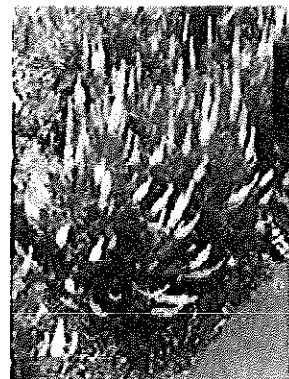
Sargent Cherry  
*Prunus sargentii*



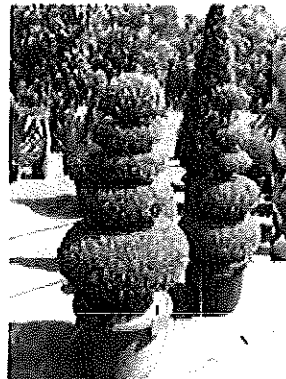
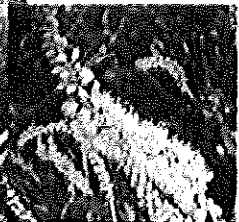
Pyramidal Arborvitae  
*Thuja occidentalis 'Pyramidalis'*



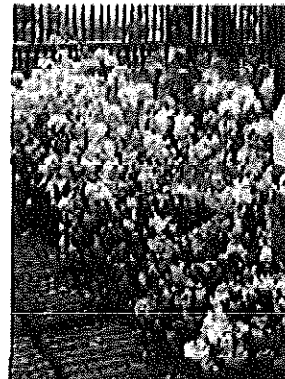
## Shrubs



Dwarf Summersweet Clethra  
*Clethra alnifolia 'compacta'*



Upright English Boxwood  
*Buxus sempervirens 'fastigiata'*



Dwarf Azalea  
*Rhododendron allanlicum*



## Plant Images

Client Name: Arman Chirchian  
Project Name: 143 Lincoln Street  
Newton Highlands MA 02461  
December 18, 2011

Quantity	Common Name	Scientific Name	Size	Comments
<b>Trees</b>				
1	Kousa Dogwood	<i>Cornus kousa</i>	20-30 ft. 20-30" w.	Spreading habit. Creamy white flowers 2-4". Flowers in April/May. Red fruit in Sept/Oct. Sun-Partial shade. Deep red fall color.
2	Pyramidal Arborvitae	<i>Thuja occidentalis 'Pyramidalis'</i>	20-30 ft. 1-4" w.	Easy to prune and suitable hedging plant. select upright/pyramidal forms as listed.
1	Sargent Cherry	<i>Prunus sargentii</i>	20-30 ft. 20-30" w.	10-20 ft. spreading habit. Dark pink flowers 1.5-2" x 2-2.5". Flowers in May. Purple fruit in September. Branded red fall color.
2	White Fir	<i>Abies concolor</i>	10-30 ft. 11-20" w.	1-1/2" x 1/2" - 1/2" x 1/2"
<b>Shrubs</b>				
2	Dwarf Summersweet Clethra	<i>Clethra alnifolia 'compacta'</i>	2-3' x 3' M. variable spread	Very fragrant. Spring flowering (4/15-8/15). Densely rounded habit. Yellow fall color. Fragrant, white flowers 2-4" long. select dwarf form as listed.
1	English Boxwood	<i>Buxus sempervirens 'fastigiata'</i>	6-10 ft. 3-4" w.	select special, pointed varieties from nursery.
2	Dwarf Azalea	<i>Rhododendron allanlicum</i>	4-5' M. 3-4" w.	flowers in late spring. white flowers.
<b>TOTAL</b>				
11				



LA-2

Jessica Wolf  
Designer 2011