

**GENERAL NOTES:**

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
9. HVAC CONTRACTOR TO ADAPT EXISTING HEATING AND COOLING SYSTEM TO ACCOMMODATE NEW INTERIOR LAYOUT.
10. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE. CONTRACTOR TO SUBMIT SWITCHING LOCATIONS TO OWNER / ARCHITECT FOR APPROVAL.
11. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
12. ALL INTERIOR WOOD TRIM AND WOOD BASE TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
13. EXISTING HARDWOOD FLOORS IMPACTED BY THE ADDITION TO BE SANDED AND REFINISHED.
14. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
15. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION, UNLESS NOTED OTHERWISE. ALL NEW EXTERIOR WALLS TO BE 2X6 CONSTRUCTION.
16. R13 BATT INSULATION TO BE PROVIDED IN NEW BEDROOM AND BATHROOM WALLS. R-25 BATT INSULATION TO BE PROVIDED IN NEW BEDROOM AND BATHROOM FLOORS.

17. CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/ BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.

**PROJECT INFORMATION:**

NEWTON ZONING SR-2 (LOT CREATED BEFORE 12/7/53):  
 FRONT YARD SETBACK: 25'-0"  
 REAR YARD SETBACK: 15'-0"  
 SIDE YARD SETBACK: 7'-6"  
 HEIGHT: 36' AND 2 1/2 STORIES  
 MAX 30% LOT COVERAGE  
 MIN 50% OPEN SPACE

**ENERGY AUDIT:**

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2009 W/ MASSACHUSETTS AMENDMENTS 780 CMR 115.11).

PREScriptive OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R38 ROOF R-VALUE, R20 WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

# CONSTRUCTION DOCUMENTS AUGUST 21, 2014

**DRAWING LIST**

- A1 COVER SHEET
- A2 EXISTING BASEMENT PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING SECOND FLOOR PLAN
- A5 EXISTING ROOF PLAN
- A6 EXISTING EXTERIOR ELEVATIONS
- A7 NEW BASEMENT PLAN
- A8 NEW FIRST FLOOR PLAN
- A9 NEW SECOND FLOOR PLAN
- A10 NEW ELEVATIONS

**LIGHTING LEGEND**

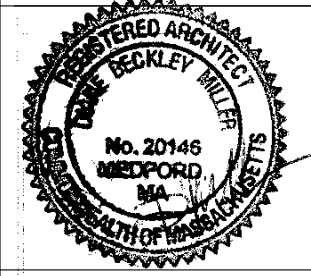
- RECESSED CAN LIGHT - 5' 75W HALOGEN IN KITCHEN, 7' 150W INCANDESCENT IN ALL OTHER LOCATIONS - AS SELECTED BY OWNER
- CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
- CEILING MOUNTED DIRECT / INDIRECT LIGHT - AS SELECTED BY OWNER
- WALL MOUNTED SCNCES AS SELECTED BY OWNER
- CEILING FAN - AS SELECTED BY OWNER
- S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKES TO BE HARD-WIRED PER CODE
- S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
- DATA CONNECTION
- TELEPHONE / DATA CONNECTION
- ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

**SYMBOL LEGEND**

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- INTERIOR ELEVATION
- SECTION
- DOOR TAG
- WINDOW TAG

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 617-993-3157

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7/14/14	DESIGN DEVELOPMENT
8/21/14	CONSTRUCTION DOCS



CURTIS RESIDENCE  
 15 LARCHMONT AVE  
 NEWTON MA

**COVER SHEET**

Sheet Number:

