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February 25, 2021

Ms. Nadia Khan Committee Clerk Newton City Council 1000 Commonwealth Avenue Newton, MA 02459-1449

Re: Petition of Newton Walnut LLC/1149-1151 Walnut Street/#319-20 and #320-20

Dear Nadia,

Enclosed please find the following materials in connection with the above referenced matter:

- 1. Transmittal letter to Councilor Lipof.
- 2. Revised engineering plans prepared by H.W. Moore Associates, dated October 12, 2020 and revised February 23, 2021, consisting of six sheets. These plans are conformed to the architectural plans as to guide plan and height.
- 3. Revised architectural plans prepared by The Architectural Team, Inc., dated February 22, 2021, consisting of eighteen sheets.

Please feel free to call me if you have any questions.

Very truly yours,

Alan J. Schlesinger

Enclosures

cc: John Daghlian, Associate City Engineer Neil Cronin, Chief Planner

1149-1151 WALNUT STREET

RESIDENTIAL DEVELOPMENT

GENERAL NOTES:

- 1. LOCATIONS AND ELEVATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE REFERENCED PLAN AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. HANCOCK ASSOCIATES ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY DEPARTMENT SHALL BE NOTIFIED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHALL BE VERIFIED IN THE FIELD. CALL THE DIG-SAFE CALL CENTER (888)344-7233, 72 HOLIES (3 WORKING DAYS) PRIOR TO FYCAVATION
- 2. ELEVATIONS REFER TO NEWTON CITY BASE. REFER TO REFERENCED SURVEY PREPARED BY EVERETT M. BROOKS CO. SURVEYORS FOR BENCHMARK INFORMATION.
- 3. ALL DISTURBANCES WITHIN THE PUBLIC WAY SHALL CONFORM TO CITY OF NEWTON STANDARDS.
- 4. IF EXISTING ABANDONED UTILITY LINES ARE ENCOUNTERED THEY SHALL BE CUT AND CAPPEL
- 5. ANY CONSTRUCTION DEWATERING SHALL EMPLOY MEASURES TO FILTER OUT SEDIMENT PRIOR TO ITS DISCHARGE AND SHALL CONFORM WIT CITY OF NEWTON REQUIREMENTS. CONTRACTOR TO SUBMIT A SKETCH OF THESE TO THE ENGINEER FOR APPROVAL.
- 6. CONSTRUCTION ACCESS DRIVES SHALL HAVE CRUSHED STONE TO MINIMIZE MUD FROM BEING TRACKED ONTO THE ROADWAYS. MUD TRACKED ONTO ROADWAYS SHALL BE SWEPT CLEAN.
- 7. CONTRACTOR TO EMPLOY MEASURES TO CONTROL DUST DURING CONSTRUCTION
- 8. REMOVE ALL EXISTING BITUMINOUS CONCRETE AND CEMENT CONCRETE FROM WITHIN THE LIMITS OF WORK. UNLESS OTHERWISE NOTED, ALL ITEMS WITHIN THE LIMITS OF WORK ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE
- 9. ALL ACCESSIBLE AREAS MUST COMPLY WITH MASSACHUSETTS ACCESS BOARD (MAAB) REGULATIONS.
- 10. RIM ELEVATIONS OF DRAINAGE AND SANITARY SEWER MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH. ADJUST ALL OTHER RIM ELEVATIONS OF EXISTING MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN LIMITS OF SITI
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROLS. COMPOST FILTER TUBE AND CATCH BASIN SILT SACKS SHALL BE INSTALLED PER PROJECT PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROLS UNTIL THE COMPLETION OF THE PROJECT. AT WHICH TIME THE SEDIMENT CONTROLS ARE TO BE REMOVED.
- 12. THE CONTRACTOR SHALL GIVE FORTY EIGHT (48) HOUR NOTICE TO PERTINENT CITY DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE
- 13. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM
- AND OTHER PRIVATE UTILITIES BY THE RESPECTIVE UTILITY COMPANIES, AS REQUIRED.

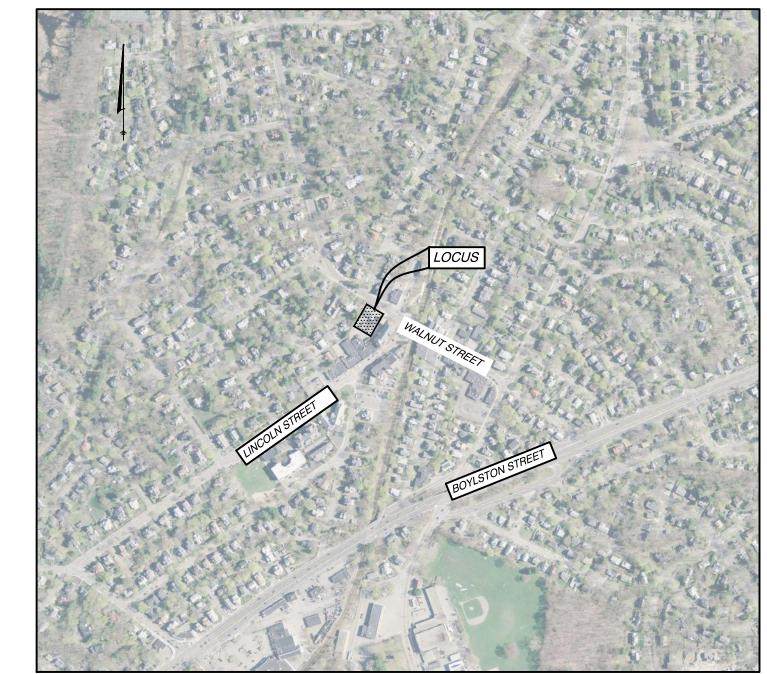
 14. ALL DRAIN PIPES SHALL BE SOLID HIGH DENSITY POLYETHELENE UNLESS NOTED OTHERWISE.
- 15. CONTRACTOR TO INSTALL ALL NECESSARY CONDUIT, WIRES AND HAND HOLES FOR NEW SITE LIGHTING.
- 16. A CLOSED CIRCUIT TELEVISION(CCTV) INSPECTION SHALL BE PERFORMED AND WITNESSED BY THE ENGINEERING DIVISION FOR PRE & POST CONSTRUCTION FROM THE CONNECTION POINT OF THE MANHOLE ON WALNUT STREET TOWARDS THE DOWNSTREAM MANHOLE OR OUTFALL
- 17. ONCE THE BUILDING PERMIT IS APPROVED, ENGINEERING WILL REQUIRE AN ON-SITE PRECONSTRUCTION MEETING TO REVIEW SCHEDULING AND SILTATION CONTROL
- 18. BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL AND PAPER FORMAT. THE PLAN SHALL SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND IMPROVEMENTS AND LIMITS OF RESTORATION. THE PLAN SHALL INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES INCLUDING BUT NOT LIMITED TO RIM & INVERT ELEVATIONS (CITY OF NEWTON DATUM), SLOPES OF PIPES, PIPE MATERIALS, AND SWING TIES FROM PERMANENT BUILDING CORNERS. THE AS-BUILT SHALL BE STAMPED BY BOTH A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR. ONCE THE AS BUILT PLAN IS RECEIVED THE ENGINEERING DIVISION SHALL PERFORM A FINAL SITE INSPECTION AND THEN MAKE A DETERMINATION TO ISSUE A CERTIFICATE OF OCCUPANCY
- 19. ALL SITE WORK INCLUDING TRENCH RESTORATION, SIDEWALK, CURB, APRON AND LOAM BORDER (WHERE APPLICABLE) SHALL BE COMPLETED
- 20. THE CONTRACTOR OF RECORD SHALL CONTACT THE NEWTON POLICE DEPARTMENT 48-HOURS IN ADVANCED AND ARRANGE FOR POLICE DETAIL TO HELP RESIDENTS AND COMMUTERS NAVIGATE AROUND THE CONSTRUCTION ZONE.
- 21. ALL TREE REMOVAL SHALL COMPLY WITH THE CITY'S TREE ORDINANCE.
- 22. IF ANY CHANGES FROM THE FINAL APPROVED DESIGN PLAN THAT ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR OF RECORD SHALL CONTACT THE DESIGN ENGINEER OF RECORD AND SUBMIT REVISED DESIGN AND STAMPED FULL SCALE PLANS FOR REVIEW
- AND APPROVAL PRIOR TO CONTINUING WITH CONSTRUCTION.

