

HO RESIDENCE

63-65 BROADWAY

NEWTON, MA

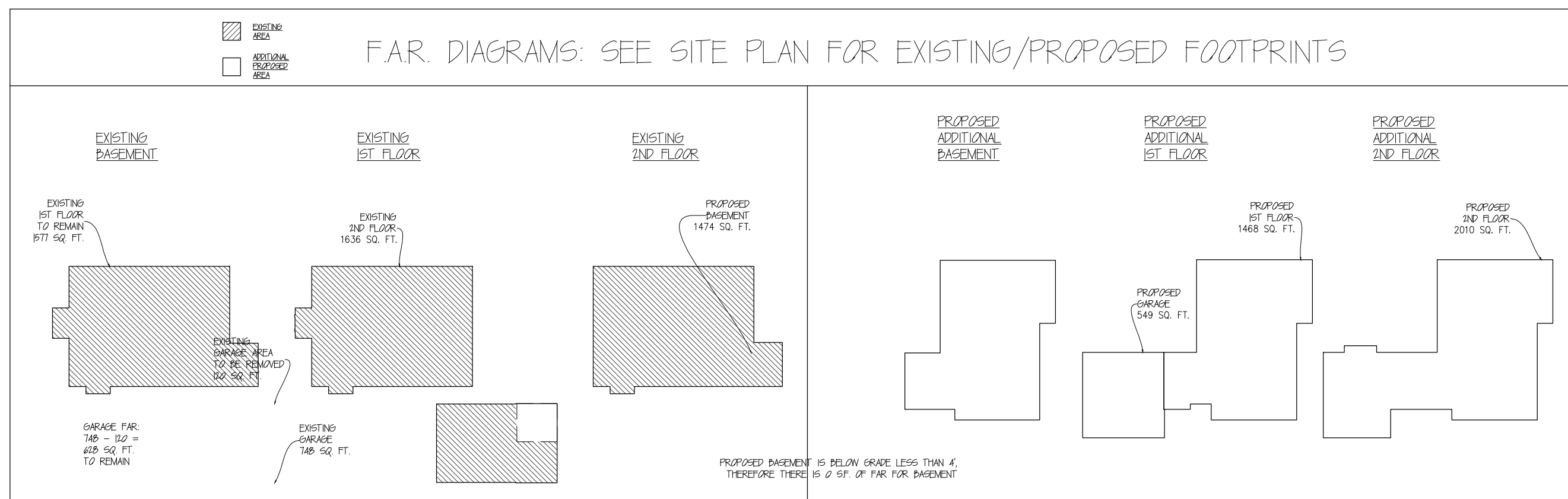
General Notes

- Prior to commencing work, the contractor shall become familiar with the intent of the Architectural plans, inspect the site and be fully responsible for reporting to the Architect any discrepancies between the dimensions, elevations and/or locations indicated on the drawings and those that actually exist on the site.
- If in the course of the construction, a condition exists which disagrees with the intention of the plans or disagrees with what is indicated on the plans or in the specifications, the contractor is to stop work and notify the Architect.
- The Contractor shall apply for, obtain and pay for all required permits, inspections and other applicable state and municipal regulations and requirements. No construction work of any kind shall commence without a Building Permit from the municipality of jurisdiction.
- The contractor shall be responsible for the overall coordination and supervision including dimensions, layout and specifications related to his own sub-contractors. The contractor shall require the sub-contractors to visit the site and become familiar with the plans and specifications for their portion of the work.
- The contractor shall coordinate all "as built" surveys required by code.
- The contractor and all sub-contractors shall be solely responsible for compliance with all federal, state, and municipal safety regulations and requirements, including but not limited to the regulations of OSHA, AGC, and ASA, the Massachusetts Building Code; Fuel, Gas Plumbing and Electrical codes of the State of Massachusetts. This includes contacting Dig- Safe prior to any excavation. All workers employed by the General Contractor or by the Owner or by any subcontractors either directly or indirectly shall be covered by a Workman Compensation Policy and General Liability without exception. It shall not be the responsibility of the Architect to enforce compliance or administer or regulate compliance of this policy.
- The Architect shall not be responsible for enforcement specific safety regulations or the enforcement of compliance by the General Contractor to any or all of the requirements of the General Notes section of these drawings.
- The existing conditions indicated are from field measurement. All conditions and dimensions are based on visual observation. The Architect makes no representation as to the structural integrity or code compliance of existing conditions that are not readily visible.
- The contractor shall meet all the "U" value requirements of the State Energy Code for walls, floors, ceilings, windows and doors. Window "U" value of .340
- The contractor shall determine with the assistance of a Mechanical Engineer the required heating and air conditioning equipment and elements necessary for the new and existing spaces.

DRAWING LIST	
SHEET NUMBER	DESCRIPTION
ARCHITECTURAL	
A-1	TITLE SHEET
A-2	PROPOSED BASEMENT FLOOR PLAN
A-3	PROPOSED FIRST FLOOR PLAN
A-4	PROPOSED SECOND FLOOR PLAN
A-5	PROPOSED ROOF PLAN
A-5	PLANS AT LINK TO EXISTING
A-7	PROPOSED FRONT ELEVATION
A-8	PROPOSED RIGHT ELEVATION
A-9	PROPOSED BACK ELEVATION
A-10	PROPOSED LEFT ELEVATION
A-11	BUILDING SECTIONS
A-12	BUILDING SECTIONS
A-13	WINDOW/DOOR SCHEDULES
DEMOLITION	
D-1	DEMOLITION PLANS & ELEVS

F.A.R. CALCULATION (FLOOR AREA RATIO)	
LOT:	18,000 S.F.
ZONE:	MR1 (OLD)
ALLOWABLE FAR:	0.45
MAXIMUM ALLOWABLE S.F.:	8,100 S.F.
ADDITIONAL ALLOWABLE S.F.:	4,139 S.F.
EXISTING FAR:	0.22
EXISTING S.F.:	3,961 S.F.
PROPOSED FAR:	0.44
PROPOSED S.F.:	7,868 S.F.

F.A.R. AREAS				
	EXISTING	EX. AREA TO DEMOLISH	ADDITIONAL PROPOSED	TOTAL PROPOSED
BASEMENT	0 S.F.	0 S.F.	0 S.F.	0 S.F.
ATTACHED/DETACHED GARAGE	748 S.F.	-120 S.F.	549 S.F.	1177 S.F.
FIRST FLOOR	1577 S.F.	0 S.F.	1468 S.F.	3045 S.F.
SECOND FLOOR	1636 S.F.	0 S.F.	2010 S.F.	3646 S.F.
TOTALS (FAR ONLY)	3961 S.F.	-120 S.F.	4027 S.F.	7868 S.F.



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63-65 BROADWAY NEWTON, MA

PROPOSED TITLE SHEET
SCALE: AS NOTED

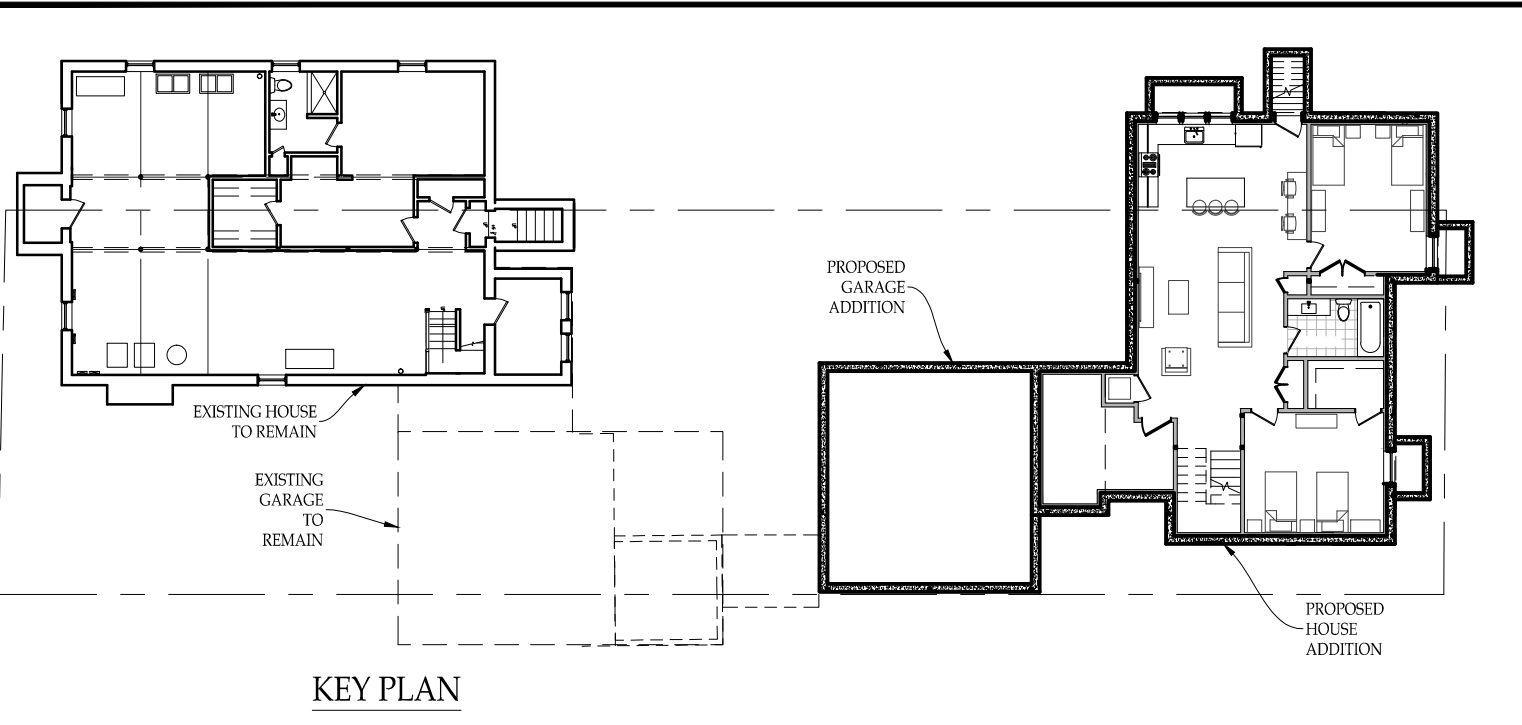
Peter Sachs Architect N.C.A.R.B. - A.I.A.
20 Hunter St.
Newton, MA 02465

