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February 25, 2021

Ms. Nadia Khan
Committee Clerk
Newton City Council
1000 Commonwealth Avenue
Newton, MA 02459-1449

Re: Petition of Newton Walnut LLC/1149-1151 Walnut Street/#319-20 and #320-20

Dear Nadia,

Enclosed please find the following materials in connection with the above referenced matter:

1. Transmittal letter to Councilor Lipof.
2. Revised engineering plans prepared by H.W. Moore Associates, dated October 12, 2020 and revised February 23, 2021, consisting of six sheets. These plans are conformed to the architectural plans as to guide plan and height.
3. Revised architectural plans prepared by The Architectural Team, Inc., dated February 22, 2021, consisting of eighteen sheets.

Please feel free to call me if you have any questions.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'Alan J. Schlesinger'.

Alan J. Schlesinger

Enclosures

cc: John Daghlian, Associate City Engineer
Neil Cronin, Chief Planner

PERMIT SITE PLAN

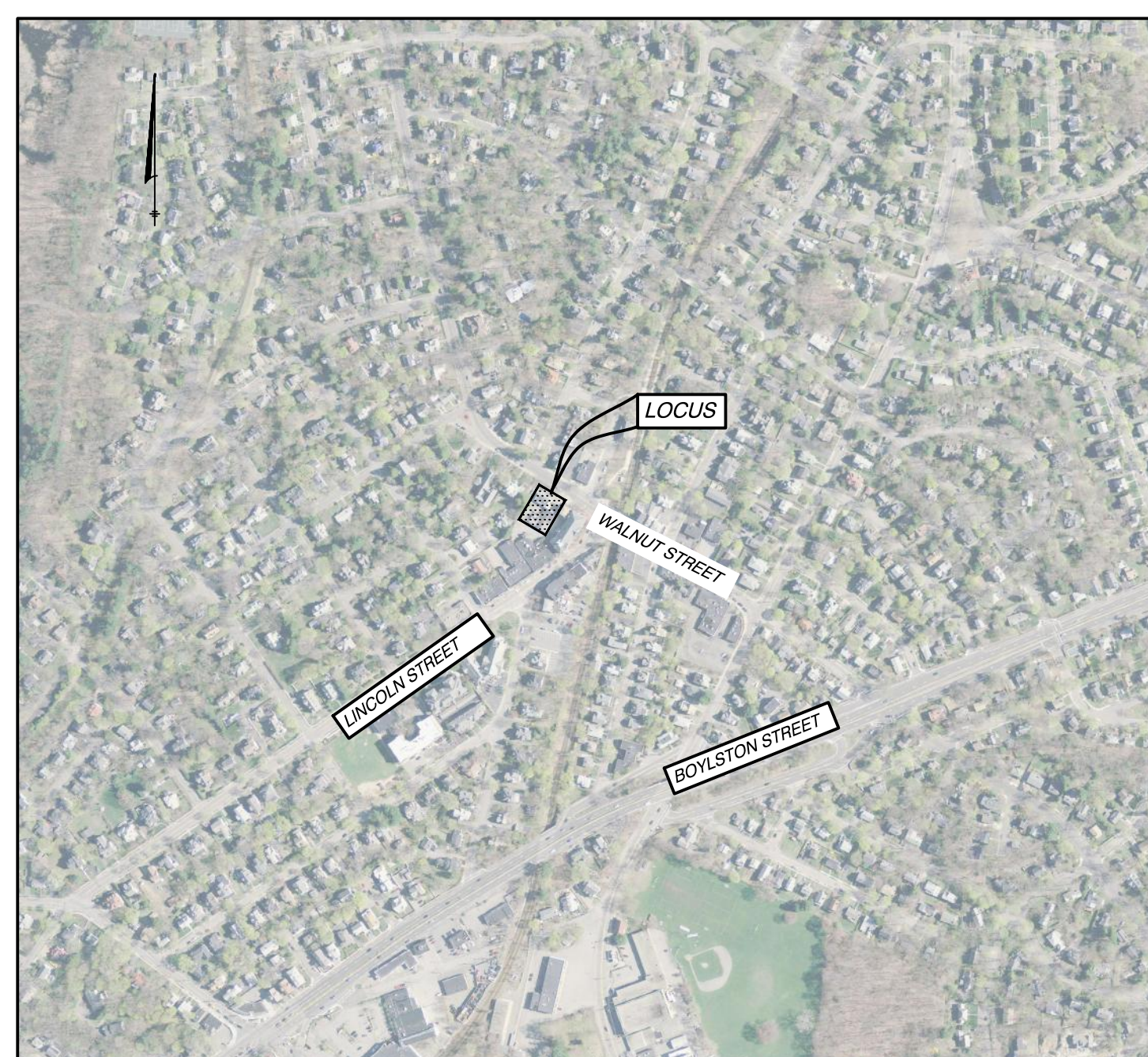
FOR

1149-1151

WALNUT STREET RESIDENTIAL DEVELOPMENT

GENERAL NOTES:

- LOCATIONS AND ELEVATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE REFERENCED PLAN AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. HANCOCK ASSOCIATES ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY DEPARTMENT SHALL BE NOTIFIED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHALL BE VERIFIED IN THE FIELD. CALL THE DIG-SAFE CALL CENTER: (888)344-7233, 72 HOURS (3 WORKING DAYS) PRIOR TO EXCAVATION.
- ELEVATIONS REFER TO NEWTON CITY BASE. REFER TO REFERENCED SURVEY PREPARED BY EVERETT M. BROOKS CO. SURVEYORS FOR BENCHMARK INFORMATION.
- ALL DISTURBANCES WITHIN THE PUBLIC WAY SHALL CONFORM TO CITY OF NEWTON STANDARDS.
- IF EXISTING ABANDONED UTILITY LINES ARE ENCOUNTERED THEY SHALL BE CUT AND CAPPED.
- ANY CONSTRUCTION DEWATERING SHALL EMPLOY MEASURES TO FILTER OUT SEDIMENT PRIOR TO ITS DISCHARGE AND SHALL CONFORM WITH CITY OF NEWTON REQUIREMENTS. CONTRACTOR TO SUBMIT A SKETCH OF THESE TO THE ENGINEER FOR APPROVAL.
- CONSTRUCTION ACCESS DRIVES SHALL HAVE CRUSHED STONE TO MINIMIZE MUD FROM BEING TRACKED ONTO THE ROADWAYS. MUD TRACKED ONTO ROADWAYS SHALL BE SWEEPED CLEAN.
- CONTRACTOR TO EMPLOY MEASURES TO CONTROL DUST DURING CONSTRUCTION.
- REMOVE ALL EXISTING BITUMINOUS CONCRETE AND CEMENT CONCRETE FROM WITHIN THE LIMITS OF WORK. UNLESS OTHERWISE NOTED, ALL ITEMS WITHIN THE LIMITS OF WORK ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE.
- ALL ACCESSIBLE AREAS MUST COMPLY WITH MASSACHUSETTS ACCESS BOARD (MAAB) REGULATIONS.
- RM ELEVATIONS OF DRAINAGE AND SANITARY SEWER MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH. ADJUST ALL OTHER RM ELEVATIONS OF EXISTING MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN LIMITS OF SITE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROLS. COMPOST FILTER TUBE AND CATCH BASIN SILT SACKS SHALL BE INSTALLED PER PROJECT PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROLS UNTIL THE COMPLETION OF THE PROJECT. AT WHICH TIME THE SEDIMENT CONTROLS ARE TO BE REMOVED.
- THE CONTRACTOR SHALL GIVE FORTY EIGHT (48) HOUR NOTICE TO PERTINENT CITY DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM AND OTHER PRIVATE UTILITIES BY THE RESPECTIVE UTILITY COMPANIES, AS REQUIRED.
- ALL DRAIN PIPES SHALL BE SOLID HIGH DENSITY POLYETHYLENE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL ALL NECESSARY CONDUIT, WIRES AND HAND HOLES FOR NEW SITE LIGHTING.
- A CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION SHALL BE PERFORMED AND WITNESSED BY THE ENGINEERING DIVISION FOR PRE & POST CONSTRUCTION FROM THE CONNECTION POINT OF THE MANHOLE ON WALNUT STREET TOWARDS THE DOWNSTREAM MANHOLE OR OUTFALL.
- ONCE THE BUILDING PERMIT IS APPROVED, ENGINEERING WILL REQUIRE AN ON-SITE PRECONSTRUCTION MEETING TO REVIEW SCHEDULING AND SILTATION CONTROL.
- BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL AND PAPER FORMAT. THE PLAN SHALL SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND IMPROVEMENTS AND LIMITS OF RESTORATION. THE PLAN SHALL INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES INCLUDING BUT NOT LIMITED TO RM & INVERT ELEVATIONS (CITY OF NEWTON DATUM), SLOPES OF PIPES, PIPE MATERIALS, AND SWING TIES FROM PERMANENT BUILDING CORNERS. THE AS-BUILT SHALL BE STAMPED BY BOTH A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR. ONCE THE AS-BUILT PLAN IS RECEIVED THE ENGINEERING DIVISION SHALL PERFORM A FINAL SITE INSPECTION AND THEN MAKE A DETERMINATION TO ISSUE A CERTIFICATE OF OCCUPANCY.
- ALL SITE WORK INCLUDING TRENCH RESTORATION, SIDEWALK, CURB, APRON AND LOAM BORDER (WHERE APPLICABLE) SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
- THE CONTRACTOR OF RECORD SHALL CONTACT THE NEWTON POLICE DEPARTMENT 48 HOURS IN ADVANCED AND ARRANGE FOR POLICE DETAIL TO HELP RESIDENTS AND COMMUTERS NAVIGATE AROUND THE CONSTRUCTION ZONE.
- ALL TREE REMOVAL SHALL COMPLY WITH THE CITY'S TREE ORDINANCE.
- IF ANY CHANGES FROM THE FINAL APPROVED DESIGN PLAN THAT ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR OF RECORD SHALL CONTACT THE DESIGN ENGINEER OF RECORD AND SUBMIT REVISED DESIGN AND STAMPED FULL SCALE PLANS FOR REVIEW AND APPROVAL PRIOR TO CONTINUING WITH CONSTRUCTION.
- ALL TRENCH EXCAVATION SHALL COMPLY WITH MASSACHUSETTS GENERAL LAW CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, AND OSHA STANDARDS TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES OR EXCAVATIONS. TRENCH EXCAVATION PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR HAS GIVEN THEIR APPROVAL.
- BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY, AS BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL AND PAPER FORMAT. THE PLAN SHALL SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND IMPROVEMENTS AND LIMITS OF RESTORATION. THE PLAN SHALL INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES INCLUDING BUT LIMITED TO RM & INVERT ELEVATIONS (CITY OF NEWTON DATUM), SLOPES OF PIPES, PIPE MATERIALS, AND SWING TIES FROM PERMANENT BUILDING CORNERS. THE AS BUILT SHALL BE STAMPED BY BOTH A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR. ONCE THE AS BUILT PLAN IS RECEIVED THE ENGINEERING DIVISION SHALL PERFORM A FINAL SITE INSPECTION AND THEN MAKE A DETERMINATION TO ISSUE A CERTIFICATE OF OCCUPANCY.
- ALL SITE WORK INCLUDING TRENCH RESTORATION, SIDEWALK, CURB, APRON AND LOAM BORDER (WHERE APPLICABLE) SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
- THE OWNERSHIP, OPERATION, AND MAINTENANCE OF THE PROPOSED DRAINAGE SYSTEM AND ALL APPURTENANCES INCLUDING BUT NOT LIMITED TO THE DRYWELLS, CATCH BASINS, TRENCH DRAINS, AND PIPES ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.