 23. ALL TRENCH EXCAVATION SHALL COMPLY WITH MASSACHUSETTS GENERAL LAW CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, AND OSHA STANDARDS TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES OR EXCAVATIONS. TRENCH EXCAVATION PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE
- 24. THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48-HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR HAS GIVEN THEIR APPROVAL.
- 25. BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY, AS BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL AND PAPER FORMAT. THE PLAN SHALL SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND IMPROVEMENTS AND LIMITS OF RESTORATION. THE PLAN SHALL INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES INCLUDING BUT LIMITED TO RIM & INVERT ELEVATIONS (CITY OF NEWTON DATUM), SLOPES OF PIPES, PIPE MATERIALS, AND SWING TIES FROM PERMANENT BUILDING CORNERS. THE AS BUILT SHALL BE STAMPED BY BOTH A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND LAND SURVEYOR, ONCE THE AS BUILT PLAN IS RECIEVED THE ENGINEERING DIVISION SHALL PERFORM A FINAL SITE INSPECTION AND THEN MAKE A DETERMINATION TO ISSUE A CERTIFICATE OF OCCUPANCY.
- 26. ALL SITE WORK INCLUDING TRENCH RESTORATION, SIDEWALK, CURB, APRON AND LOAM BORDER (WHERE APPLICABLE) SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
- 27. THE OWNERSHIP, OPERATION, AND MAINTENANCE OF THE PROPOSED DRAIANGE SYSTEM AND ALL APPURTENANCES INCLUDING BUT NOT LIMITED TO THE DRYWELLS, CATCH BASINS, TRENCH DRAINS, AND PIPES ARE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

PLAN REFERENC

- EXISTING CONDITIONS TAKEN FROM A DIGITAL FILE RECEIVED VIA EMAIL ON SEPTEMBER 11, 2020 NAMED "26018EMAIL20200416.DWG" OF A PLAN TITLED "PLAN OF LAND IN NEWTON, MA, 1149-1151 WALNUT STREET". PLAN DATED APRIL 16, 2020 AND LAST REVISED ON MAY 26, 2020. PLAN WAS PREPARED BY EVERETT M. BROOKS CO.
- . PROPOSED BUILDING TAKEN FROM A DIGITAL FILE RECEIVED VIA EMAIL ON SEPTEMBER 11, 2020 NAMED "BASEMENT AND PARKING PLAN.DWG". PLAN WAS PREPARED BY THE ARCHITECTURAL PLAN INC. OF CHELSEA. MA.
- EXISTING SEWER AND DRAIN LINE INFORMATION TAKEN FROM TWON RECORD PLANS TITLED "PLAN AND PROFILE FOR WALNUT STREET SEWER," DATED JULY 1896, AND "PLAN AND PROFILE OF

DRAIN IN WALNUT STREET." DATED JULY 1892.



 $\frac{LOCUS\ MAP}{SCALE: 1" - 500'}$

	ZONING DIMENSION	NAL TABLE		
-	ZONE: BU-2			
]	DEED REFERENCE: BOOK 73412 P	AGE 421		
,	AVERAGE FRONT SETBACK = (10.	0' + 3.2') / 2 = 6.6'		
	REQUIRED	EXISTING	PROPOSED	
LOT AREA	10,000 S.F.	13,200 S.F.	13,200 S.F.	
LOT COVERAGE	N/A	37.5%	77.9%	
OPEN SPACE	N/A	4.3%	8.7%	
FRONT SETBACK	GREATER OF 15' or ½ BLDG HT.* or AVERAGE - (6.6')	35.9'	10.0'	
SIDE SETBACK	2.3'	0.5'	0.0'	
REAR SETBACK	0'	1.5'	0.4'	
BUILDING HEIGHT	48' MAX	18.3	44'-0" *	
FLOOR AREA RATIO	1.00 (MAX.)	0.37	2.0	
NO. OF STORIES	2 STORIES MAX. —PERMITTED 4 STORIES MAX. —SPECIAL PERMIT	1	4	
PARKING REQUIREMENTS				
	ZONE MU-4			
RESIDENTIAL PARKING SPACES	2 PER UNIT X 25 UNITS (50)	N/A	22+1 ADA	
RETAIL PARKING SPACES	1 PER 300 S.F. + 1 PER 3 EMPLOYEES (6)	N/A		
ACCESSIBLE PARKING	1 SPACE (VAN)	N/A	1 SPACE (VAN	
TOTAL PARKING	57 SPACES	15 SPACES	23 SPACES	

ZONING COMPLIANCE DETERMINED BY THE CITY OF NEWTON AREAS FOR PROPOSED F.A.R. CALCULATION PROVIDED BY ARCHITECT *TOP OF ROOF STRUCTURE

SHEET INDEX

SHEET C-1	COVER SHEET
SHEET C-2	SITE PREPARATION & EROSION CONTROL PLAN
SHEET C-3	LAYOUT PLAN
SHEET C-4	GRADING AND DRAINAGE PLAN
SHEET C-5	DETAILS PLAN
SHFFT C-6	DETAILS PLAN

COURD CHERT

SHEET EX-1..... EXISTING CONDITIONS PLAN (BY OTHERS)

APPLICANT

TALANIAN REALTY CO 137 NEWBURY STREET BOSTON, MA 02116

OWNER TALANIAN REALTY CO 137 NEWBURY STREET BOSTON, MA 02116

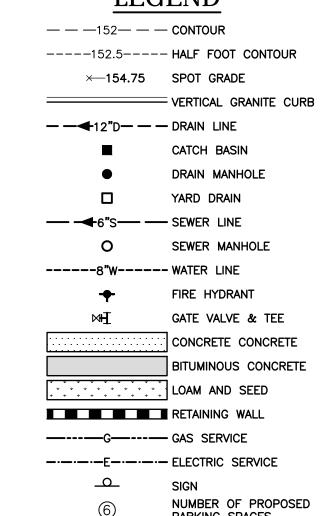
H. W. MOORE ASSOCIATES 121 EAST BERKELEY ST. BOSTON, MA 02118

CIVIL ENGINEER

<u>S</u> EVERE

SURVEYOR
EVERETT M. BROOKS CO.
49 LEXINGTON STREET
WEST NEWTON, MA 02465

LEGEND



CHECKED BY: FK APPROVED BY: AD	DRAWN BY: DW	DESIGNED BY: AD
	CHECKED BY: FK	APPROVED BY: AD

REVISIONS				
4	2/23/21	UPDATED BUILDING LAYOUT		
3	2/2/21	NUMBER OF UNITS REDUCED		
2	12/07/20	AVERAGE GRADE CALCULATION		
1	11/13/20	REVISED LAYOUT/ ENGINEERING COMMENTS		
ISSUE	DATE	DESCRIPTION		



DATE: 10/12/2020

SHEET C-1

SCALE:

1149-1151 WALNUT STREET

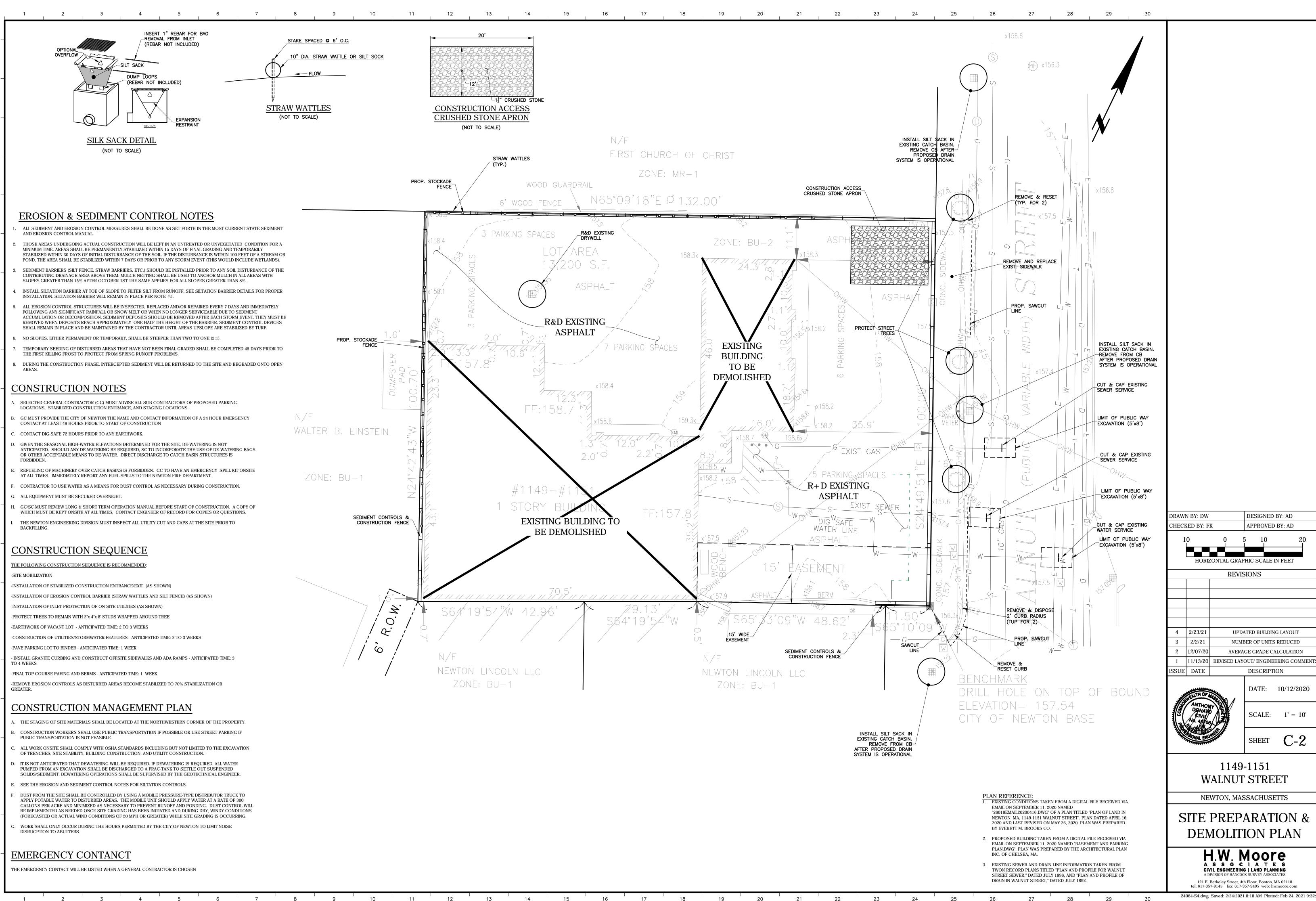
NEWTON, MASSACHUSETTS

COVER SHEET

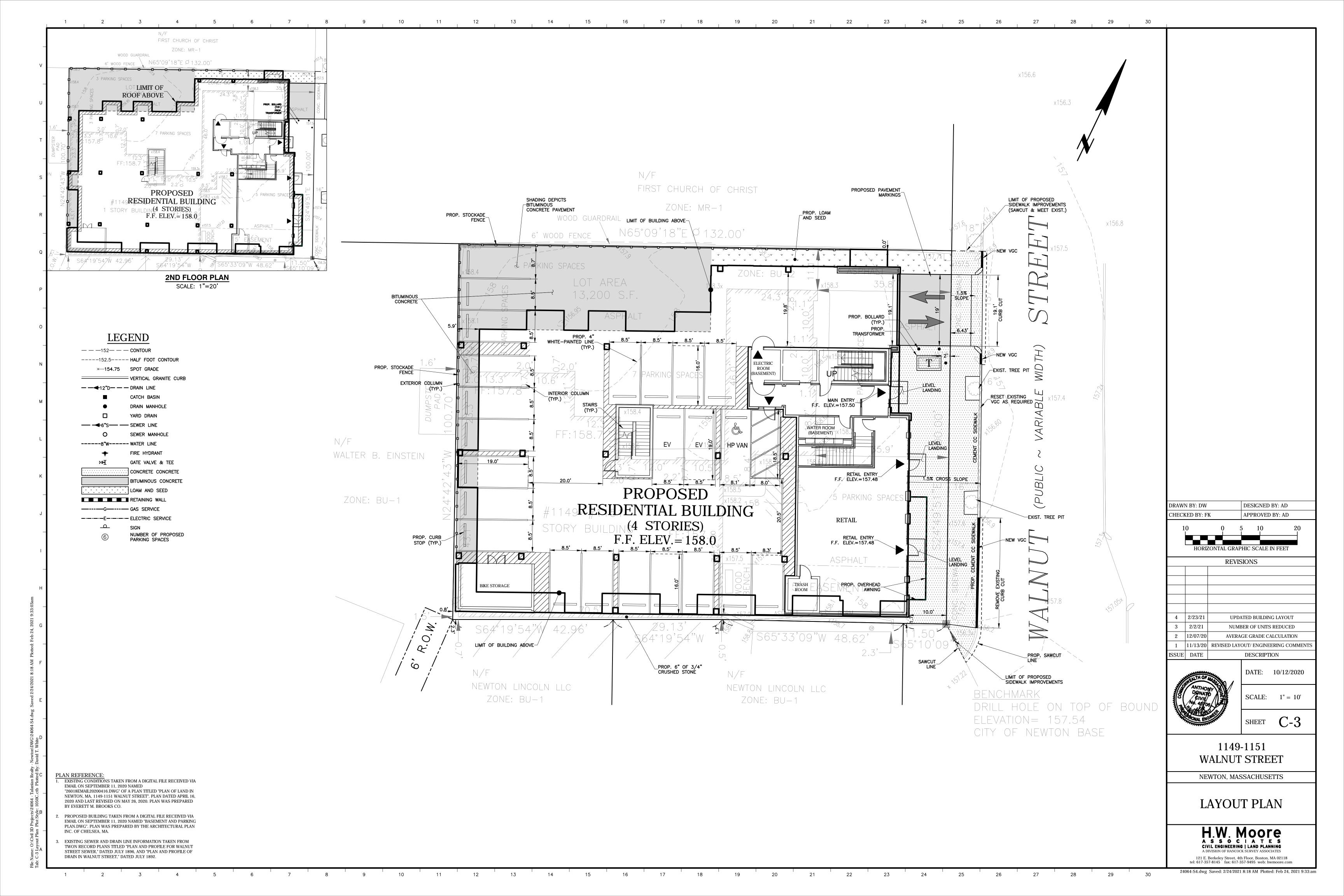
H.W. MOOFE
A S S O C | A T E S
CIVIL ENGINEERING | LAND PLANNING
A DIVISION OF HANCOCK SURVEY ASSOCIATES

121 E. Berkeley Street, 4th Floor, Boston, MA 02118

tel: 617-357-8145 fax: 617-357-9495 web: hwmoore.com 24064-S4.dwg Saved: 2/24/2021 8:18 AM Plotted: Feb 24, 2021 9:32:am



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UTILITY NOTES:

- 1. EXISTING WATER AND SEWER SERVICES TO BUILDING(S) SHALL CUT AND CAPPED AT THE RESPECTIVE MAINS AND COMPLETELY REMOVED FROM THE MAIN(S) AND ITS ENTIRE LENGTH AND PROPERLY BACKFILLED. THE NEWTON ENGINEERING DIVISION MUST INSPECT AND APPROVE THIS WORK
- 2. ALL NEW SEWER SERVICE(S) SHALL BE PRESSURE TESTED IN ACCORDANCE TO THE CITY CONSTRUCTION SPECIFICATIONS & STANDARDS AND INSPECTED VIA CLOSED CIRCUIT TELEVISION CCTV INSPECTION AFTER INSTALLATION IS COMPLETED. A COPY OF THE VIDEO INSPECTION AND WRITTEN REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER OR HIS REPRESENTATIVE.
- 3. ALL SANITARY SEWER MANHOLE(S) SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS, THE SEWER SERVICE AND MANHOLE WILL NOT BE ACCEPTED UNTIL THE MANHOLE(S) PASS THE TESTING REQUIREMENTS. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING
- 4. FIRE FLOW TESTING IS REQUIRED FOR THE PROPOSED FIRE SUPPRESSION SYSTEM. THE APPLICANT MUST COORDINATE THE FIRE FLOW TEST WITH BOTH THE NEWTON FIRE DEPARTMENT AND THE UTILITIES DIVISION, REPRESENTATIVE OF EACH DEPARTMENT SHALL WITNESS THE TESTING
- ALL TRENCH EXCAVATION SHALL COMPLY WITH MASSACHUSETTS GENERAL LAW CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, AND OSHA STANDARDS TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES OR EXCAVATIONS. TRENCH EXCAVATION PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- 6. THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48-HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACKFILLING SHALL ONLY TAKE PLACE WHEN THE CITY ENGINEER'S INSPECTOR HAS GIVEN THEIR APPROVAL.
- 7. IF ANY CHANGES FROM THE FINAL APPROVED DESIGN PLAN THAT ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR OF RECORD SHALL CONTACT THE DESIGN ENGINEER OF RECORD AND SUBMIT REVISED DESIGN AND STAMPED FULL SCALE PLANS FOR REVIEW AND APPROVAL PRIOR TO CONTINUING WITH
- WITH THE EXCEPTION OF NATURAL GAS SERVICE(S), ALL UTILITY TRENCHES WITHIN THE RIGHT OF WAY SHALL BE BACKFILLED WITH CONTROL DENSITY FILL (CDF) EXCAVATABLE TYPE I-E UP TO WITHIN 18- INCHES OF THE ASPHALT BINDER LEVEL, AFTER WHICH DENSE GRADE GRAVEL COMPACTED TO 95 % PROCTOR TESTING SHALL BE PLACED OVER THE CDF. DETAILS OF THIS REQUIREMENT IS THE ENGINEERING DIVISION WEBSITE "STANDARD CONSTRUCTION DETAILS"
- CITY CONSTRUCTION STANDARDS & SPECIFICATIONS PRIOR TO COMING ONLINE. THESE TESTS MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION.

