

EXISTING FLOOR AREA RATIO (F.A.R.) CALCULATION:

ZONING DISTRICT: NEWTON, MA - MR 1  
 EXISTING 5,000 SF LOT CREATED PRIOR TO 12/07/1953

ALLOWABLE FAR: 0.58

ALLOWABLE FLOOR AREA: 2,900 SF

EXISTING FLOOR AREA OF THE BUILDING:

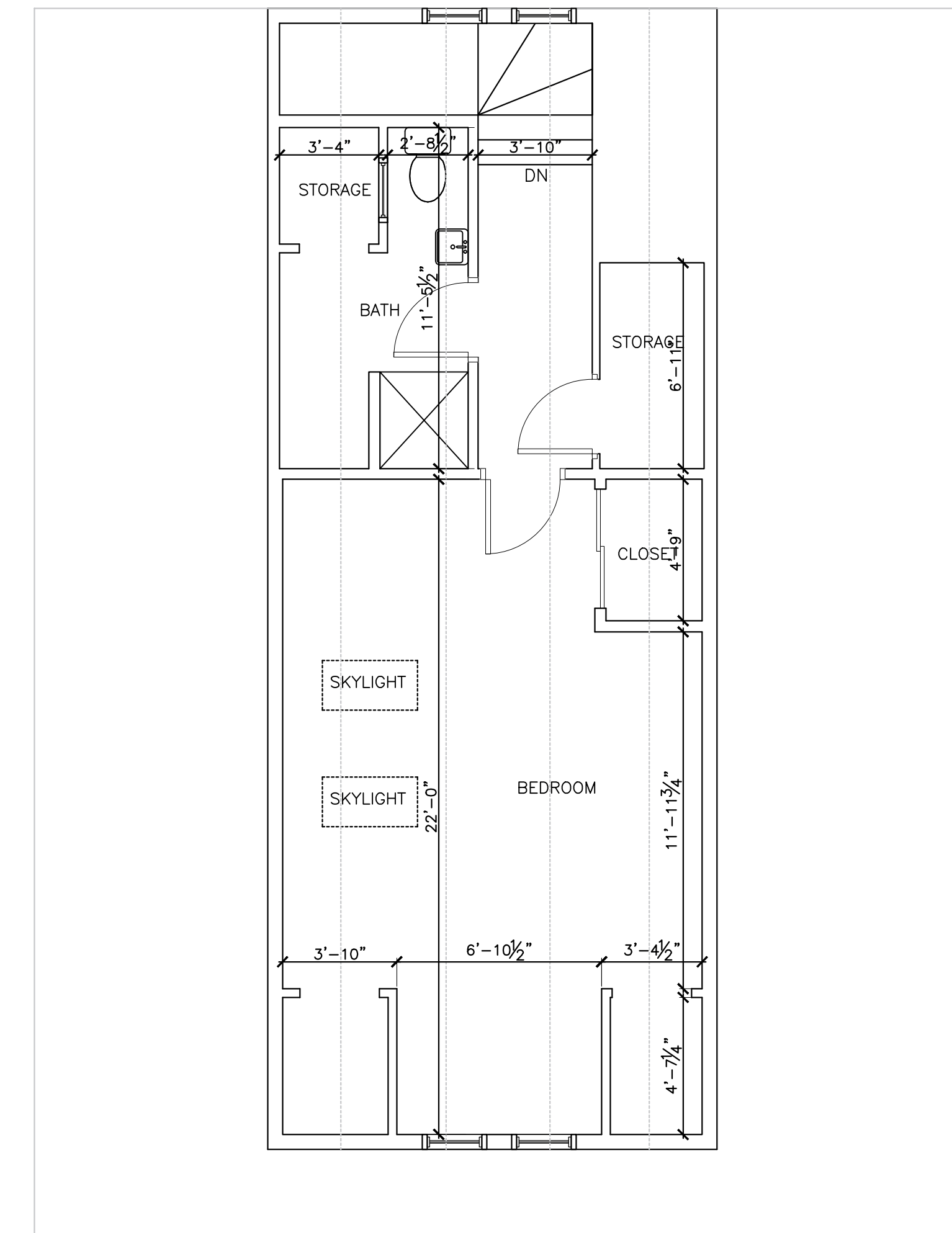