# A1



NO CHANGES

1 FRONT ELEVATION  
SCALE: 1/8" = 1'



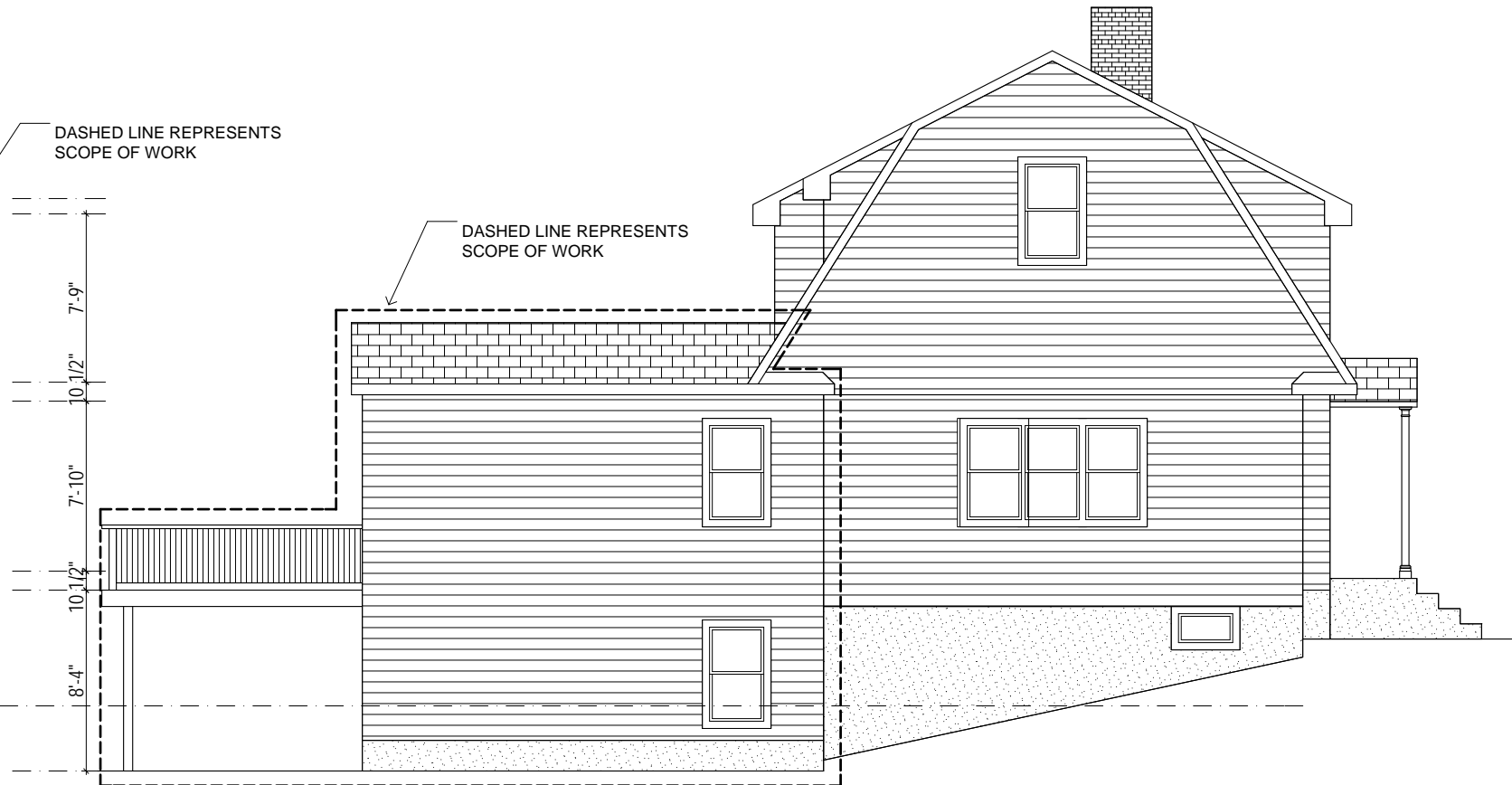
DASHED LINE REPRESENTS SCOPE OF WORK

2 SIDE ELEVATION  
SCALE: 1/8" = 1'



DASHED LINE REPRESENTS SCOPE OF WORK

3 REAR ELEVATION  
SCALE: 1/8" = 1'



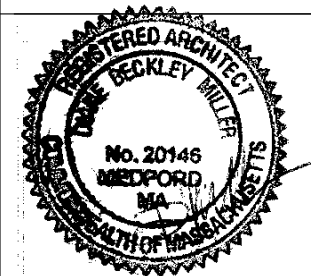
DASHED LINE REPRESENTS SCOPE OF WORK

4 SIDE ELEVATION  
SCALE: 1/8" = 1'

Architect:  
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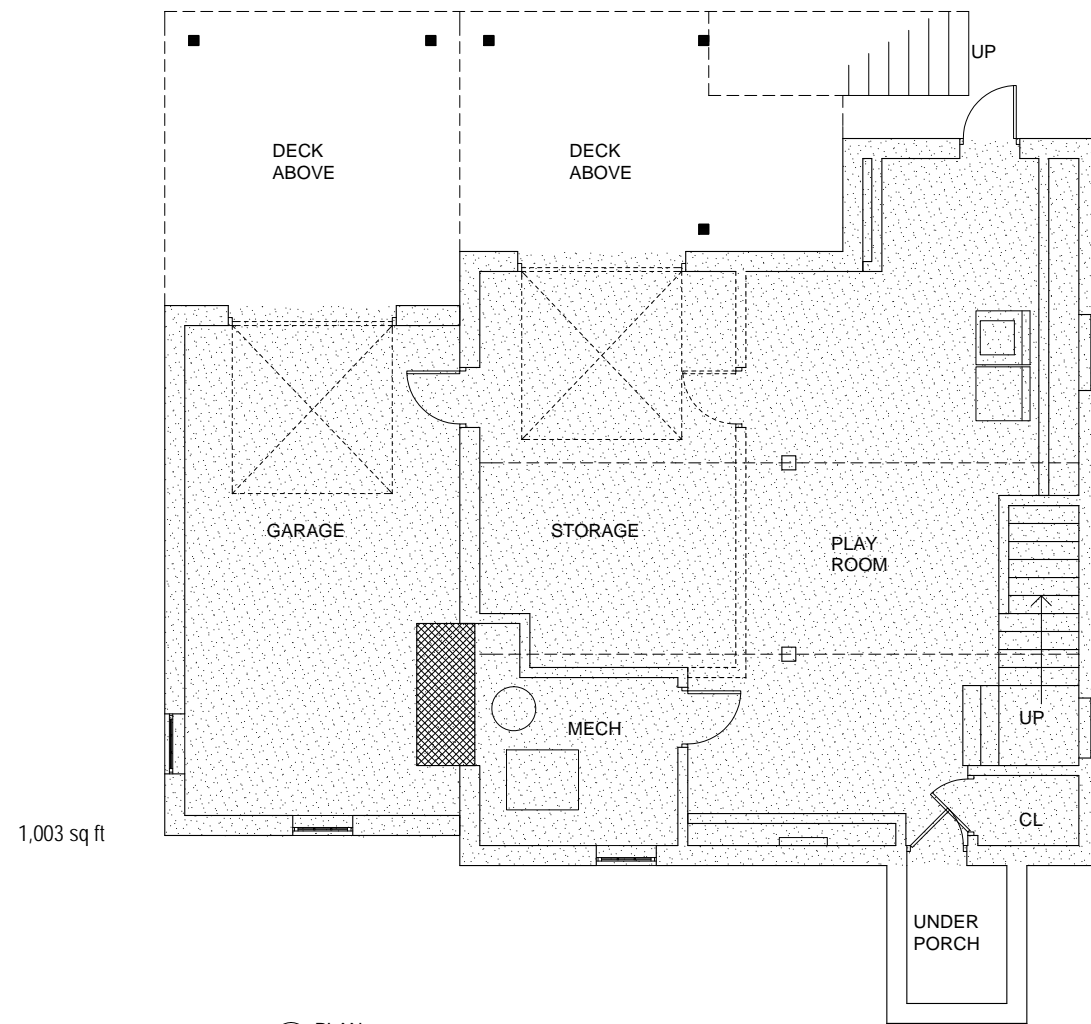