Date & Revision
06/05/2010
08/18/2010

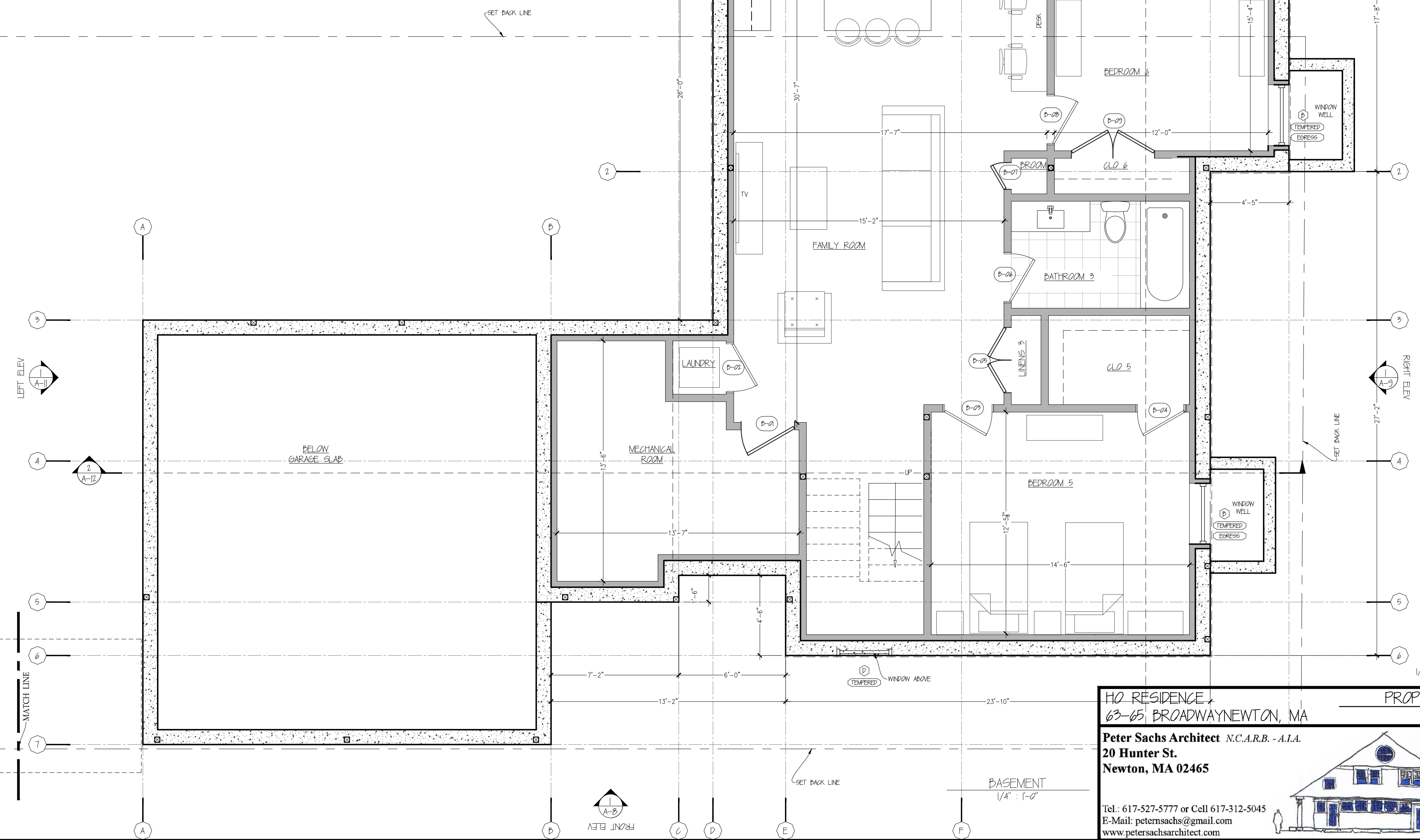
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A-1

ZONING REVIEW



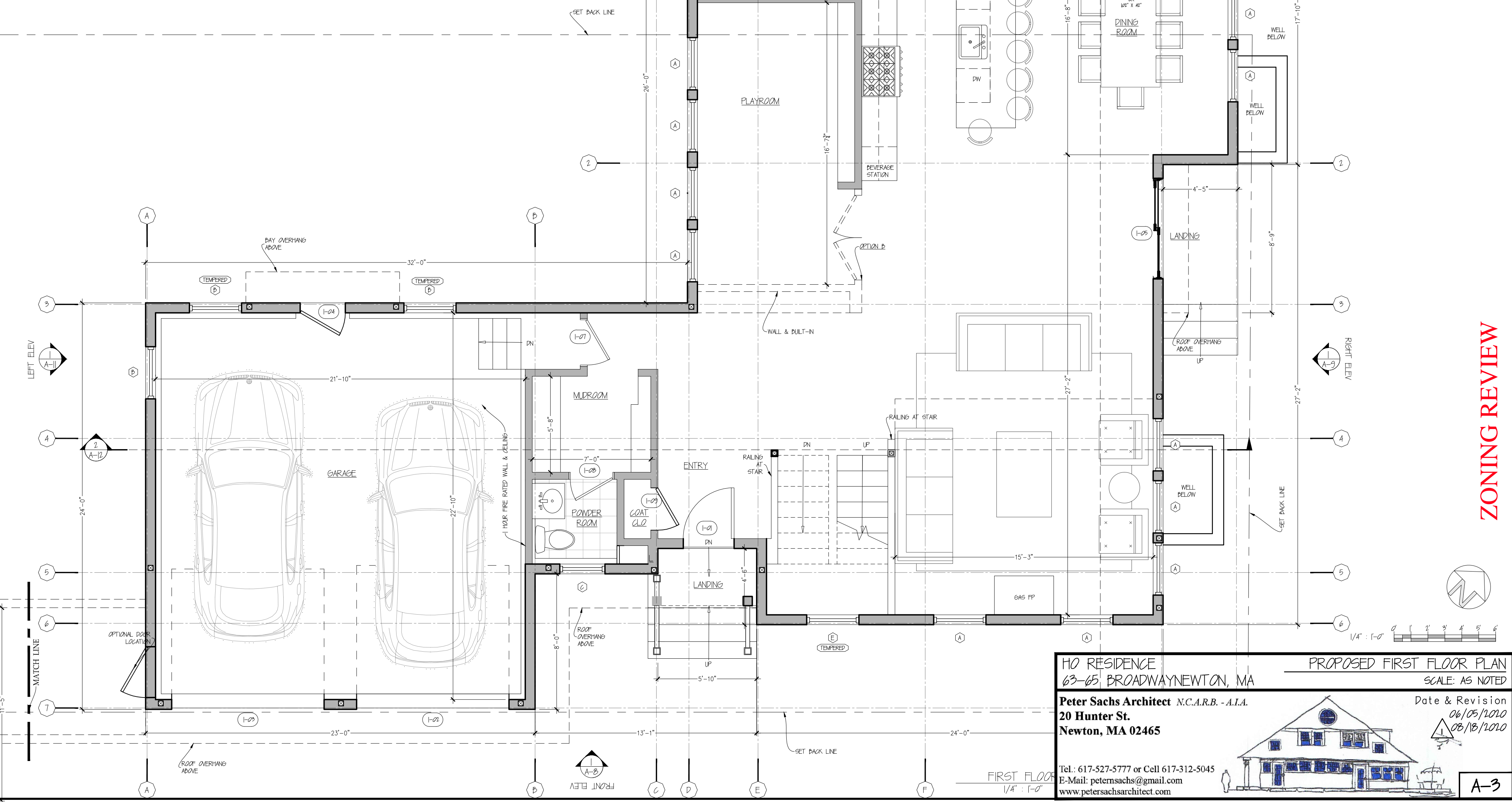
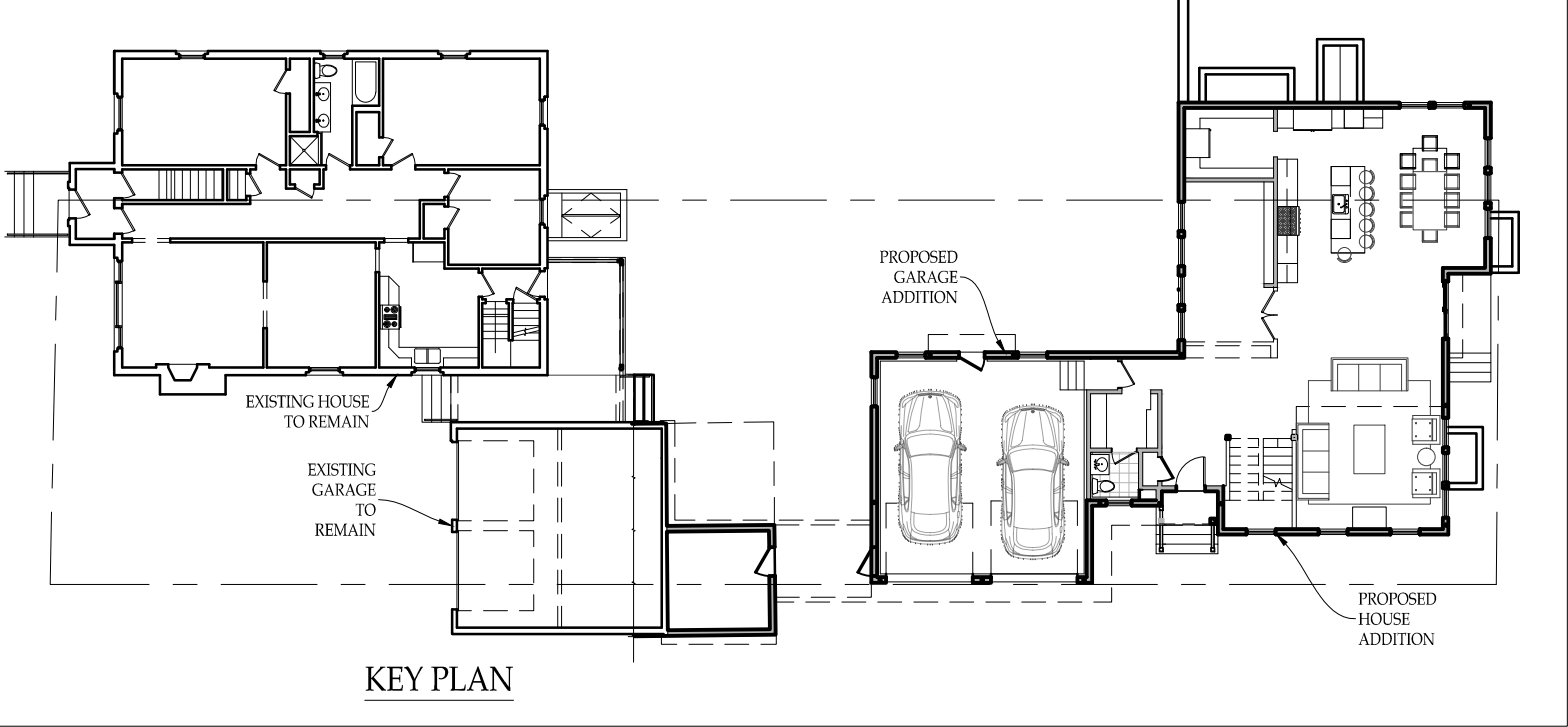
KEY PLAN



ZONING REVIEW

06/05/2010
63-65 Broadway - 1 - Proposed

<p>HQ RESIDENCE 63-65 BROADWAY NEWTON, MA</p>		<p>PROPOSED BASEMENT PLAN SCALE: AS NOTED</p>	
<p>Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465</p>		<p>Date & Revision 06/05/2010 06/18/2010</p>	
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			<p>A-2</p>

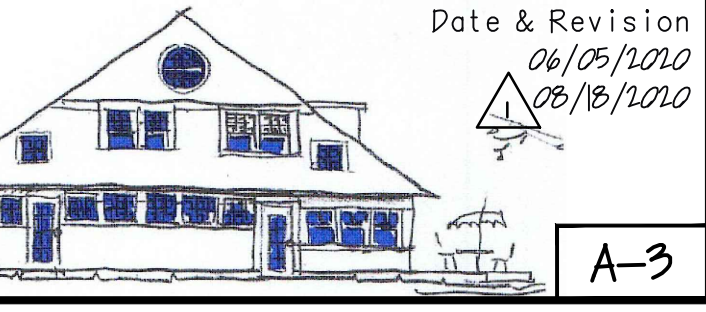


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PROPOSED FIRST FLOOR PLAN
 SCALE: AS NOTED