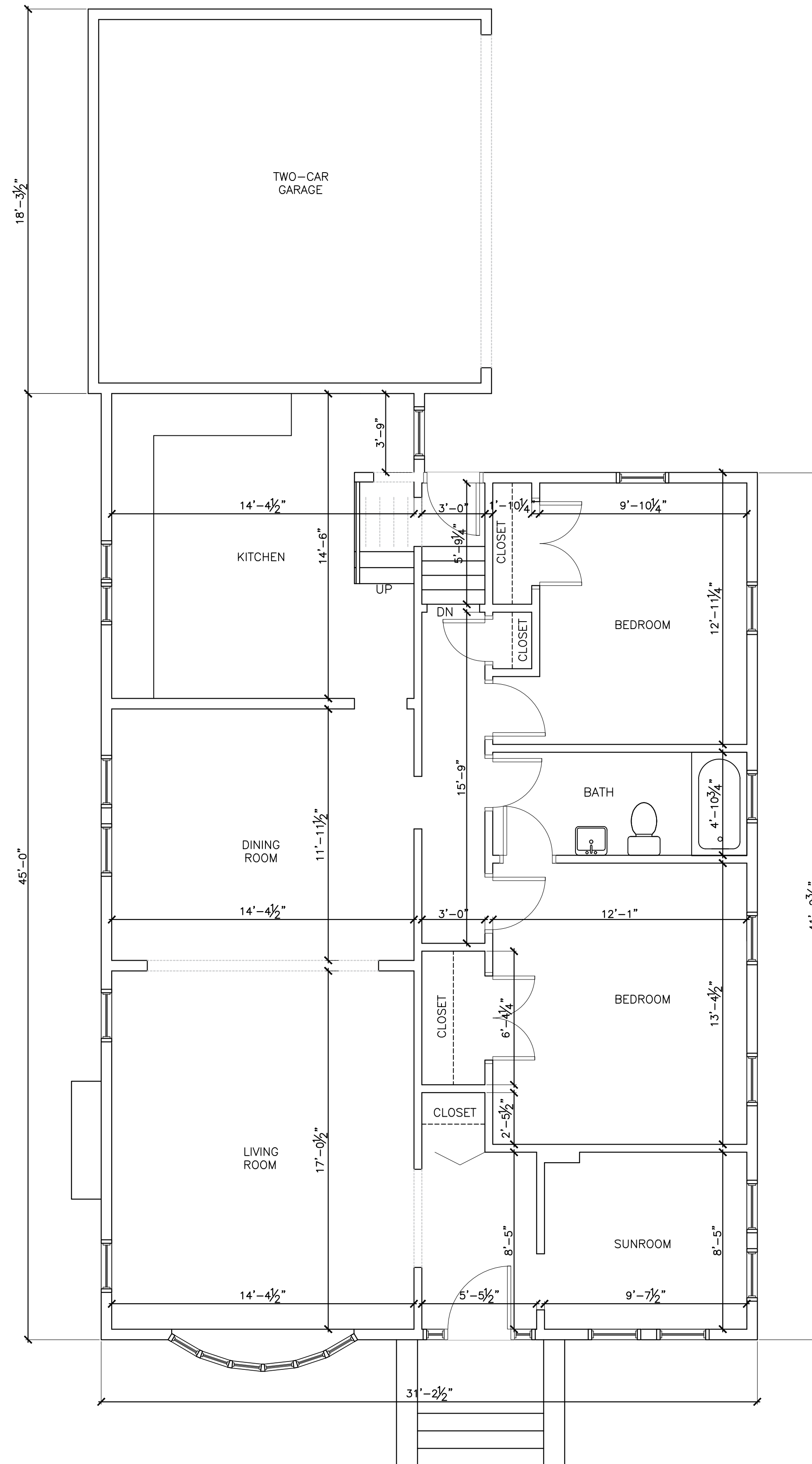
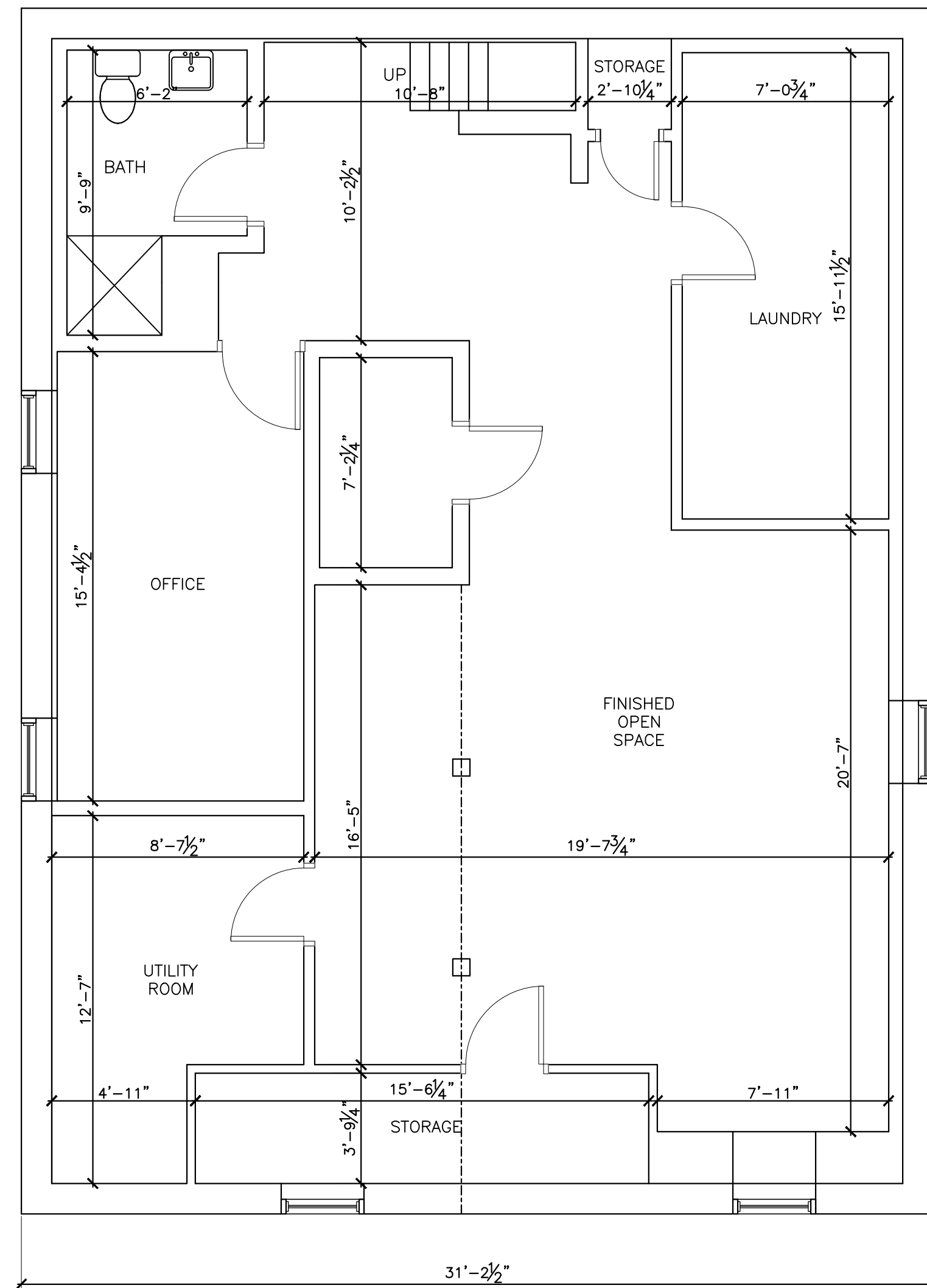
1. 1ST FLOOR: 1,705.3 SF