CURTIS RESIDENCE  
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NEWTON MA

NEW  
ELEVATIONS

Sheet  
Number:

A10



1,003 sq ft

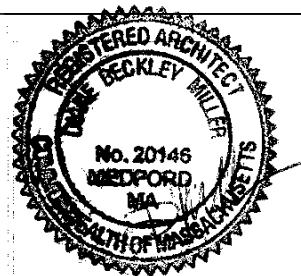
1 PLAN  
SCALE: 1/8" = 1'



Architect:  
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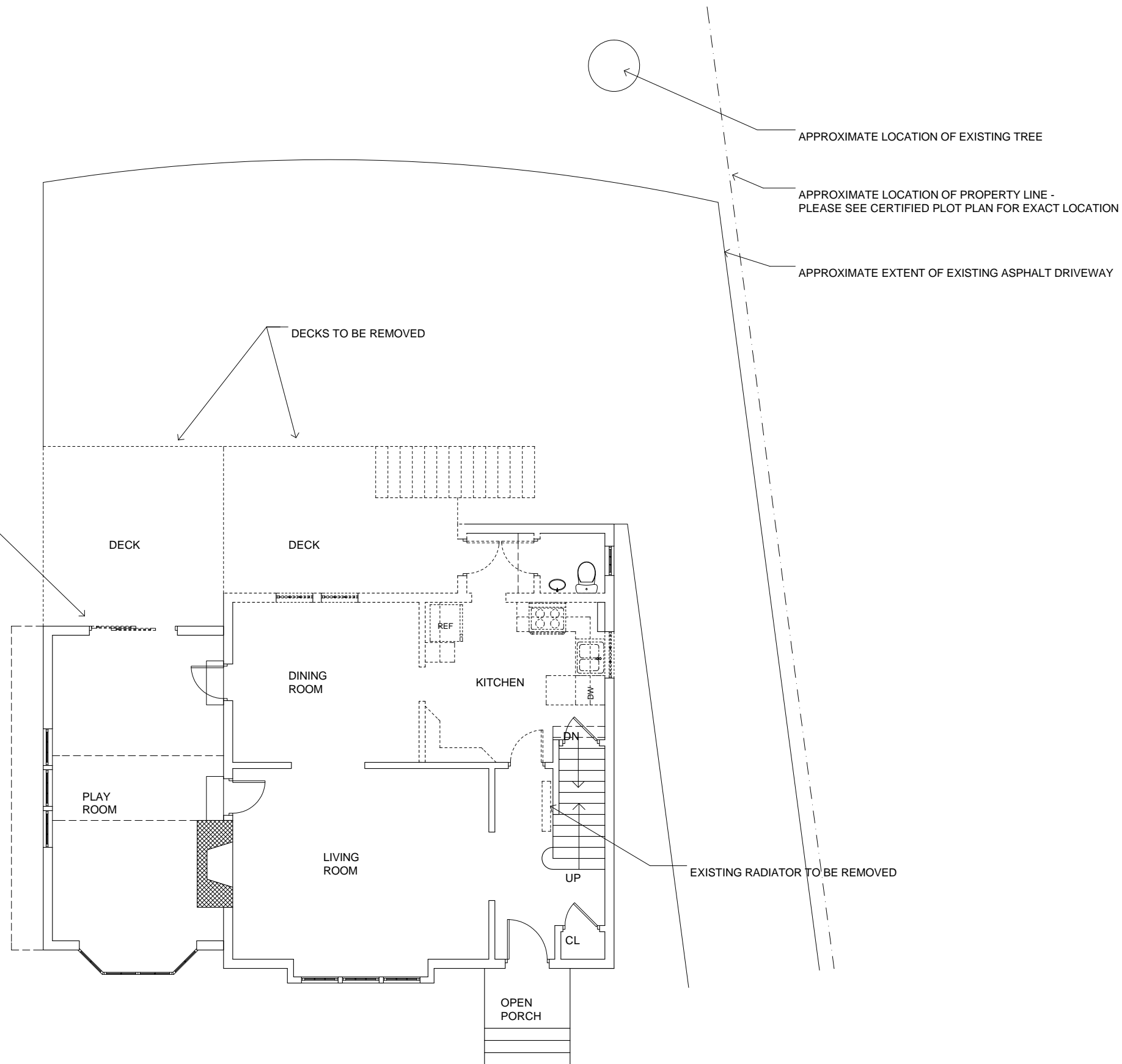
EXISTING  
BASEMENT PLAN