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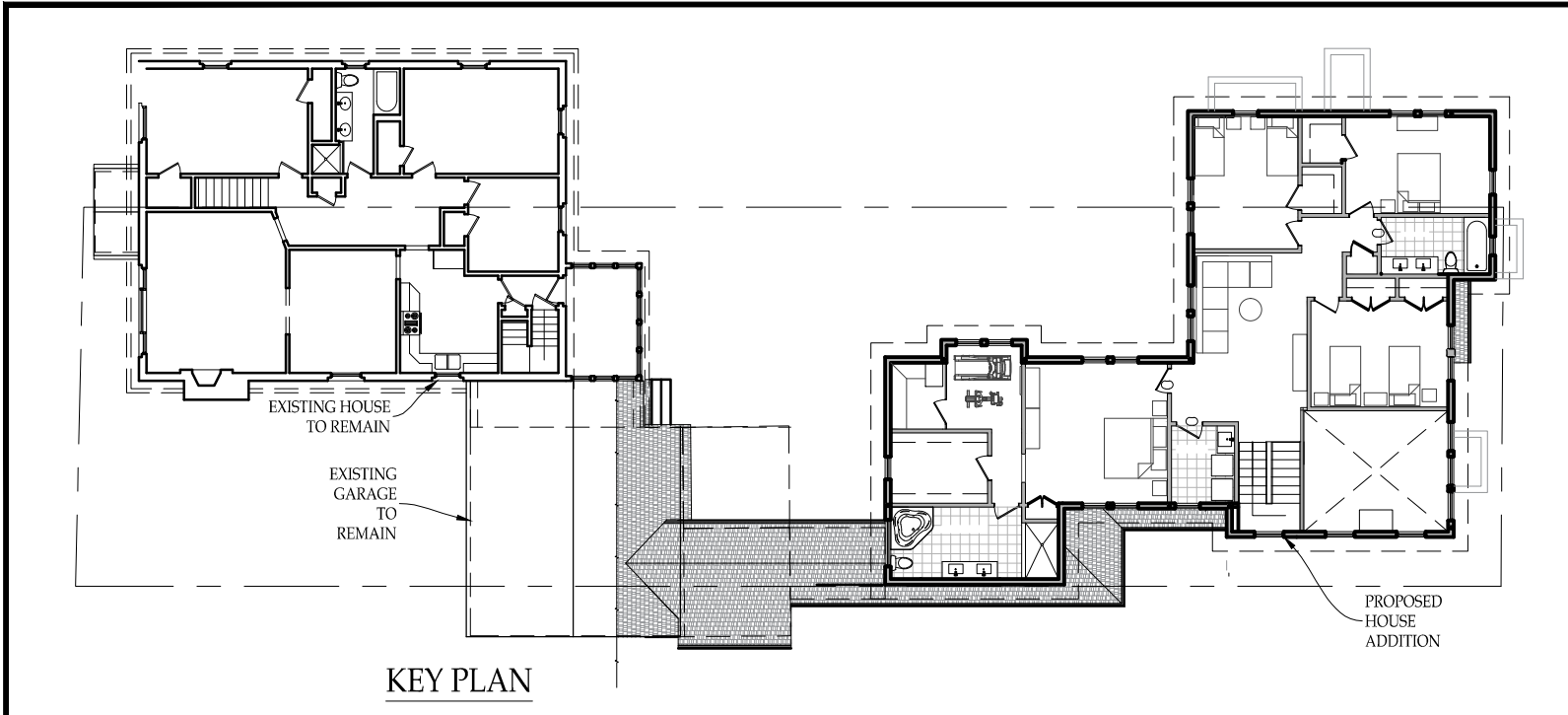
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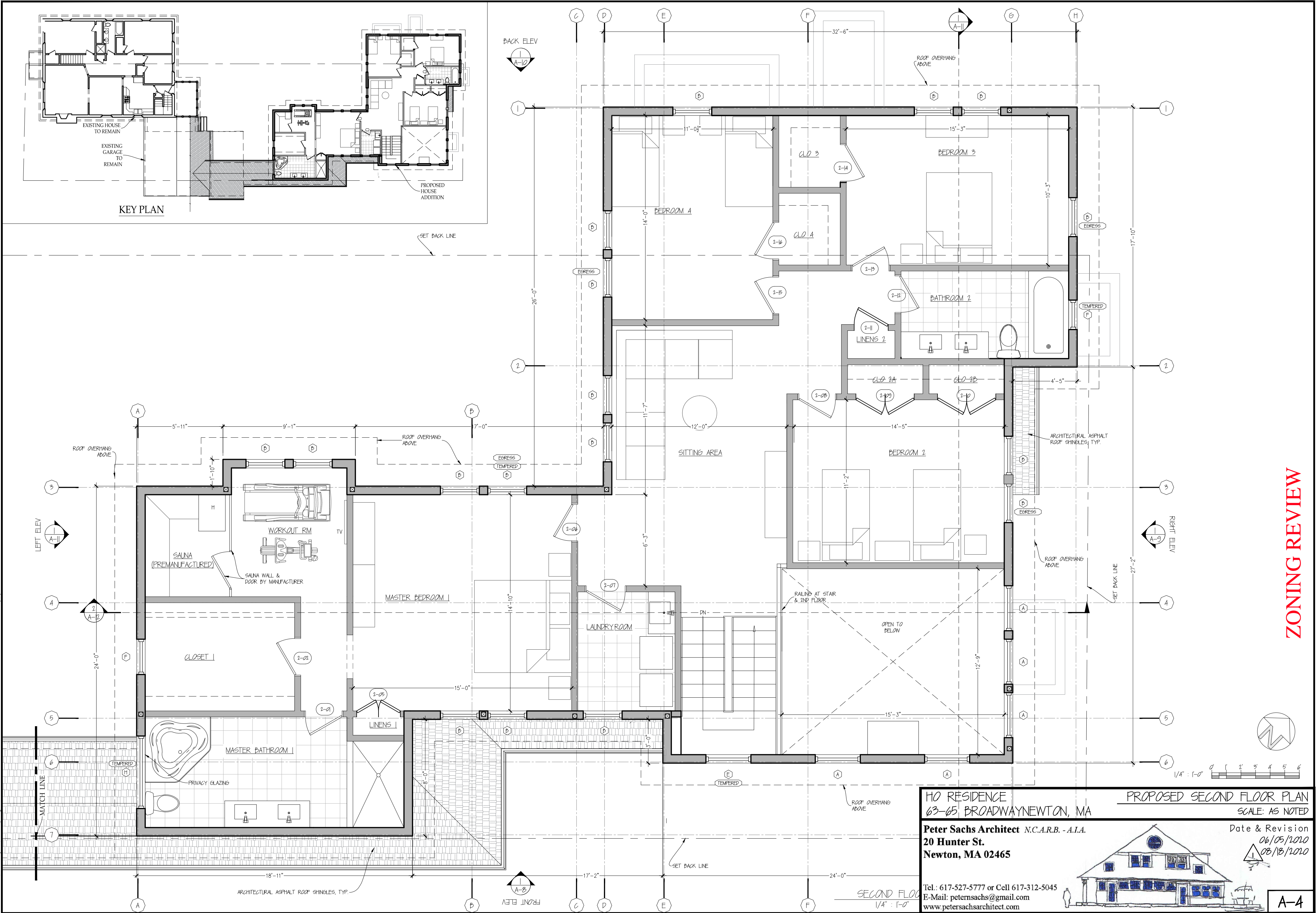
A-3

8/28/2010 2:45 PM

8/28/2010
63-65 Broadway - 1 - Proposed



KEY PLAN



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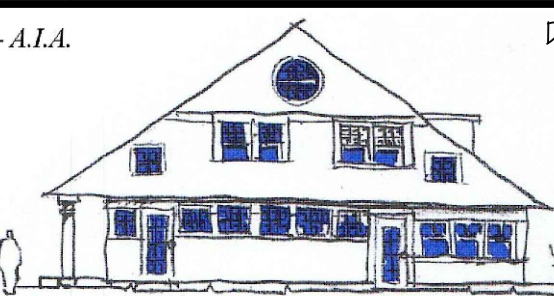
H0 RESIDENCE
63-65 BROADWAY NEWTON, MA

PROPOSED SECOND FLOOR PLAN
SCALE: AS NOTED

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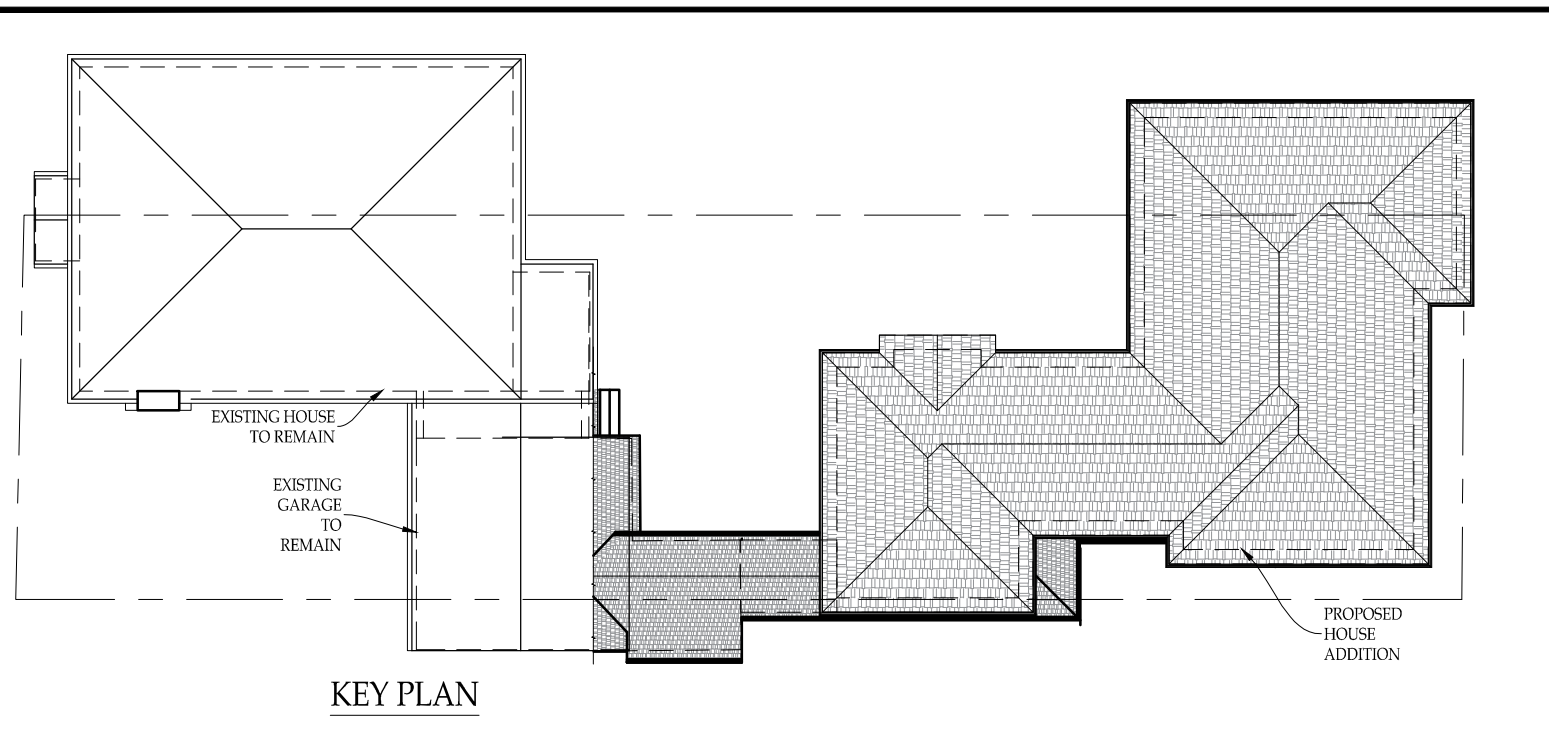
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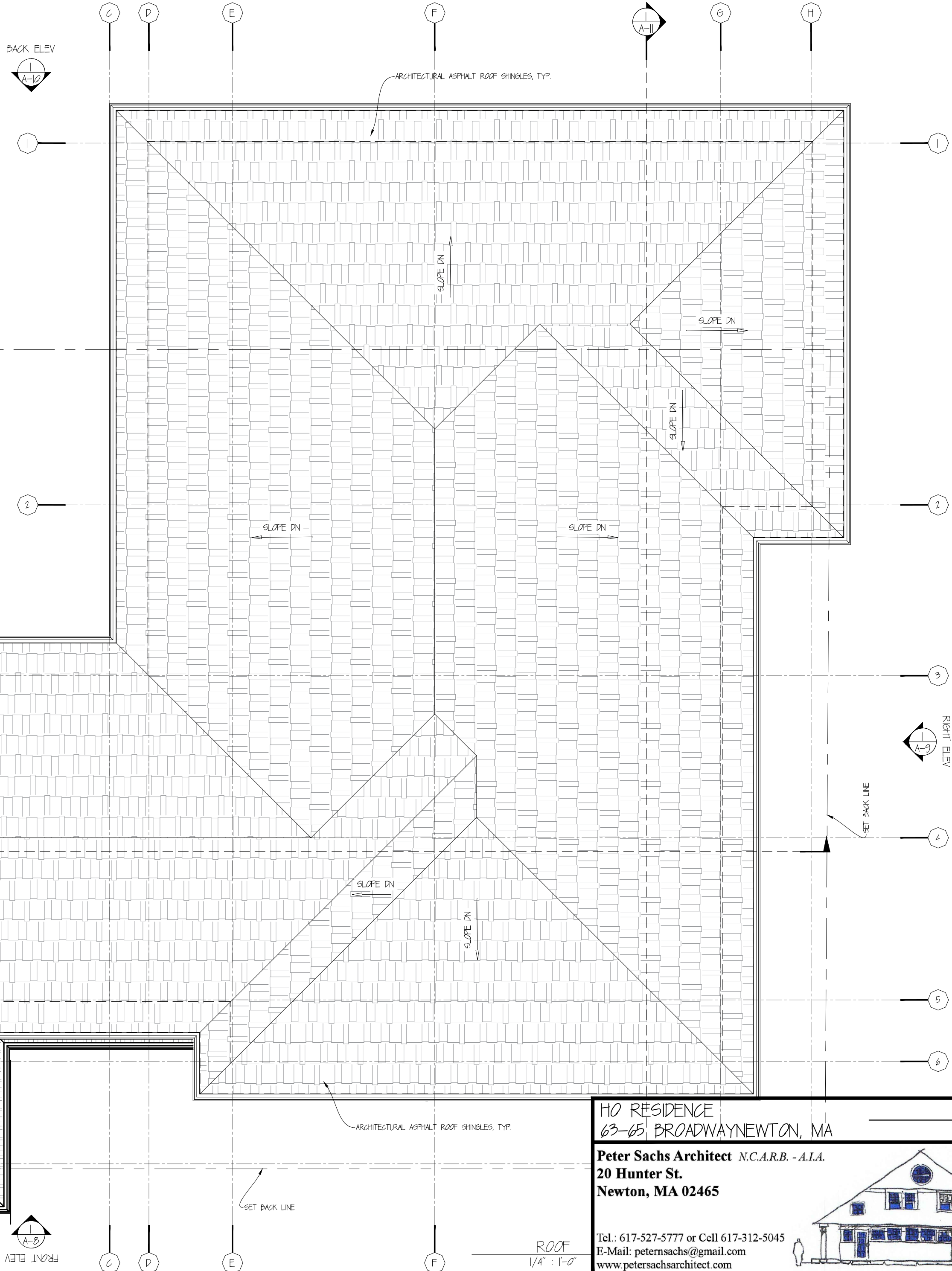


