



City of Newton, Massachusetts

Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
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(617) 796-1142
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(617) 796-1089
www.newtonma.gov

Ruthanne Fuller
Mayor

Barney S. Heath
Director

RECORD OF ACTION:

DATE: January 27, 2021

SUBJECT: 29 Central Street - Certificate of Non-Applicability

Install a pool and spa behind the house with bluestone around the pool and spa area; this work will not be visible from a public way.

B Kurze

Barbara Kurze, Commission Staff

DATE TRACKING

Date Notice Sent: NA

Date of Hearing: NA

Date of Decision: 1-27-21

ACTION TAKEN

Accepted: X

Denied:

Reason for action: Not visible.

TYPE OF CERTIFICATION ISSUED

Appropriateness

Non-Applicability

Hardship

B Kurze

Chairman or Secretary

1-27-2021

Date

Please check with Inspectional Services Department to see if a building permit will be required and note that final project work requires Historic Preservation staff or Historic District Commission approval (see attached *Historic District Final Project Approval Process.*)

Auburndale Historic District Presentation for:
Backyard Pool & Hardscape/Landscape Project
29 Central Street, Auburndale MA

Owners: Nicole Norris / Mike Shreve

Contractors: Shanks Engineering & Construction & South Shore Gunite Pools & Spa

Dated 1-22-21



Ruthanne Fuller
Mayor

Commission to review remaining items.

City of Newton, Massachusetts

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Barney S. Heath
Director

APPLICATION FOR LOCAL HISTORIC DISTRICT CERTIFICATE OF APPROPRIATENESS, NON-APPLICABILITY, OR HARDSHIP

DATE RECEIVED: 1-22-2021 PROJECT #: 21010024
PROJECT ADDRESS: 29 Central Street, Auburndale MA

PROJECT INFORMATION

IS THE PROPERTY AND/OR STRUCTURE DESIGNATED (check all that apply):

- LOCAL HISTORIC DISTRICT LOCAL LANDMARK NATIONAL REGISTER SITE

(Depending on how a property is designated, different Newton City Ordinances may apply.)

NAME OF LOCAL HISTORIC DISTRICT: _____

TYPE OF STRUCTURE(S) AFFECTED (Check all that apply):

- HOUSE FENCE GARAGE NON-RESIDENTIAL BUILDING SHED
 SIGN WALL OTHER

IF OTHER, PLEASE DESCRIBE: No structure affected (see below)

WHAT YEAR WAS THE STRUCTURE BUILT (IF KNOWN): 1954

TYPE OF PROPOSED WORK (Check all that apply):

- ADDITION ALTERATION DEMOLITION NEW CONSTRUCTION REPAIR
 REPLACEMENT OTHER

IF OTHER, PLEASE DESCRIBE: Backyard Pool/Spa & Patio

DESCRIBE SCOPE OF WORK:

Installation of inground 18' x 36' gunite pool and attached spa with bluestone surround in backyard of home. Intallation of new lpe wood patio at grade at rear of home in between house and pool. Installation of 20' x 17' wood pergola on patio. New installations are back of house and not visible from street.

BRIEFLY DESCRIBE THE HISTORY OF THE PROPERTY (IF KNOWN):

Original house built in 1954 as single level Cape with one car garage. Rebuilt in 2005 by previous owner to include addition of second story, two car attached garage and two story addition off the rear of house. Current owners purchased home in 2008.

THIS APPLICATION FORM MUST BE ACCOMPANIED BY A GENERAL PERMIT APPLICATION FORM AND BY THE REQUIRED SUBMISSION MATERIALS IDENTIFIED ON THE LOCAL HISTORIC DISTRICT APPLICATION REQUIREMENTS SHEET. INCOMPLETE OR INACCURATE APPLICATIONS WILL NOT BE ACCEPTED.

THE COVER PAGE AND THE INSTRUCTIONS ON THE BACK OF THE APPLICATION FORMS HAVE ADDITIONAL INFORMATION ABOUT THE APPLICATION INTAKE AND REVIEW PROCESS, AND THE HARD COPY REQUIREMENTS.



Commission to review remaining items.
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Ruthanne Fuller
Mayor

Barney Heath
Director

GENERAL PERMIT APPLICATION

PROJECT #: 21010024 ZONING DISTRICT: SR2 DATE RECEIVED: 1-22-2021

PROJECT DESCRIPTION:

Installation of backyard 18' x 36' gunite pool and attached spa with bluestone surround, 28' x 43' wood patio on grade, and 20' x 17' wood pergola on patio.

PROPERTY LOCATION INFORMATION

STREET ADDRESS: 29 Central Street CITY/ZIP: Auburndale, MA 02466

LEGAL DESCRIPTION (SECTION, BLOCK, LOT): Section 43, Block 011, Lot 0017

PROPERTY OWNER INFORMATION

NAME: Nicole Norris / Michael Shreve PHONE: 617-877-8012 ALT. PHONE: _____

MAILING ADDRESS: 29 Central St Auburndale MA 02466 E-MAIL ADDRESS: nickienorris1@gmail.com

PROPERTY OWNER CONSENT

I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows:

1. This application for a land use permit or administrative approval for development on my (our) property is made with my permission.
2. I (we) grant permission for officials and employees of the City of Newton to access my property for the purposes of this application.

X 01/19/21
(Property Owner Signature) (Date)

X 01/19/21
(Property Owner Signature) (Date)

NOTICE: The City of Newton staff may need access to the subject property during regular business hours and will attempt to contact the applicant/agent prior to any visit. Further, members of a regulatory authority of the city may visit the property as well.

APPLICANT / AGENT INFORMATION

NAME: Dan Shanks / Shanks Engineering PHONE: 617-875-1861 ALT. PHONE: _____

MAILING ADDRESS: 132 Charles Street, Auburndale MA E-MAIL ADDRESS: daniel@shanks-ec.com

X 01/19/21
(Applicant/Agent Signature) (Date)

NOTICE: The applicant/agent is the primary contact and may be any individual representing the establishment or property owner. The applicant/agent must also be legally authorized to make decisions on behalf of the Property Owner(s) in regards to the application.

----- OFFICE USE ONLY BELOW THIS LINE -----

CHECK APPROPRIATE PERMIT OR REVIEW PROCESS (CHECK ALL BEING SUBMITTED)

<input type="checkbox"/>	Zoning Review Application	<input type="checkbox"/>	Comprehensive Permit
<input type="checkbox"/>	Administrative Site Plan Review	<input type="checkbox"/>	Variance Application
<input type="checkbox"/>	Sign Permit	<input type="checkbox"/>	Historic Preservation Review
<input type="checkbox"/>	Special Permit/Site Plan Approval	<input type="checkbox"/>	Conservation Commission Review
<input type="checkbox"/>	Fence Appeal	<input type="checkbox"/>	Other, describe _____
Comments: _____ _____ _____			PERMIT INTAKE INITIALS AND DATE STAMP

NOTE: This form MUST accompany all other Department of Planning and Development applications.

To Be Completed By Applicant

Property Location on Assessor's Database Map: 29 Central Street, Auburndale, MA

Commission to review remaining items.

The screenshot shows a web-based map interface for the City of Newton, MA. The browser address bar displays the URL: <https://newtonma.mapgeo.io/datasets/properties?abuttersDistance=100&latlng=42.344307%2C-71.242514&previewId=43011%200017&zoom=18>. The page title is "City of Newton, MA : Assessing Department". The main content area shows a map of residential streets including Maple St, Auburn St, Central St, and Commonwealth Avenue. Property 29 Central St is highlighted with a blue border. Other properties are outlined in green. A blue arrow points from the title text to the highlighted property. The left sidebar contains navigation options like "View Details" and "Google Directions". The bottom of the map shows "Map data ©2021 Google" and a scale of "100 ft".

City of Newton, MA : Assessing Department

Property

29 CENTRAL ST

Google Directions Zoom

View Details

Google Maps Link

City of Newton

City of Newton Assessing Dept.

Frequently Asked Questions

Sketch Codes and Definitions

City of Newton HERS Ratings List (from Newton Energy Commission)

Property

Property SBL	43011 0017
Address	29 CENTRAL ST
Tax Bill Number	2110606
Land Use	1010
Land Use	SINGLE FAMILY
Description	

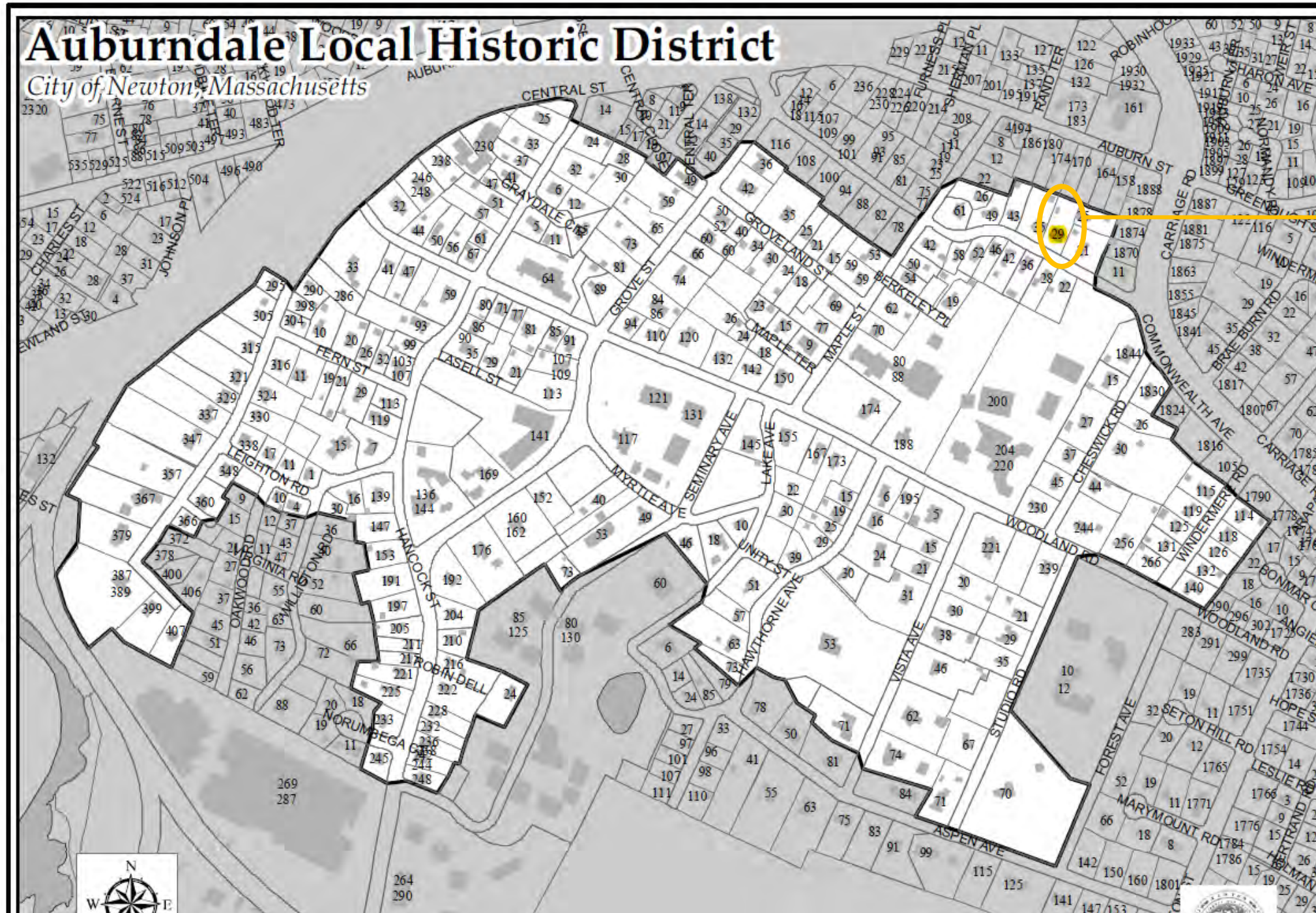
Search Selection Themes Markup Abutters

Zoom To Share Print 29 Central

Map data ©2021 Google 100 ft Terms of Use Report a map error

Property Location on Local Historic District Map: 29 Central Street, Auburndale, MA

Commission to review remaining items.



Property location at
29 Central Street
Auburndale, MA

Detailed Project Description – Backyard Renovation Project

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

Commission to review remaining items.

- **New installations:**
 - **Pool and Spa**
 - 18' x 36' gunite pool and spa with bluestone surround
 - Installed by South Shore Gunite Pool and Spa
 - **Backyard Patio**
 - 28' x 43' backyard wood patio at grade level
 - 20' x 17' wood pergola on patio
 - 18" high retaining wall alongside new patio with bluestone top
 - Installed by Shanks Engineering & Construction
 - **Landscape/Plantings**
 - Additional plantings (arborvitae, ornamental tree, hydrangeas) in backyard to improve privacy for homeowner and neighbors
- **Alterations**
 - Side yard replacement of bluestone pavers, two steps down to patio grade
 - Side yard update of existing gate

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
200 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

Four empty rectangular boxes for Assessor's Number, USGS Quad, Area(s), and Form Number.