LOCUS MAP
SCALE: 1" = 500'

SHEET INDEX

SHEET C-1.....	COVER SHEET
SHEET C-2.....	SITE PREPARATION & EROSION CONTROL PLAN
SHEET C-3.....	LAYOUT PLAN
SHEET C-4.....	GRADING AND DRAINAGE PLAN
SHEET C-5.....	DETAILS PLAN
SHEET C-6.....	DETAILS PLAN
SHEET EX-1.....	EXISTING CONDITIONS PLAN (BY OTHERS)

APPLICANT
TALANIAN REALTY CO
137 NEWBURY STREET
BOSTON, MA 02116

CIVIL ENGINEER
H. W. MOORE ASSOCIATES
121 EAST BERKELEY ST.
BOSTON, MA 02118

OWNER
TALANIAN REALTY CO
137 NEWBURY STREET
BOSTON, MA 02116

SURVEYOR
EVERETT M. BROOKS CO.
49 LEXINGTON STREET
WEST NEWTON, MA 02465

ZONING DIMENSIONAL TABLE			
ZONE: BU-2			
DEED REFERENCE: BOOK 73412 PAGE 421			
AVERAGE FRONT SETBACK = (10.0' + 3.2') / 2 = 6.6'			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	13,200 S.F.	13,200 S.F.
LOT COVERAGE	N/A	37.5%	77.9%
OPEN SPACE	N/A	4.3%	8.7%
FRONT SETBACK	GREATER OF 15' or 1/2 BLDG HT.* or AVERAGE - (6.6')	35.9'	10.0'
SIDE SETBACK	2.3'	0.5'	0.0'
REAR SETBACK	0'	1.5'	0.4'
BUILDING HEIGHT	48' MAX	18.3	44'-0" *
FLOOR AREA RATIO	1.00 (MAX.)	0.37	2.0
NO. OF STORIES	2 STORIES MAX. - PERMITTED 4 STORIES MAX. - SPECIAL PERMIT	1	4
PARKING REQUIREMENTS			
ZONE MU-4			
RESIDENTIAL PARKING SPACES	2 PER UNIT X 25 UNITS (50)	N/A	22+1 ADA
RETAIL PARKING SPACES	1 PER 300 S.F. + 1 PER 3 EMPLOYEES (6)	N/A	--
ACCESSIBLE PARKING	1 SPACE (VAN)	N/A	1 SPACE (VAN)
TOTAL PARKING	57 SPACES	15 SPACES	23 SPACES

LEGEND

- 152--- CONTOUR
- 152.5--- HALF FOOT CONTOUR
- x-154.75 SPOT GRADE
- VERTICAL GRANITE CURB
- 12" DRAIN LINE
- CATCH BASIN
- DRAIN MANHOLE
- YARD DRAIN
- 6" SEWER LINE
- SEWER MANHOLE
- 8" WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- CONCRETE CONCRETE
- BITUMINOUS CONCRETE
- LOAM AND SEED
- RETAINING WALL
- GAS SERVICE
- ELECTRIC SERVICE
- SIGN
- NUMBER OF PROPOSED PARKING SPACES

ZONING COMPLIANCE DETERMINED BY THE CITY OF NEWTON
AREAS FOR PROPOSED F.A.R. CALCULATION PROVIDED BY ARCHITECT
*TOP OF ROOF STRUCTURE

DRAWN BY: DW	DESIGNED BY: AD
CHECKED BY: FK	APPROVED BY: AD

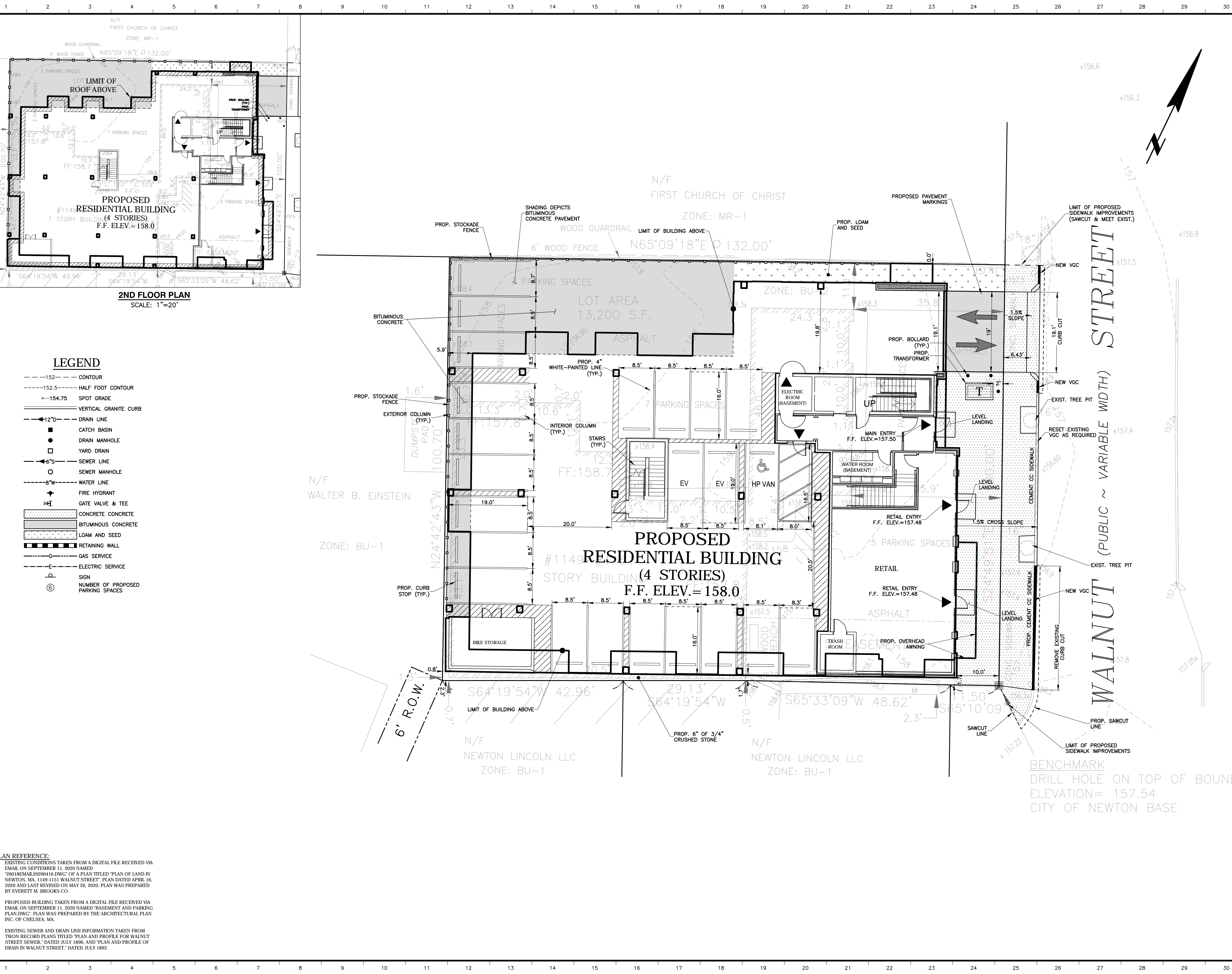
REVISIONS

NO.	DATE	DESCRIPTION
4	2/23/21	UPDATED BUILDING LAYOUT
3	2/2/21	NUMBER OF UNITS REDUCED
2	12/07/20	AVERAGE GRADE CALCULATION
1	11/13/20	REVISED LAYOUT/ ENGINEERING COMMENTS

DATE:	10/12/2020
SCALE:	N/A
SHEET	C-1

1149-1151
WALNUT STREET
NEWTON, MASSACHUSETTS
COVER SHEET

H.W. Moore
ASSOCIATES
CIVIL ENGINEERING & LAND PLANNING
A DIVISION OF HANCOCK SURVEY ASSOCIATES
121 E. Berkeley Street, 4th Floor, Boston, MA 02118
tel: 617-357-8145 fax: 617-357-9495 web: hwmoores.com

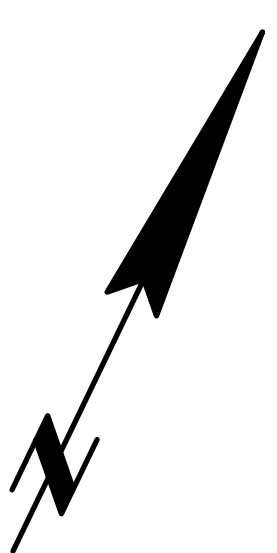


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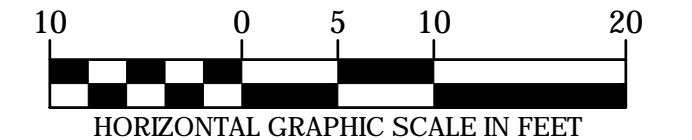
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- SEWER MANHOLE
- 8" W WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- CONCRETE CONCRETE
- BITUMINOUS CONCRETE
- LOAM AND SEED
- RETAINING WALL
- GAS SERVICE
- ELECTRIC SERVICE
- Ⓢ SIGN
- Ⓢ NUMBER OF PROPOSED PARKING SPACES

2ND FLOOR PLAN
SCALE: 1"=20'

WALNUT STREET (PUBLIC ~ VARIABLE WIDTH)



DRAWN BY: DW	DESIGNED BY: AD
CHECKED BY: FK	APPROVED BY: AD



REVISIONS	
ISSUE	DESCRIPTION
4	2/23/21 UPDATED BUILDING LAYOUT
3	2/2/21 NUMBER OF UNITS REDUCED
2	12/07/20 AVERAGE GRADE CALCULATION
1	11/13/20 REVISED LAYOUT/ ENGINEERING COMMENTS

	DATE: 10/12/2020
	SCALE: 1" = 10'
	SHEET C-3

1149-1151
WALNUT STREET
NEWTON, MASSACHUSETTS
LAYOUT PLAN

H.W. Moore
A S O C I A T E S
CIVIL ENGINEERING | LAND PLANNING
A DIVISION OF HANCOCK SURVEY ASSOCIATES
121 E. Berkeley Street, 4th Floor, Boston, MA 02118
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Title: C-3 Layout Plan Plot Style: 1056.ctb Plot By: David T. White

PLAN REFERENCE:

- EXISTING CONDITIONS TAKEN FROM A DIGITAL FILE RECEIVED VIA EMAIL ON SEPTEMBER 11, 2020 NAMED "20018EMAE20200416.DWG" OF A PLAN TITLED "PLAN OF LAND IN NEWTON, MA, 1149-1151 WALNUT STREET". PLAN DATED APRIL 16, 2020 AND LAST REVISED ON MAY 26, 2020. PLAN WAS PREPARED BY EVERETT M. BROOKS CO.
- PROPOSED BUILDING TAKEN FROM A DIGITAL FILE RECEIVED VIA EMAIL ON SEPTEMBER 11, 2020 NAMED "BASEMENT AND PARKING PLAN.DWG". PLAN WAS PREPARED BY THE ARCHITECTURAL PLAN INC. OF CHELSEA, MA.
- EXISTING SEWER AND DRAIN LINE INFORMATION TAKEN FROM TWO RECORD PLANS TITLED "PLAN AND PROFILE FOR WALNUT STREET SEWER," DATED JULY 1896, AND "PLAN AND PROFILE OF DRAIN IN WALNUT STREET," DATED JULY 1892.