SECOND FLOOR
1/4" = 1'-0"

A-4



KEY PLAN



ZONING REVIEW

8/17/2010

63-65 Broadway - 1 - Proposing

1/4" = 1'-0"

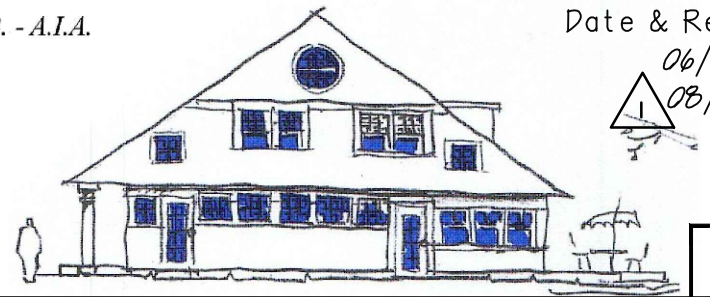
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63-65 BROADWAY NEWTON, MA

PROPOSED ROOF PLAN
SCALE: AS NOTED

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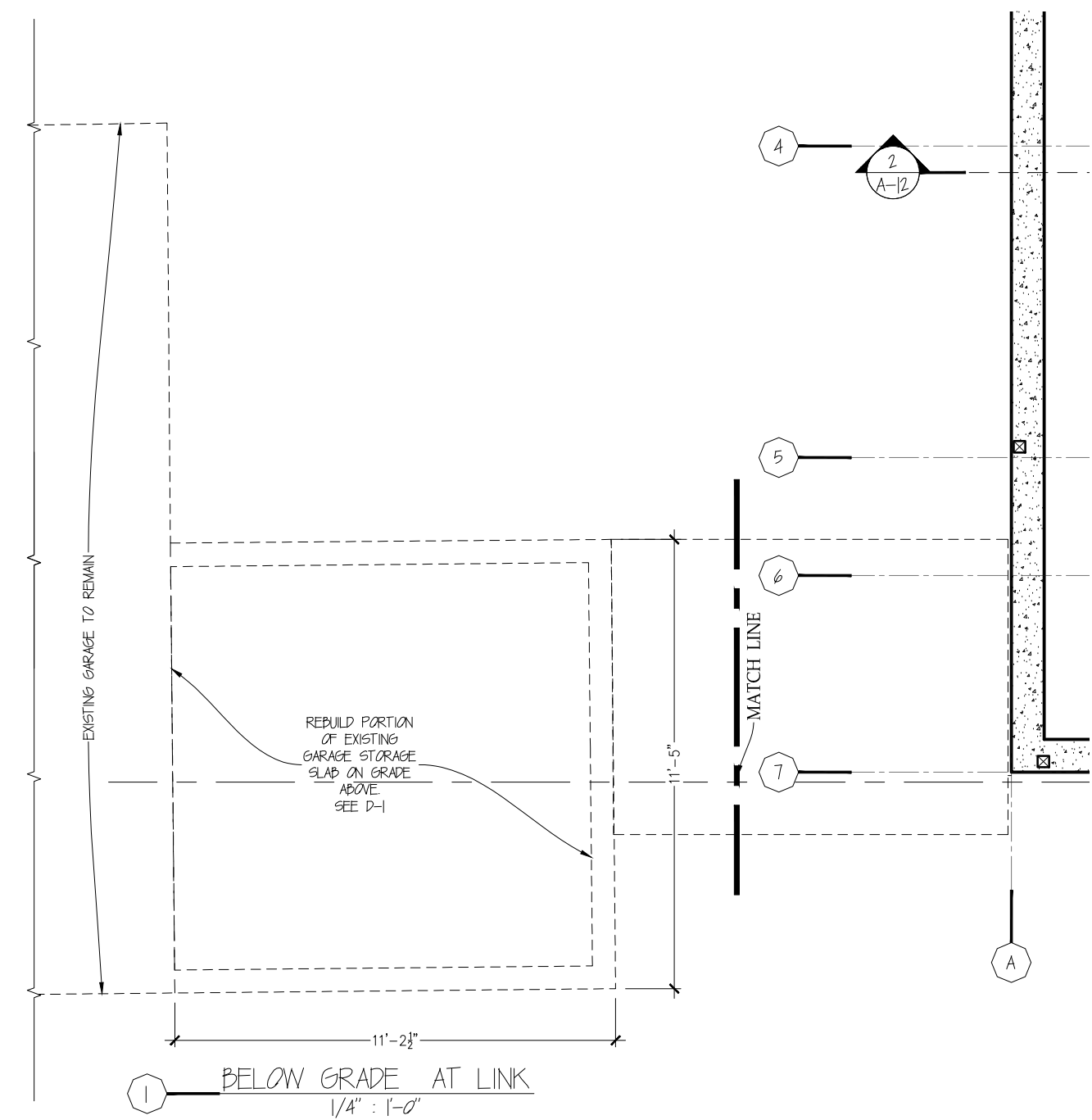
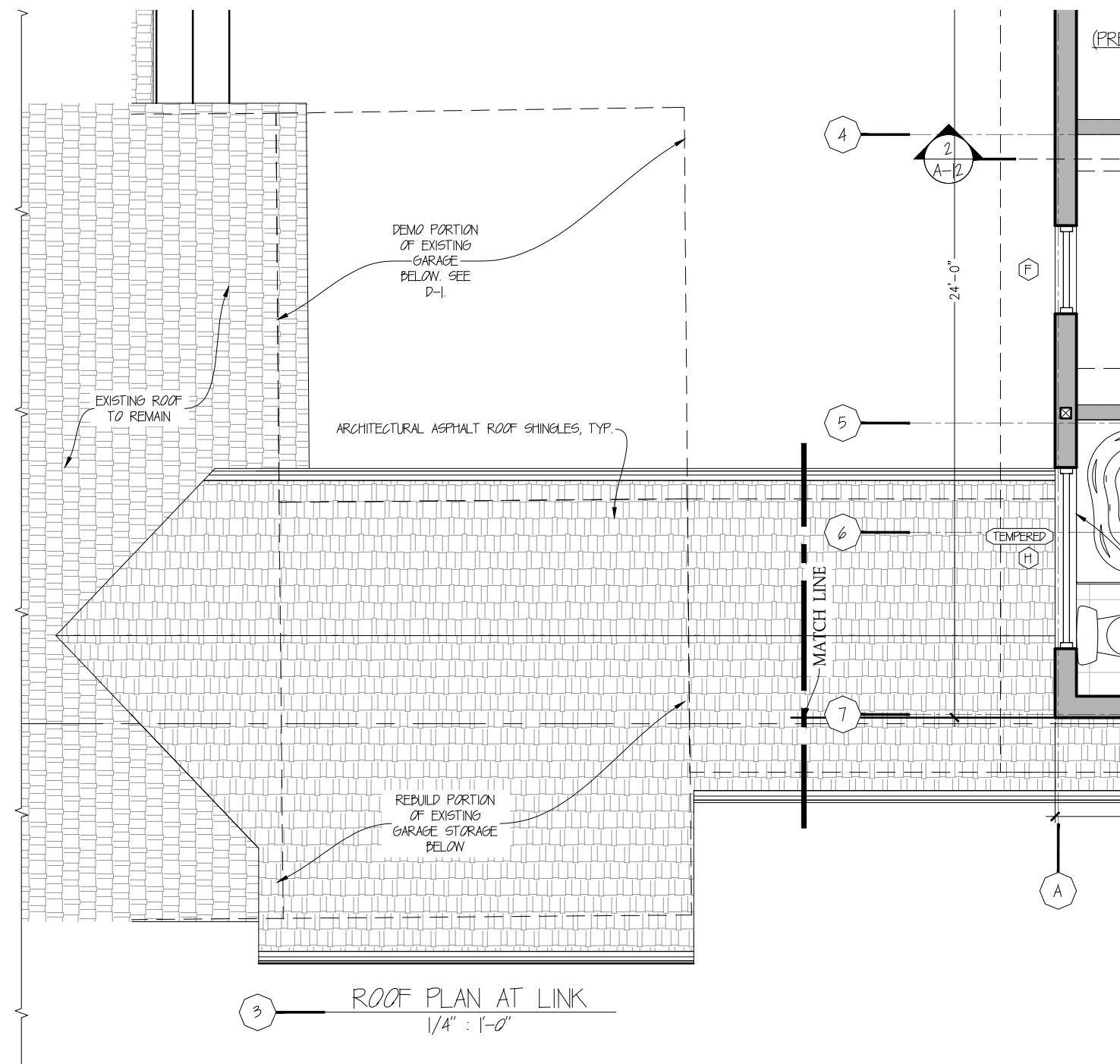
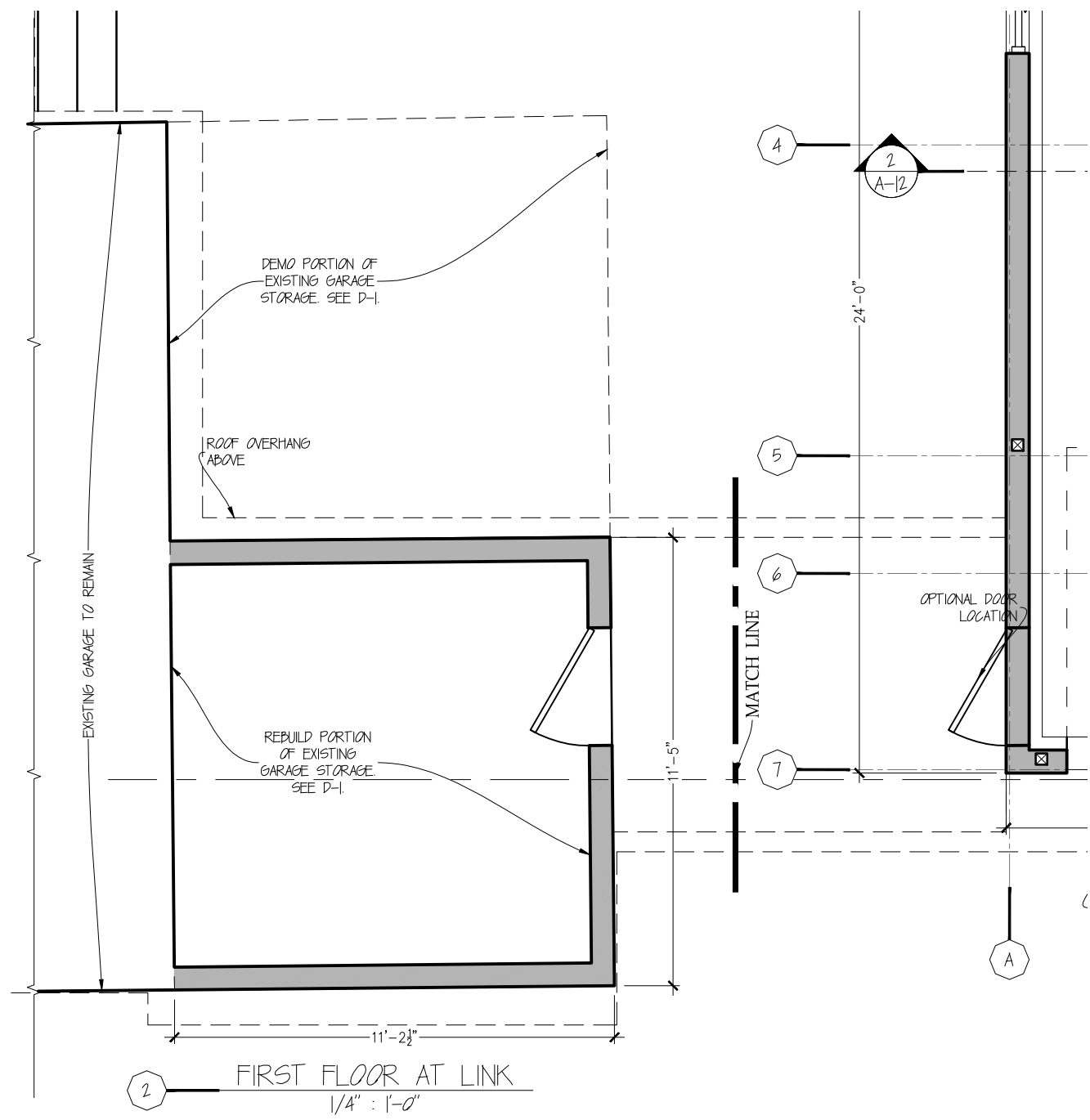