Sheet  
Number:

A2

DASHED LINES INDICATE EXISTING WALLS, WINDOWS AND DOORS TO BE REMOVED - CONTRACTOR TO BRACE AND SHORE PRIOR TO REMOVAL OF ANY LOAD BEARING ELEMENTS

1,003 sf

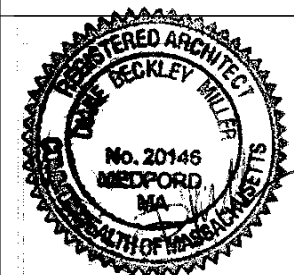


1 PLAN  
SCALE: 1/8" = 1'

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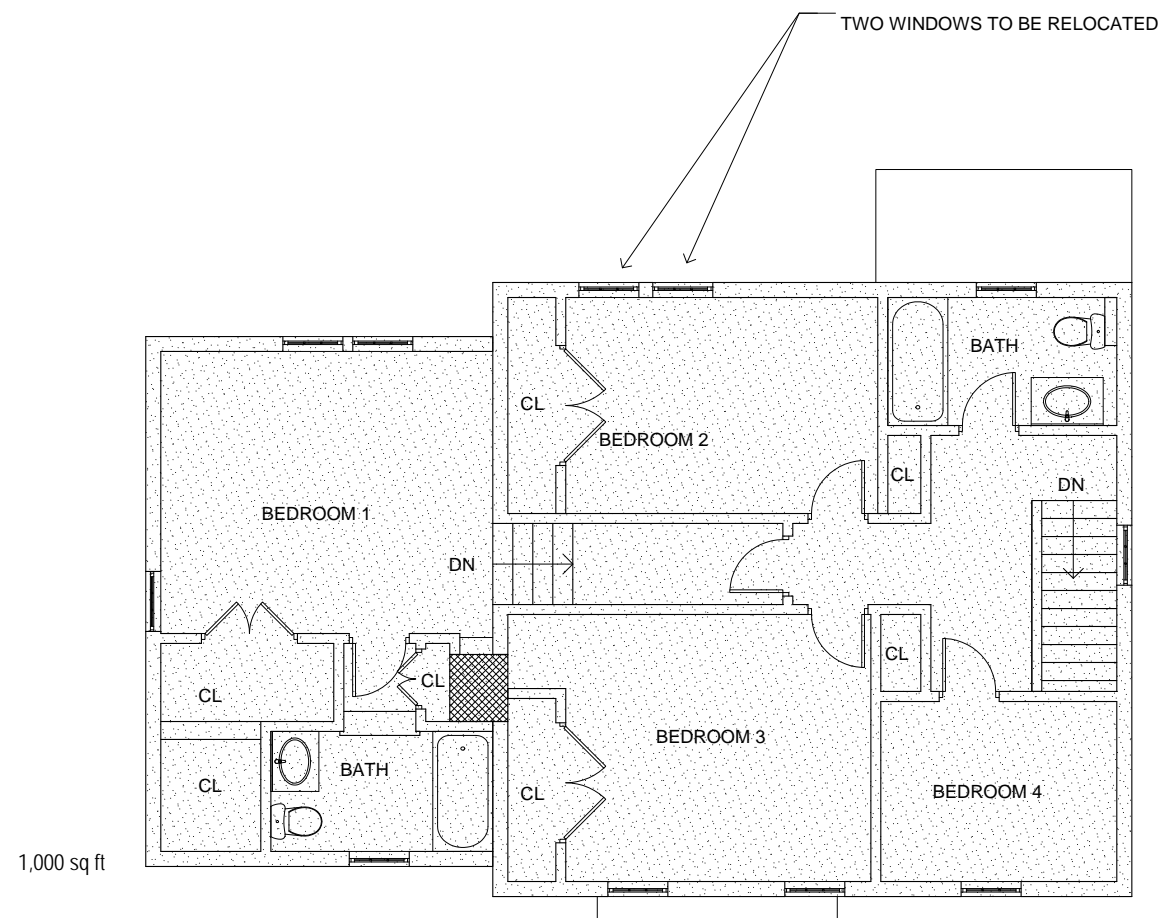
CURTIS RESIDENCE  
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NEWTON MA

EXISTING  
FIRST FLOOR

Sheet  
Number:

A3





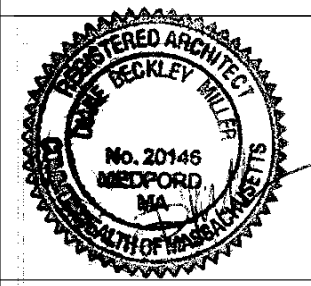
1 PLAN  
SCALE: 1/8" = 1'