Town/City: Newton

Place: (*neighborhood or village*): Auburndale

Address: 29 Central Street

Historic Name:

Uses: Present: Single Family Home

Original: Single Family Home

Date of Construction: 1954 (rebuilt in 2005)

Source: Newton Inspectional Services

Style/Form: Cape (original), Colonial (current)

Architect/Builder: Unknown

Exterior Material:

Foundation: Poured Concrete

Wall/Trim: Cedar Shingle / Pine Trim

Roof: Asphalt Shingle

Outbuildings/Secondary Structures: 10x12 shed in backyard

Major Alterations (*with dates*): Rebuild by previous owner in 2005 converting from a single story cape, one car garage into a two story colonial with two car attached garage and 2 story addition.

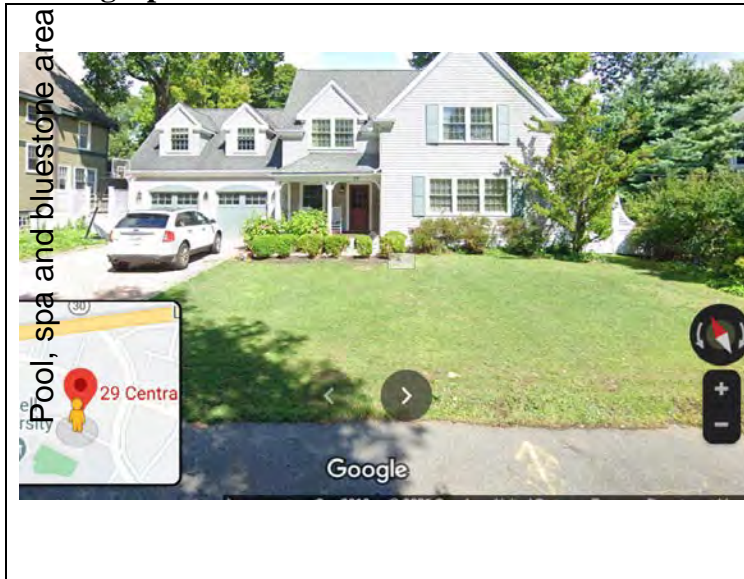
Condition: Good

Moved: no yes **Date:**

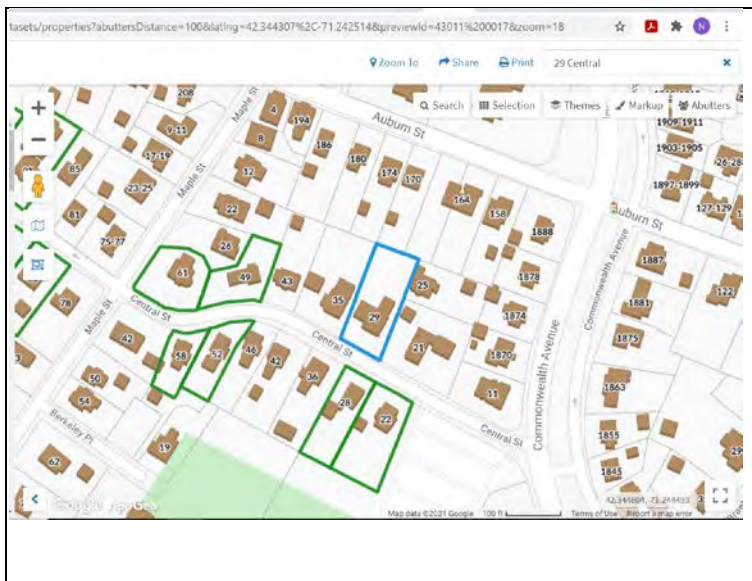
Acreage: 0.36 Acres

Setting: Front facing, ~30 ft from street

Photograph



Locus Map



Recorded by:

Organization:

Date (*month / year*):

Pop. 1,300 and blue

INVENTORY FORM B CONTINUATION SHEET

TOWN

ADDRESS

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

--	--

Recommended for listing in the National Register of Historic Places.
If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Shingle style Colonial consistent with other homes on Central Street and surrounding neighborhood.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

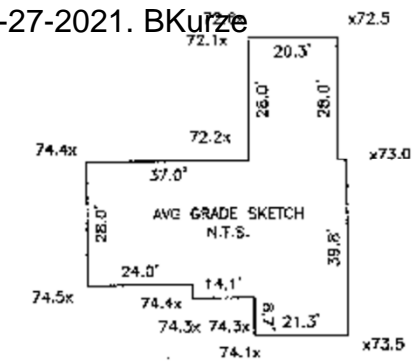
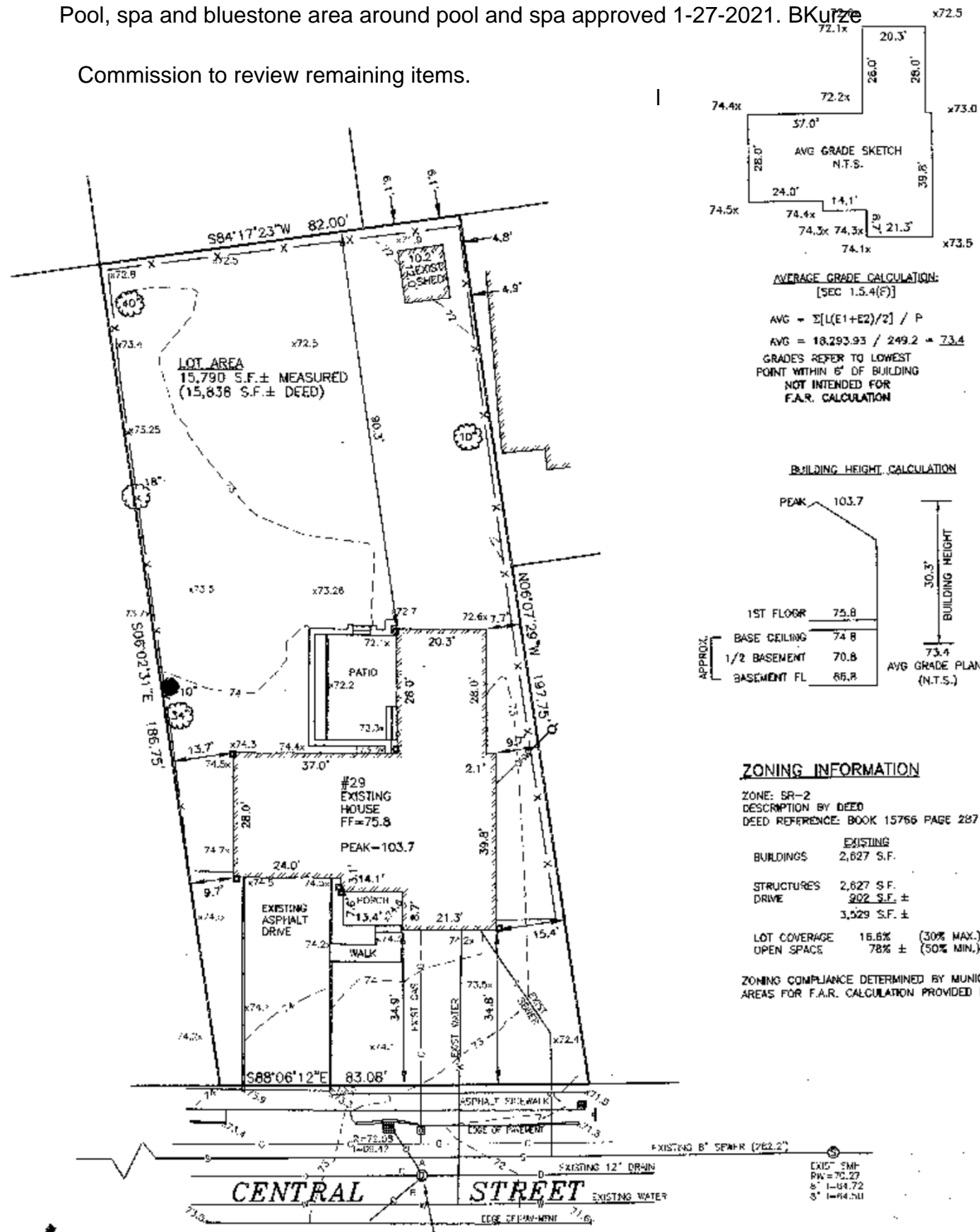
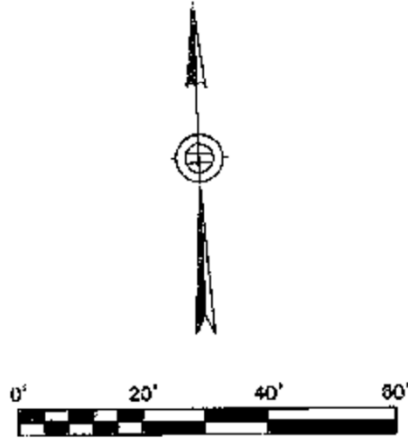
Original house built in 1954 as single level Cape with one car garage. Rebuilt in 2005 by previous owner to include addition of second story, two car attached garage and a two story addition off the rear of the house. Current owners purchased home in 2008.

BIBLIOGRAPHY and/or REFERENCES

Site Plan Existing

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

Commission to review remaining items.



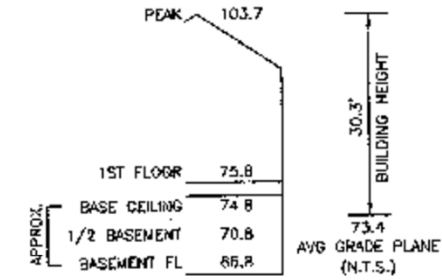
AVERAGE GRADE CALCULATION:
[SEC 15.4(F)]

$$AVG = \frac{\sum[L(E_1+E_2)/2]}{P}$$

$$AVG = 18,293.93 / 249.2 = 73.4$$

GRADES REFER TO LOWEST POINT WITHIN 6' OF BUILDING NOT INTENDED FOR F.A.R. CALCULATION

BUILDING HEIGHT CALCULATION



ZONING INFORMATION

ZONE: SR-2
DESCRIPTION BY DEED
DEED REFERENCE: BOOK 15766 PAGE 287

BUILDINGS	EXISTING	2,627 S.F.
STRUCTURES	2,627 S.F.	
DRIVE	302 S.F. ±	
	3,529 S.F. ±	
LOT COVERAGE	16.6% (30% MAX.)	
OPEN SPACE	78% ± (50% MIN.)	

ZONING COMPLIANCE DETERMINED BY MUNICIPALITY. AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.

BENCHMARK
MAGNETIC PK NAIL
SET IN UTILITY POLE
ELEVATION=75.92
CITY OF NEWTON BASE

ESTABLISHED 1916
EMB
EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS
49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750
Info@everettbrooks.com

LEGEND

- UTILITY POLE
- WATER GATE
- HYDRANT
- GAS GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- TREE
- TREE
- LIGHT POLE
- SIGN
- SPOT ELEVATION
- EXISTING CONTOUR
- DRAIN LINE
- WATER LINE
- SEWER LINE
- GAS LINE
- FENCE
- HEDGE
- TREE LINE