A-5

ROOF
1/4" = 1'-0"

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63-65 Broadway - 1 - Proposing



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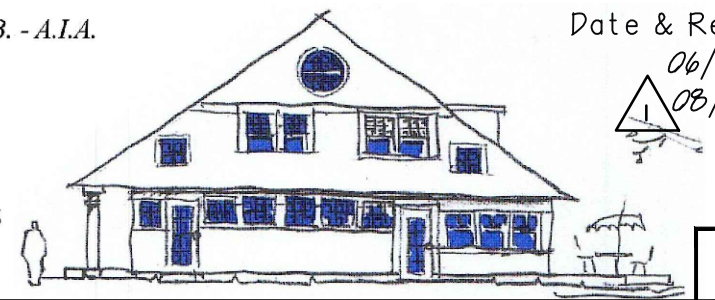
1/4" : 1'-0" 0 1 2 3 4 5 6

H0 RESIDENCE PROPOSED FIRST FLOOR & ROOF LINK PLANS
 63-65 BROADWAY NEWTON, MA SCALE: AS NOTED

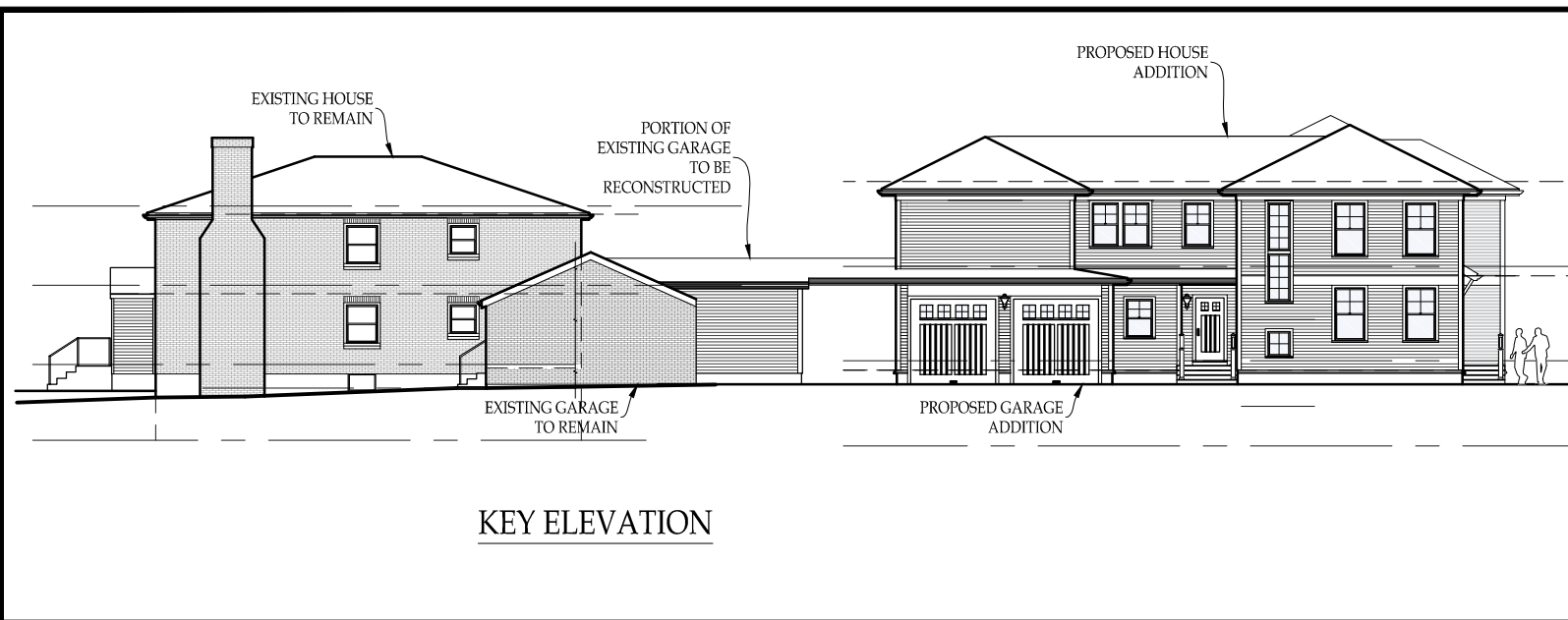
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A-6

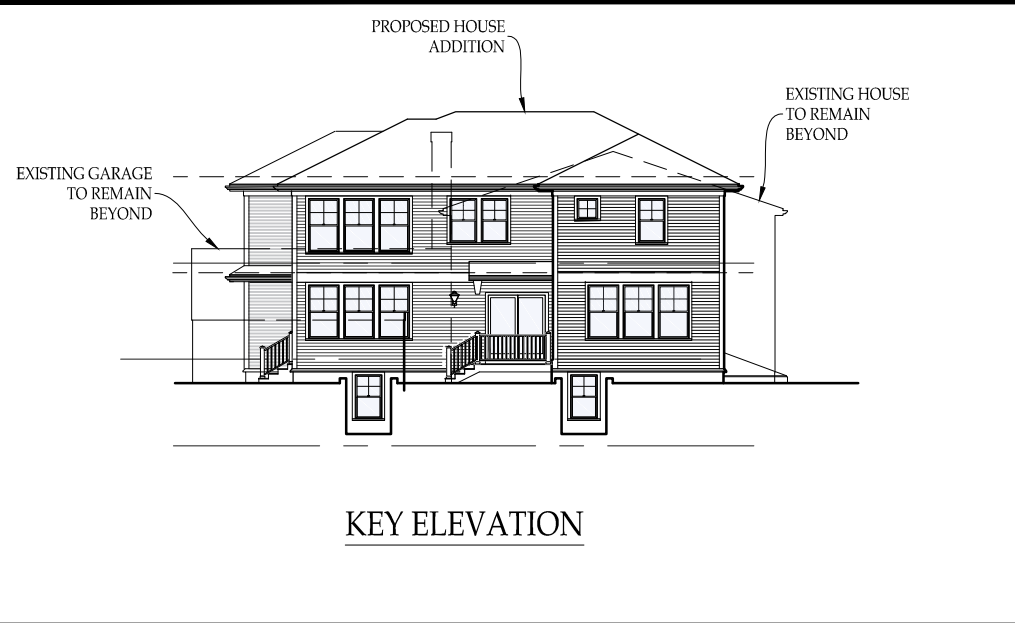


FRONT ELEVATION
 1/4" = 1'-0"

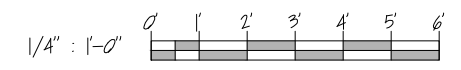
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H0 RESIDENCE		PROPOSED FRONT ELEVATION	
63-65 BROADWAY NEWTON, MA		SCALE: AS NOTED	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		06/05/2010	
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 63-65 Broadway - 1 - Prop.dwg