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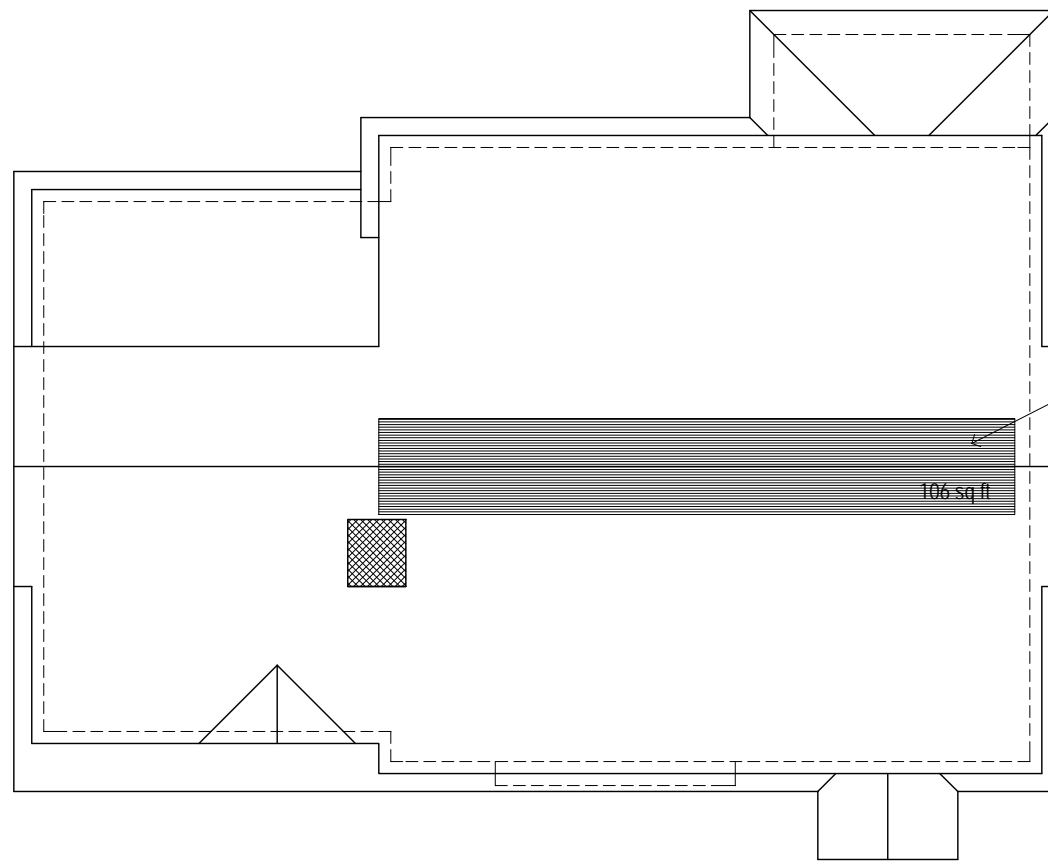


CURTIS RESIDENCE  
15 LARCHMONT AVE  
NEWTON MA

EXISTING  
SECOND FLOOR

Sheet  
Number:

A4



UNFINISHED ATTIC -  
 TONE INDICATES AREA WITH CEILING HEIGHT GREATER THAN 5'.  
 MAXIMUM CEILING HEIGHT IS 6'-6" AT PEAK.

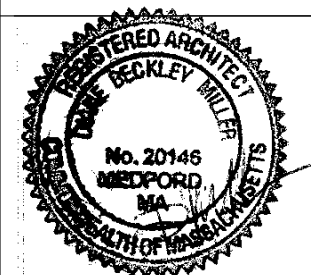
1 PLAN  
 SCALE: 1/8" = 1'



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EXISTING  
 ROOF PLAN

Sheet  
 Number:

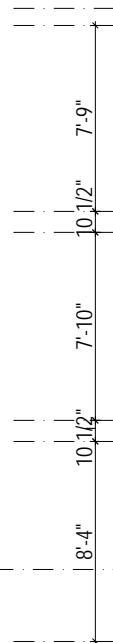
**A5**



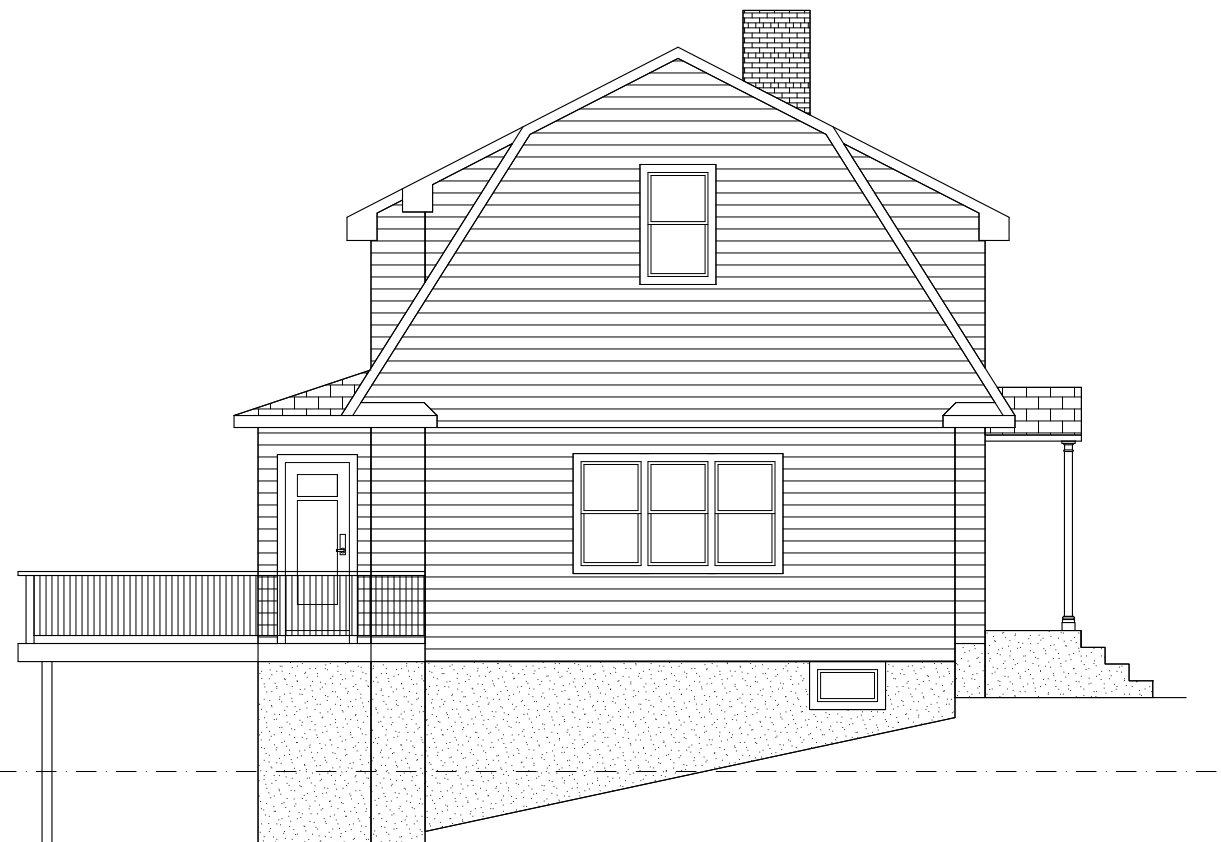
1 FRONT ELEVATION  
SCALE: 1/8" = 1'



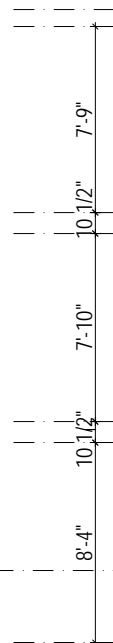
2 SIDE ELEVATION  
SCALE: 1/8" = 1'



3 REAR ELEVATION  
SCALE: 1/8" = 1'



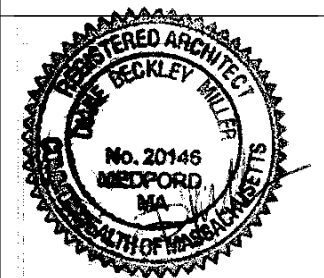
4 SIDE ELEVATION  
SCALE: 1/8" = 1'



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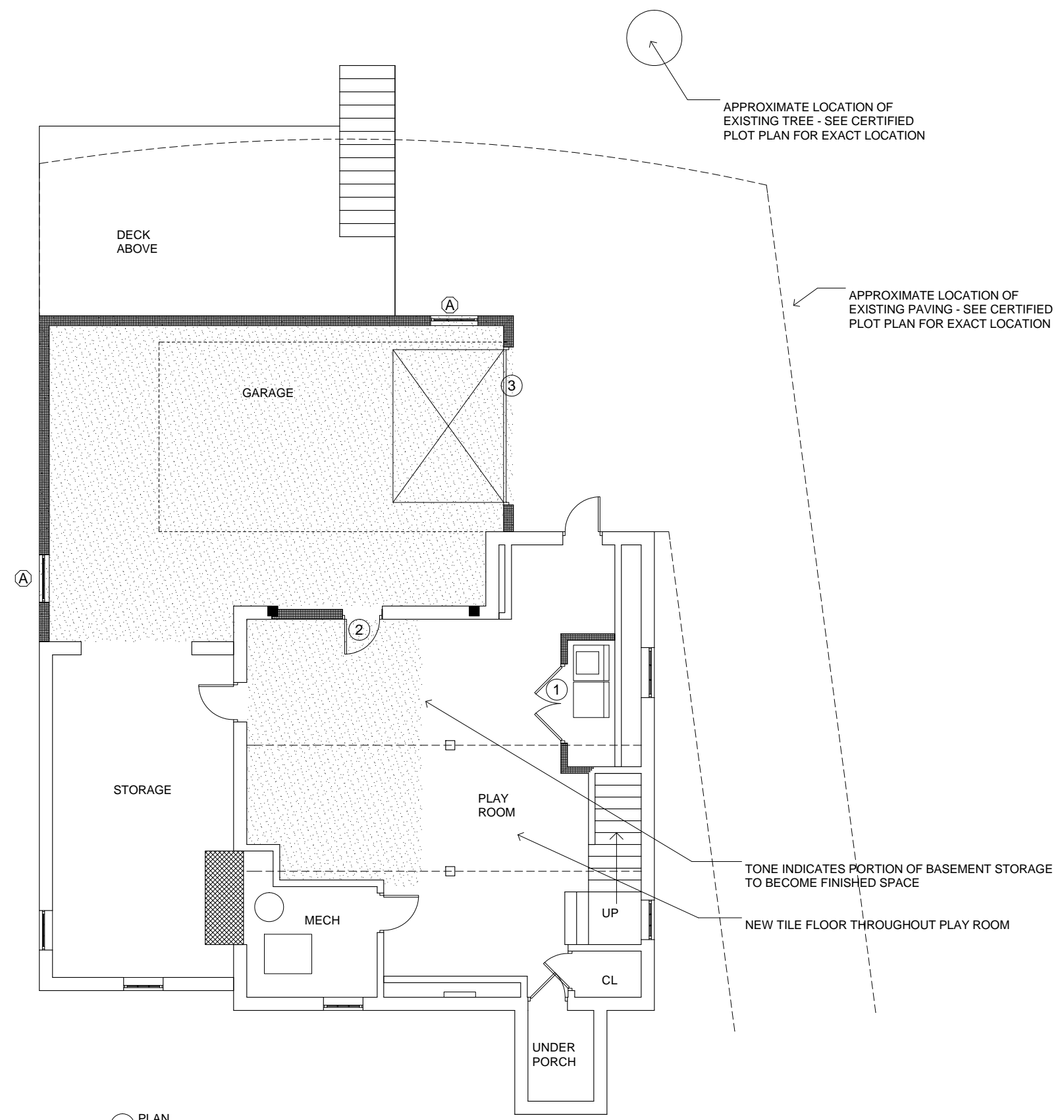
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15 LARCHMONT AVE  
NEWTON MA