THIS SURVEY SHOWS EXISTING CONDITIONS ONLY AND DOES NOT SHOW ANY PROPOSED CONSTRUCTION

PLAN OF LAND IN NEWTON, MA

29 CENTRAL STREET
EXISTING CONDITIONS

SCALE: 1 IN = 20 FT.
DATE: 10/27/20
DRAWN: ES
CHECK: BB

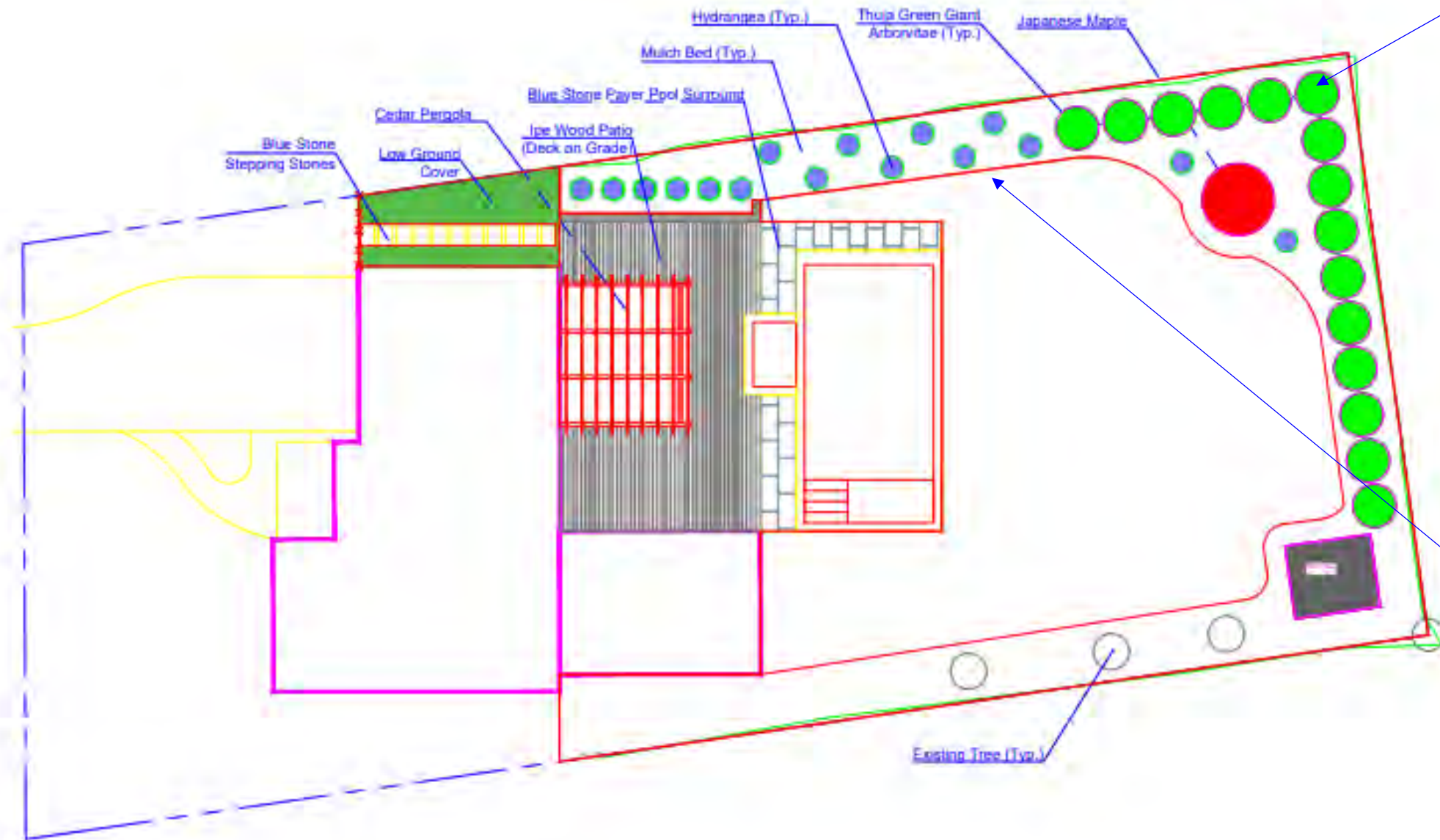
REVISIONS:	

PROJECT NO. 26185

Landscape Plan

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

Commission to review remaining items.



Example of Green Giant Arborvitae planted along back fence perimeter; Improved privacy for homeowner and neighbors



Example of Hydrangea planted along side fence perimeter

Norris
29 Central St.
Auburndale MA 02466

Landscape & Planting Plan

1/15/2021

Scale 1" = 20'

L-1

Background on Home

Commission to review remaining items.

Commission to review remaining items.

- Original house built in 1954 as single level Cape with one car garage.
- Rebuilt in 2005 by previous owner to include addition of second story, two car attached garage and two story addition off the rear of house.
- Current owners purchased home in 2008.

PROPOSED AUBURNDALE LOCAL HISTORIC DISTRICT Final Draft - January 2005

INV	SBL	STREET NO.	ST. NO.	STREET NAME	HISTORIC NAME	COMMON NAME	STYLE	YEAR	NR STATUS	RESOURCE TYPE
	43010 0025	0		Berkeley Pl		vacant lot				parcel
	43011 0015	0		Berkeley Pl		vacant lot				parcel
2216	43010 0021	19		Berkeley Pl		Berkeley House	Greek Revival	ca. 1850		B
	43021 0009	0		Central St		vacant lot				parcel
2186	43011 0015	21		Central St	Emery, Daniel S. House		Italianate	ca. 1876		B
2222	43010 0008	22		Central St			Colonial Revival	ca. 1886		B
6196	43011 0016	25		Central St	Harden, Ephraim H. and Clara House		Italianate	ca. 1890		B
6197	43010 0007	28		Central St	Chapman, Robert E. L. and Lillian V. House		Tudor Revival	ca. 1929		B
6198	43011 0017	29		Central St	Caunt, William H. House		Cape	ca. 1954		B
2185	43011 0018	35		Central St	Hinman, William S. House		Queen Anne	ca. 1888		B
6199	43010 0008	38		Central St	Pluta, Francis H. House		Colonial Revival	ca. 1876-77		B
6200	43010 0005	42		Central St	Underwood, Sylvester House		Italianate/Altered	ca. 1870		B
6201	43011 0019	43		Central St	Harlow, Harry A. and Elizabeth House		Colonial Revival	ca. 1922		B
2221	43010 0004	48		Central St			Gothic Revival	ca. 1870		B
6202	43011 0020	49		Central St			Cape	ca. 1953		B
2220	43010 0003	52		Central St			Gothic Revival	ca. 1870		B
2219	43010 0002	58		Central St			Gothic Revival	ca. 1870		B
2184	43011 0021	61		Central St	Cordingly, Frank House		Queen Anne	ca. 1870		B

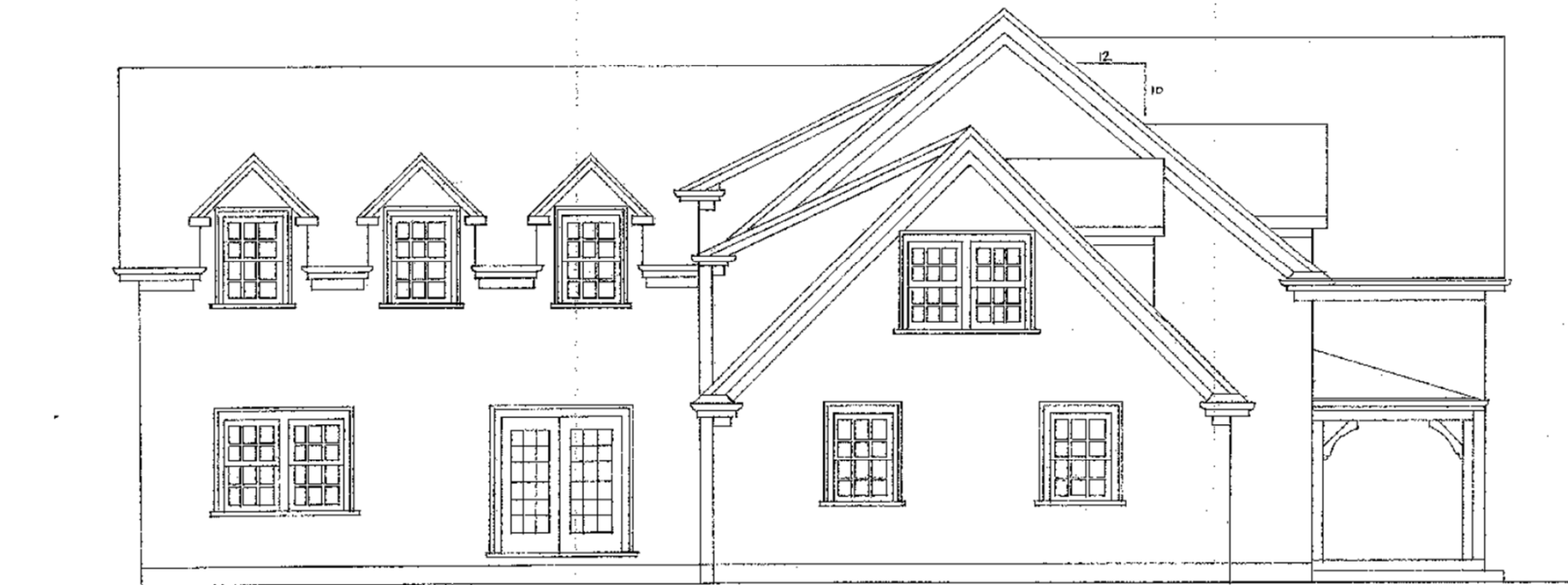
Elevation Plans from 2005 Rebuild by Previous Owner

- Current project is not contemplating changes to exterior of house

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze
Comm



FRONT / SOUTH ELEVATION



SIDE / WEST ELEVATION

A.1-1 FRONT / WEST SIDE ELEVATION

A.2-1 NORTH / EAST ELEVATIONS , CROSSSECTION FRAMING

A.3-1 FLOOR PLANS

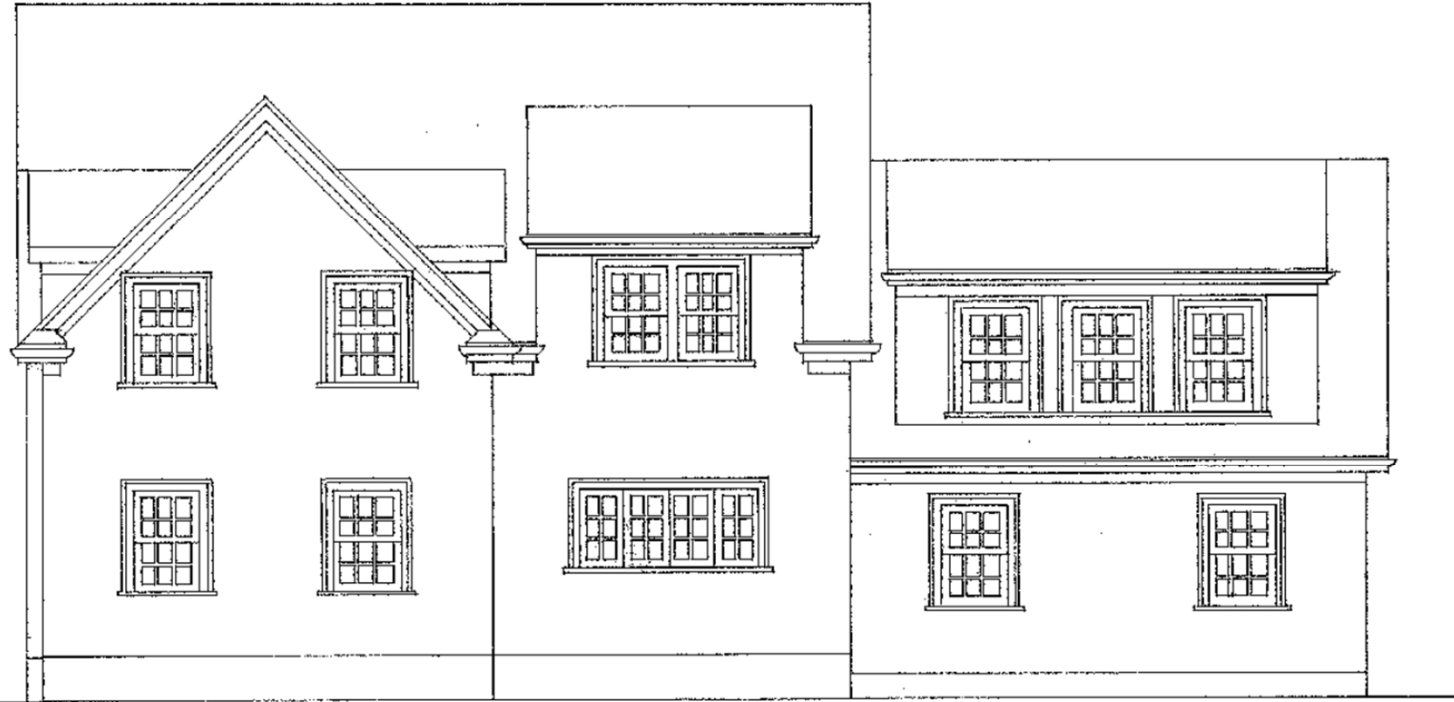
A.4-1 FOUNDATION PLAN ; FRAMING PLAN

MILLER RESIDENCE 29 CENTRAL ST NEWTON MA		
SCALE: 1/4" = 1'	APPROVED BY: BSM	DRAWN BY: JN
DATE: 9/16/05	FRONT / WEST SIDE ELEVATION	
DRAWING NUMBER A.1-1		