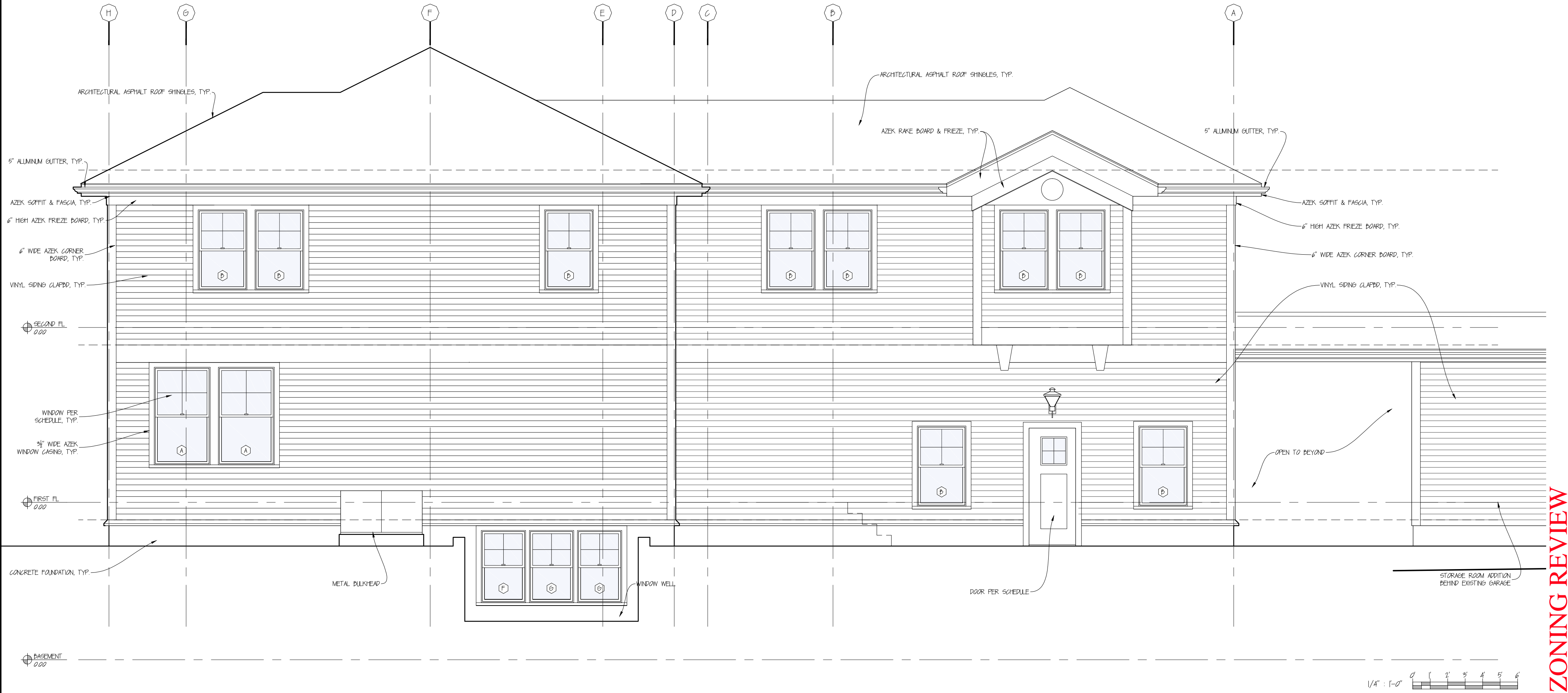
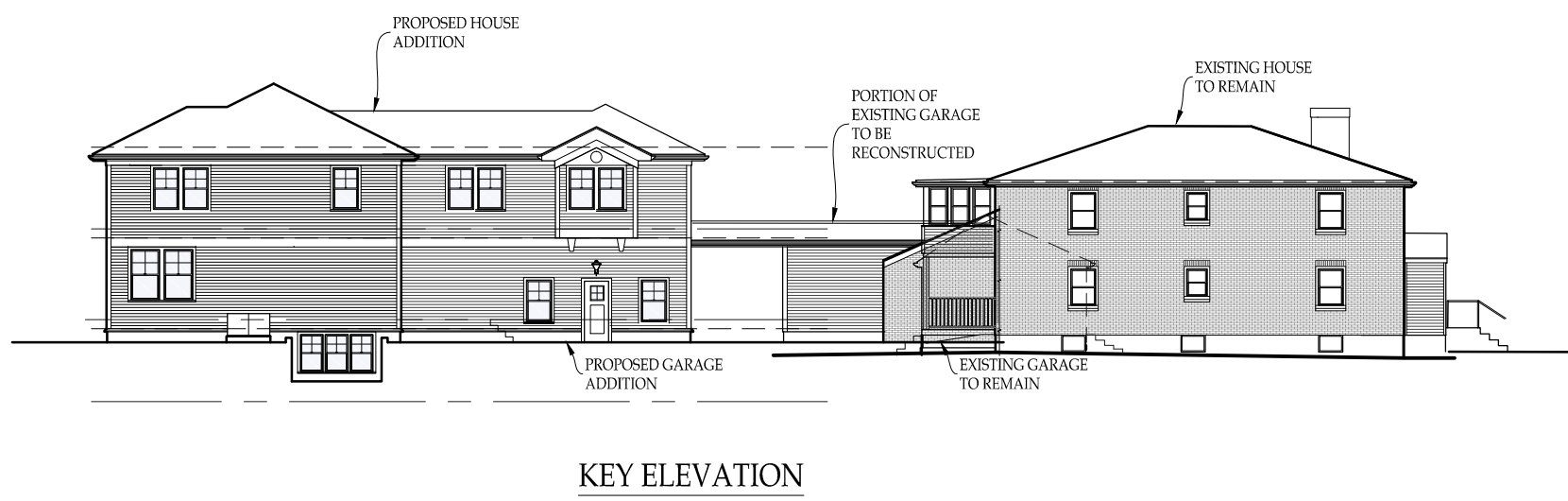
RIGHT ELEVATION
1/4" = 1'-0"



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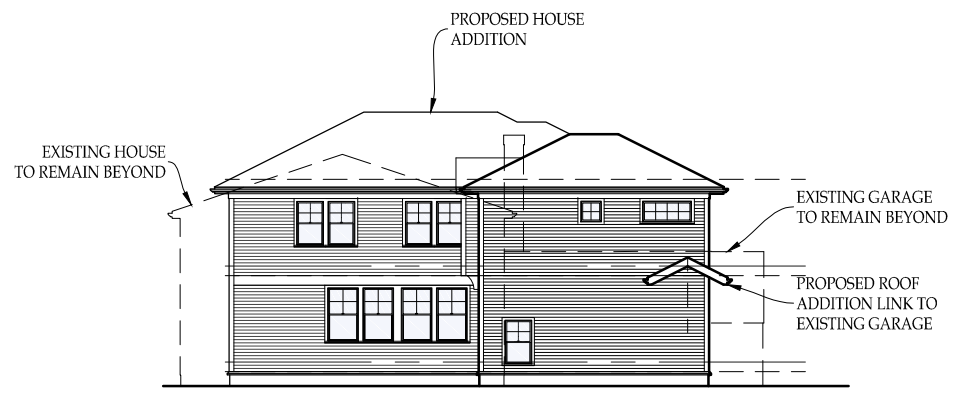


BACK ELEVATION
1/4" = 1'-0"

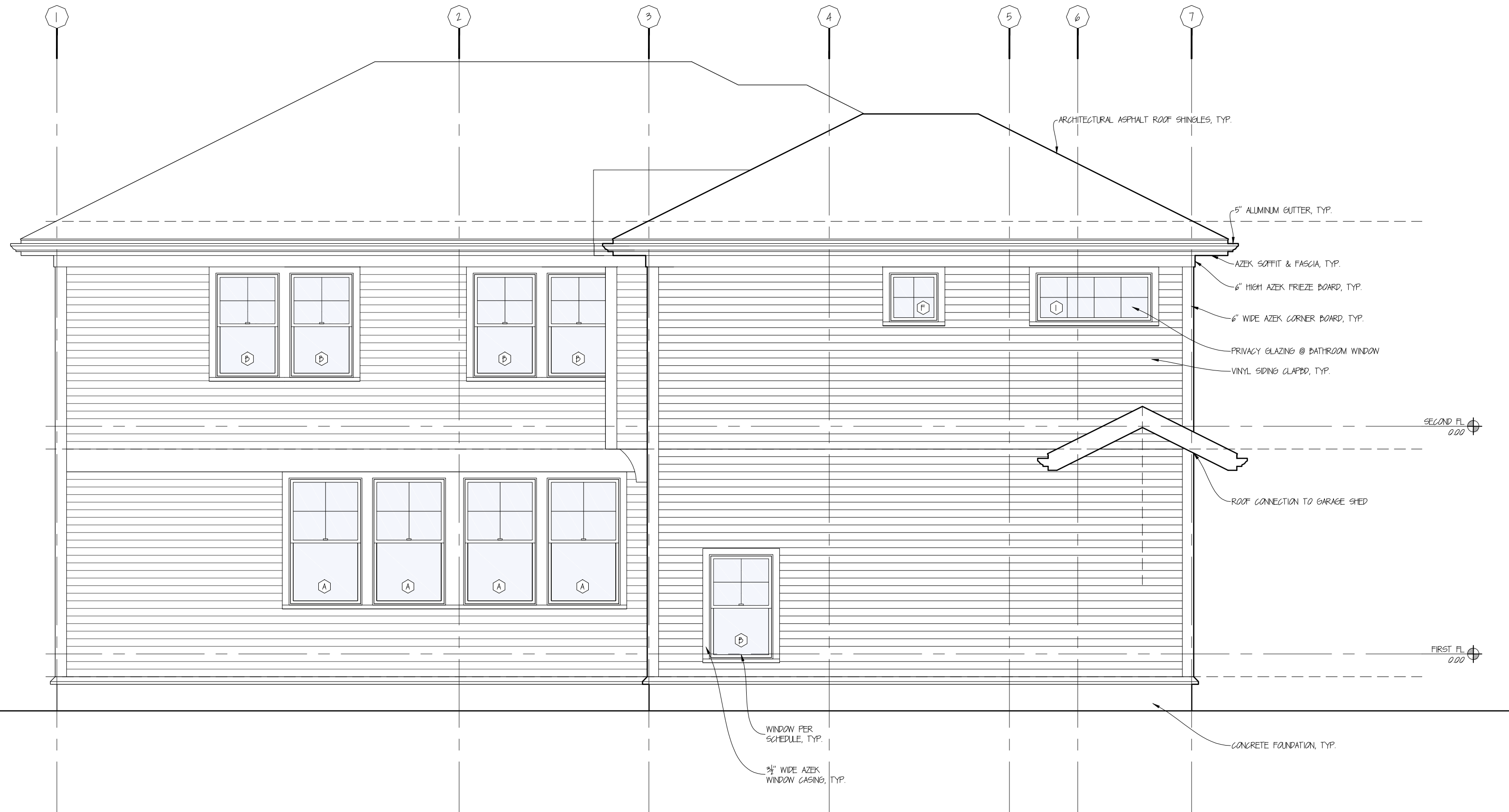
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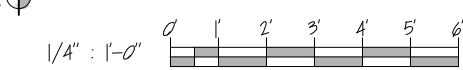
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KEY ELEVATION



LEFT ELEVATION
1/4" = 1'-0"