9. ALL WATER SERVICES SHALL BE CHLORINATED, AND PRESSURE TESTED IN ACCORDANCE TO THE AWWA AND THE

- 11. ALL SEWER PIPE ONSITE TO BE SDR 35 PVC PIPE.
- 12. FINAL LOCATION AND SIZE OF PROPOSED TRANSFORMER TO BE DETERMINED BY ELECTRIC SERVICE PROVIDER

LEGEND — — —152— — — **CONTOUR** ----152.5---- HALF FOOT CONTOUR \times 154.75 SPOT GRADE VERTICAL GRANITE CURB — — 12"D— — — DRAIN LINE CATCH BASIN YARD DRAIN — ←6"S— SEWER LINE SEWER MANHOLE ----8"W----- WATER LINE FIRE HYDRANT GATE VALVE & TEE CONCRETE CONCRETE BITUMINOUS CONCRETE LOAM AND SEED RETAINING WALL

NUMBER OF PROPOSED

PARKING SPACES

EXIST. SMH R=156.94_ 1147.31(8") x156.6 R=157.13_ I=149.43(12") PROP. INFILTRATION SYSTEM S1 THREE 4x4x4 PRECAST CONCRETE GALLEYS ELEV.=150.70(GALLEYS) ELEV.=150.20(STONE) R=157.9 TEE CONNECTION I=153.80(12"IN/OUT) I=153.10(12") PROP. AC TRENCH DRAIN PROP. WQD CB B-1 WITH ACO CATCH BASIN A-1-STORMCEPTOR 450i MODEL R=157.50 R = 157.4I = 153.90PROP. DMH A PROP. DMH E PROP. STOCKADE R=157.65 -R=158.2 I=153.20(12") l=153.70 HATCHED AREA I=154.70(ROOF LEADER) IS OPEN ABOVE I=153.70(6") CONNECT ROOF LEADER ~157.50 (EXIST.) —(MATCH EXIST. \ _TC:157.40 TO DRAIN 157.70 BC:156.90 GRADE) CONNECT TO EXIST. (EXIST.) DRAIN LINE _I=153.00(12" PROP. IN) I=149.38±(12" EXIST. LINE -156.90 TO BE DETERMINED IN FIELD) PROP. ACO TRENCH DRAIN CATCH BASIN B-2 R=158.1 GNED BY PLUMBING-10. ALL DRAINAGE PIPE ONSITE TO BE HIGH DENSITY POLYETHYLENE (HDPE), DRAINAGE PIPE WITHIN RIGHT OF WAY TO PROP 12" RCP WITHIN ROW I=155.10ENGINEER (EXIST.) 6"HDPE PROP. BOLLARD PROP. ELECTRIC -SERVICE BY PROVIDER W/ TRANSFORMER PROP. TRANSFORMER 157.8 (EXIST.) -GARAGE AWAY FROM<mark>-</mark> ∸157.50/ HIGH POINT 157.40∹ ELECTRIC PROP. STOCKADE ITERIOR GARAGE GRADING AND ROOM DRAINAGE TO BE DESIGNED BY FENCE (BASEMENT) SLOPE NOT TO GARAGE DRAINAGE TO BE EXCEED 2% IN ANY CONNECTED TO SEWER PER DIRECTION IN HP-LUMBING CODE. SPACE OR ACCESS TAPPING SLEEVE MAIN ENTRY -GATE VALVE AND BOX -157.33 BC:156.75 F.F. ELEV.=157.50 GARAGE DRAINAGE TO BE DESIGNED Y PLUMBING ENGÍNEER SAWCUT LINE TAPPING SLEEVE -GATE VALVE AND BOX WATER ROOM ----(BASEMENT) ROOF LEADER COMNECTION HP VAN BC:156.60 T PROP. CLEANOUT 4" CLDI (CLASS 52) EXTERIOR COLUMN 157.40 TC:157.20 SAWCUT LINE SAWCUT LINE EXIST. CATCH BASIN WATER SERVICE FIRE SERVICE RETAIL ENTRY F.F./ ELEV.=157.48 PROP. GAS SERVICE 6" SEWER_ BY PROVIDER PROPOSED PROP. ACO TRENCH DRAIN SEWER CONNECTION l=147.00(6"IN) RESIDENTIAL BUILDING \bot I=146.85±(8" EXIST. MAIN) 157.69 **RETAIL** STORY BUILDIN (4 STORIES) *ூ*TC:157.40[∏] BC:156.90 F.F. ELEV. = 158.0RETAIL ENTRY F.F. DE(EV. €1/57.48 ASPHALT BC:156.68 INTERIOR COLUMN BIKE STORAGE ROOM TC:156.98 CH EXIST. GRADE) 0. BC:156.30 Q. SAWCUT LIMIT OF REMOVE & RESET ROOF ABOVE NEWTON LINCOLN LLC NEWTON LINCOLN LLC ZONE: BU-1ZONE: BU-1 I=146.11(8") ELEVATION = 157.54 CITY OF NEWTON BASE

PLAN REFERENCE:

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DRAWN BY: DW DESIGNED BY: AD CHECKED BY: FK APPROVED BY: AD HORIZONTAL GRAPHIC SCALE IN FEET

UPDATED BUILDING LAYOUT 3 2/2/21 NUMBER OF UNITS REDUCED 2 | 12/07/20 | AVERAGE GRADE CALCULATION 1 | 11/13/20 | REVISED LAYOUT/ ENGINEERING COMMENTS ISSUE DATE DESCRIPTION