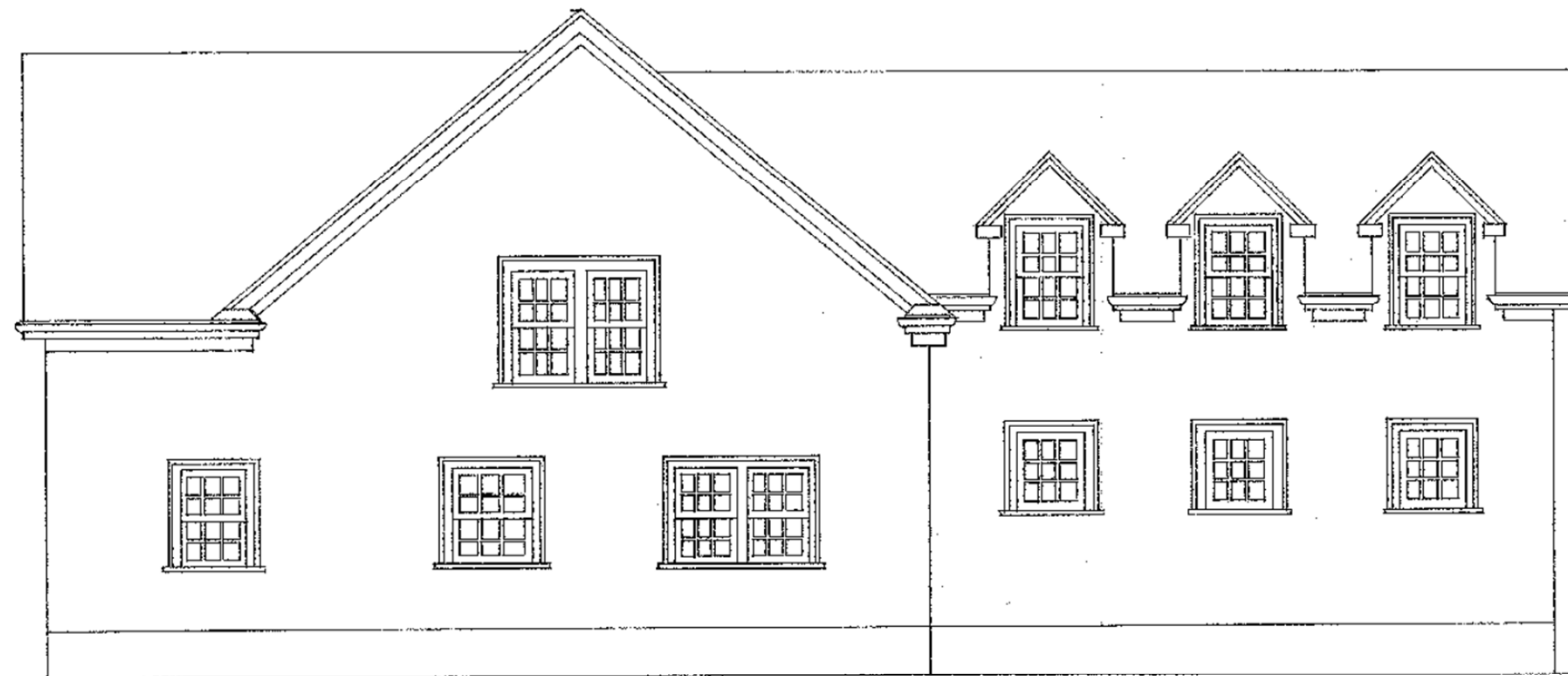
Elevation Plans from 2005 Rebuild by Previous Owner

Commission to review remaining items.

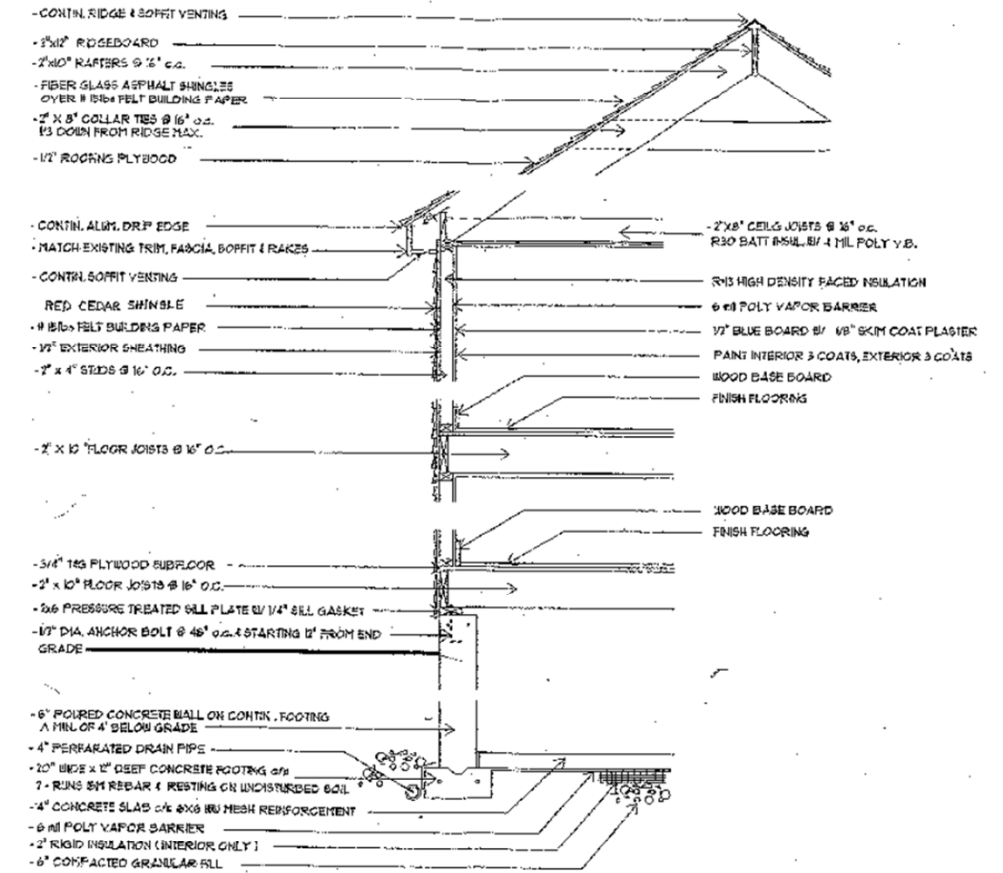
- Current project is not contemplating changes to exterior of house



NORTH / REAR ELEVATION



EAST / SIDE ELEVATION



CROSSECTIONAL FRAMING DETAIL

MILLER RESIDENCE 29 CENTRAL ST NEWTON MA		
SCALE: 1/4" = 1'	APPROVED BY: BSM	DRAWN BY: JN
DATE: 9/16/05		
NORTH / EAST ELEVATION CROSSECTIONAL FRAMING DETAIL		
DRAWING NUMBER		A.2-1

Pool Type text here

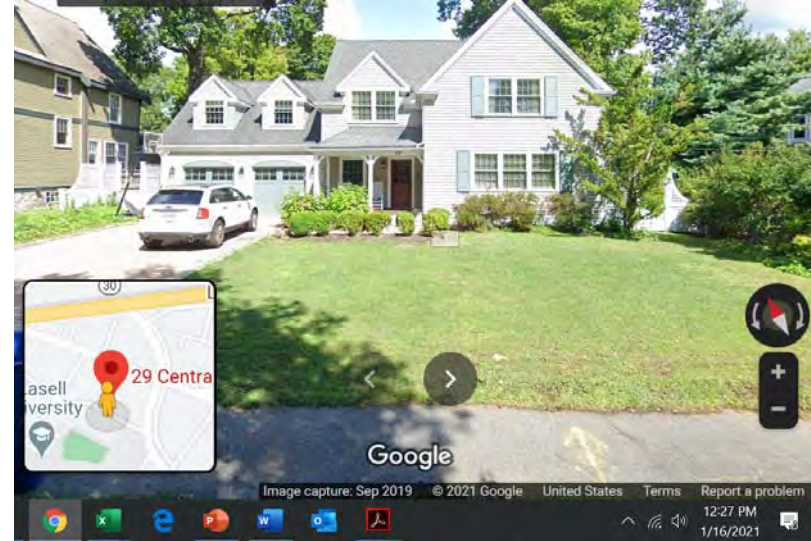
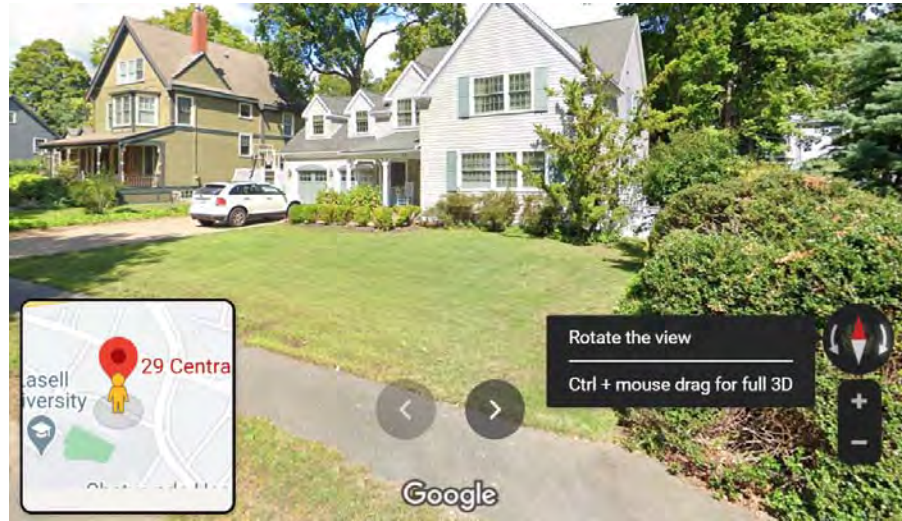
Existing Conditions – Photographs of Current House/Landscape

Type text here

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze
Type text here

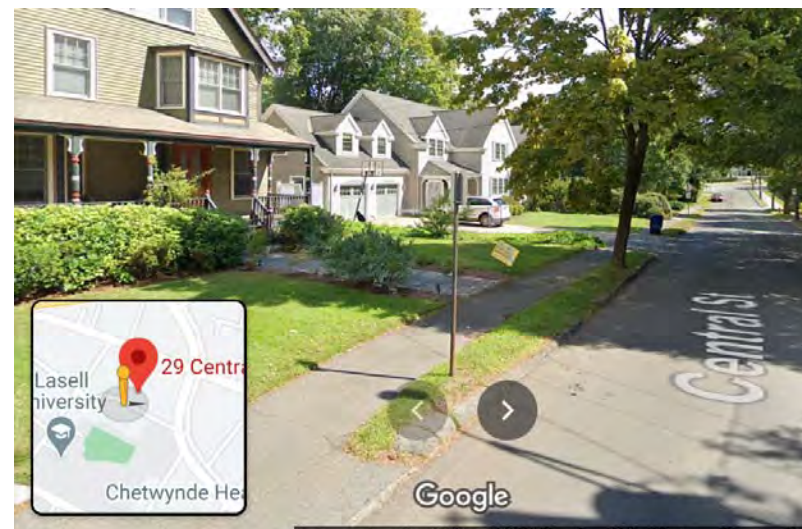
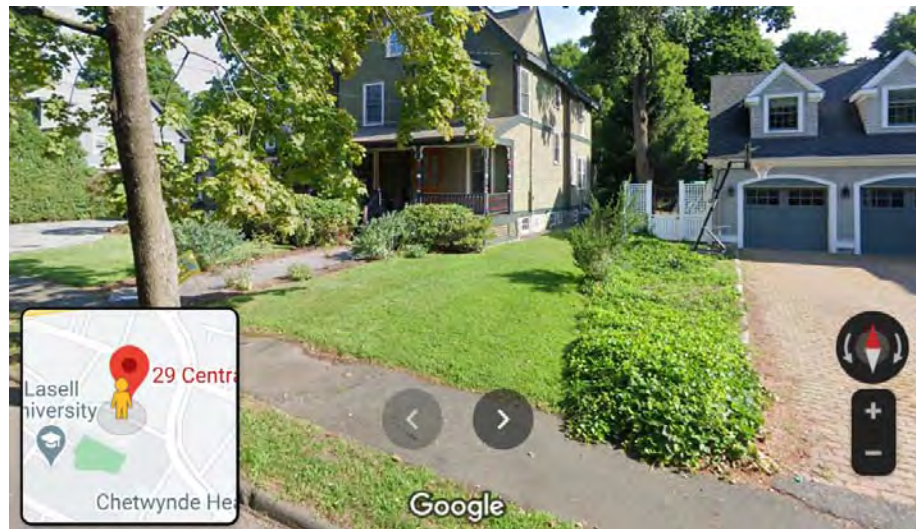
Front of House

Commission to review remaining items.



A - Front of House from Neighbor Right

B - Front of House from Central Street



C - Front of House from Central Street

D - Front of House from Neighbor Left

Existing Conditions – Photographs of Current House/Landscape

Back of House

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze Co

Commission to review remaining items.