UTILITY NOTES:

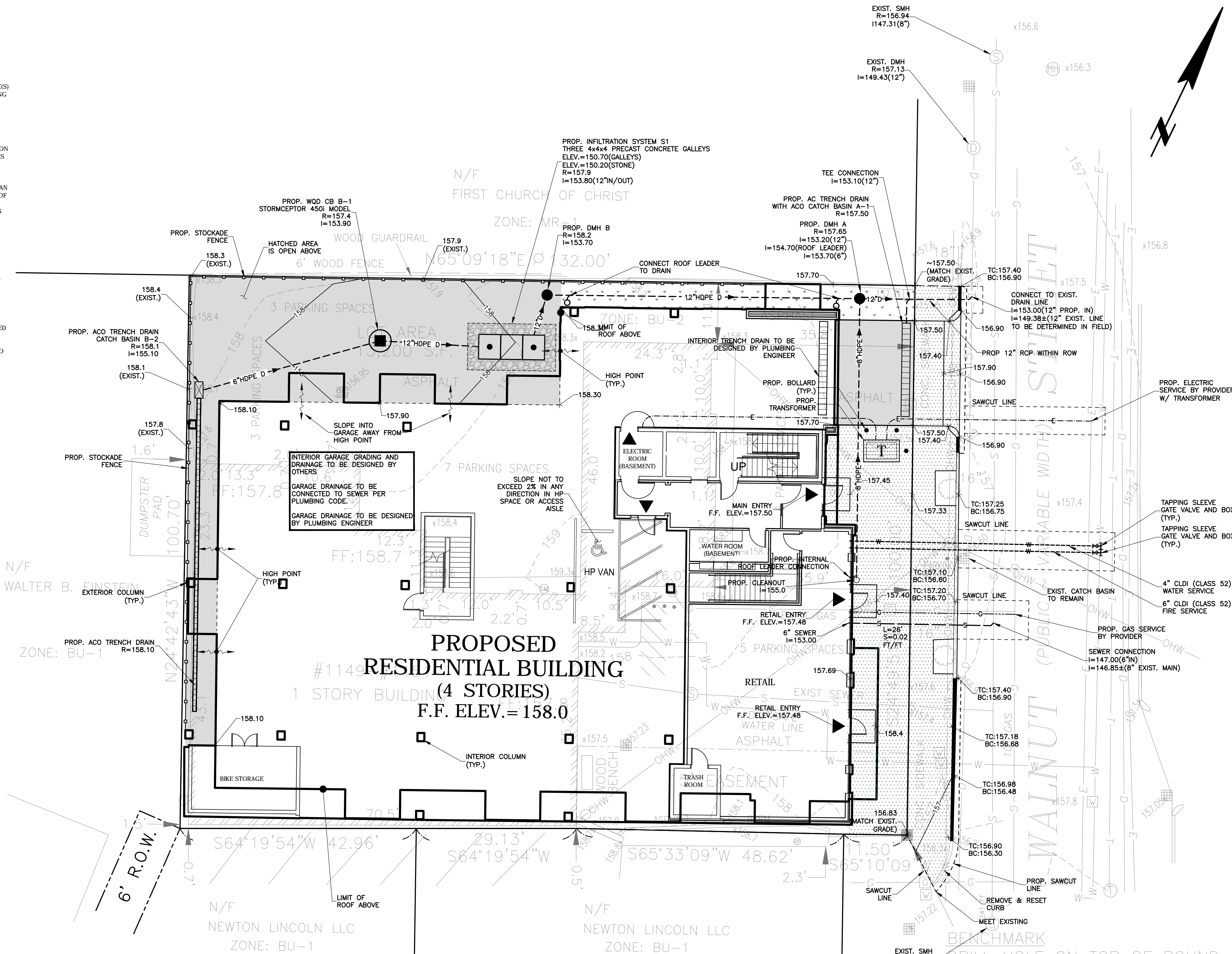
- EXISTING WATER AND SEWER SERVICES TO BUILDING(S) SHALL CUT AND CAPPED AT THE RESPECTIVE MAINS AND COMPLETELY REMOVED FROM THE MAIN(S) AND ITS ENTIRE LENGTH AND PROPERLY BACKFILLED. THE NEWTON ENGINEERING DIVISION MUST INSPECT AND APPROVE THIS WORK.
- ALL NEW SEWER SERVICE(S) SHALL BE PRESSURE TESTED IN ACCORDANCE TO THE CITY CONSTRUCTION SPECIFICATIONS & STANDARDS AND INSPECTED VIA CLOSED CIRCUIT TELEVISION CCTV INSPECTION AFTER INSTALLATION IS COMPLETED. A COPY OF THE VIDEO INSPECTION AND WRITTEN REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER OR HIS REPRESENTATIVE.
- ALL SANITARY SEWER MANHOLE(S) SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE AND MANHOLE WILL NOT BE ACCEPTED UNTIL THE MANHOLES PASS THE TESTING REQUIREMENTS. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION.
- FIRE FLOW TESTING IS REQUIRED FOR THE PROPOSED FIRE SUPPRESSION SYSTEM. THE APPLICANT MUST COORDINATE THE FIRE FLOW TEST WITH BOTH THE NEWTON FIRE DEPARTMENT AND THE UTILITIES DIVISION. REPRESENTATIVE OF EACH DEPARTMENT SHALL WITNESS THE TESTING.
- ALL TRENCH EXCAVATION SHALL COMPLY WITH MASSACHUSETTS GENERAL LAW CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, AND OSHA STANDARDS TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES OR EXCAVATIONS. TRENCH EXCAVATION PERMITS ARE REQUIRED PRIOR TO ANY CONSTRUCTION. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACKFILLING SHALL ONLY TAKE PLACE WHEN THE CITY ENGINEERS INSPECTOR HAS GIVEN THEIR APPROVAL.
- IF ANY CHANGES FROM THE FINAL APPROVED DESIGN PLAN THAT ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR OF RECORD SHALL CONTACT THE DESIGN ENGINEER OF RECORD AND SUBMIT REVISED DESIGN AND STAMPED FULL SCALE PLANS FOR REVIEW AND APPROVAL PRIOR TO CONTINUING WITH CONSTRUCTION.
- WITH THE EXCEPTION OF NATURAL GAS SERVICE(S), ALL UTILITY TRENCHES WITHIN THE RIGHT OF WAY SHALL BE BACKFILLED WITH CONTROL DENSITY FILL (CDF) EXCAVATABLE TYPE FE UP TO WITHIN 18" INCHES OF THE ASPHALT BINDER LEVEL. AFTER WHICH DENSE GRADE GRAVEL COMPACTED TO 95% PROCTOR TESTING SHALL BE PLACED OVER THE CDF. DETAILS OF THIS REQUIREMENT IS THE ENGINEERING DIVISION WEBSITE 'STANDARD CONSTRUCTION DETAILS'.
- ALL WATER SERVICES SHALL BE CHLORINATED, AND PRESSURE TESTED IN ACCORDANCE TO THE AWWA AND THE CITY CONSTRUCTION STANDARDS & SPECIFICATIONS PRIOR TO COMING ONLINE. THESE TESTS MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION.
- ALL DRAINAGE PIPE ON SITE TO BE HIGH DENSITY POLYETHYLENE (HDPE), DRAINAGE PIPE WITHIN RIGHT OF WAY TO BE RCP.
- ALL SEWER PIPE ON SITE TO BE SDR 35 PVC PIPE.
- FINAL LOCATION AND SIZE OF PROPOSED TRANSFORMER TO BE DETERMINED BY ELECTRIC SERVICE PROVIDER.

LEGEND

- 152--- CONTOUR
- 152.5--- HALF FOOT CONTOUR
- 154.75--- SPOT GRADE
- VERTICAL GRANITE CURB
- 12"D--- DRAIN LINE
- CATCH BASIN
- DRAIN MANHOLE
- YARD DRAIN
- 6"S--- SEWER LINE
- SEWER MANHOLE
- 8"W--- WATER LINE
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- Ⓢ NUMBER OF PROPOSED PARKING SPACES

PLAN REFERENCE:

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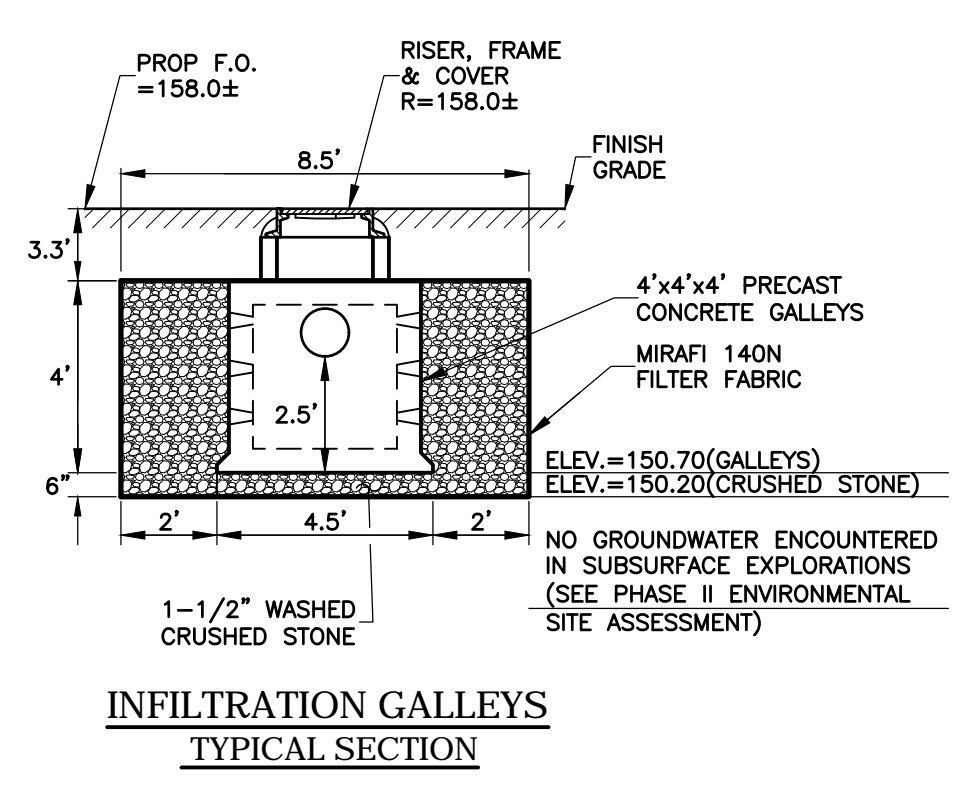
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ISSUE	DESCRIPTION
4	2/23/21 UPDATED BUILDING LAYOUT
3	2/2/21 NUMBER OF UNITS REDUCED
2	12/07/20 AVERAGE GRADE CALCULATION
1	11/13/20 REVISED LAYOUT/ENGINEERING COMMENTS