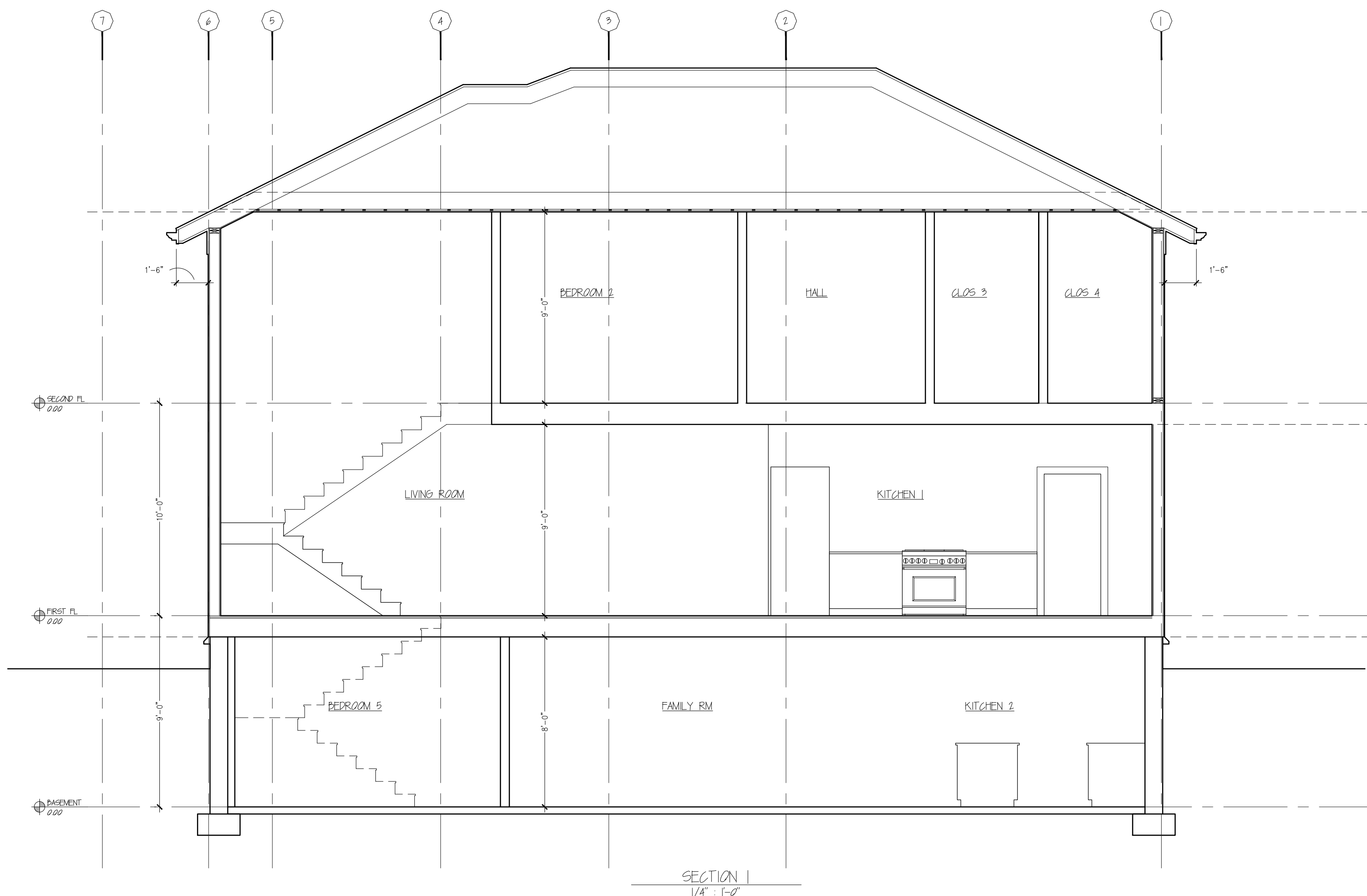


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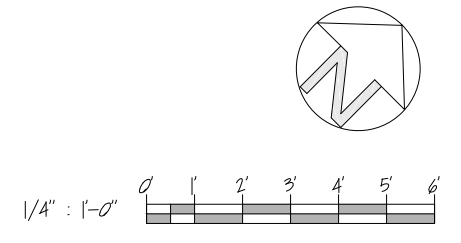
H0 RESIDENCE 63-65 BROADWAY NEWTON, MA		PROPOSED LEFT ELEVATION SCALE: AS NOTED	
Peter Sachs Architect N.C.A.R.B. - A.I.A. 20 Hunter St. Newton, MA 02465		Date & Revision 06/05/2010 08/18/2010	
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			A-10

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SECTION 1
1/4" = 1'-0"



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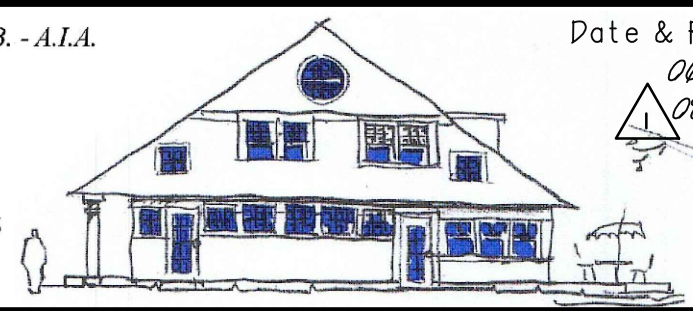
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63-65 BROADWAY NEWTON, MA

PROPOSED LEFT ELEVATION
SCALE: AS NOTED

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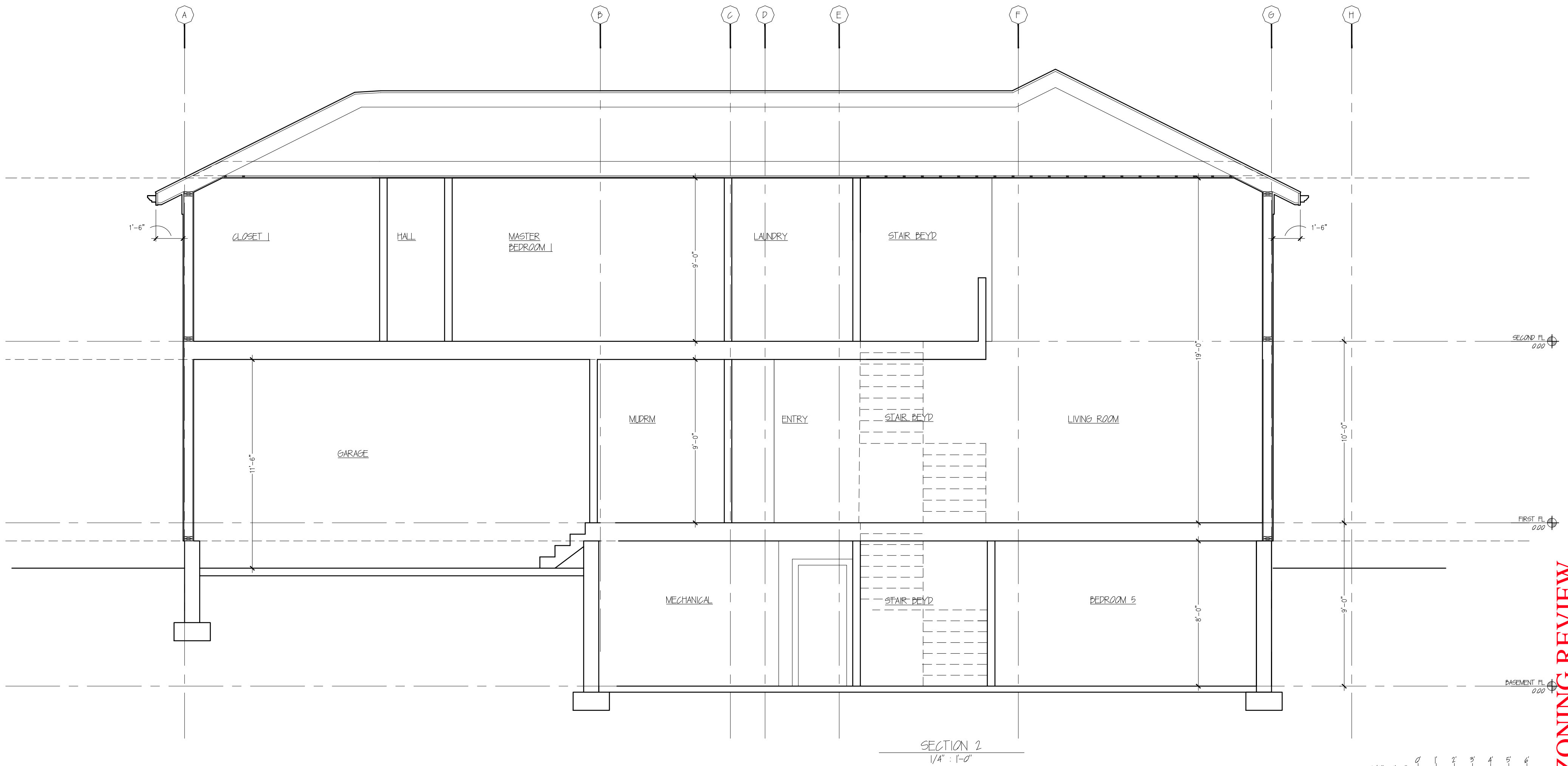
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ZONING REVIEW

H0 RESIDENCE		PROPOSED LEFT ELEVATION	
63-65 BROADWAY NEWTON, MA		SCALE: AS NOTED	
Peter Sachs Architect N.C.A.R.B. - A.I.A.		Date & Revision	
20 Hunter St.		06/05/2010	
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		A-12	

WINDOW AND DOOR SCHEDULE

WINDOW SCHEDULE

Notes: 1. All new construction walls to be 2 x 6 construction, except as noted.
 2. All windows to be wood, primed inside and clad outside (except as noted).
 3. All glazing to use simulated divided lites (SDL's) with spacer bars (except as noted). See drawings for lite pattern.
 4. See drawings and follow required codes for locations of tempered glass (T.G.) and for Egress Window requirements.
 5. All windows to include 1 3/4" historic sill noses. Adjust rough opening heights accordingly.

Symbol	Manufac.	Series	Model #	Type	Frame Size	R.O. W.	R.O. Ht.	Lites	Qty	Notes
NEW WINDOW SCHEDULE										
A	Pella	350 Vinyl	3-0/5-6	Double Hung	(1) 2' 11 1/2" x 5' 5 1/2"	36"	66"	4/1	19	Living Rm, Dining Rm, Play Rm
B	Pella	350 Vinyl	2-8/4-6	Double Hung	(1) 2' 7 1/2" x 4' 5 1/2"	32"	54"	4/1	22	All Bedrooms, Garage, Laundry Rm
C	Pella	350 Vinyl	2-8/4-0	Double Hung	(1) 2' 7 1/2" x 3' 11 1/2"	32"	48"	4/1	1	Powder room
D	Pella	350 Vinyl	2-4/2-6	Awning	(1) 2' 3 1/2" x 2' 5 1/2"	28"	30"	4	1	Stair
E	Pella	350 Vinyl	2-4/5-0	Fixed or Casement	(1) 2' 3 1/2" X 4' 11 1/2"	28"	60"	8	1	Stair
F	Pella	350 Vinyl	2-0/2-0	Awning	(1) 1' 11 1/2" X 1' 11 1/2"	24"	24"	4	2	Closet 1, Bathrm 2
H	Pella	350 Vinyl	3-0/4-0	Double Hung	(1) 2' 11 1/2" x 3' 11 1/2"	36"	48"	4/1	2	Kitchen 2
I	Pella	350 Vinyl	5-0/2-0	Awning	(1) 4' 11 1/2" X 1' 11 1/2"	60"	24"	8	1	Master Bathrm 1