A – Back of House from Backyard



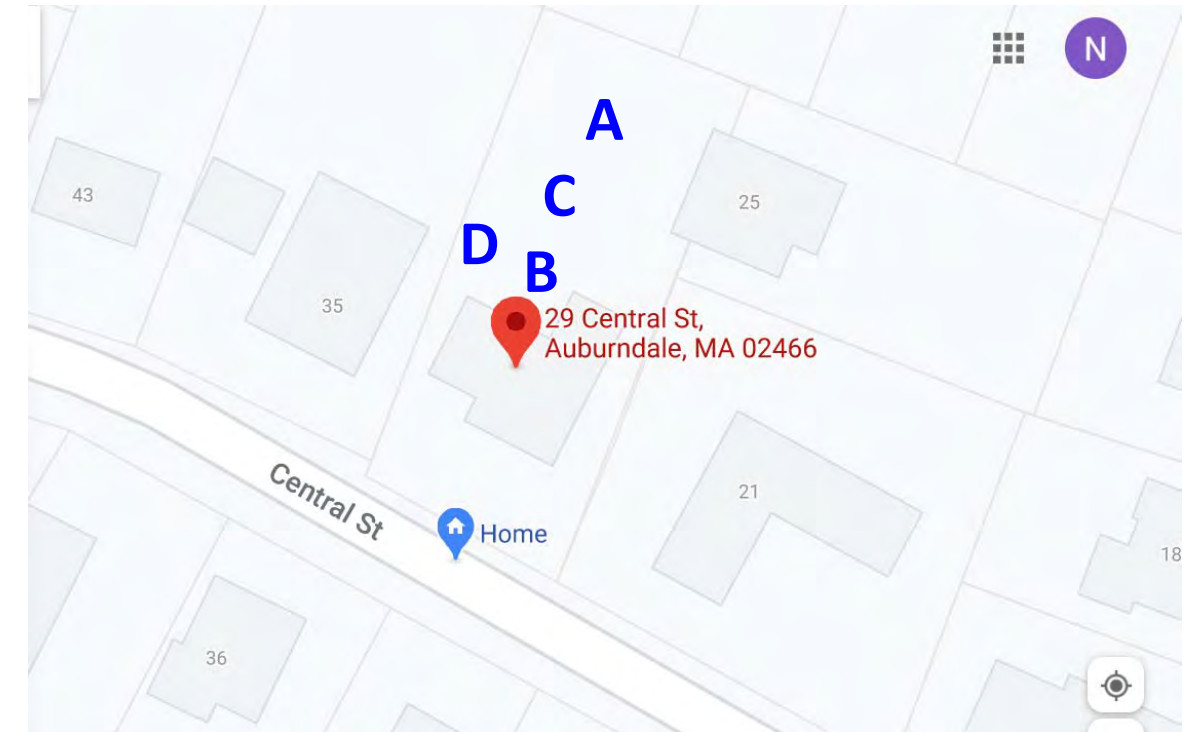
B - Backyard



C – Back of Garage from Backyard

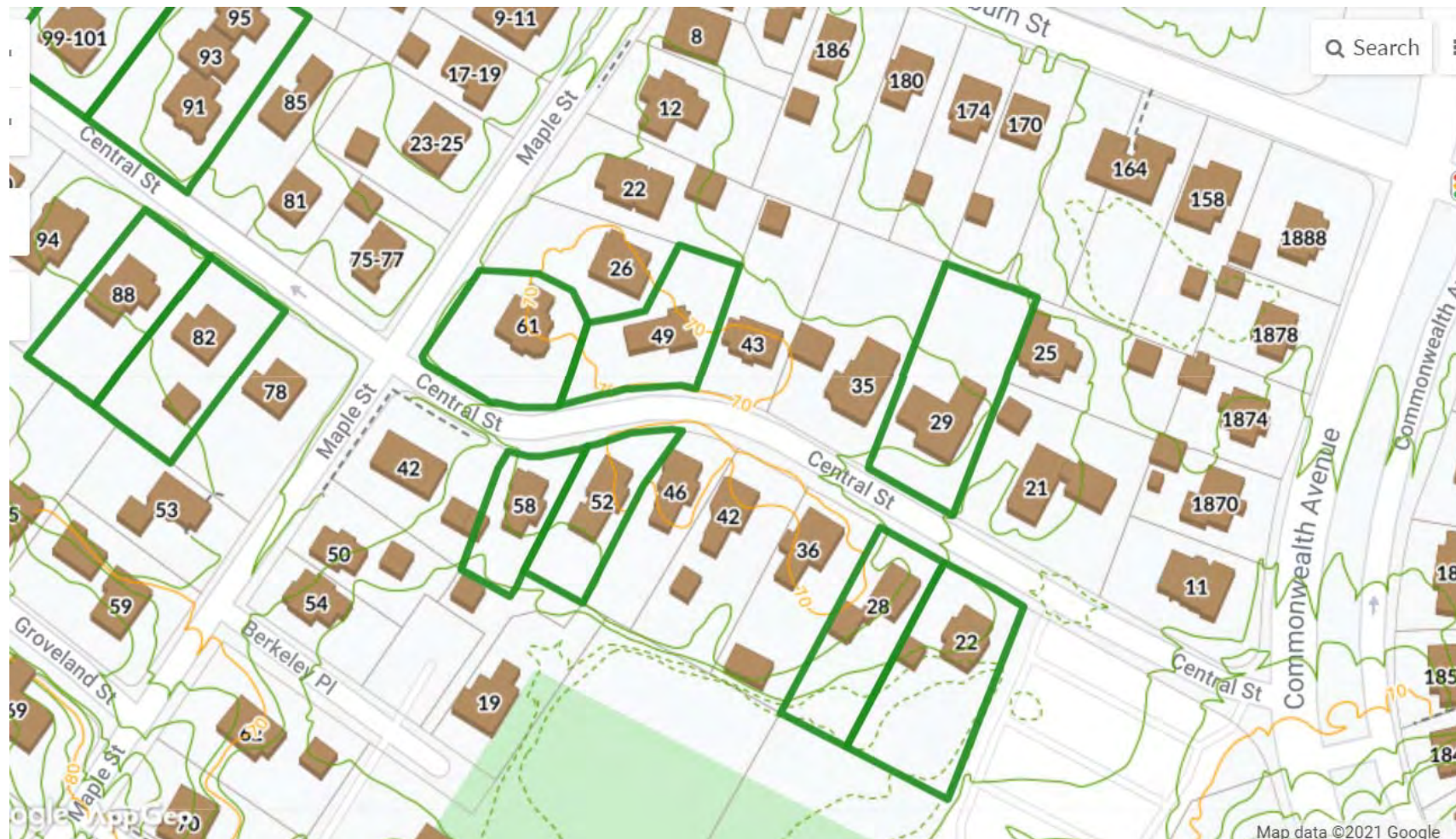


D – Back of House from Side Yard



Overall Elevations/Grade/Contours for 29 Central and Nearby

- Overall neighborhood is flat with little change in elevations/grade between nearby properties
- Direct neighbors to 29 Central on similar grade – all neighbors within two feet of same elevation
- Please refer to engineered site plan and other including pages for specific grade detail

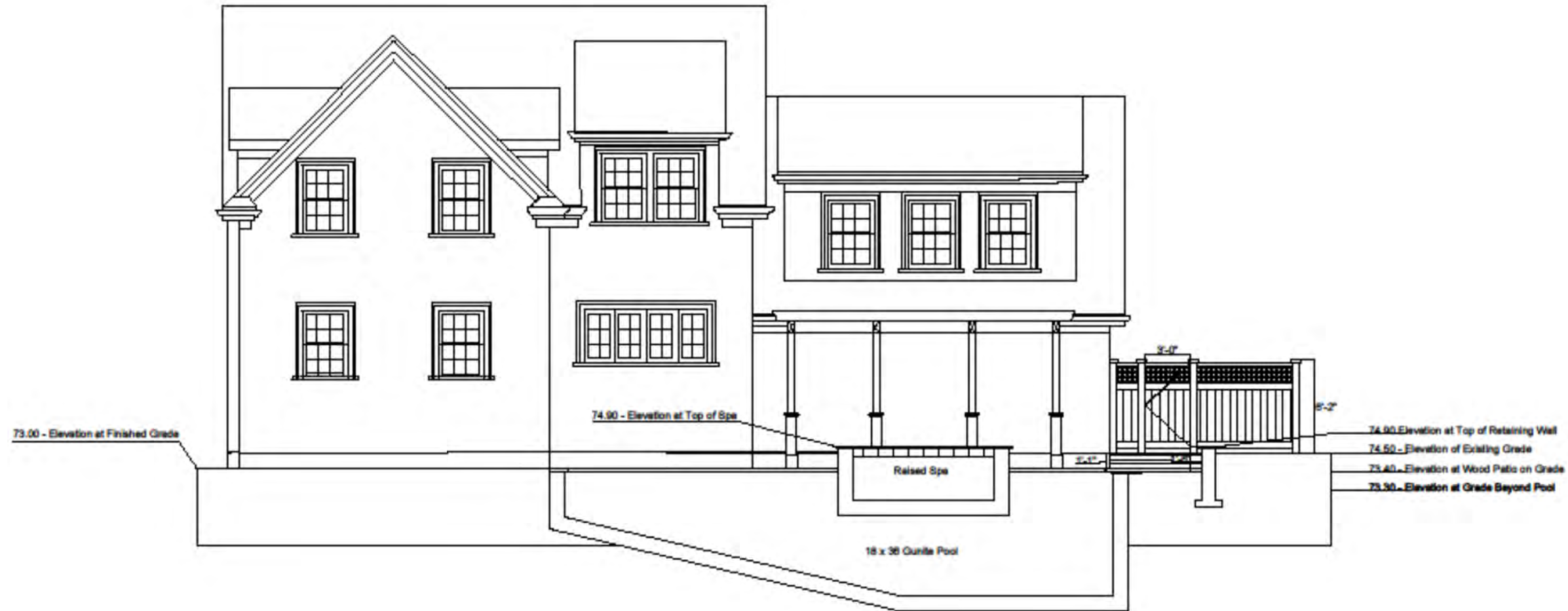


Rear Elevation of Property Revised for Proposed Project

(Additional details for specs/materials on following pages)

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

Commission to review remaining items.



Norris
29 Central St.
Auburndale MA 02466

Rear Elevation

1/15/2021

Scale 1/8" = 1'

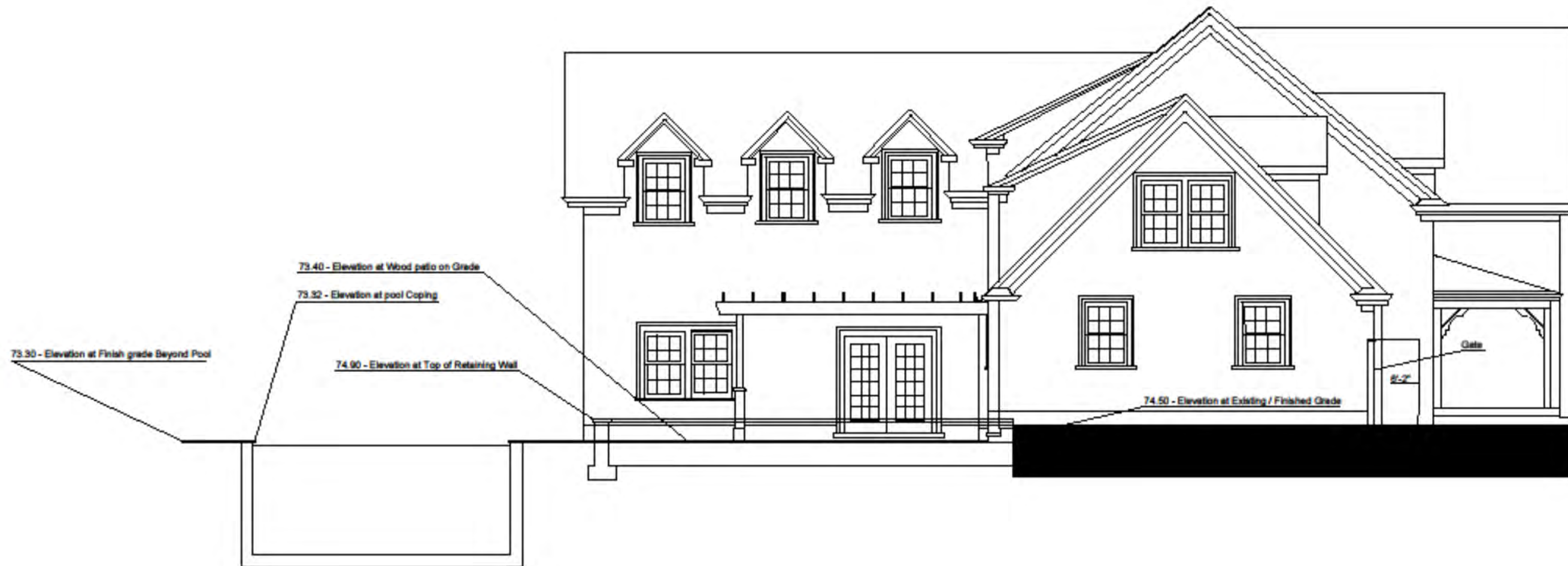
E-1

Side Elevation of Property Revised for Proposed Project

(Additional details for specs/materials on following pages)

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

Commission to review remaining items.