2. BASEMENT: N/A

3. ATTIC: N/A

TOTAL EXISTING FLOOR AREA OF THE BUILDING: 1,705.3 SF

1,705.3 SF < 2,900 SF



DATE	REVISION

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EXISTING FLOOR PLANS

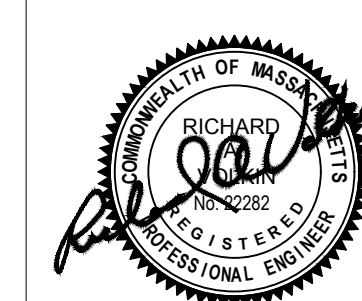
26 GILBERT STREET,  
 NEWTON, MASSACHUSETTS

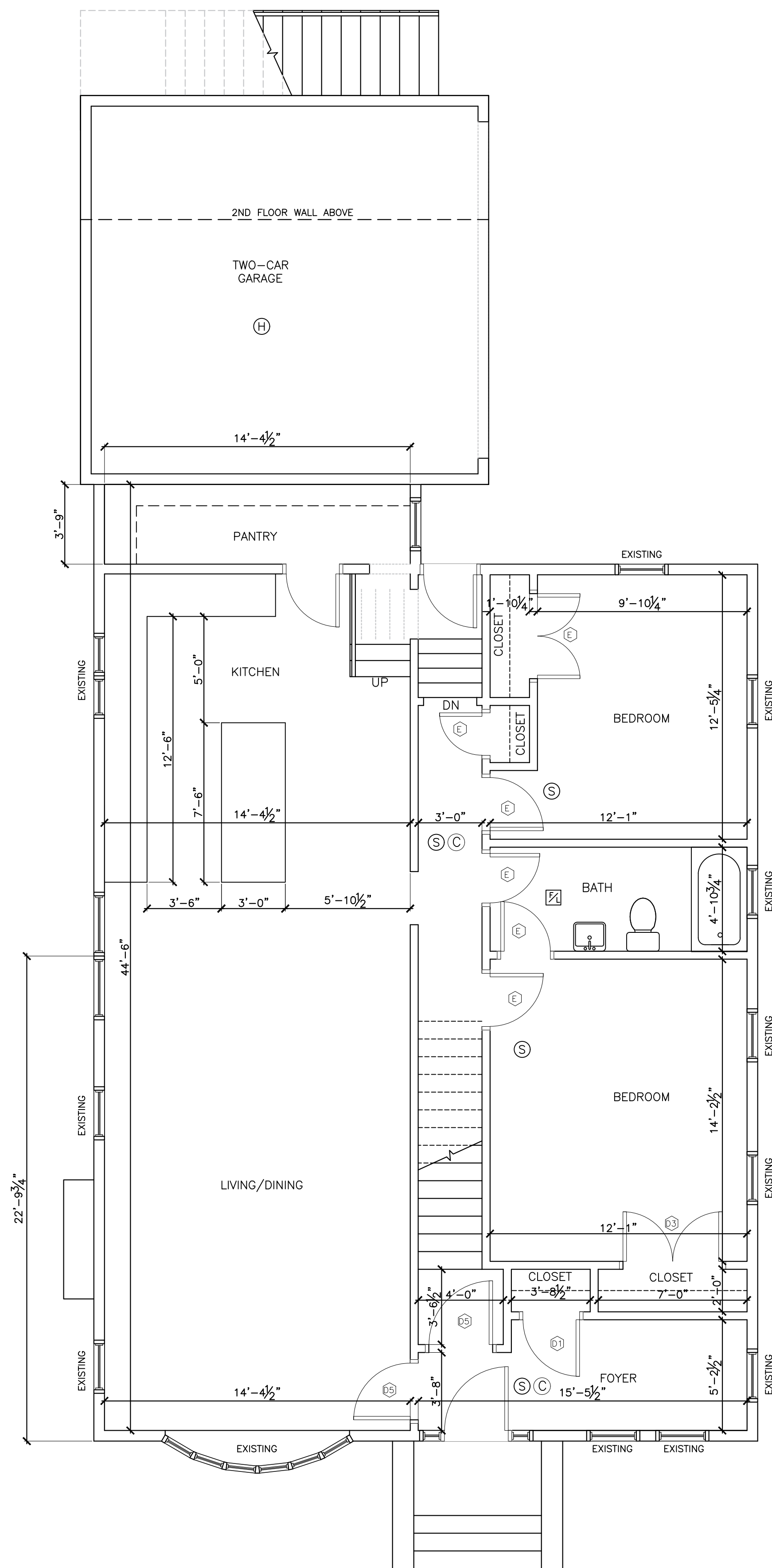
**RAV** & Assoc., Inc.