DATE: 10/12/2020
SCALE: 1" = 10'
SHEET C-4

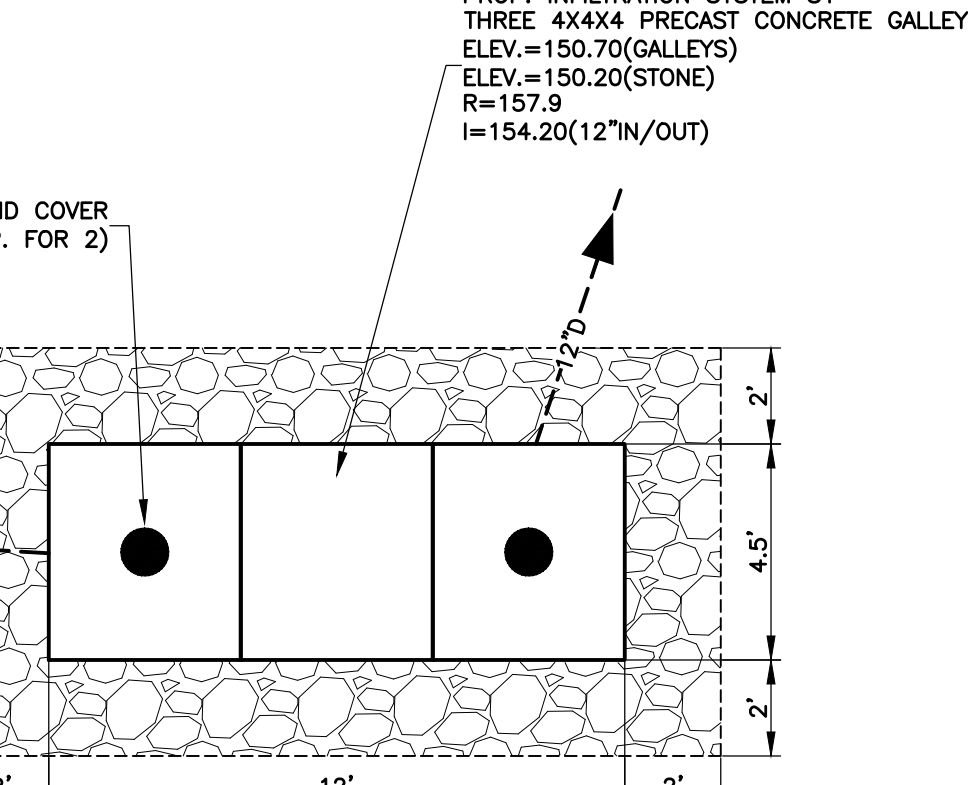
1149-1151
WALNUT STREET
NEWTON, MASSACHUSETTS
**GRADING AND UTILITY
PLAN**

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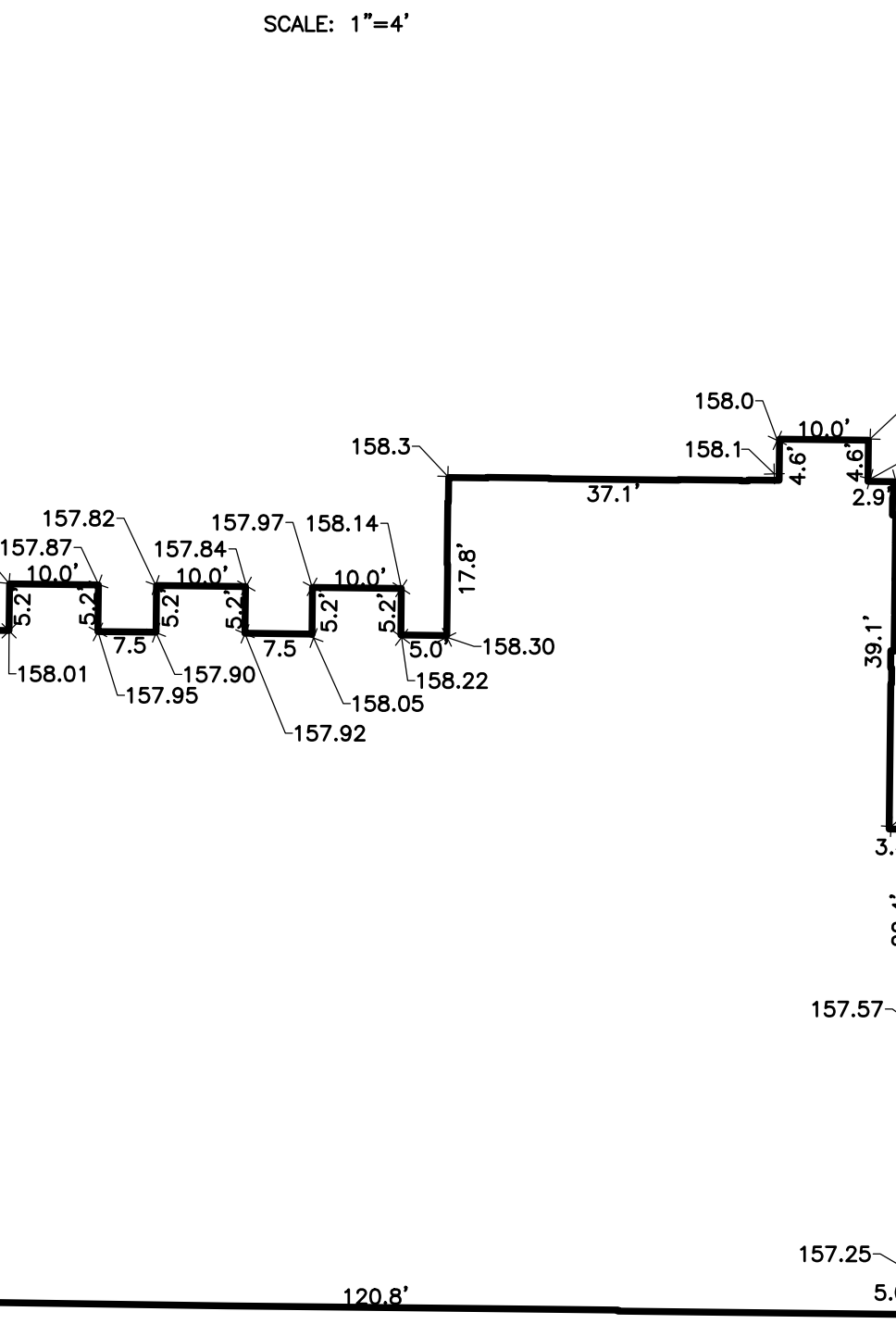
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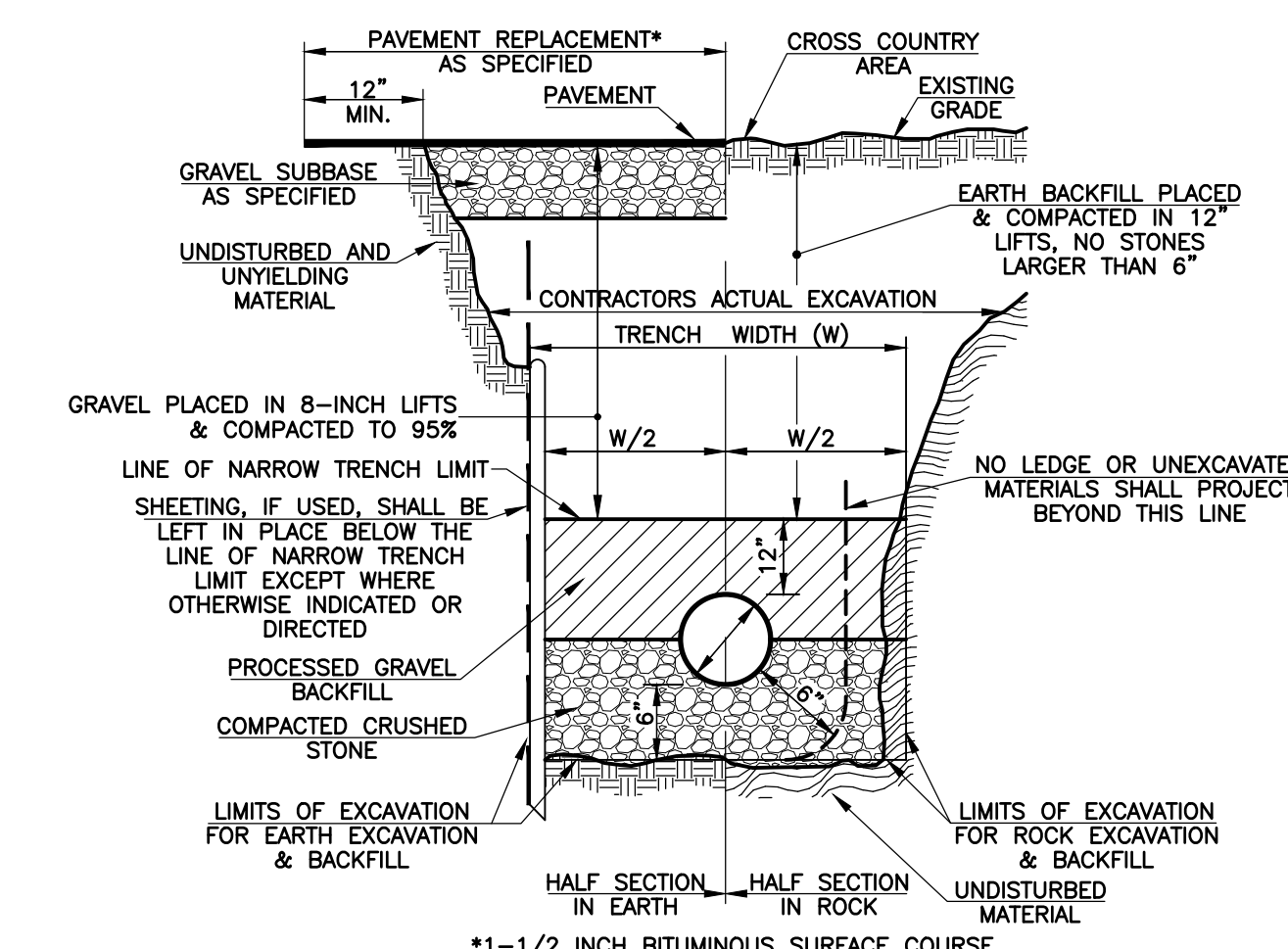
INFILTRATION GALLEYS
TYPICAL SECTION
(NOT TO SCALE)