Norris
29 Central St.
Auburndale MA 02466

Side Elevation

1/15/2021

Scale 1/8" = 1'

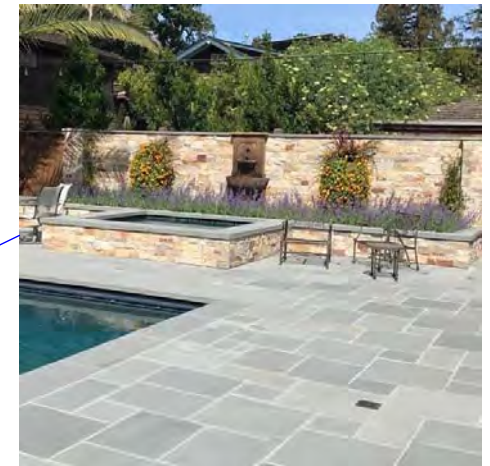
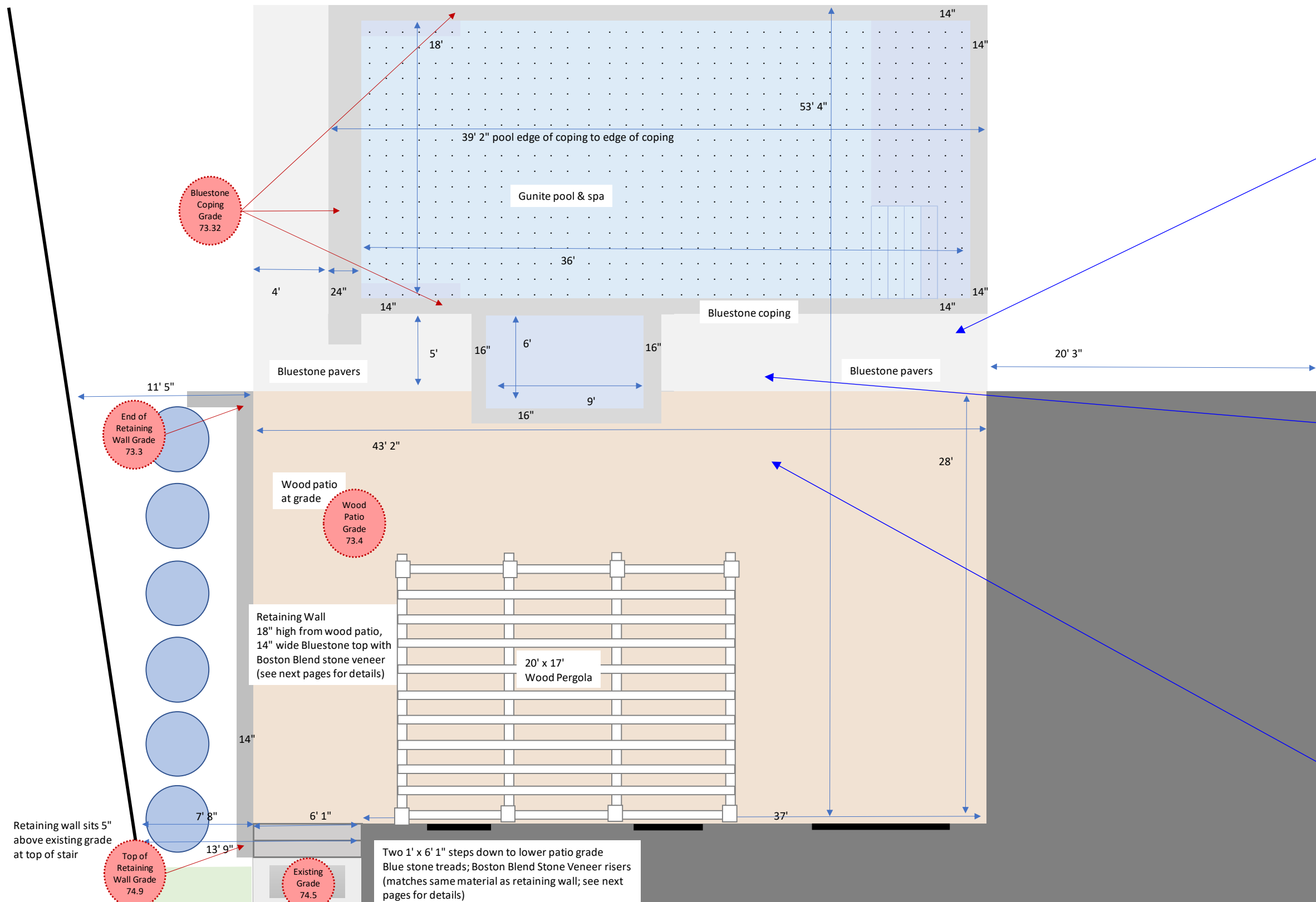
E-2

Specifications / Materials – Wood Patio and Bluestone

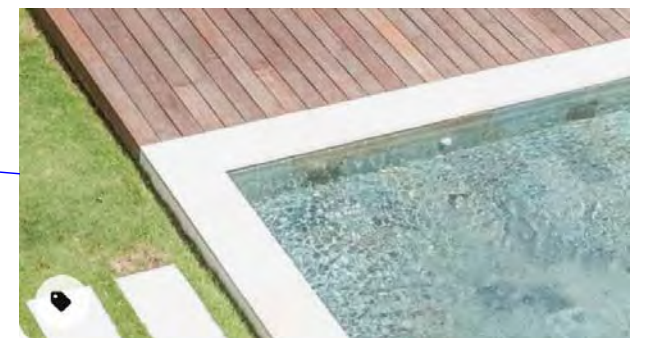
(Side yard details on subsequent pages)

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

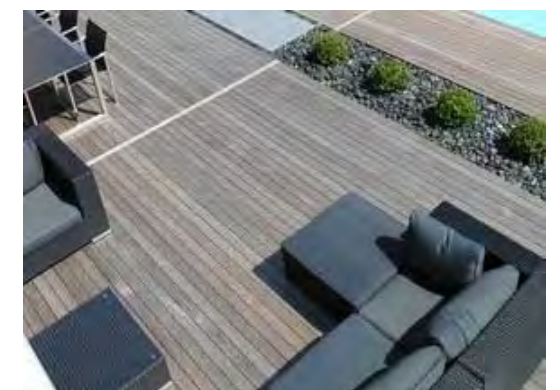
Commission to review remaining items.



Example of bluestone surround



Example of Ipe wood patio next to pool bluestone surround

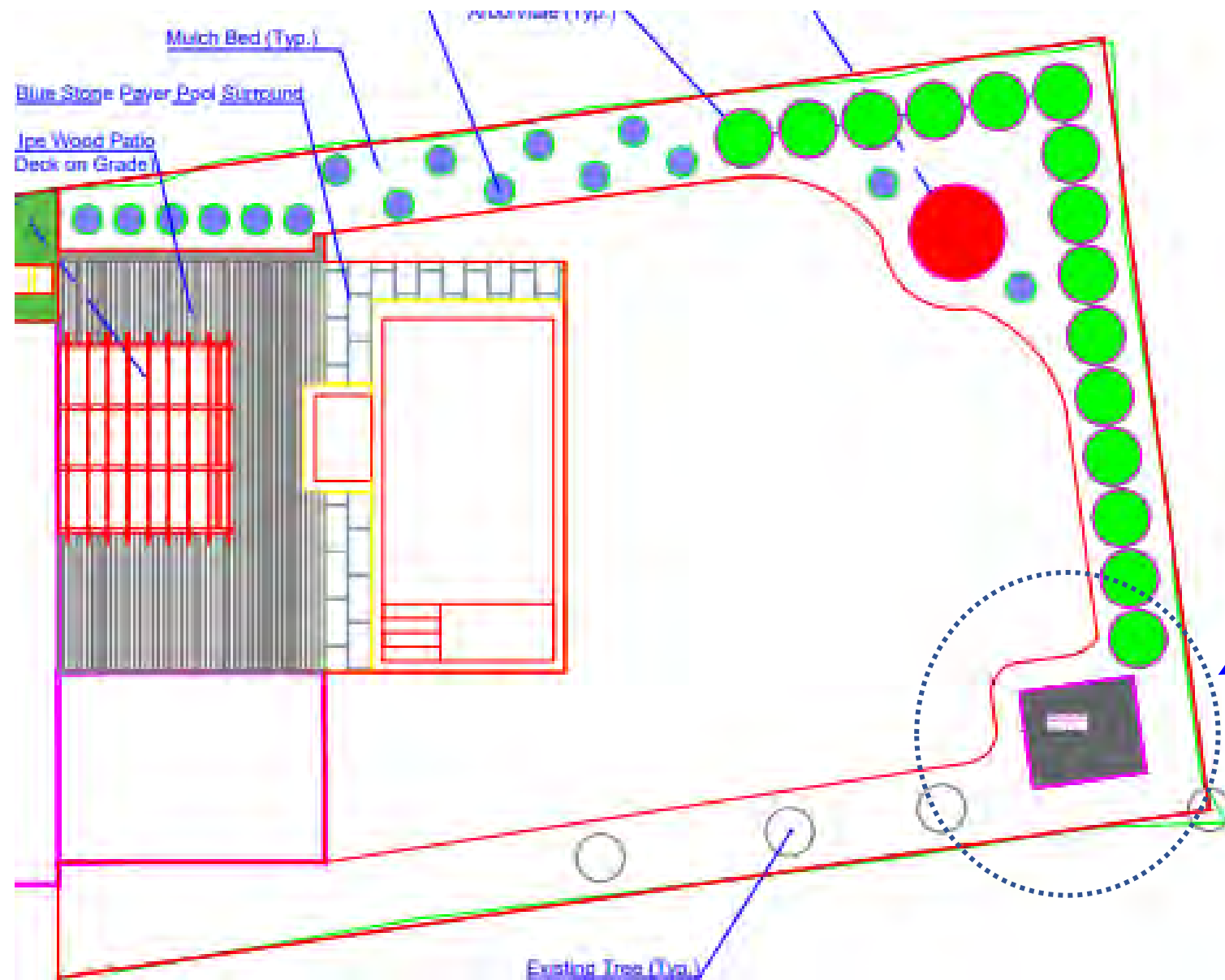


Example of Ipe wood patio

Specifications / Materials – Location of Pool Equipment

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze

Commission to review remaining items.

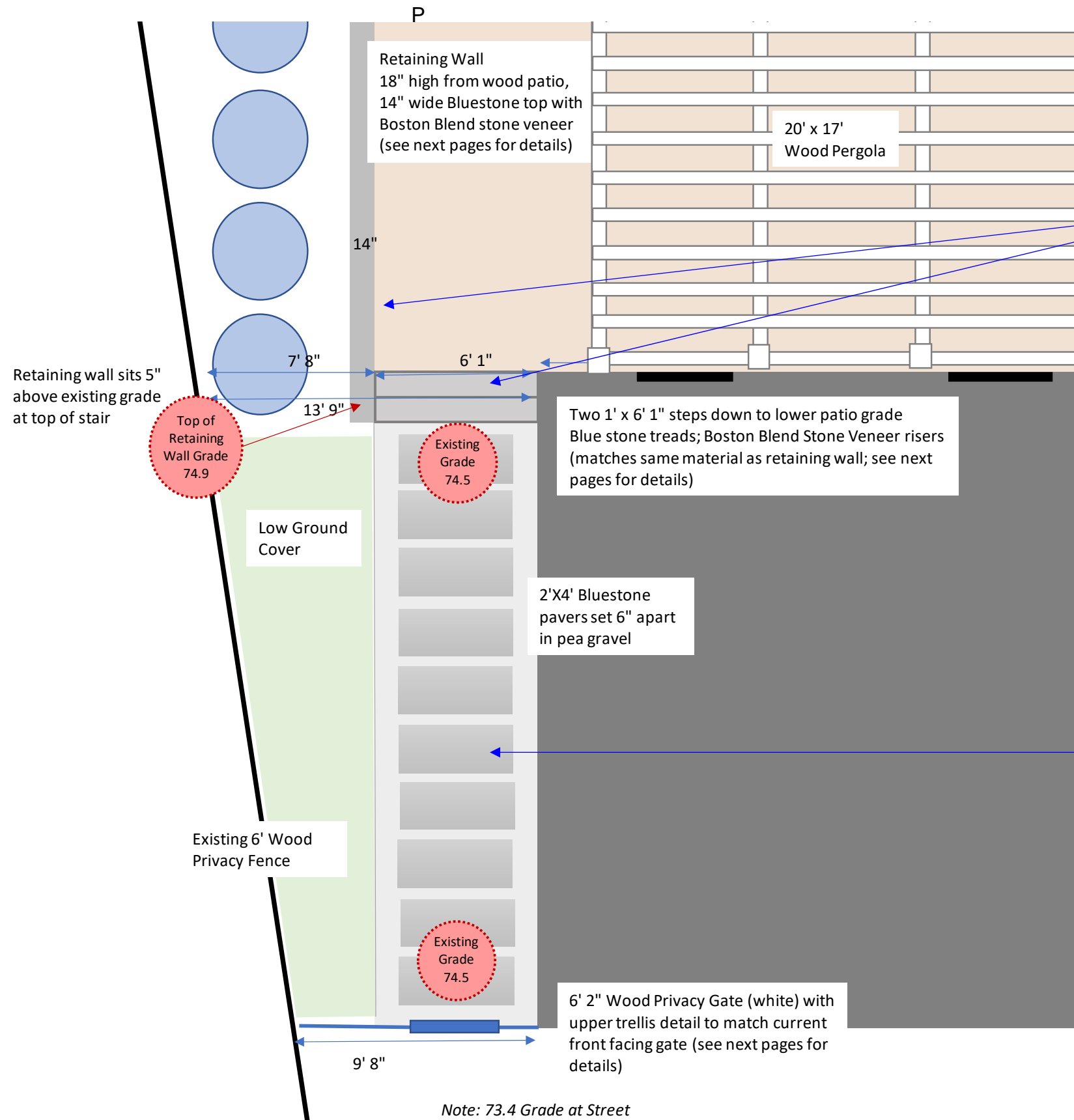


- Existing 10' x 12' shed in backyard remains unchanged
- Pool equipment fits inside shed with no visibility from outside