EXISTING  
ELEVATIONS

Sheet  
Number:

A6

571 sq ft



APPROXIMATE LOCATION OF EXISTING TREE - SEE CERTIFIED PLOT PLAN FOR EXACT LOCATION

APPROXIMATE LOCATION OF EXISTING PAVING - SEE CERTIFIED PLOT PLAN FOR EXACT LOCATION

TONE INDICATES PORTION OF BASEMENT STORAGE TO BECOME FINISHED SPACE

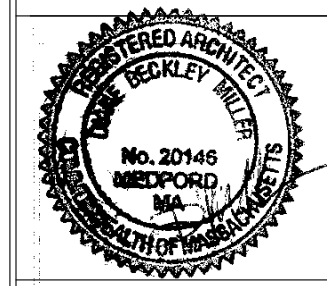
NEW TILE FLOOR THROUGHOUT PLAY ROOM

1 PLAN SCALE: 1/8" = 1'

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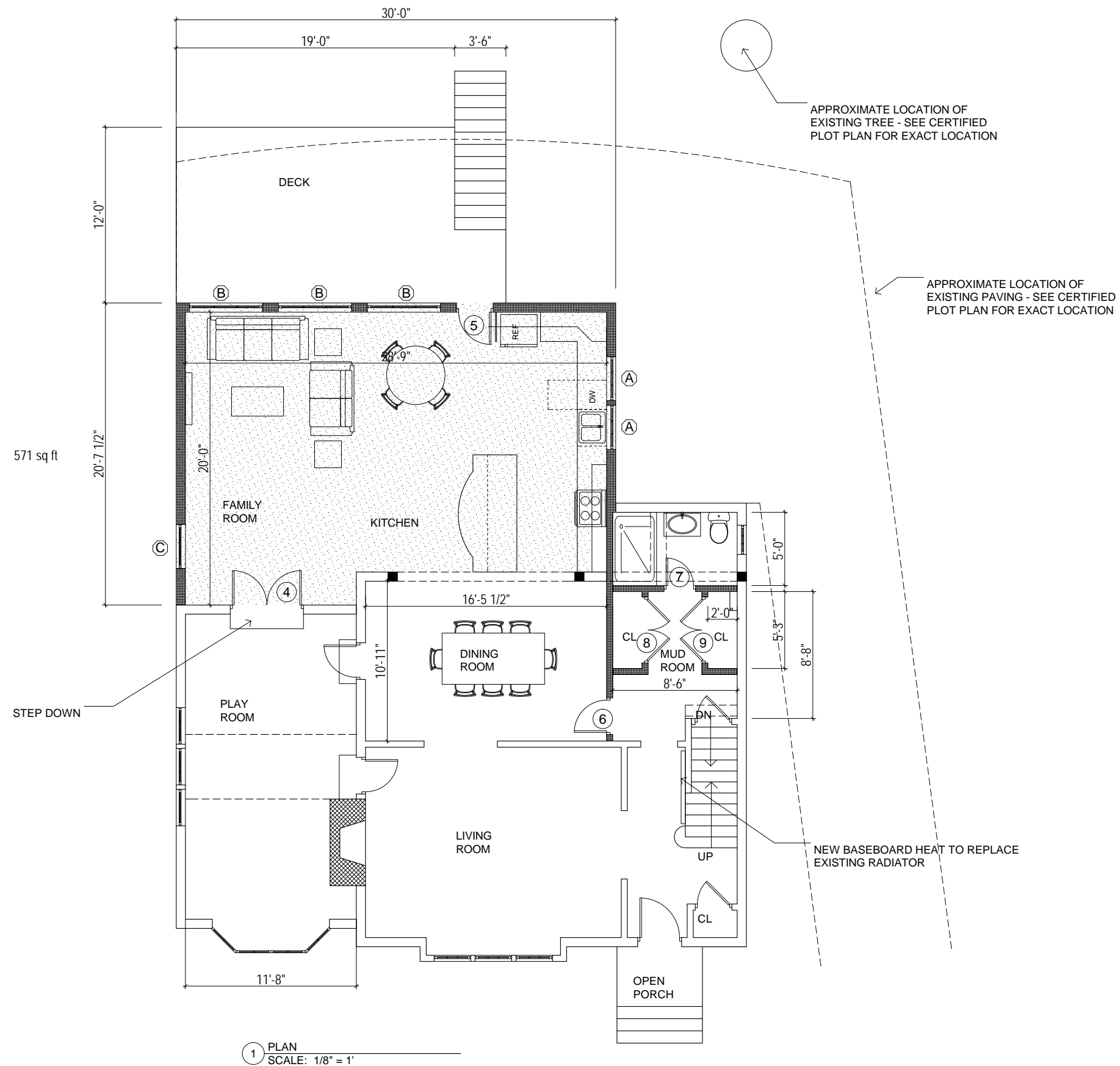
NEW BASEMENT