REVISIONS



DATE: 10/12/2020

SCALE: 1'' = 10'SHEET C-4

1149-1151

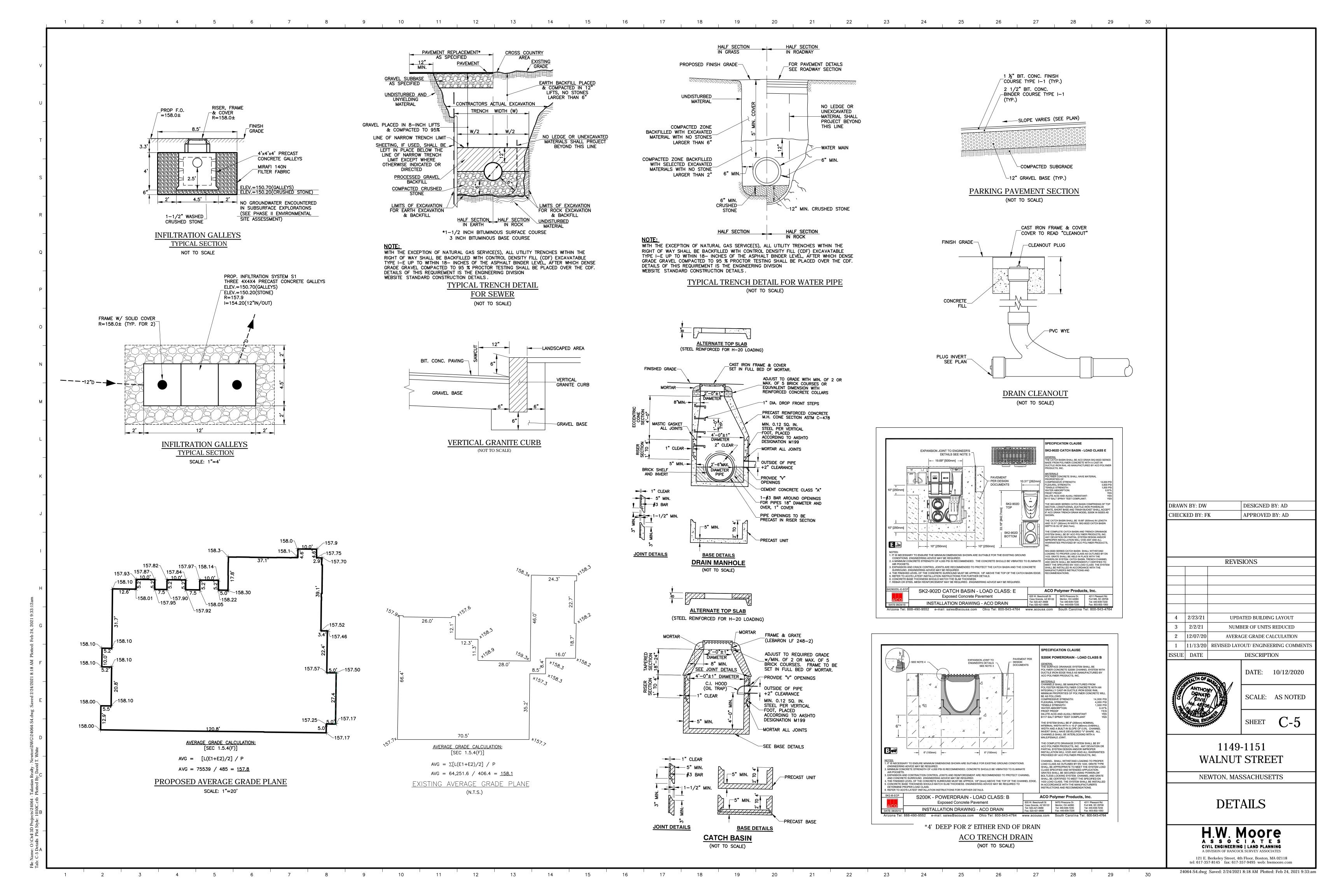
WALNUT STREET

NEWTON, MASSACHUSETTS

GRADING AND UTILITY PLAN

> H.W. Moore CIVIL ENGINEERING | LAND PLANNING 121 E. Berkeley Street, 4th Floor, Boston, MA 02118

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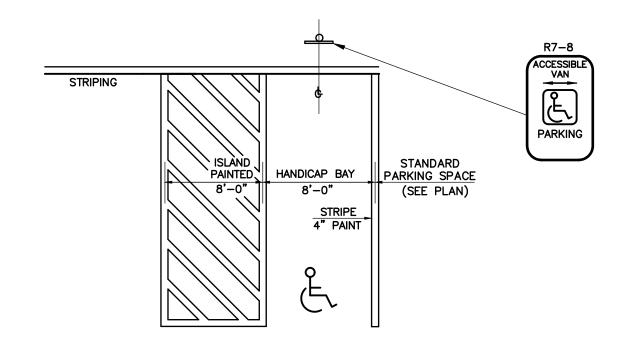
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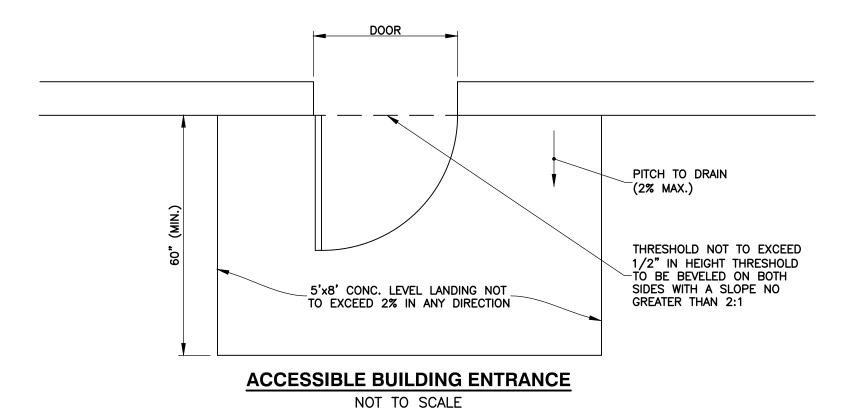
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21

12 13 14



NOTE: R7-8 SIGNS SHALL BE MOUNTED AT A HEIGHT OF NO LESS THAN 5 FEET AND NOT MORE THAN 8 FEET TO THE TOP OF THE SIGN. BELOW DOUBLE ARROW AT BOTTOM. ADA REQUIREMENTS: WALKS SHALL NOT EXCEED 5% SLOPE. 2. WALKS CROSS SLOPE SHALL NOT EXCEED 2%. 3. SLOPE AT HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. LAYOUT PLAN TYPICAL HANDICAP PARKING (NOT TO SCALE)



ACCESSIBILITY NOTES GENERAL NOTES

22 23

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

2. IT IS ESSENTIAL THAT CONTRACTORS BE AWARE OF THE ACCESSIBILITY REQUIREMENTS. THESE NOTES AND DETAILS ARE INTENDED TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE TIME WHEN THEY ARE BIDDING THE PROJECT. IF SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY. BEFORE MOVING FORWARD WITH THE WORK.

3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS WHETHER BY HW MOORE ASSOCIATES OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).

4. AAB REGULATIONS DO NOT ALLOW ANY TOLERANCE ON SLOPE REQUIREMENTS AND THE MAXIMUM SLOPES LISTED BELOW CAN NOT BE EXCEEDED.

5. IT IS RECOMMENDED THAT THE CONTRACTOR USE A 2-FOOT DIGITAL LEVEL TO VERIFY SLOPES PRIOR TO PLACING THE FINSHED SURFACE. IT IS FURTHER RECOMMENDED THAT FORMS BE CHECKED PRIOR TO PLACING CONCRETE OR ASPHALT.

6. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

7. IF A CURB CUT RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP. OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED

ACCESSIBILITY NOTES

(CONT.)

RAMP FLARES SHALL NOT EXCEED 10%. IF THE CLEAR LENGTH OF THE SPACES MAY SHARE A COMMON BLUE. LANDING IS LESS THAN FORTY-EIGHT (48) INCHES THAN THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 8.33%.

SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES ANY FLARED SIDES.

10. CURB CUT RAMPS SHALL BE LOCATED OR PROTECTED TO 7. SURFACES OF PARKING SPACES ACCESSIBLE ROUTE AND NOT PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.

CURB CUT RAMP.

UPSTREAM OF CURB RAMPS AND ROUTES SERVING THEM SHALL NOT IN THE RAMP AREA. 14. CURB CUT RAMP TYPE AND

ACCESSIBLE PARKING SPACES:

SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF SPACE SHALL BE PROVIDED WITH TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.

1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; RESISTANT. AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY THEY SERVE.

ACCESSIBLE ROUTE NOTES:

2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS. ACCESSIBLE FACILITIES. ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON RAMPS: THE SAME SITE. INDICATING THE ROUTE TO THE

INACCESSIBLE

WALKS, LANDINGS, GUTTERS OR SHALL BE 2.0%. STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE).

5. SLOPES OF THE MANEUVERING CLEARANCE AT DOORS ON 4. THE MAXIMUM RISE FOR ANY ACCESSIBLE ROUTES CANNOT RAMP RUN SHALL BE 30 INCHES. EXCEED 2% IN ANY DIRECTION FOR FROM THE FACE OF THE DOOR.

BE LESS THAN 48 INCHES, EXCLUDING CURB STONES.

MINIMUM OF 36 INCHES CLEAR, UNOBSTRUCTED PATH OF TRAVEL PAST ALL OBSTRUCTIONS. (I.E. UTILITY POLES, SIGNS, FIRE INCHES MINIMUM. HYDRANTS, ETC.)

SLOPE OF 2.0%.

SIDEWALKS, THERE SHALL BE A LEVEL LANDING WITH NO SLOPE GREATER THAN 2% IN ANY DIRECTION.