21 HIGHLAND AVENUE  
 NEEDHAM, MASSACHUSETTS 02494  
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

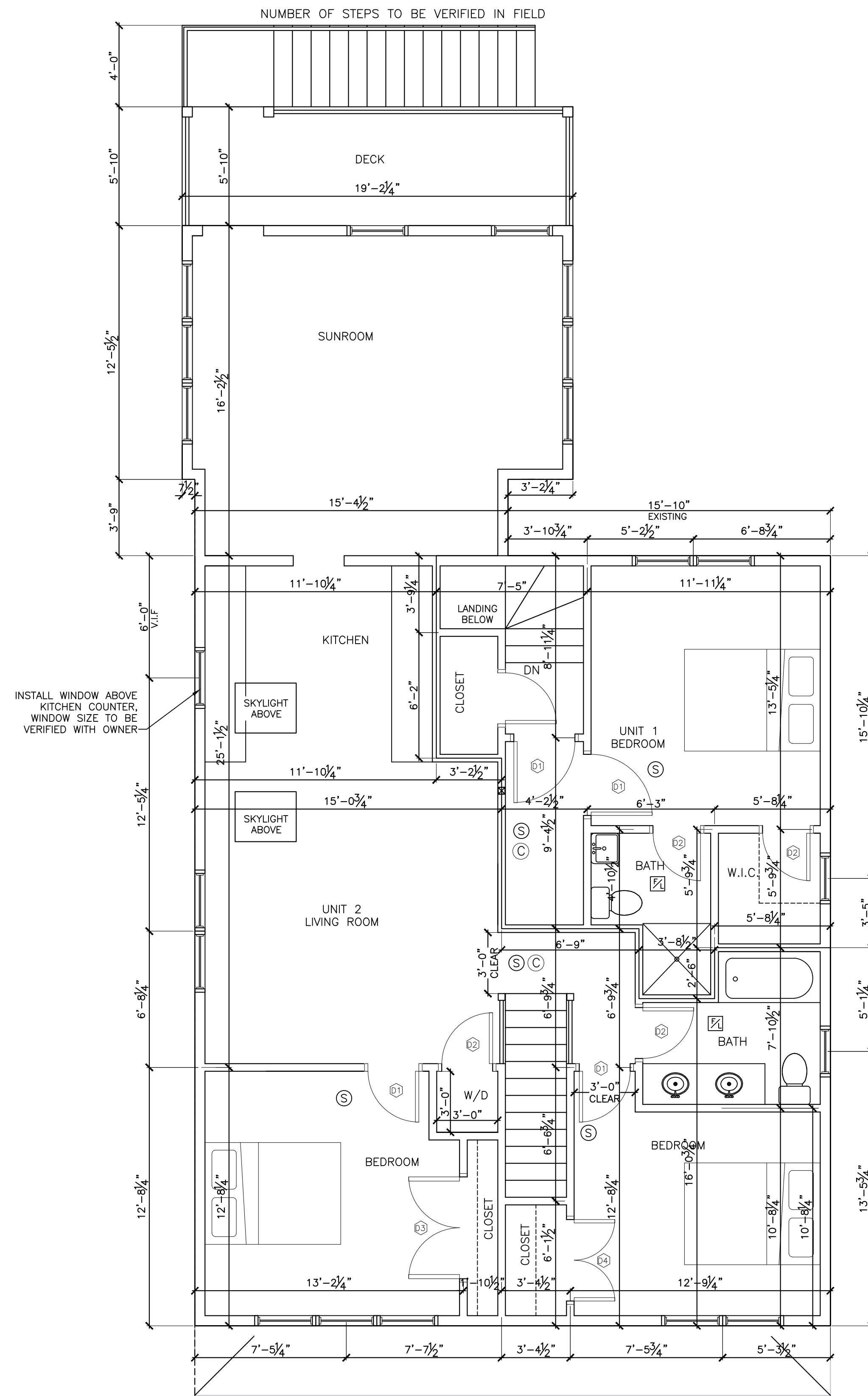
SCALE: 1/4" = 1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No.
DATE: 09/11/2019	DRAWN BY: E.F.	1
	CHECKED BY: R.A.V.	





PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

PROPOSED FLOOR AREA RATIO (F.A.R.) CALCULATION:

ZONING DISTRICT: NEWTON, MA - MR 1  
EXISTING 5,000 SF LOT CREATED PRIOR TO 12/07/1953

ALLOWABLE FAR: 0.58

ALLOWABLE FLOOR AREA: 2,900 SF

PROPOSED FLOOR AREA OF THE BUILDING:

1. 1ST FLOOR: 1,705.3 SF
2. 2ND FLOOR: 1,476.8 SF
3. BASEMENT: N/A
4. ATTIC: N/A

TOTAL PROPOSED FLOOR AREA OF THE BUILDING:

1,705.3 SF + 1,476.8 SF = 3,182.1 SF

3,182.1 SF > 2,900 SF,

F.A.R. = 0.636

ACCESSORY APARTMENT AREA:

LIVING AREA 2,831.1 SF

ALLOWABLE AREA: 2,831.1 x 0.4 = 1,132.4 SF

PROPOSED APARTMENT AREA: 1,131.1 SF < 1,133.2 SF

LEGEND:

- (S) PHOTO ELECTRIC HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
- (F) FAN/LIGHT TO BE VENTED DIRECTLY TO OUTSIDE
- (C) CARBON MONOXIDE DETECTOR
- (H) HARD WIRED HEAT DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES

INTERIOR DOORS SCHEDULE:

- (1) 2'-6" x 6'-8"
- (2) 2'-4" x 6'-8"
- (3) 5'-0" x 6'-8"
- (4) 4'-0" x 6'-8"
- (5) 3'-0" x 6'-8"
- (E) EXISTING

FOR EXTERIOR DOORS AND WINDOWS SEE WINDOW SCHEDULE AND BUILDING ELEVATIONS

DATE	REVISION
12/10/20	REVISED SECOND FLOOR PLAN, ELEVATIONS
11/17/20	REVISED SECOND FLOOR PLAN, ELEVATIONS
8/03/2020	REVISED SECOND FLOOR PLAN, ELEVATIONS, FOUNDATION PLAN AND FRAMING PLANS

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PROPOSED FLOOR PLANS

26 GILBERT STREET,  
NEWTON, MASSACHUSETTS

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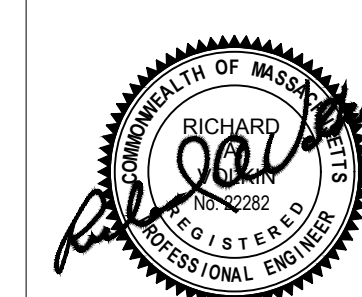
21 HIGHLAND AVENUE

NEEDHAM, MASSACHUSETTS 02494

TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

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DATE: 09/11/2019	DRAWN BY: E.F.	2
	CHECKED BY: R.A.V.	





EXISTING FRONT ELEVATION



EXISTING LEFT ELEVATION



EXISTING RIGHT ELEVATION



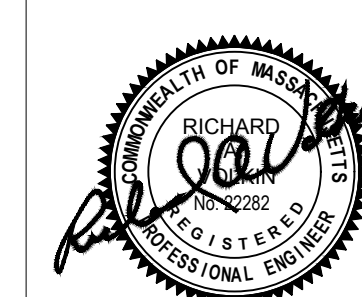
EXISTING REAR ELEVATION

DATE	REVISION

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EXISTING ELEVATIONS  
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 21 HIGHLAND AVENUE  
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SCALE: 1/4"=1'-0"	APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No. 3
	DATE: 09/11/2019	DRAWN BY: E.F.	
		CHECKED BY: R.A.V.	