Sheet Number:

A7



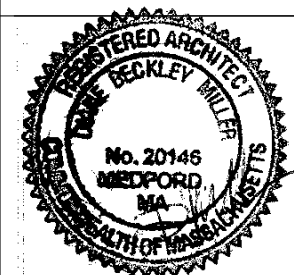




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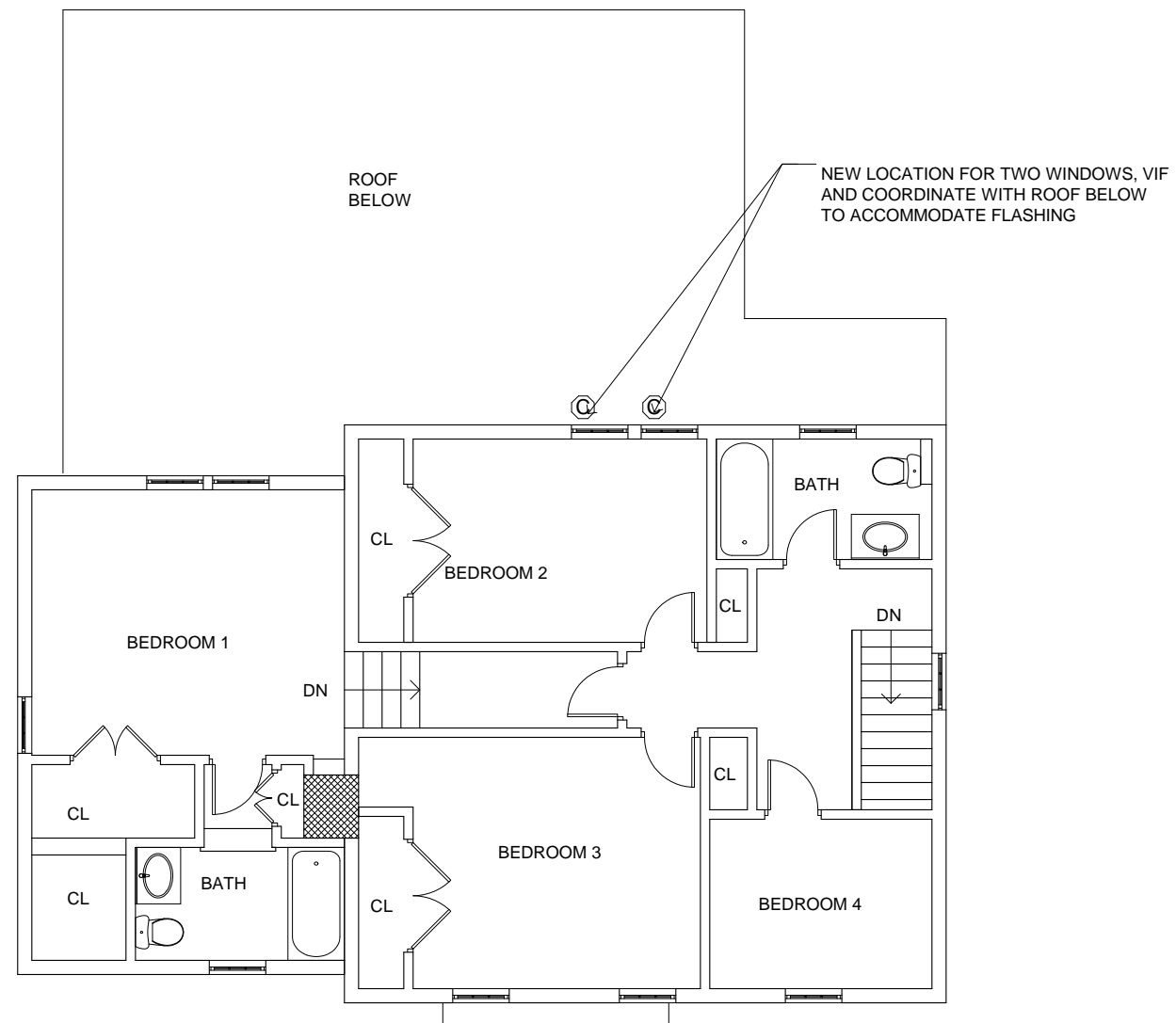
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NEWTON MA

NEW FIRST  
FLOOR PLAN

Sheet  
Number:

A8





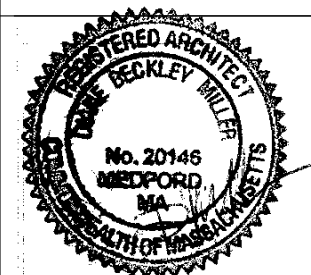
1 PLAN  
SCALE: 1/8" = 1'



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NEW  
SECOND FLOOR

Sheet  
Number:

A9