5. ANY WALKING SURFACE WITH A RUNNING SLOPE GREATER THAN

5.0% IS CONSIDERED A RAMP AND 8. HANDRAILS COMPLYING WITH GUIDELINES FOR RAMPS OR CURB ALONG BOTH SIDES OF RAMP. CUT RAMPS.

6. ACCESSIBLE ROUTE SURFACES

7. IF CATCH BASINS OR OTHER GRATINGS ARE LOCATED WITHIN A ACCESSIBLE ROUTE, THEN AN ADA GRATE SHALL BE USED WITH SPACES NO GREATER THAN 1/2 INCH WIDE IN THE DIRECTION OF TRAVEL.

BUILDING

25 26

1. ANY PART OF AN ACCESSIBLE UP TO 15 FEET IN LENGTH. 3. DIRECTIONAL SIGNAGE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE NEAREST ACCESSIBLE BUILDING CONSIDERED A RAMP OR A CURB ENTRANCE SHALL BE PROVIDED AT CUT RAMP.

FOR A RAMP SHALL BE 8.33% AND 4. TRANSITIONS BETWEEN RAMPS, THE MAXIMUM CROSS SLOPE CURB CUT RAMPS TO WALKS,

> MEASURED BETWEEN THE HANDRAILS.

A DEPTH OF SIXTY (60) INCHES 5. LANDINGS SHALL BE PROVIDED RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST 1. WIDTH OF WALKWAYS SHALL NOT AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. SIXTY (60) INCHES LONG MINIMUM. 2. WALKWAYS SHALL PROVIDE A RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY(60) INCHES BY SIXTY (60)

6. EDGE PROTECTION COMPLYING 3. WALKING SURFACES SHALL HAVE WITH AAB REQUIREMENTS SHALL A MAXIMUM RUNNING SLOPE OF BE PROVIDED ON EACH SIDE OF 5.0% AND A MAXIMUM CROSS RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.

4. AT THE INTERSECTION OF TWO 7. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING. CLEARANCES REQUIRED BY 521 CMR FIGURES 26d AND 26e SHALL BE COMPLIED WITH.

SHALL COMPLY WITH THE 521 CMR 24.5 MUST BE PROVIDED

CURB CUT RAMPS:

SHALL BE STABLE, FIRM AND SLIP 1. CURB CUT RAMPS ARE REQUIRED AT THE CORNER OF EACH INTERSECTION AND WHERE A PEDESTRIAN PATH OF TRAVEL CROSSES A ROAD, DRIVEWAY OR OTHER VEHICULAR WAY.

2. THE MAXIMUM RUNNING SLOPE OF A CURB CUT RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS

SLOPE SHALL BE 2.0%.

3. CURB CUT RAMPS MAY EXTEND

4. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB CUT RAMP SHALL NOT BE 2. THE MAXIMUM RUNNING SLOPE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.

3. THE CLEAR WIDTH OF A RAMP SHALL BE 48 INCHES MINIMUM AS 5. THE MINIMUM CLEAR WIDTH OF A CURB CUT RAMP SHALL BE 36 INCHES, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.

6. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB CUT RAMPS. THE CLEAR LENGTH OF THE AT THE TOP AND BOTTOM OF LANDING SHALL BE 48 INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB CUT RAMP. EXCLUDING FLARED SIDES. LEADING TO THE LANDING. THE LANDINGS SHALL HAVE A SLOPE LANDING CLEAR LENGTH SHALL BE NOT STEEPER THAN 2% IN ANY DIRECTION.

CURB CUT RAMPS (CONT.) MARKINGS.

8. WHERE PROVIDED, CURB CUT

9. CURB CUT RAMPS AND THE OR PARKING ACCESS AISLES. EITHER SIDE OF THE PARKING SHALL PROVIDE A CLEARLY MARKED INTERNATIONAL SYMBOL OF CURBS AT MARKED CROSSINGS SPACE EXCEPT FOR ANGLED VAN ACCESS AISLE THAT IS 5 FEET WIDE SHALL BE WHOLLY CONTAINED PARKING SPACES WHICH SHALL MINIMUM AND EXTENDS THE FULL WITHIN THE MARKINGS, EXCLUDING HAVE ACCESS AISLES LOCATED ON LENGTH OF THE VEHICLE PULL-UP

TWENTY-FOUR (24) INCH DEEP PARKING SPACES THEY SERVE. DETECTABLE WARNING PANEL COMPLYING WITH ADA, EXTENDING 8. PARKING SPACES AND ACCESS ANY DIRECTION. ACCESS AISLES DETAILS AND NOTES FOR 2.0% IN ANY DIRECTIONS. PLACEMENT.

13. WHERE PROVIDED, DRAINAGE 10. PARKING SPACES FOR VANS AND 6. VEHICLE PULL-UP SPACES,

LOCATION ARE SHOWN ON PLAN.

1. ACCESSIBLE PARKING SPACES

2. ACCESSIBLE PARKING SPACES MEANS OF DIAGONAL STRIPES. ACCESSIBLE ENTRANCE SHALL BE A AND ACCESS AISLES SHALL BE AT SIGNS SHALL BE INSTALLED AT A PAVED WALK OR RAMP WITH A SLIP LEAST 8 FEET WIDE. WHERE CLEAR HEIGHT OF BETWEEN 5 FEET RESISTANT

PARKING SPACES AND ACCESS TO THE BOTTOM OF THE SIGN AND 8 UNINTERRUPTED BY STEPS. AISLES ARE MARKED WITH LINES, FEET TO THE TOP OF THE SIGN AND

BE PART OF AN ACCESSIBLE ROUTE INSTALLED WITH BOLLARD DIRECTION. TO THE BUILDING OR FACILITY PROTECTION. ENTRANCE AND SHALL COMPLY

ACCESS AISLE. 5. ACCESS AISLES SHALL EXTEND PASSENGER LOADING ZONES:

THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.

OVERLAP THE VEHICULAR WAY. 20 FEET LONG MINIMUM. ACCESS AISLES SHALL BE THE PASSENGER SIDE OF THE SPACE THEY SERVE. PARKING SPACES.

AND ACCESS AISLES SERVING THEM OVERLAP THE VEHICULAR WAY. SHALL BE STABLE. FIRM AND SLIP 11. CURB CUT RAMPS SHALL HAVE A BE AT THE SAME LEVEL AS THE ACCESS AISLES SERVING THEM

THE FULL WIDTH OF THE RAMP. AISLES SHALL BE LEVEL WITH SHALL BE AT THE SAME LEVEL AS REFER TO DETECTABLE WARNING SURFACE SLOPES NOT EXCEEDING THE VEHICLE PULL-UP SPACE THEY

SHALL BE LOCATED IN ADVANCE OF CLEAR WIDTH OF AN ACCESSIBLE

ENTRANCES TO PARKING FACILITIES VEHICULAR EXIT SERVING THEM, INFORMING DRIVERS OF SHALL PROVIDE A VERTICAL CLEARANCES AND THE LOCATION CLEARANCE OF 8 FEET 2 INCHES OF VAN ACCESSIBLE PARKING (8'-2")MINIMUM.

SIGNAGE DISPLAYING THE 1. ALL PUBLIC ENTRANCES SHALL BE INTERNATIONAL SYMBOL OF ACCESSIBLE. ACCESSIBILITY. EACH ACCESS AISLE

WITH PROVISIONS FOR ACCESSIBLE 12. ACCESSIBLE PARKING SPACE, EXTEND A MINIMUM OF 18 INCHES ACCESS AISLE STRIPING, AND WIDER THAN THE LATCH ON THE INTERNATIONAL SYMBOL OF PULL SIDE OF THE DOOR. 4. TWO (2) ACCESSIBLE PARKING ACCESSIBILITY SHALL BE PAINTED

VEHICLES BEING PARKED SHALL BE

1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP FLARED SIDES OF CURB CUT RAMPS 6. ACCESS AISLES SHALL NOT SPACE 8 FEET WIDE MINIMUM AND ENTRANCES TO HAVE SIGNAGE

PERMITTED TO BE PLACED ON 2. PASSENGER LOADING ZONES SIGNAGE SHALL HAVE THE

3. ACCESS AISLE SHALL ADJOIN AN RESISTANT. ACCESS AISLES SHALL 4. VEHICLE PULL-UP SPACES AND AND A MAXIMUM CROSS SLOPE OF

9. PARKED VEHICLE OVERHANGS 5. SURFACES OF VEHICLE PULL-UP 12. WHERE PROVIDED, STOP LINES SHALL NOT REDUCE THE REQUIRED SPACES AND ACCESS AISLES

SERVING THEM SHALL BE STABLE.