PROPOSED FRONT ELEVATION



PROPOSED LEFT ELEVATION

NOTES:

CONTRACTOR MUST VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO ORDERING WINDOWS. CONTACT WINDOW MANUFACTURER FOR DETAILS. CONTACT THE OWNER FOR FINAL SELECTION OF DOORS AND WINDOWS PRIOR TO ORDERING AND PRIOR TO FRAMING DOOR AND WINDOW OPENINGS. VERIFY CLEAR OPENINGS IN ALL BEDROOMS. MINIMUM CLEAR OPENING MUST BE 20 IN (W) x 24 IN (H) AND HAVE MINIMUM OF 5.7 S.F. OF CLEAR OPEN AREA. VERIFY LOCATIONS OF SAFETY GLASS WINDOWS AND DOORS PRIOR TO ORDERING WINDOWS AND DOORS.

SPECIFIC LOCATIONS:

1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS;
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS AND SWINGING DOORS;
3. GLAZING IN STORM DOORS;
4. GLAZING IN UNFRAMED SWINGING DOORS;
5. GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, STEAM ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPONENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHICH MEETS THE FOLLOWING CONDITIONS:
  - a) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.;
  - b) EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR;
  - c) EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR;
  - d) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

EXTERIOR DOORS AND WINDOWS SCHEDULE				
ALL NEW WINDOWS TO MATCH EXISTING WINDOWS STYLE				
No.	UNIT DIMENSIONS	MODEL		REMARKS
①	2'-11 5/8" x 5'-0 7/8"	WDH2432	*	
②	2'-5 5/8" x 3'-4 7/8"	WDH210410		
③	4'-11 1/4" x 6'-10 3/8"	FWG50611		
④	3'-0 1/2" x 7'-0"	HPI3070		INSWING PATIO DOOR
⑤				EXISTING WINDOWS

\* EGRESS WINDOW MEETS OR EXCEEDS CLEAR OPENING OF 5.7 SF, CLEAR WIDTH 20" AND CLEAR HEIGHT 24"

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8/03/2020	REVISED SECOND FLOOR PLAN, ELEVATIONS, FOUNDATION PLAN AND FRAMING PLANS
6/11/2020	REVISED SECOND FLOOR PLAN, ELEVATIONS, FOUNDATION PLAN AND FRAMING PLANS
3/11/20	REVISED SKYLIGHTS