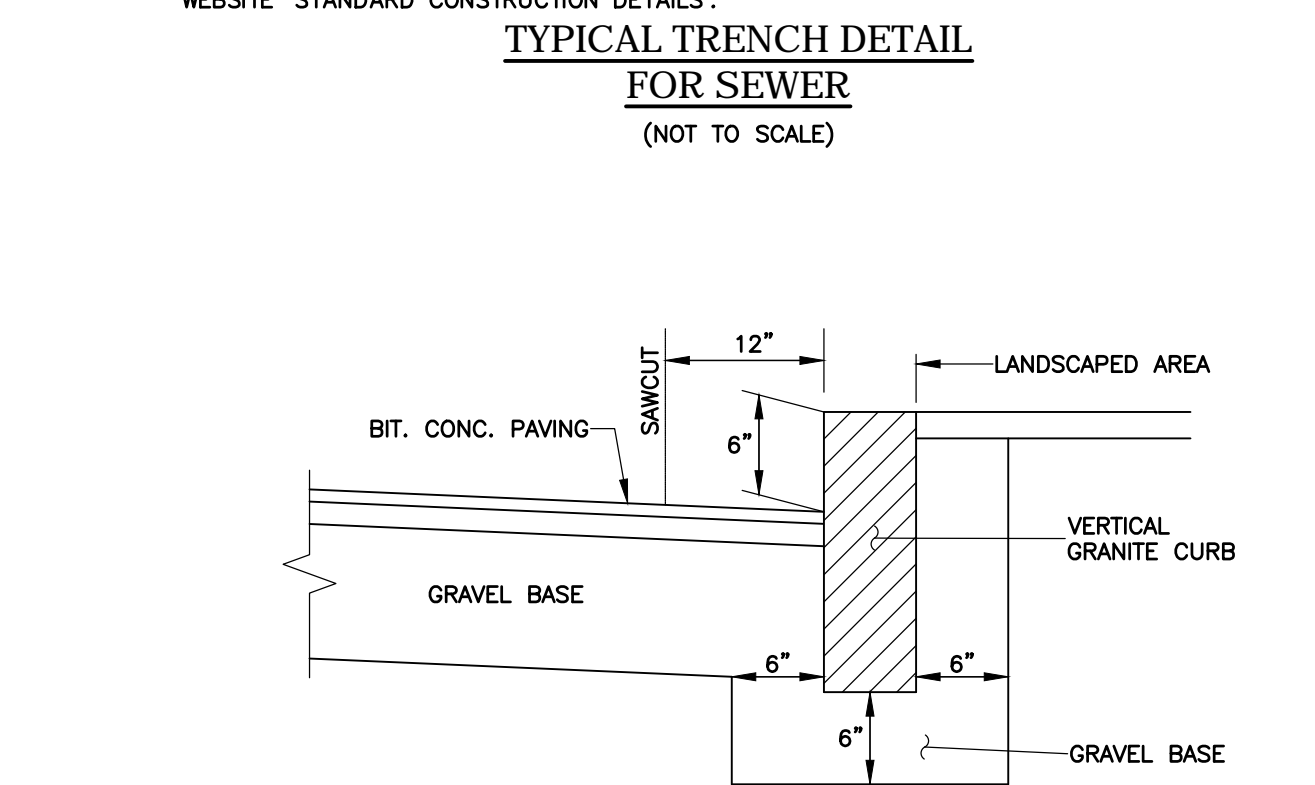
INFILTRATION GALLEYS
TYPICAL SECTION
SCALE: 1"=4'



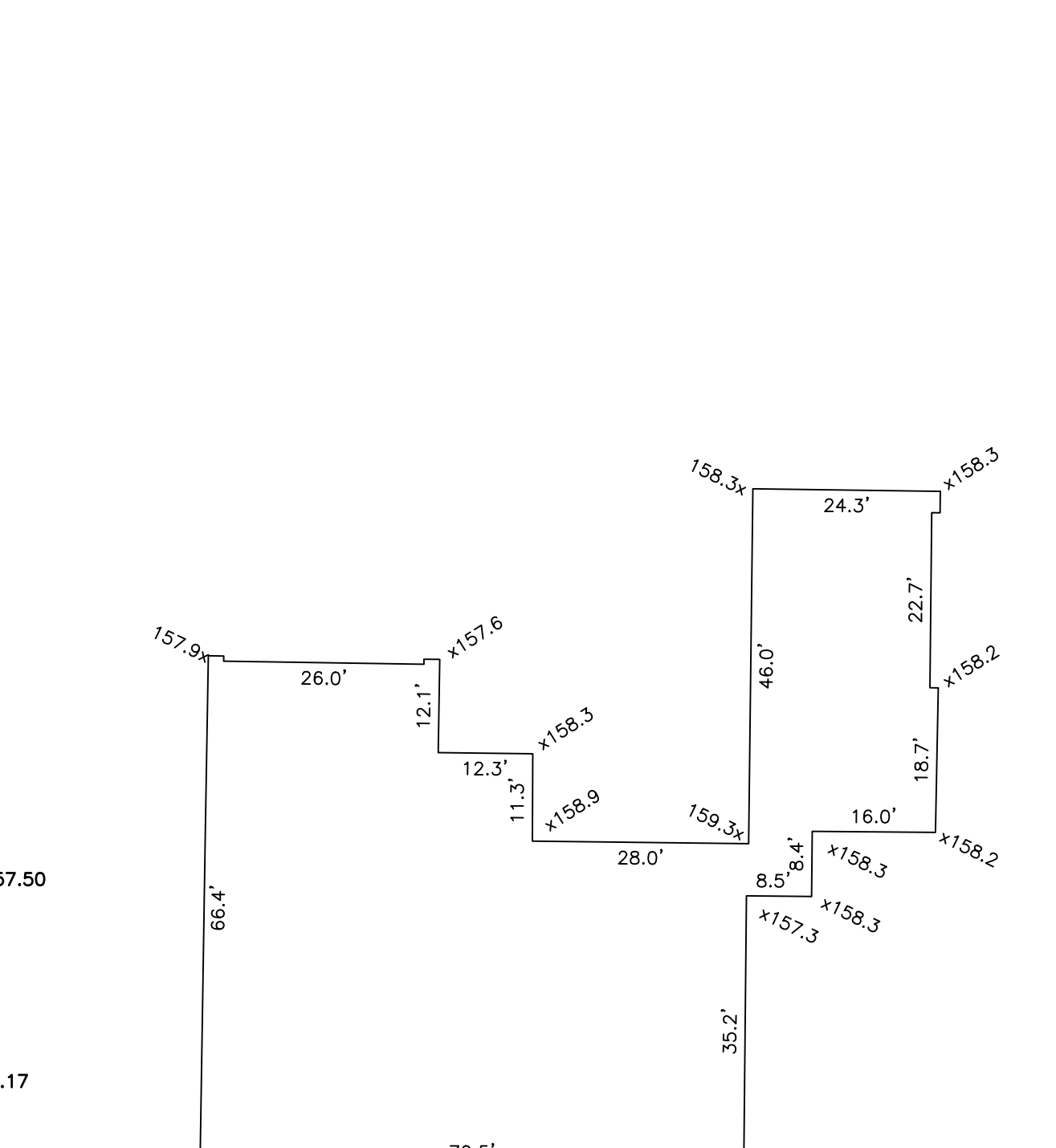
PROPOSED AVERAGE GRADE PLANE
SCALE: 1"=20'



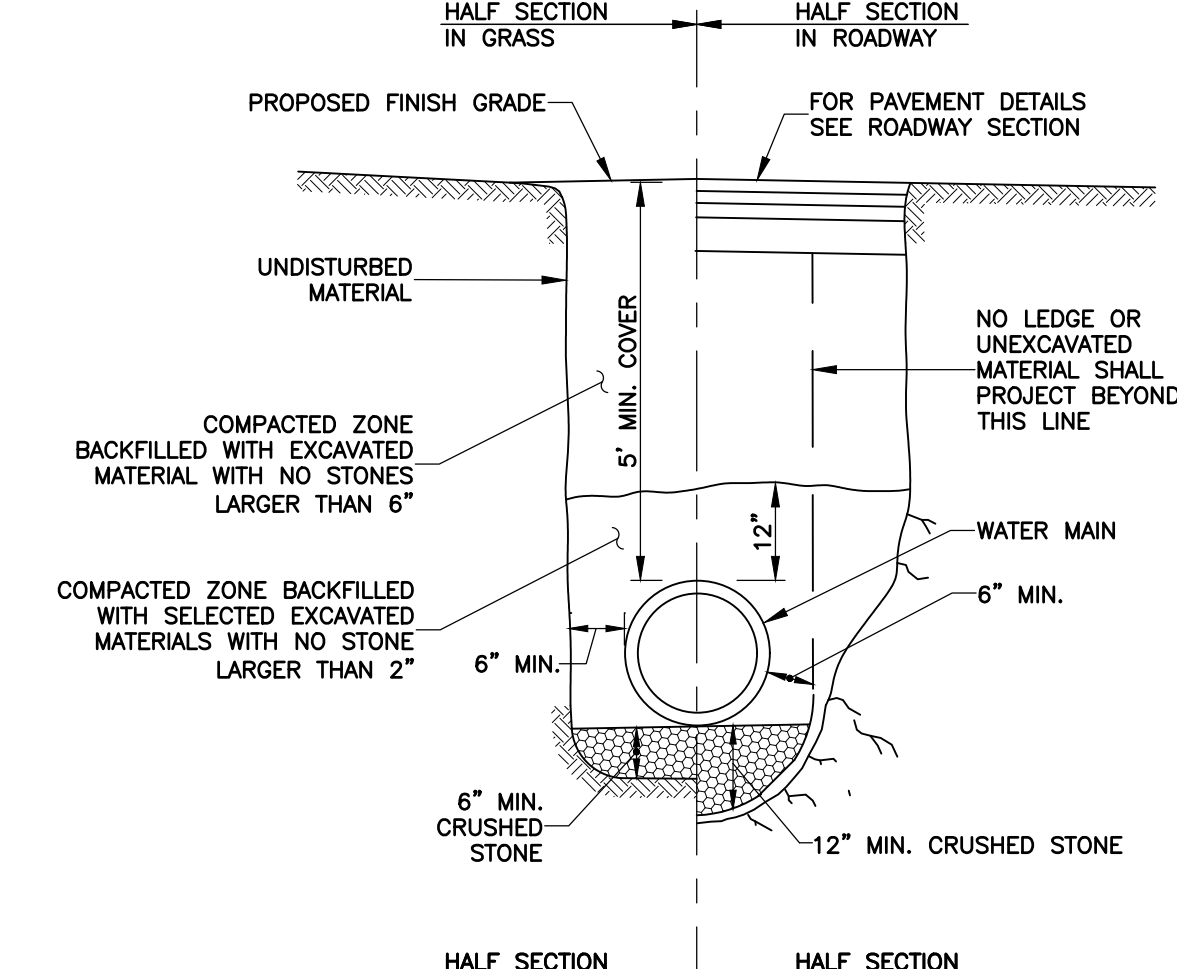
TYPICAL TRENCH DETAIL FOR SEWER
(NOT TO SCALE)