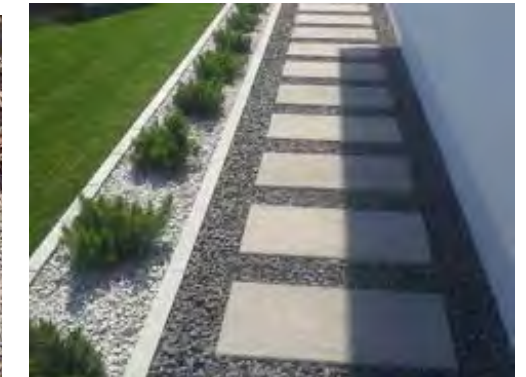
Current 10x12 shed in backyard

Specifications / Materials – Details on Side Yard and Retaining Wall



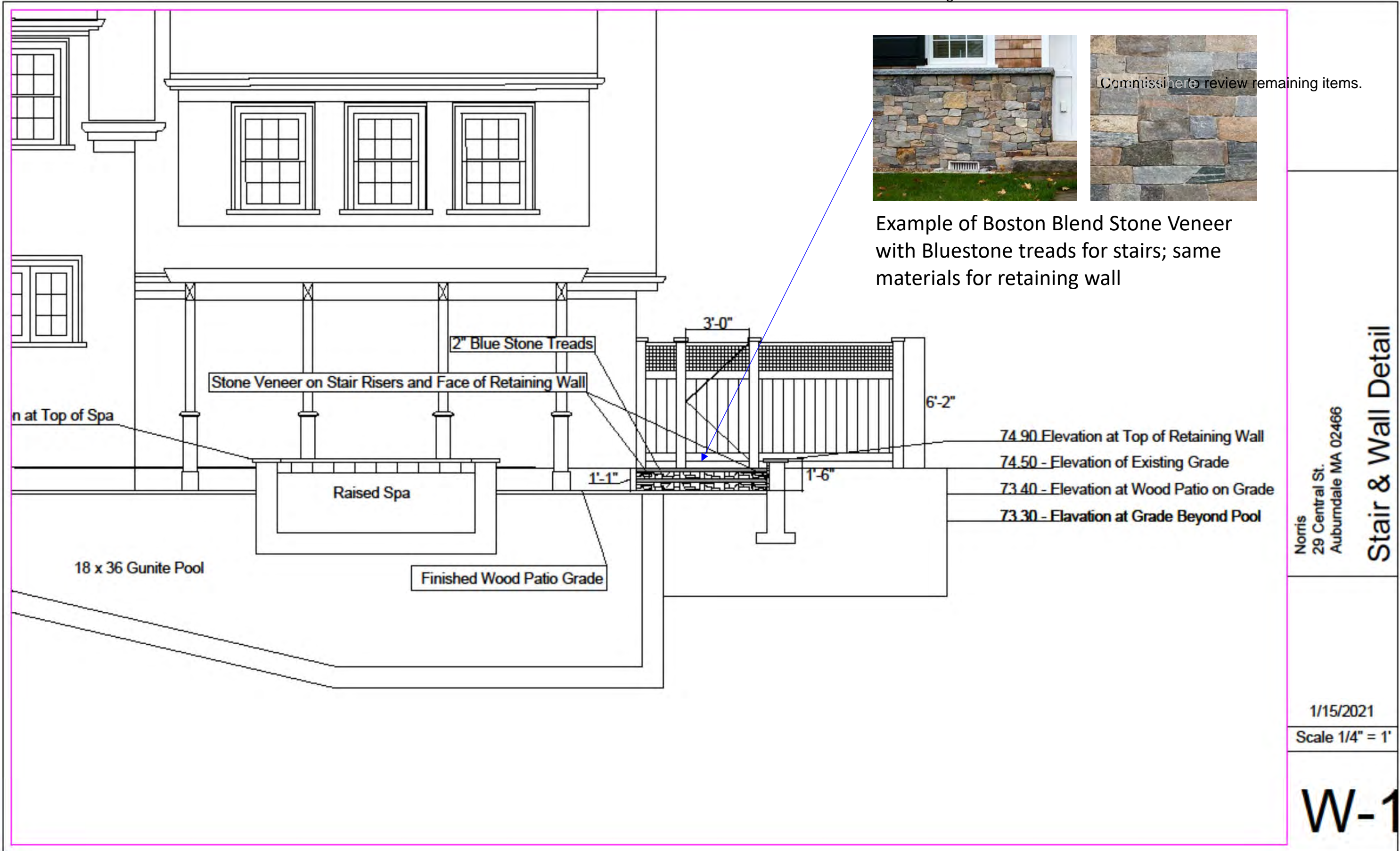
Example of Boston Blend Stone Veneer with Bluestone top
Used on retaining wall and riser for two steps down to
patio

Examples of Blue
Stone Pavers set in
gray pea gravel



Drawings for Retaining Wall and Two Stairs Down to Wood Patio

Commission to review remaining items.



Norris
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Stair & Wall Detail

1/15/2021

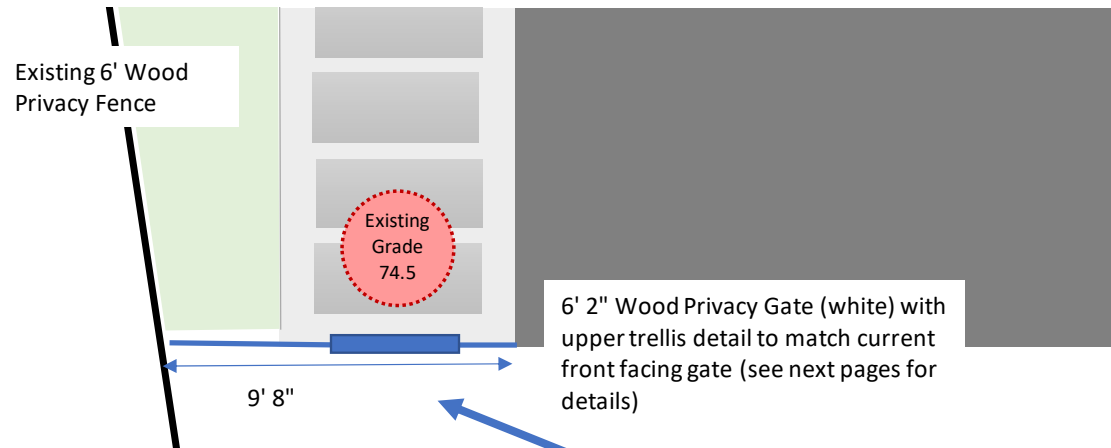
Scale 1/4" = 1'

W-1

Specifications / Materials – Details on Fence/Gate on Side Yard

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurz

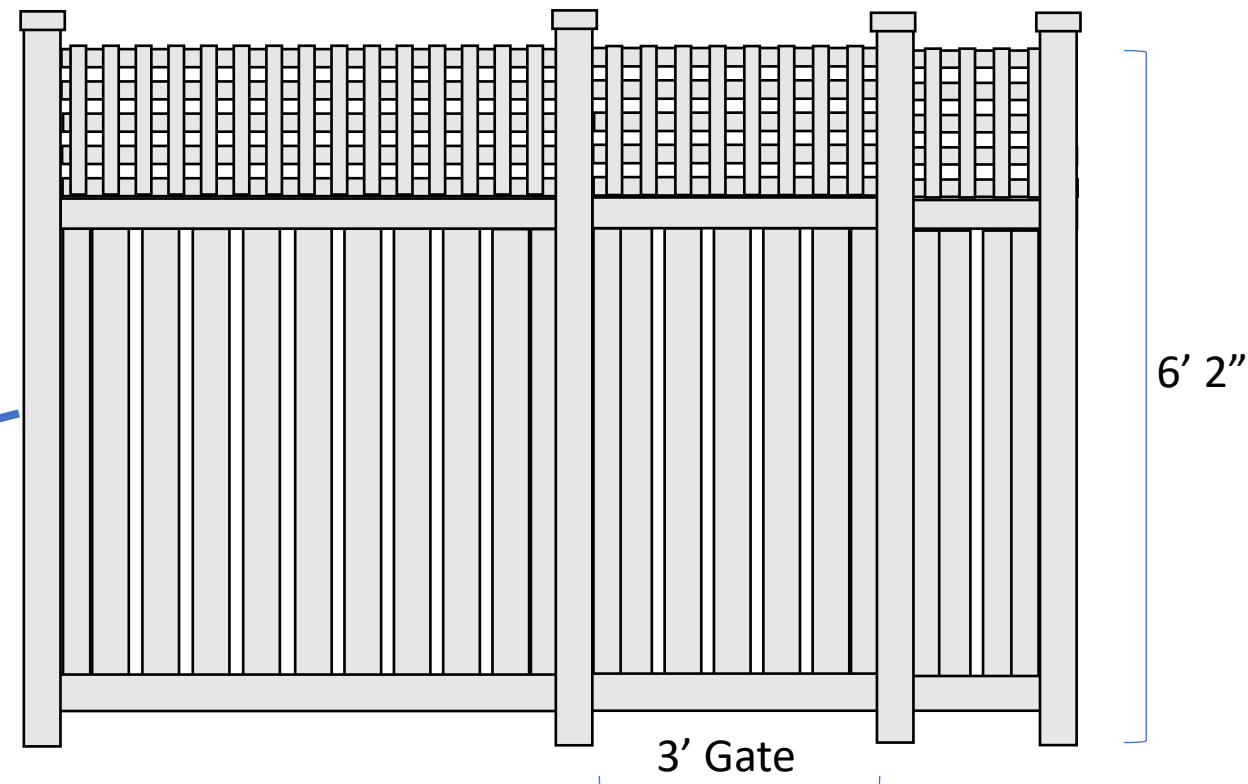
Commission to review remaining items.