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PROPOSED ELEVATIONS

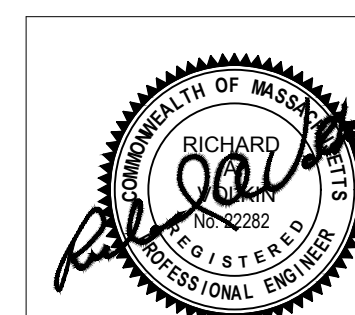
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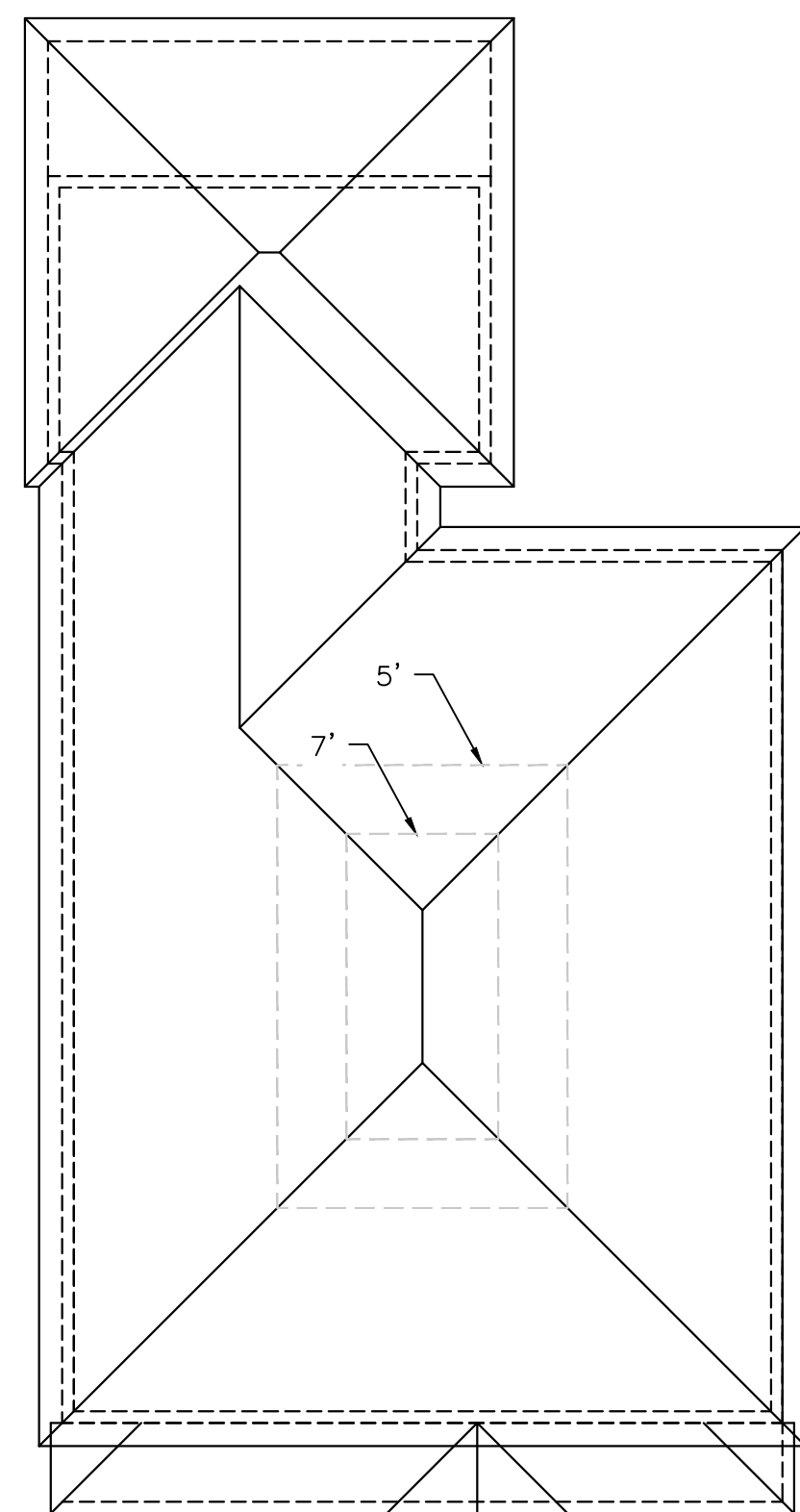




PROPOSED RIGHT ELEVATION



PROPOSED REAR ELEVATION



ATTIC CALCULATIONS:

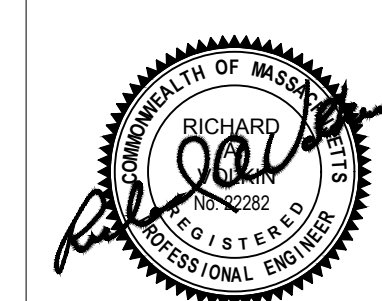
MAIN ROOF:  
 ATTIC GROSS AREA WITH WALL HEIGHT OF 7'-0" = 87 S.F.  
 ATTIC AREA WITH WALL HEIGHT OF 5'-0" = 242 S.F.  
 ATTIC AREA WITH HEIGHT OF 7 FT IS LESS THAN 50% OF  
 ATTIC AREA WITH HEIGHT OF 5 FT, THEREFORE  
 ATTIC IS NOT INCLUDED IN FAR CALCULATIONS

DATE	REVISION
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FOUNDATION PLAN,  
 TYPICAL DETAILS  
 26 GILBERT STREET,  
 NEWTON, MASSACHUSETTS

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	DATE: 09/11/2019	DRAWN BY: E.F.	
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