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Page: 1 of 3 06/23/2015 12:37 PM

#479-14

CITY OF NEWTON
IN BOARD OF ALDERMEN

January 20, 2015

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City of Newton, Mass.

ORDERED:

That the Board, finding that the public convenience and welfare will be substantially served by its action, that the use of the site will be in harmony with the conditions, safeguards and limitations set forth in the Zoning Ordinance, and that said action will be without substantial detriment to the public good, and without substantially derogating from the intent or purpose of the Zoning Ordinance, grants approval of the following SPECIAL PERMIT/SITE PLAN to allow a dormer wider than 50% of the length of the story below, as recommended by the Land Use Committee for the reasons given by the Committee, through its Chairman, Alderman Marc Laredo:

1. The proposed addition, which extends an existing dormer by approximately 11.5 feet for a total width of 29.5 feet and will enlarge the attic floor by approximately 85 square feet, is appropriate for the existing structure and the surrounding residential neighborhood. (§30-24d(1))
2. The proposed dormer located on the rear and side elevations of the house will not adversely affect the neighborhood. (§30-24d(2))

PETITION NUMBER: #479-14

PETITIONER: Daniel & Brenda Kostyk

LOCATION: 29 Kewadin Road, Waban, on land known as SBL 55, 51, 9, containing approximately 13,400 sf of land

OWNER: Daniel & Brenda Kostyk *deed. 48475-87*

ADDRESS OF OWNER: 29 Kewadin Road, Newton, MA 02468

TO BE USED FOR: Single-family Dwelling

CONSTRUCTION: Wood frame

EXPLANATORY NOTES: §30-15(t) to allow the construction of a dormer larger than 50% of the exterior wall below.

ZONING: Single Residence 2 District

A True Copy
Attest

City Clerk of Newton, Mass.

Approved subject to the following conditions: --

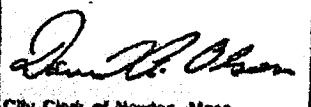
1. All buildings, parking areas, driveways, walkways, landscaping and other site features associated with this special permit/site plan approval shall be located and constructed consistent with:
 - a. Certified Plot Plan for 29 Kewadin Road, Newton, MA, signed and stamped by George C. Collins, Professional Land Surveyor, dated October 24, 2014.
 - b. Architectural Plan Set for 29 Kewadin Road, Newton, MA, signed and stamped by Robert Fizek, dated October 28, 2014, and includes the following seven (7) sheets:
 - o Cover Page, sheet A-0;
 - o Third Floor Plan, sheet A-1;
 - o Roof Plan, sheet A-2;
 - o South Elevation, A-3;
 - o West Elevation, A-4;
 - o North Elevation, A-5; and
 - o East Elevation, A-6;
2. No building permit shall be issued pursuant to this Special Permit/Site Plan Approval until the petitioner has:
 - a. Recorded a certified copy of this board order for the approved Special Permit/Site plan with the Registry of Deeds for the Southern District of Middlesex County.
 - b. Filed a copy of such recorded board order with the City Clerk, the Department of Inspectional Services, and the Department of Planning and Development.
 - c. Obtained a written statement from the Planning Department that confirms the building permit plans are consistent with plans approved in Condition #1.
3. No Final Inspection/Occupancy Permit for the use covered by this special permit/site plan approval shall be issued until the petitioner has:
 - a. Filed with the City Clerk, the Department of Inspectional Services, and the Department of Planning and Development a statement by a registered architect and registered engineer certifying compliance with Condition #1.
 - b. Obtained a written statement from the Planning Department that confirms the addition has been constructed consistent with plans approved in Condition #1.

Under Suspension of Rules

Readings Waived and Approved

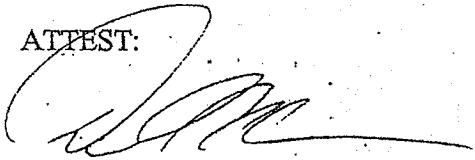
20 yeas 0 nays 4 absent (Aldermen Baker, Cote, Gentile, and Sangiolo)

The undersigned hereby certifies that the foregoing copy of the decision of the Board of Aldermen granting a SPECIAL PERMIT/SITE PLAN APPROVAL is a true accurate copy of said decision, the original of which having been filed with the CITY CLERK on January 29, 2015. The undersigned further certifies that all statutory requirements for the issuance of such SPECIAL PERMIT/SITE PLAN APPROVAL have been complied with and that all plans referred to in the

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decision have been filed with the City Clerk.

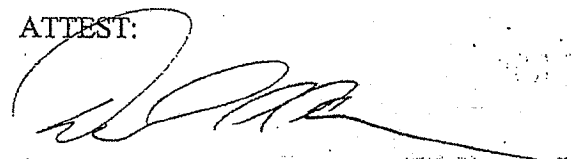
ATTEST:



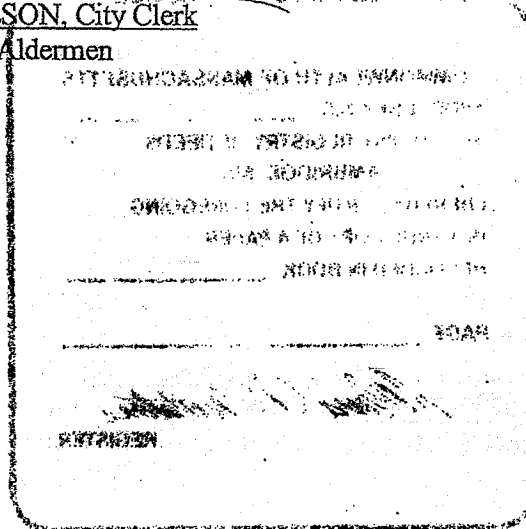
(SGD) DAVID A. OLSON, City Clerk
Clerk of the Board of Aldermen

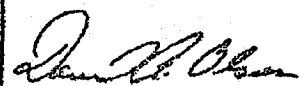
I, David A. Olson, as the Clerk of the Board of Aldermen and keeper of its records and as the City Clerk and official keeper of the records of the CITY OF NEWTON, hereby certify that Twenty days have elapsed since the filing of the foregoing decision of the Board of Aldermen in the Office of the City Clerk on 1/31 and that NO APPEAL to said decision pursuant to G.L. c. 40A, §17 has been filed thereto.

ATTEST:



(SGD) DAVID A. OLSON, City Clerk
Clerk of the Board of Aldermen



A True Copy
Attest

City Clerk of Newton, Mass.