SHALL BE LEVEL WITH SURFACE

SLOPES NOT EXCEEDING 2.0% IN

FIRM AND SLIP RESISTANT. INLETS SHALL BE LOCATED ACCESS AISLES AND VEHICULAR ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN PROVIDE A VERTICAL CLEARANCE OF ENTRANCE TO THE PASSENGER 8 FEET 2 INCHES (8'-2") MINIMUM. LOADING ZONE, AND FROM THE SIGNS SHALL BE PROVIDED AT PASSENGER LOADING ZONE TO A

11. EACH ACCESSIBLE PARKING <u>BUILDING ENTRANCES</u>:

SHALL BE CLEARLY MARKED BY 2. THE APPROACH TO AN

THE WIDTH MEASUREMENTS SHALL SHALL NOT INTERFERE WITH AN 3. THE EXTERIOR LANDING AT THE BE MADE FROM CENTERLINE OF THE ACCESSIBLE ROUTE FROM AN ENTRANCE DOOR SHALL HAVE A ACCESS AISLE. SIGNS LOCATED LEVEL LANDING MEASURING AT WHERE THEY MAY BE HIT BY LEAST 5 FEET BY 5 FEET AND SHALL NOT SLOPE MORE THAN 2% IN ANY

4. THE LEVEL LANDING SHALL

1. SIGNS TO CONFORM WITH AAB RULES & REGULATIONS. 2. NON-ACCESSIBLE BUILDING

NEAREST ENTRANCE. DIRECTIONAL ACCESSIBILITY.

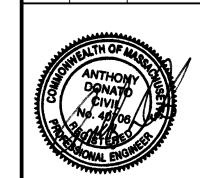
1. CROSS WALKS ARE PART OF THE

ACCESSIBLE ROUTE. 2. CROSS WALKS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5%

DRAWN BY: DW	DESIGNED BY: AD
CHECKED BY: FK	APPROVED BY: AD

REVISIONS 4 2/23/21 UPDATED BUILDING LAYOUT 3 2/2/21 NUMBER OF UNITS REDUCED 2 | 12/07/20 | AVERAGE GRADE CALCULATION

1 | 11/13/20 | REVISED LAYOUT/ ENGINEERING COMMENT



ISSUE DATE

DATE: 10/12/2020

SCALE: AS NOTED

DESCRIPTION

SHEET

WALNUT STREET NEWTON, MASSACHUSETTS

1149-1151

DETAILS

H.W. Moore CIVIL ENGINEERING | LAND PLANNING

tel: 617-357-8145 fax: 617-357-9495 web: hwmoore.com 24064-S4.dwg Saved: 2/24/2021 8:18 AM Plotted: Feb 24, 2021 9:33:am

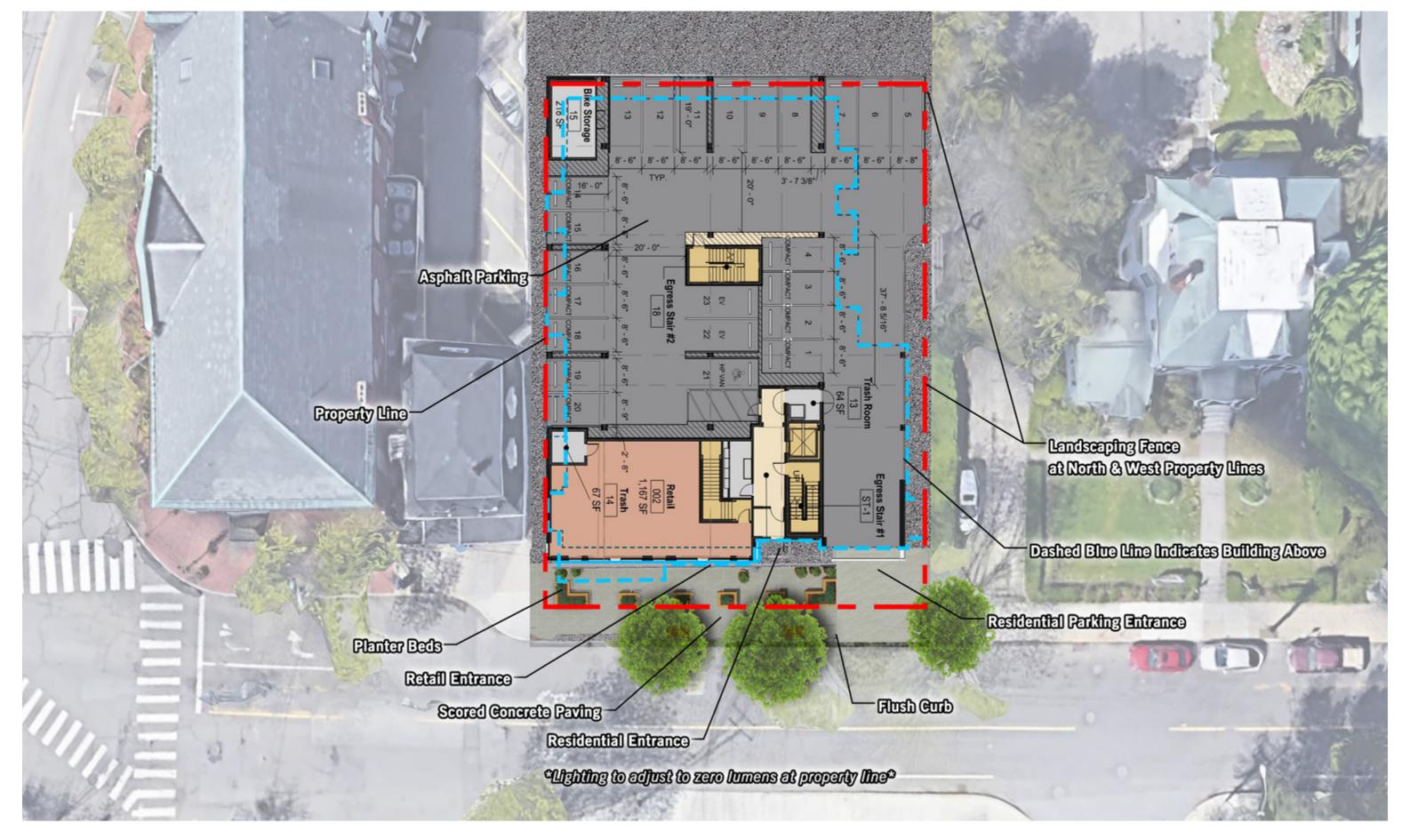
121 E. Berkelev Street, 4th Floor, Boston, MA 02118