Existing side yard gate detail



Revised side yard gate detail



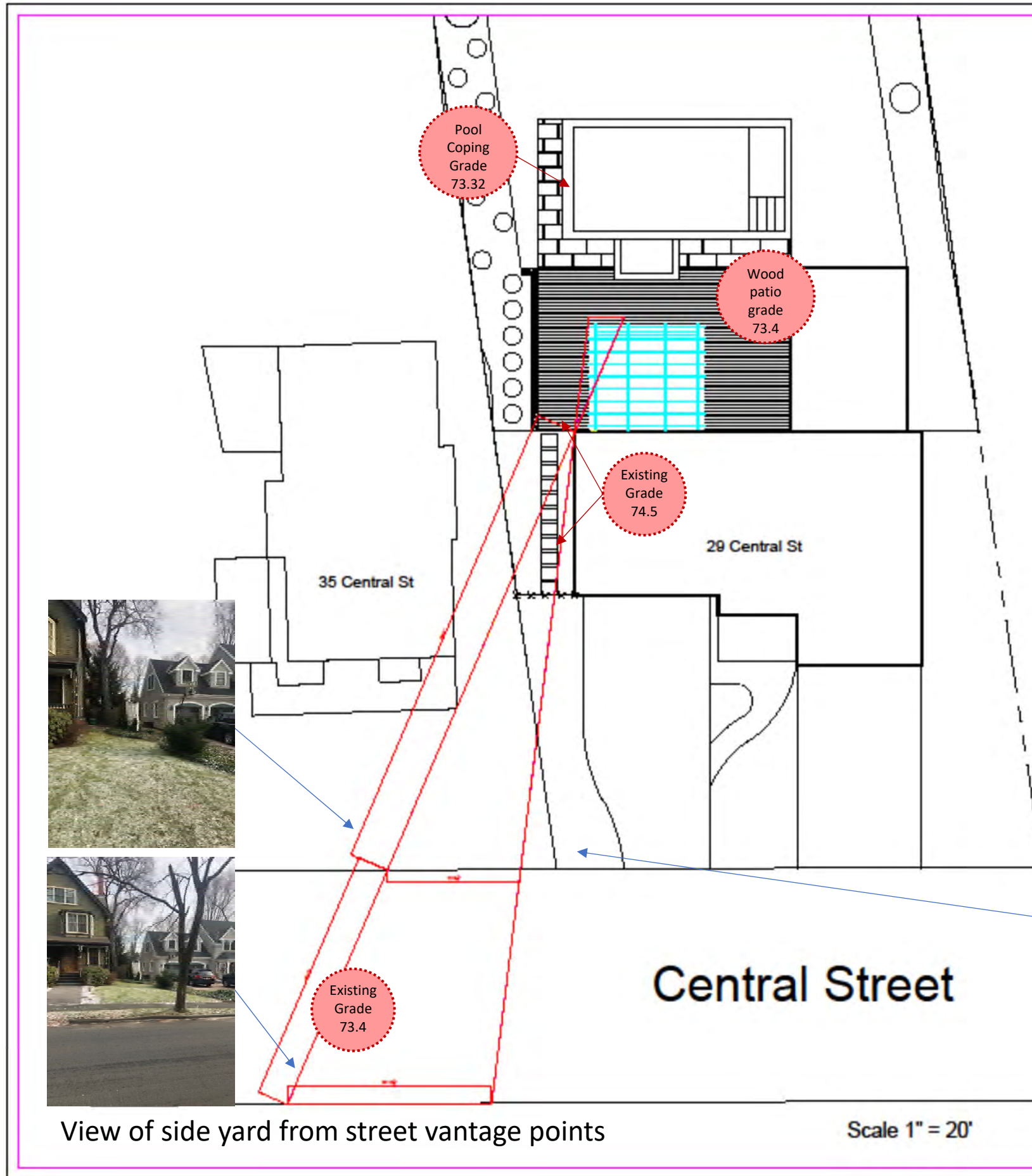
- No change to existing wood privacy fence (some repairs as needed)
- Keep lattice detail at side yard gate
- Keep same height and lattice detail for new gate
- Make more uniform in height for improved security and privacy



Example of similar privacy gate
(Source: 33 Hancock Street, Auburndale)

Details on Side Yard – Site Plan Showing Potential Sight Lines

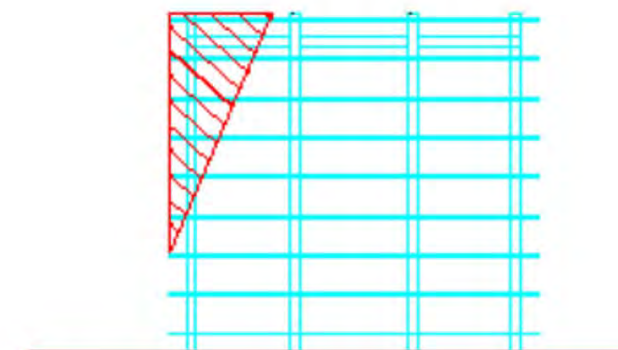
Commission to review remaining items.



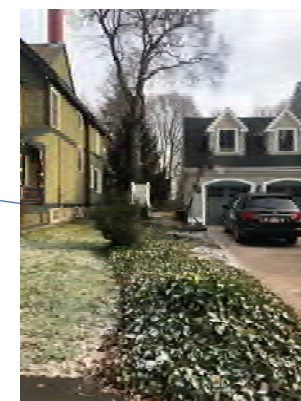
View of side yard from street vantage points

- With privacy fence/gate, sight lines show no visibility of pergola from street (fence/gate is required to be maintained with pool installation)
- Without privacy fence/gate, there are certain angles where a small ~10% portion of pergola is visible from street sight lines
- Grading is relatively flat from street to backyard with side yard elevation 1.5' above backyard grade (which helps decrease sight lines into backyard)

Partial View of Pergola
10 % of Total Area



Scale 1" = 10'



View of side yard with no gate; gate temporarily removed for completion of dig safe

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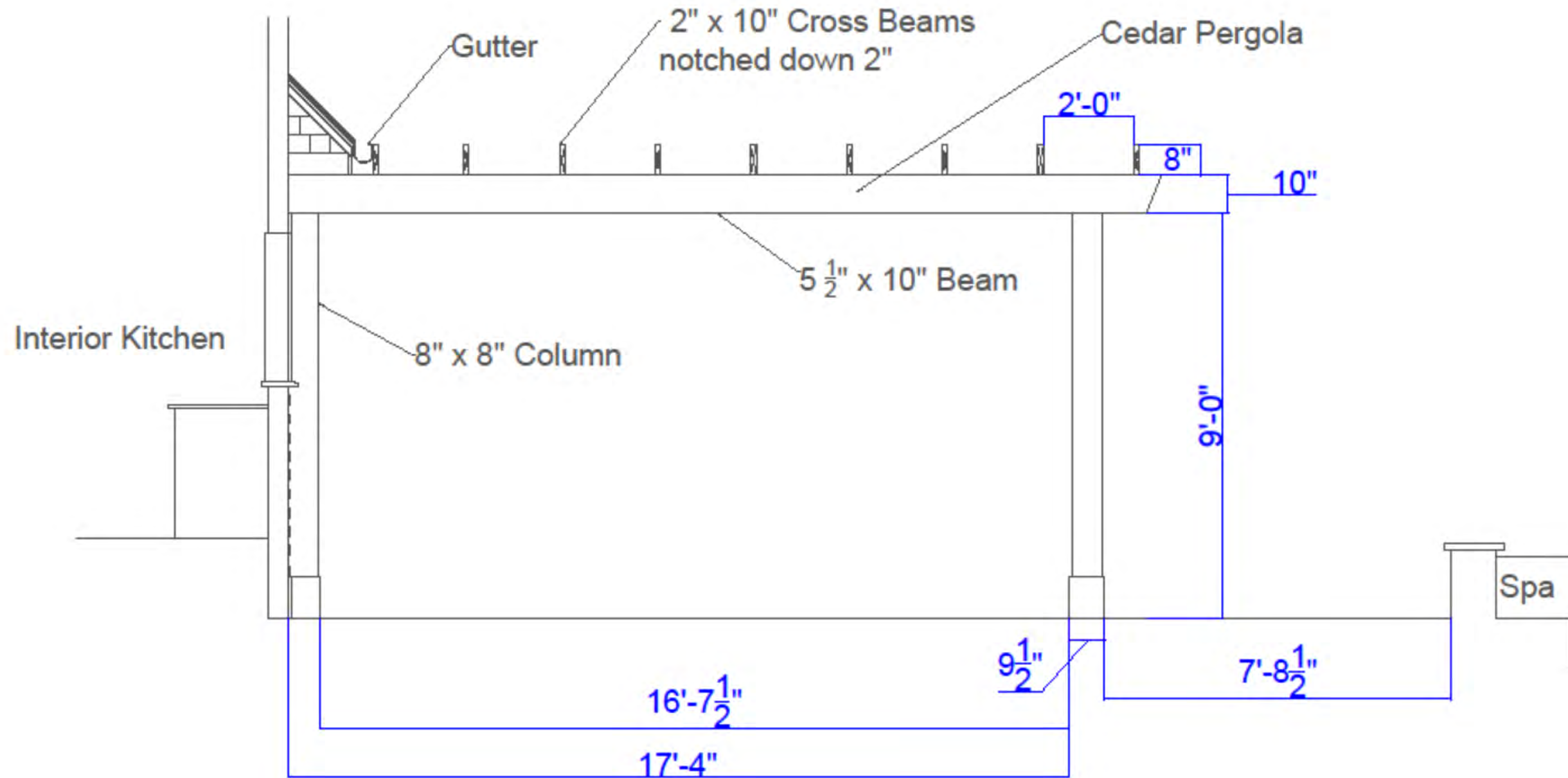
Pergola Detail

1/15/2021

P-4

Specifications / Materials – Pergola Details

Pool, spa and bluestone area around pool and spa approved 1-27-2021. BKurze
Commission to review remaining items.



Side Profile

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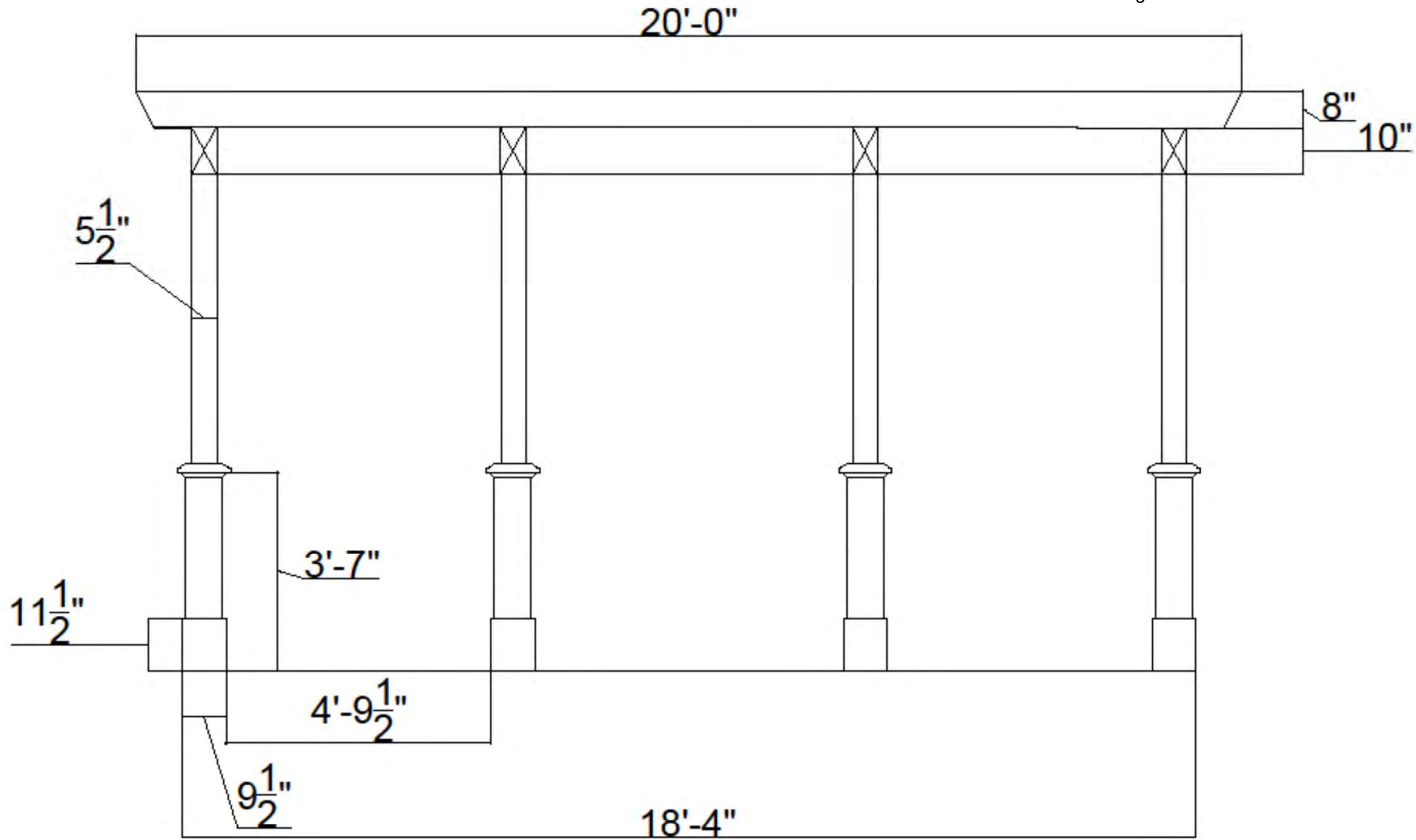
Pergola Detail

1/15/2021

Scale 3/8" = 1'

P-1

Commission to review remaining items.



Front View

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Pergola Detail

1/15/2021

Scale 1/2" = 1'

P-2

Commission to review remaining items.

Pergola Secured to House

2" x 10" Cross Beams
notched down 2"

5 1/2" x 10" Beam

6'-7"

2'-0"

Cedar Pergola

Plan View

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Pergola Detail

1/15/2021

Scale 3/8" = 1'

P-3