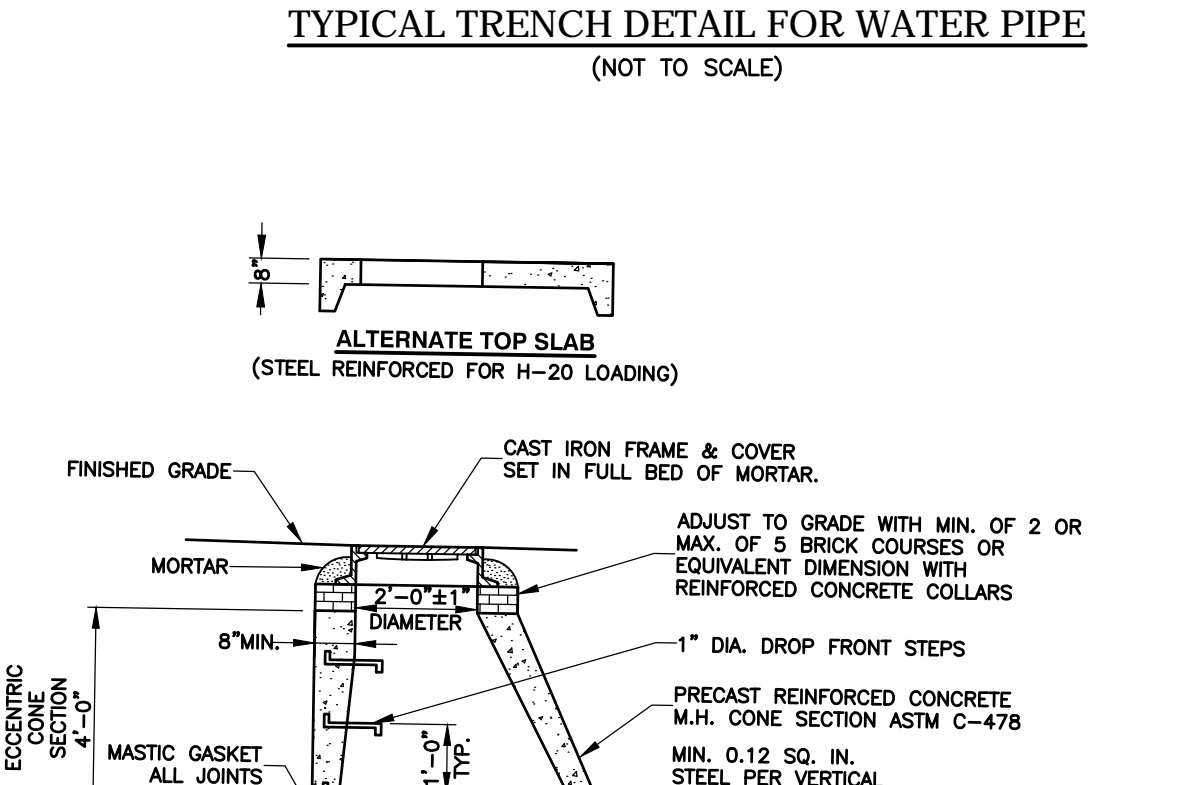
VERTICAL GRANITE CURB
(NOT TO SCALE)



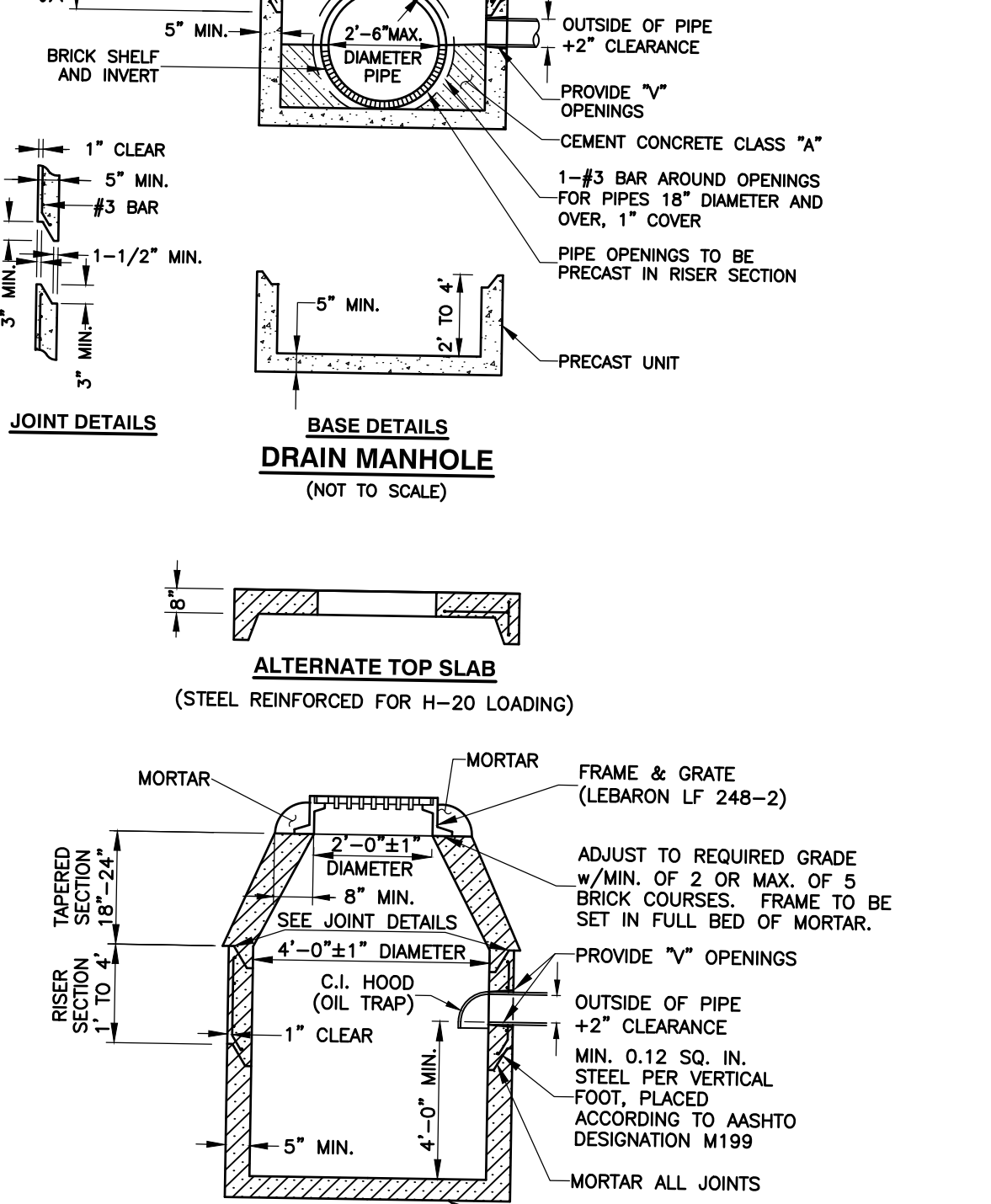
EXISTING AVERAGE GRADE PLANE
(N.T.S.)



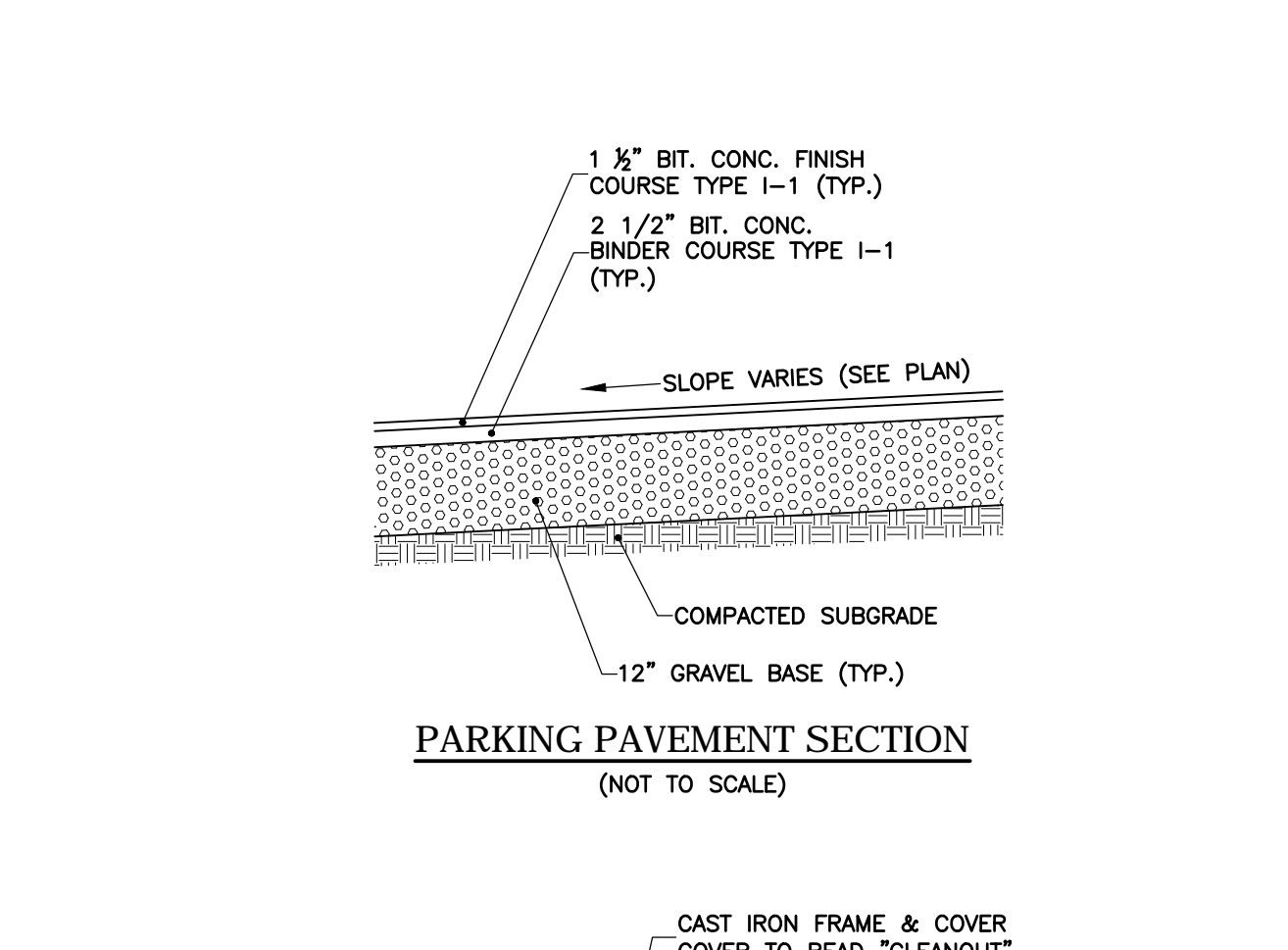
TYPICAL TRENCH DETAIL FOR WATER PIPE
(NOT TO SCALE)