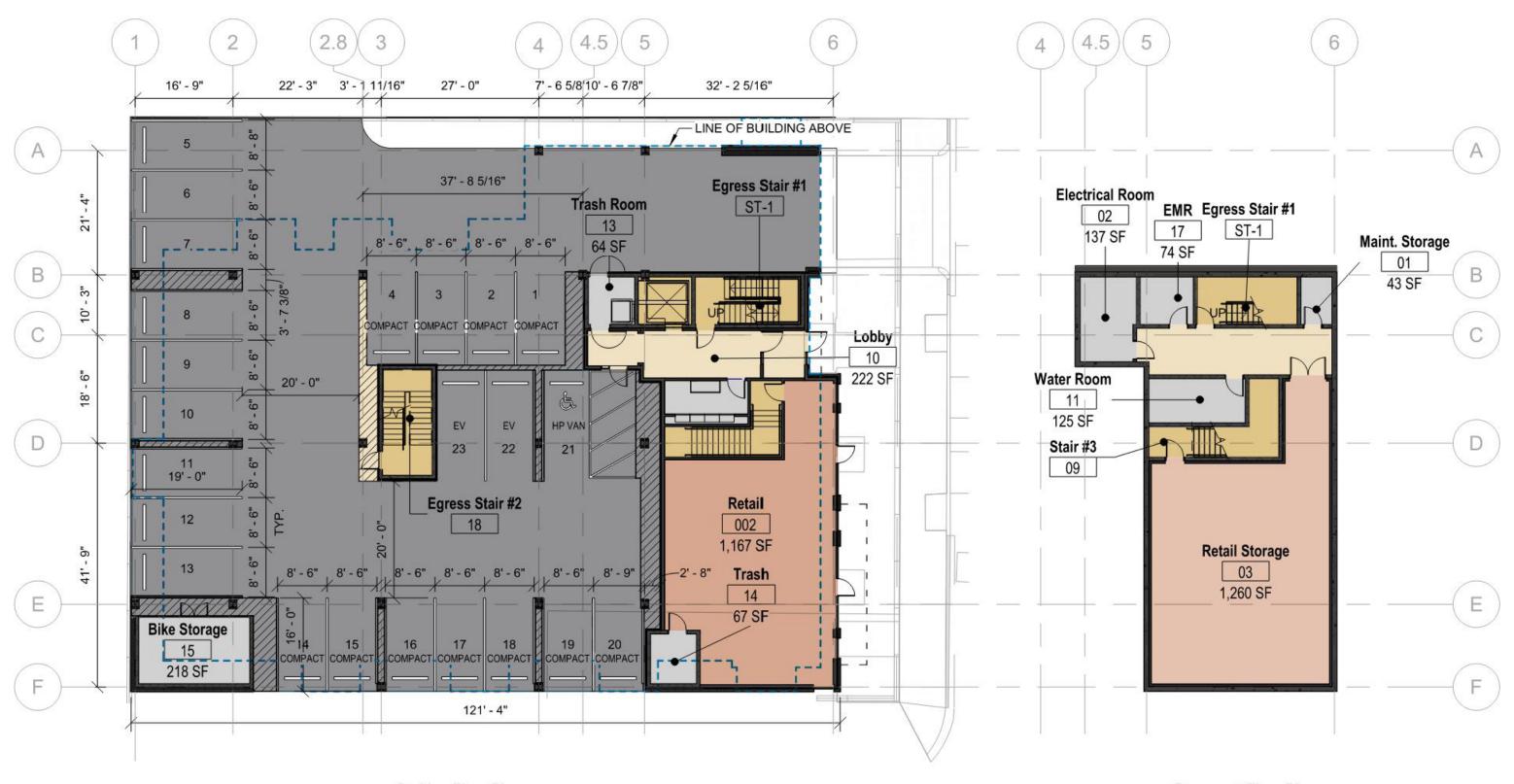












Parking Floor Plan

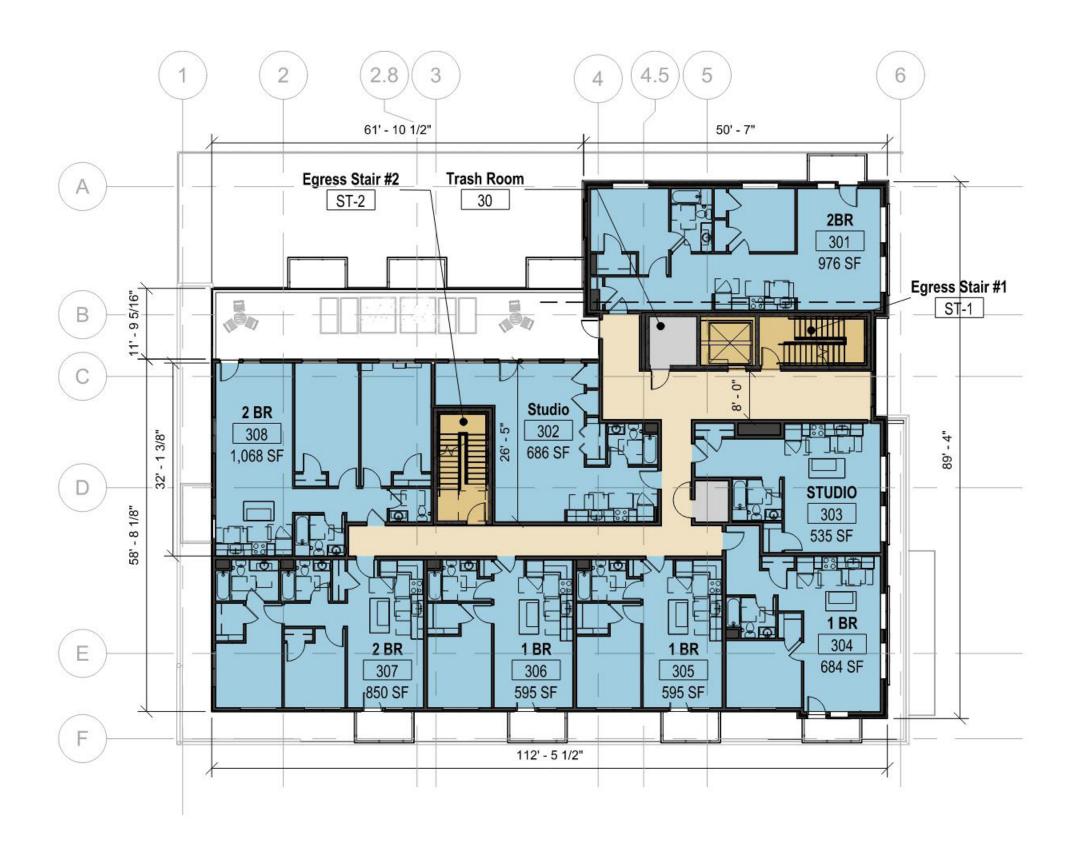
Basement Floor Plan



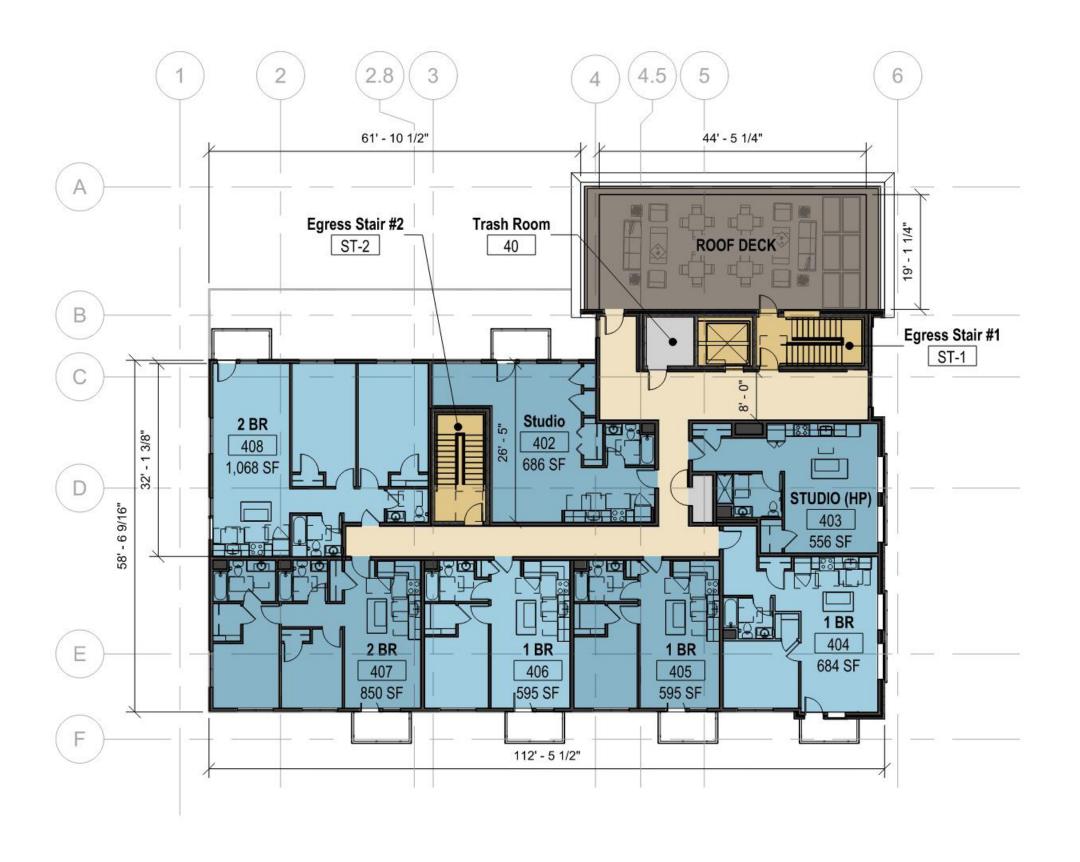








1149-1151 Walnut Street







East Elevation South Elevation





North Elevation West Elevation



Walnut Street Elevation



East Elevation



