EXTERIOR DOOR SCHEDULE

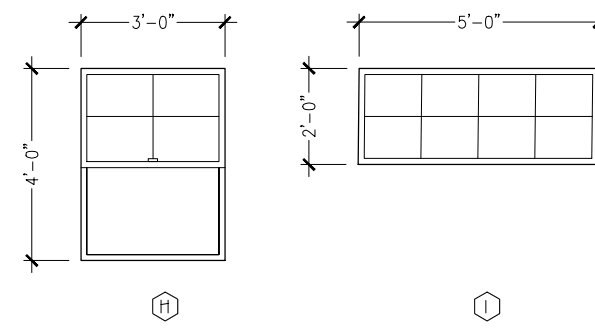
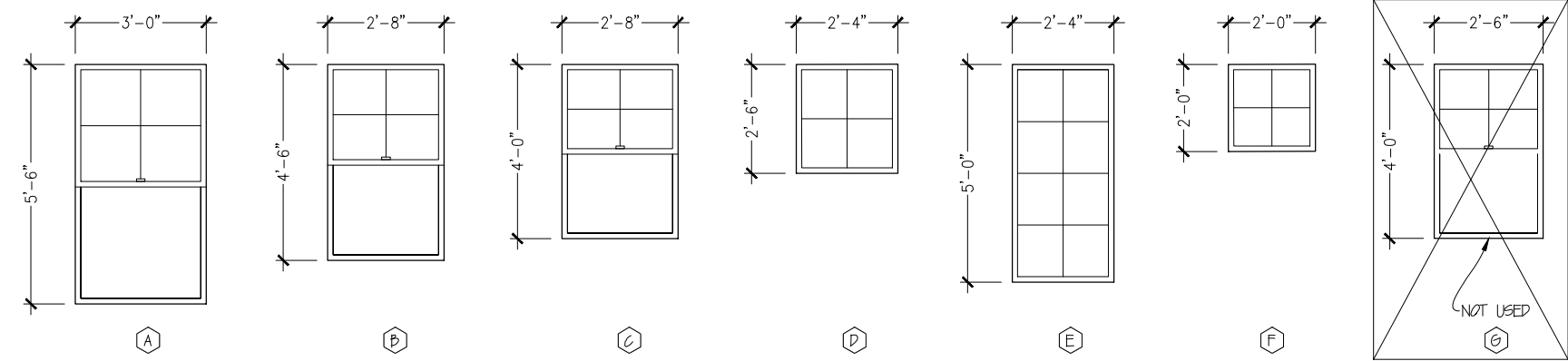
Note: 1. All new construction walls to be 2 x 6 construction, except as noted. Verify wall thickness in existing construction.
 2. All doors to be wood, primed inside and outside (except as noted).
 3. All glazing to use simulated divided lites (SDL's) with spacer bars (except as noted). See drawings for lite pattern.
 4. All glazing in doors to be Tempered Glass (T.G.) per code.

Symbol	Manufac.	Series	Model #	Type	Door Size	R.O. Width	R.O. Ht.	Lites	Qty	Notes
1-01	Morgan			Interior Swing	(1) 3' 0" x 6' 8"				1	Front door
1-02	Jeld-Wen	Carriage		Overhead Garage	(1) 9' 0" x 9' 0"				1	Overhead Garage Door
1-03	Jeld-Wen	Carriage		Overhead Garage	(1) 9' 0" x 9' 0"				1	Overhead Garage Door
1-04	Pella	350 Vinyl		Interior Swing	(1) 2' 8" x 6' 8"				1	Garage Door
1-05	Pella	350 Vinyl	6-0/6-8	Sliding Patio Doors	(1) 5' 11 1/4" x 6' 8"	71 1/2"	79 1/2"	1/1	1pair	Sliding Patio Doors

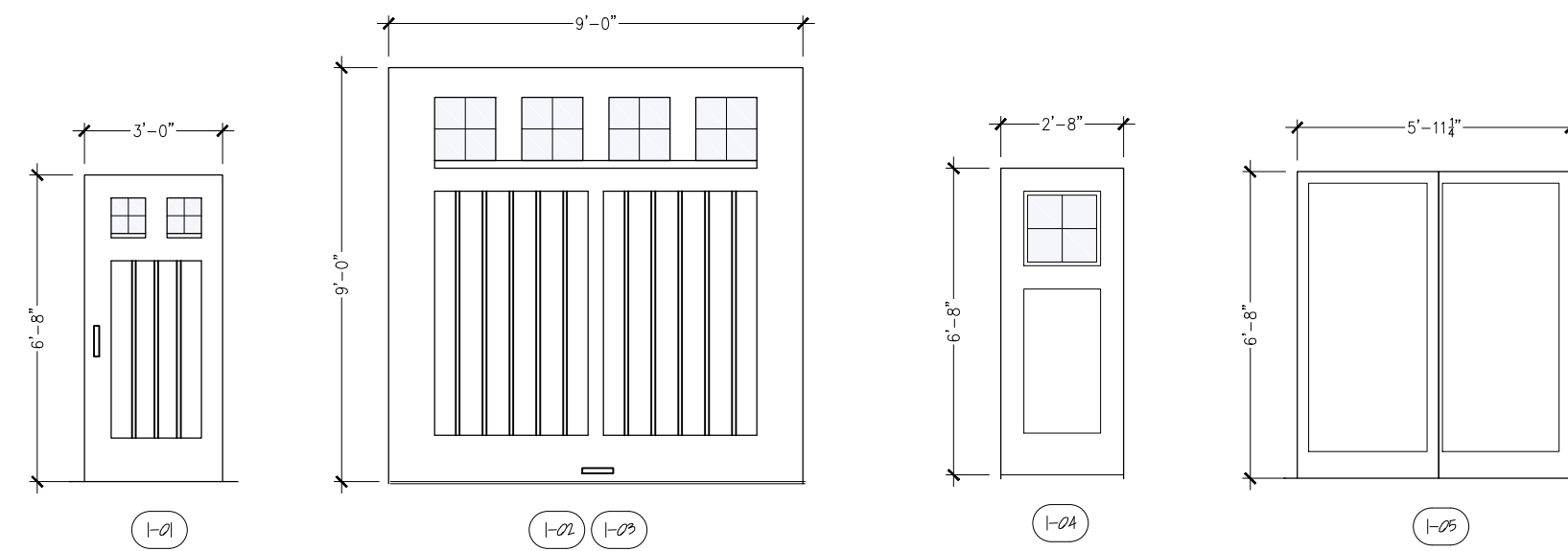
INTERIOR DOOR SCHEDULE

Symbol	Manufac.	Series	Model #	Type	Door Size	R.O. Width	R.O. Ht.	Lites	Qty	Notes
B-01				Interior In-Swing	(1) 3' 0" x 6' 8"				1	Mechanical Rm
B-02				Interior In-Swing	(1) 2' 8" x 6' 8"				1	Laundry
B-03				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bedroom 5
B-04				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Closet 5
B-05				Pair Interior In-Swing	(2) 2' 0" x 6' 8"	4' 1 3/4"			2	Linens 3
B-06				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bathroom 3
B-07				Interior In-Swing	(1) 1' 6" x 6' 8"				1	Broom Closet
B-08				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bedroom 6
B-09				Pair Interior In-Swing	(2) 2' 4" x 6' 8"	4' 9 3/4"			2	Closet 6
B-10				Interior In-Swing	(1) 2' 8" x 6' 8"				1	Bulkhead Exit
1-07				F.R. Interior In-Swing	(1) 2' 10" x 6' 8"				1	Garage: Fire Rated door
1-08				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Powder Rm
1-09				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Coat Closet
2-01				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Master Bathrm 1
2-02				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Master Closet 1
2-05				Part Interior In-Swing	(2) 1' 6" x 6' 8"	3' 1 3/4"			1	Linens 1
2-06				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Master Bedrm 1
2-07				Interior In-Swing	(1) 2' 10" x 6' 8"				1	Laundry Rm
2-08				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bedroom 2
2-09				Interior In-Swing	(2) 2' 0" x 6' 8"	4' 1 3/4"			2	Closet 2A
2-10				Interior In-Swing	(2) 2' 0" x 6' 8"	4' 1 3/4"			2	Closet 2B
2-11				Interior In-Swing	(1) 2' 4" x 6' 8"				1	Linens 2
2-12				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bathroom 2
2-13				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bedroom 3
2-14				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Closet 3
2-15				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Bedroom 4
2-16				Interior In-Swing	(1) 2' 6" x 6' 8"				1	Closet 4

WINDOW DIAGRAMS



EXTERIOR DOOR DIAGRAMS



ZONING REVIEW

H0 RESIDENCE
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PROPOSED SCHEDULES
 SCALE: AS NOTED

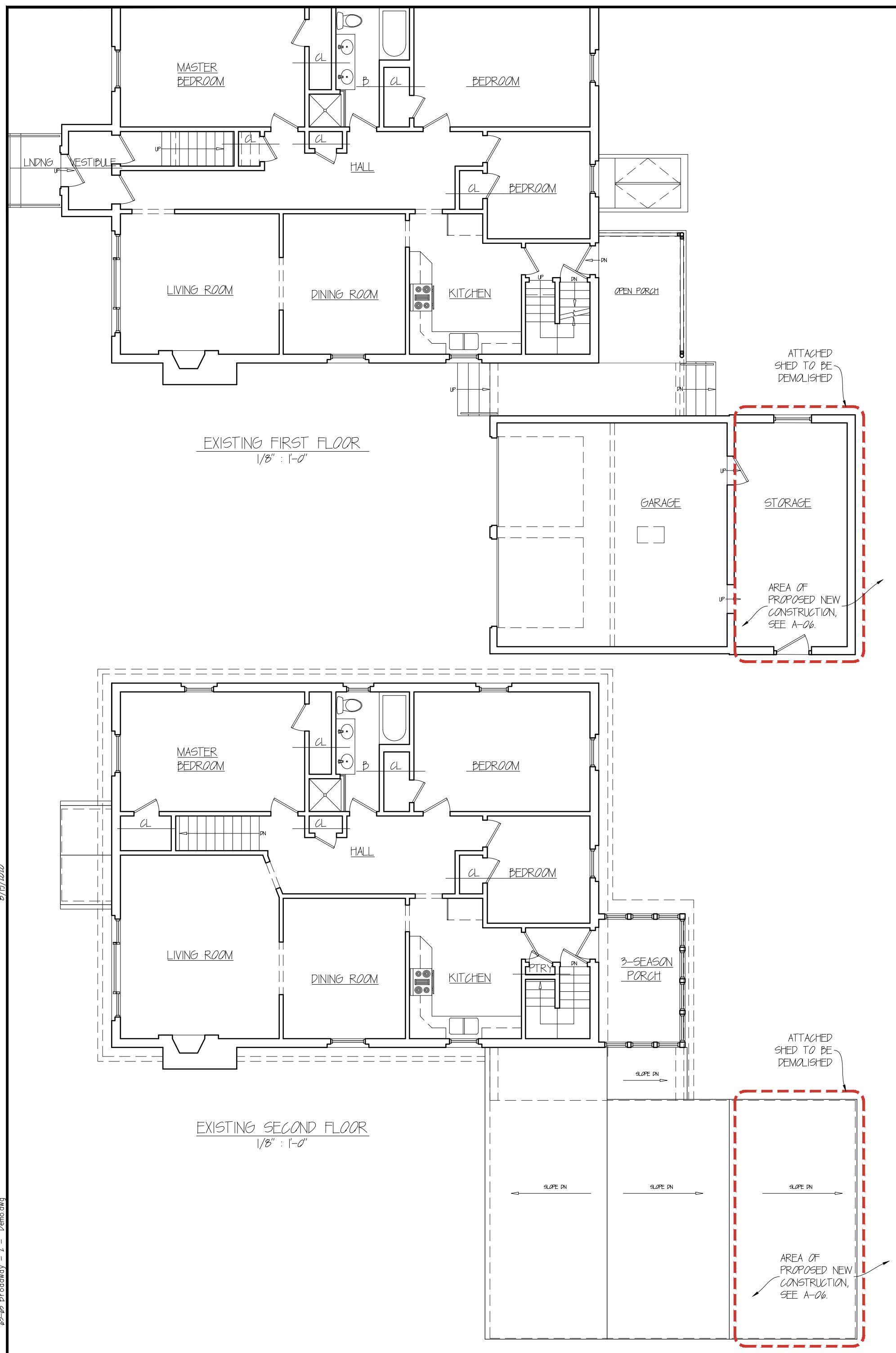
Date & Revision
 06/05/2010
 08/18/2010

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A-13

8/13/2010

63-65 Broadway - 2 - Demolition



ZONING REVIEW

HO RESIDENCE DEMO EXISTING PLANS & ELEVATIONS
63-65 BROADWAY NEWTON, MA

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