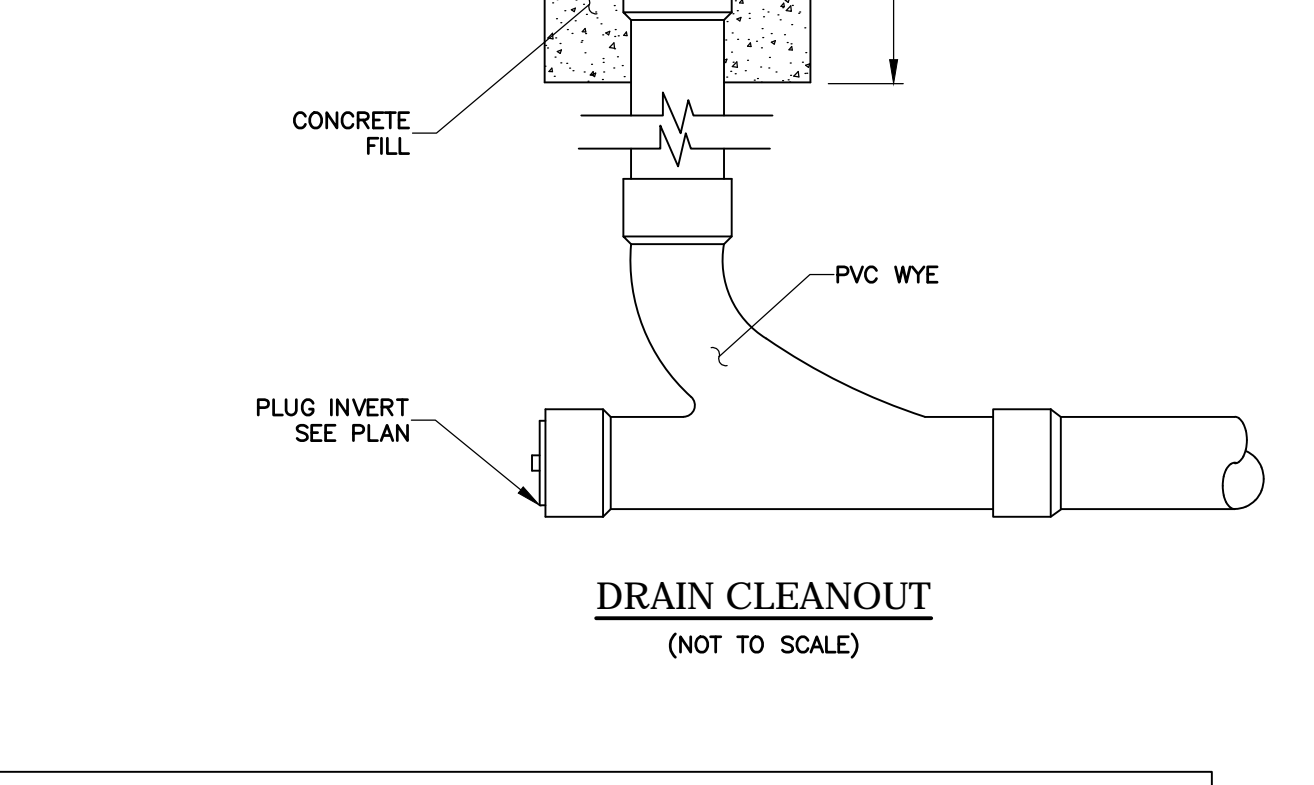
DRAIN MANHOLE
(NOT TO SCALE)



CATCH BASIN
(NOT TO SCALE)



PARKING PAVEMENT SECTION
(NOT TO SCALE)



DRAIN CLEANOUT
(NOT TO SCALE)

SK2-902Z CATCH BASIN - LOAD CLASS E
Exposed Concrete Pavement
INSTALLATION DRAWING - ACO DRAIN

ACO Polymer Products, Inc.
1000 W. Peachtree St., Suite 1000, Atlanta, GA 30308
Tel: 404-525-7200 Fax: 404-525-7201
www.aco.com

ACQ-2000 Series Catch Basin
The catch basin shall be 18" deep in length and 18" deep in width. The catch basin shall be 18" deep in length and 18" deep in width. The catch basin shall be 18" deep in length and 18" deep in width.

SK200K POWERDRAIN - LOAD CLASS B
Exposed Concrete Pavement
INSTALLATION DRAWING - ACO DRAIN

ACO Polymer Products, Inc.
1000 W. Peachtree St., Suite 1000, Atlanta, GA 30308
Tel: 404-525-7200 Fax: 404-525-7201
www.aco.com

ACQ-2000 Series Powerdrain
The powerdrain shall be 18" deep in length and 18" deep in width. The powerdrain shall be 18" deep in length and 18" deep in width. The powerdrain shall be 18" deep in length and 18" deep in width.

DRAWN BY: DW	DESIGNED BY: AD
CHECKED BY: FK	APPROVED BY: AD

REVISIONS

ISSUE	DATE	DESCRIPTION
4	2/23/21	UPDATED BUILDING LAYOUT
3	2/2/21	NUMBER OF UNITS REDUCED
2	12/07/20	AVERAGE GRADE CALCULATION
1	11/13/20	REVISED LAYOUT/ ENGINEERING COMMENTS

DATE:	10/12/2020
SCALE:	AS NOTED
SHEET:	C-5

1149-1151
WALNUT STREET
NEWTON, MASSACHUSETTS

DETAILS

H.W. Moore
2550 A T E S
CIVIL ENGINEERING & LAND PLANNING
A DIVISION OF HANCOCK SURVEY ASSOCIATES
121 E. Berkeley Street, 4th Floor, Boston, MA 02118
Tel: 617-357-8145 Fax: 617-357-9495 web: hwmoores.com



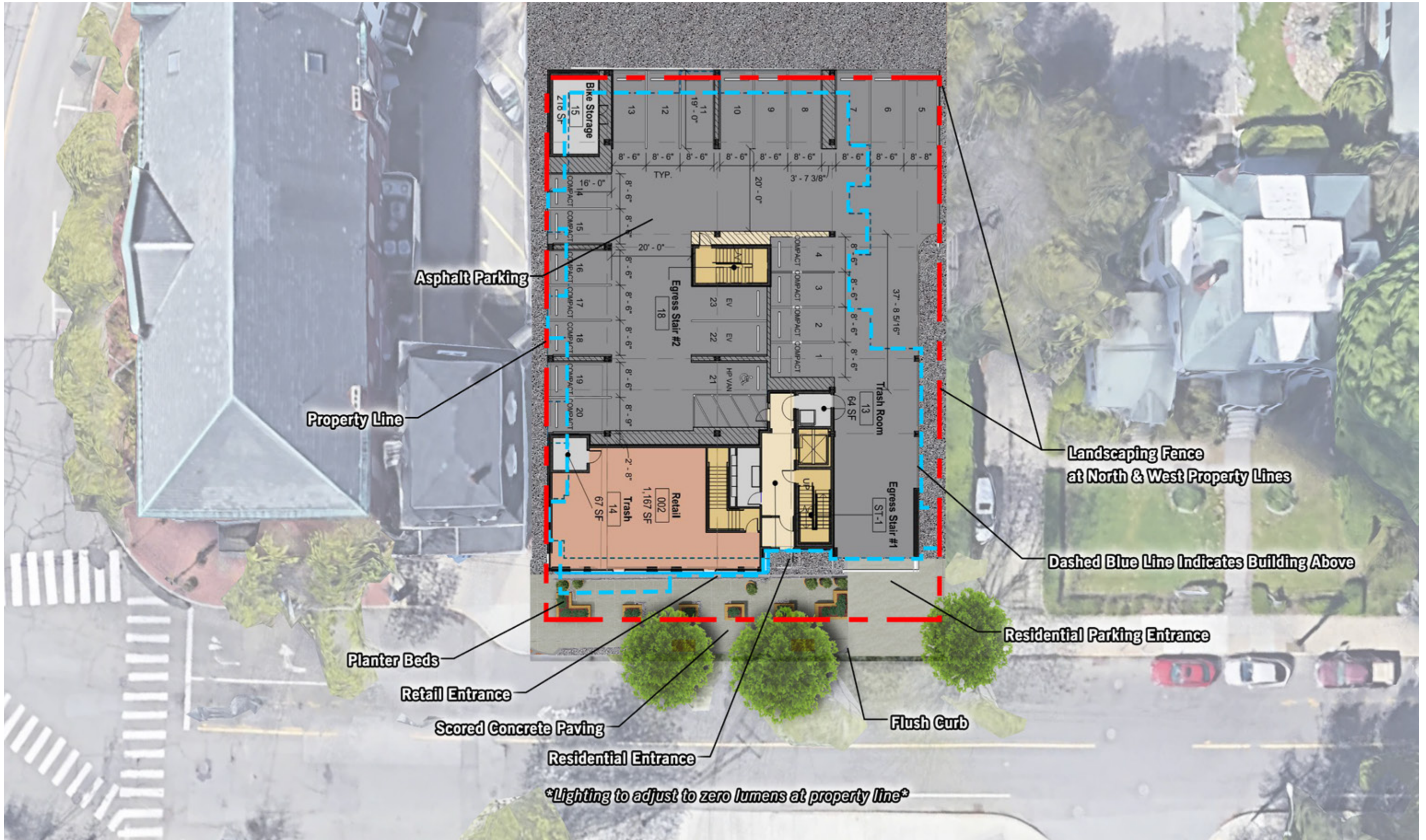
1149-1151 Walnut Street

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Site Plan

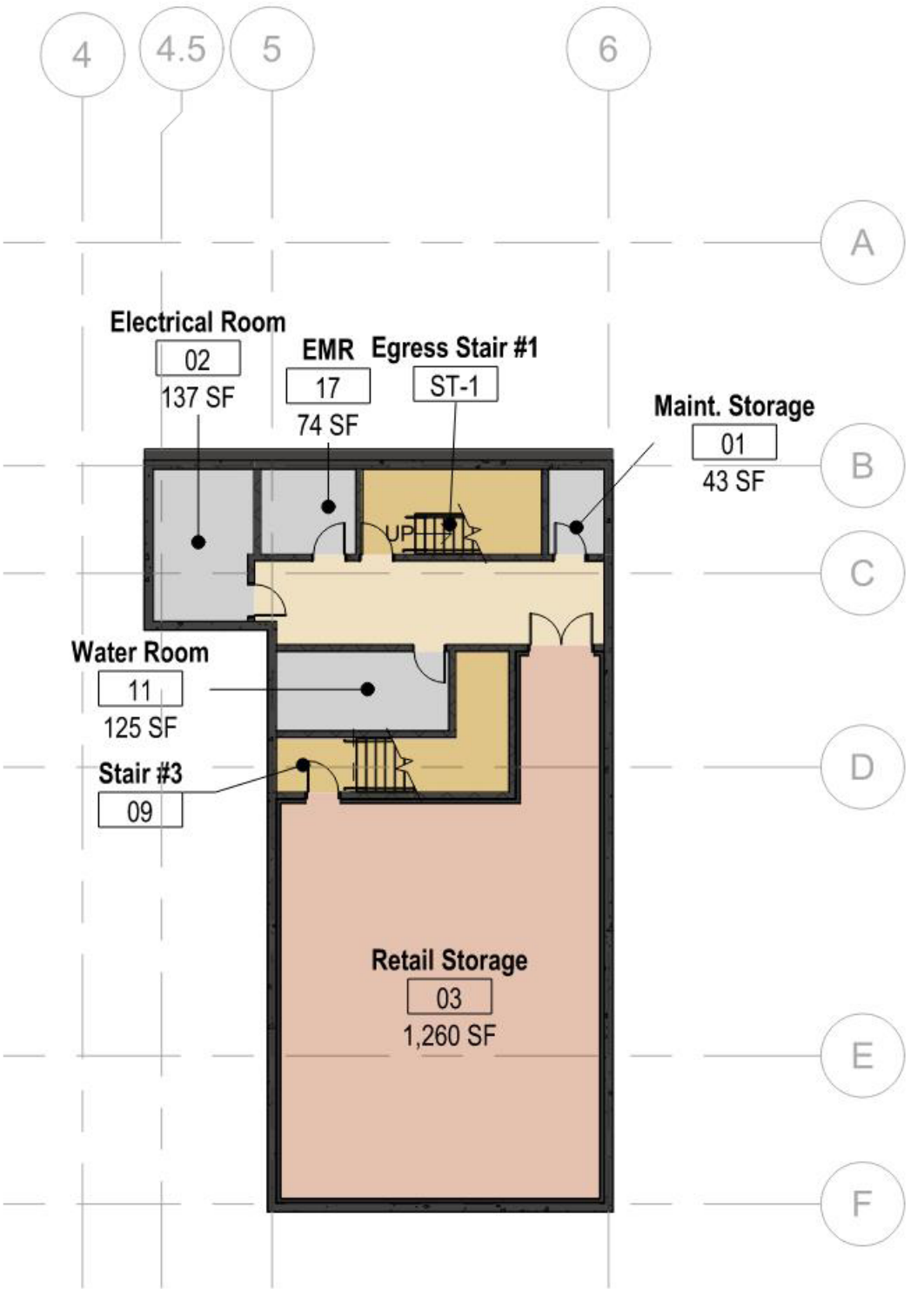








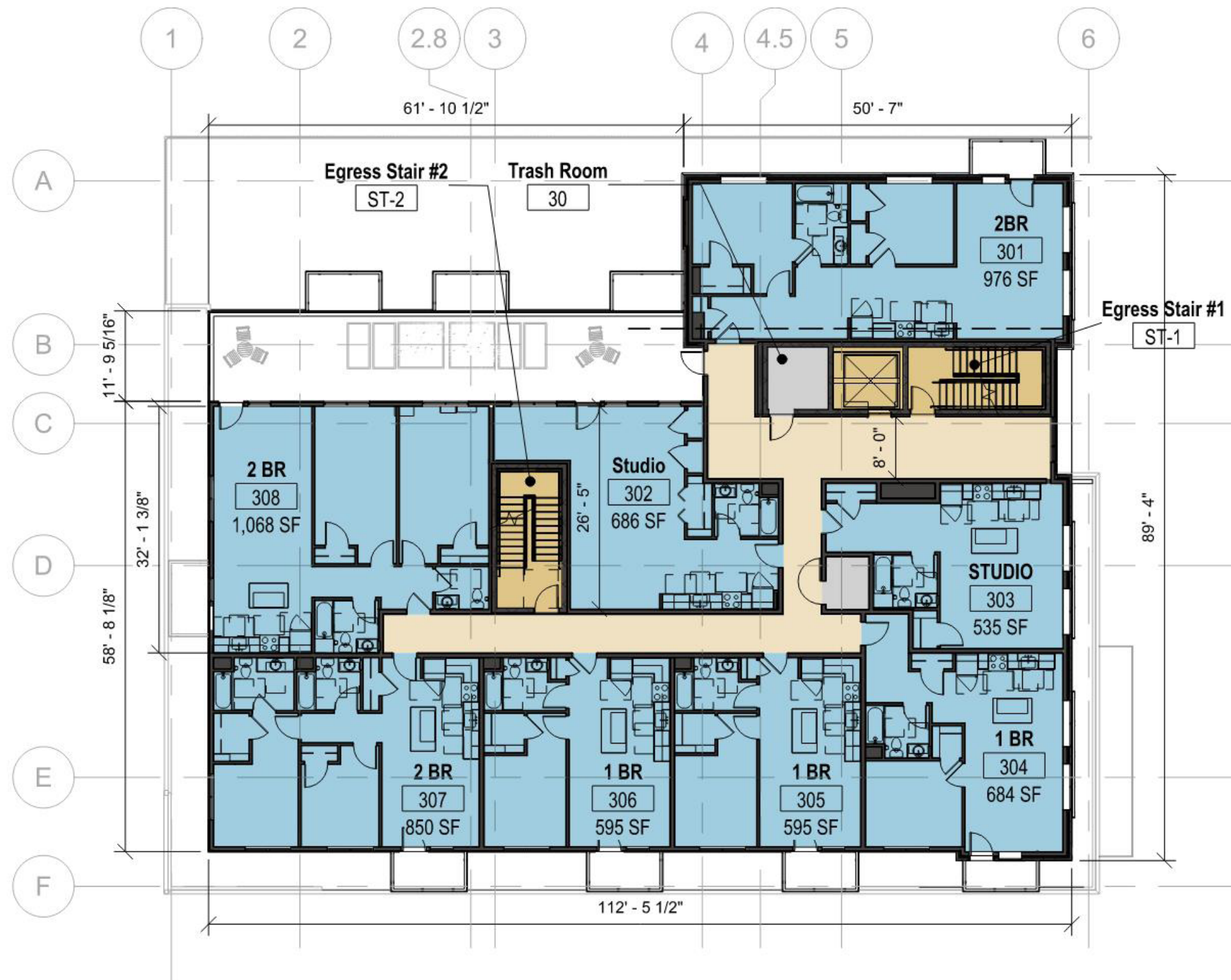
Parking Floor Plan



Basement Floor Plan

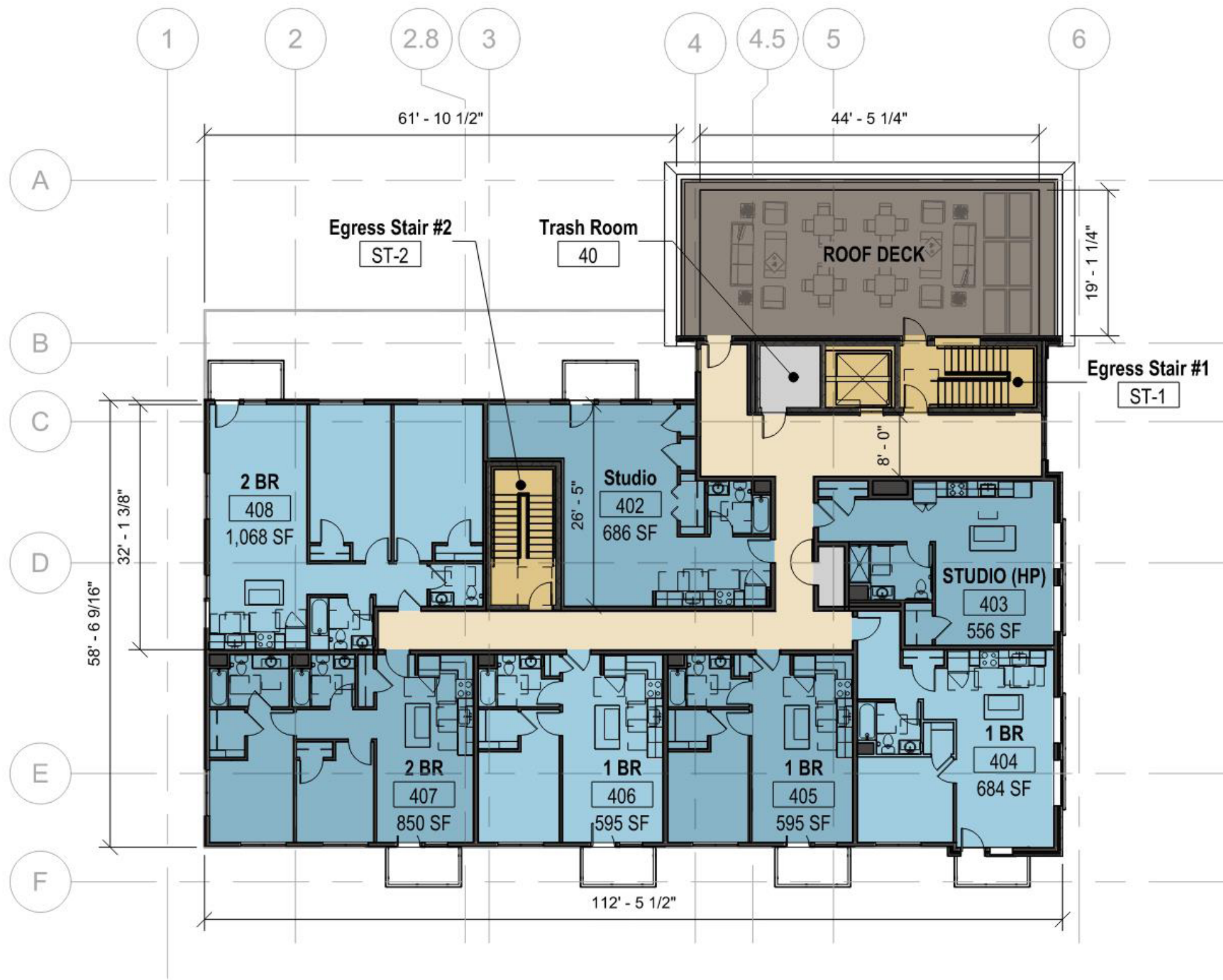






8,053 GSF





6,981 GSF





East Elevation



South Elevation



North Elevation



West Elevation



Walnut Street Elevation



East Elevation



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Aerial Perspective Looking West | Existing Conditions



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Aerial Perspective Looking West | Proposed Conditions

C.  ALANIAN 
REALTY CO. INC.



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Aerial Perspective Looking East | Proposed Conditions



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Aerial Perspective Looking East | Proposed Conditions



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Aerial Perspective Looking South | Existing Conditions



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Aerial Perspective Looking South | Proposed Conditions



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Rendered Perspective from Walnut Street

C.  MALANIAN 
REALTY CO. INC.



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Rendered Perspective from Walnut Street



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