

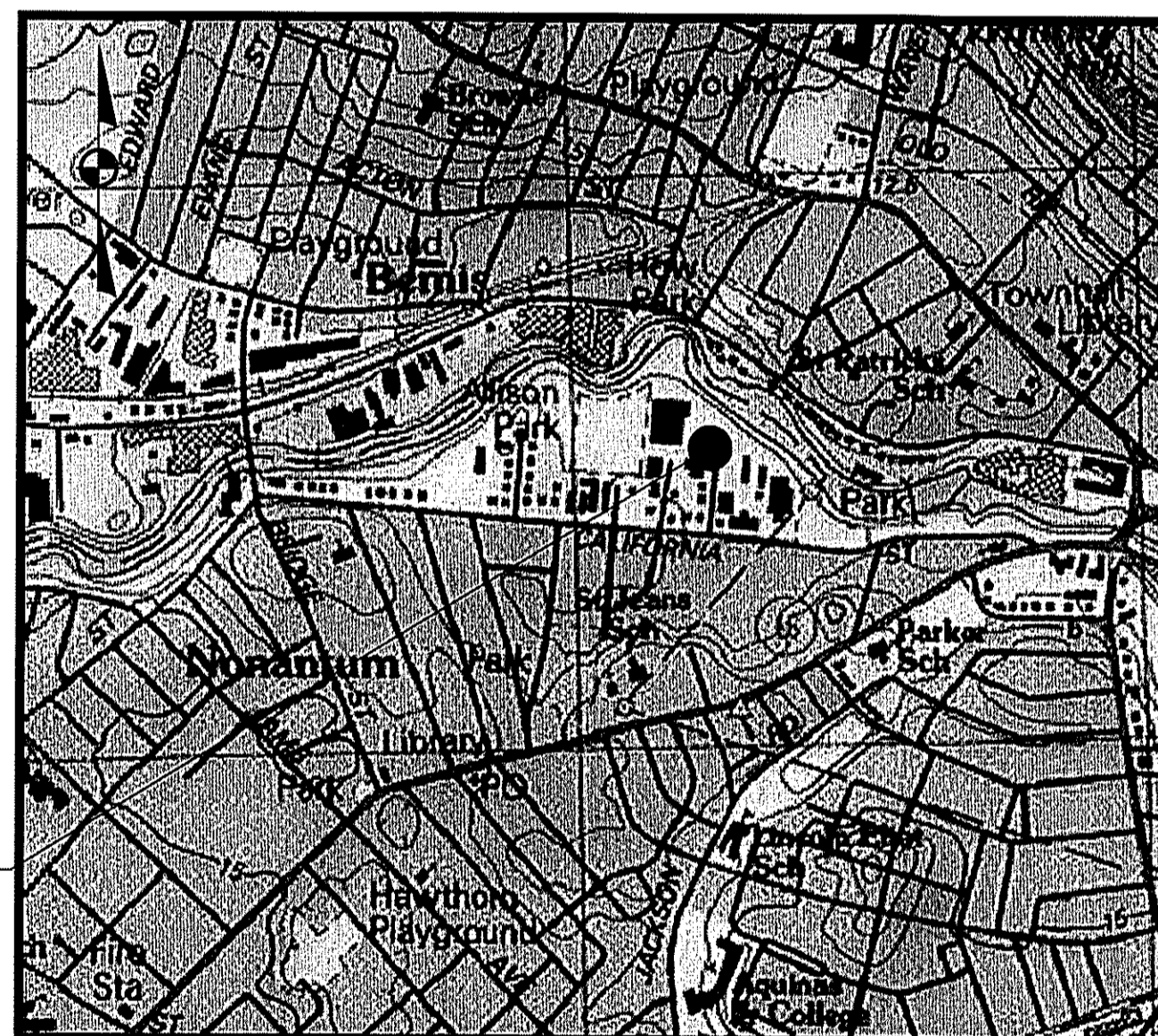
Notice of Intent Approval Documents

February 22, 2021
Rev.1 March 10, 2021

Proposed Development

30 Riverdale Avenue
Newton, Massachusetts 02459

PROJECT SITE



SCALE: 1"=1000' ±

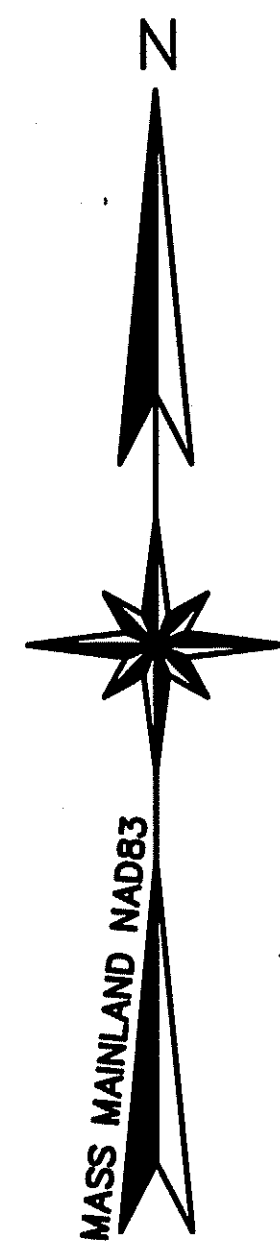
Applicant:
28-30 Riverdale LLC
31 Whitmore Road
Newton, MA 02465
Owner:
28-30 Riverdale LLC
31 Whitmore Road
Newton, MA 02465
Civil Engineer:
McCarty Engineering, Inc.
42 Jungle Road
Leominster, MA 01453
(978) 534-1318

Surveyor:
Tauper Land Survey, Inc.
25 Sutton Avenue
Oxford, MA 01540
(508) 987-2266

Architect:
Goldman Reindorf Architects, Inc. (GRA)
427 Watertown Street
Newton, MA 02458
(617) 467-3119

Sheet No.	Sheet Title
	Cover Sheet
1	Existing Conditions Plan
2	Existing Condition & Demolition Plan
3	Layout & Materials Plan
4	Grading, Drainage & Utility Plan
5	Landscape Plan
6	Construction Details
7	Construction Details
8	Stormtech Detail Sheet





ZONING DISTRICT: MANUFACTURING (MAN)

MINIMUM AREA: 10,000 SF
 MINIMUM FRONTAGE: -
 MINIMUM SET BACK:
 FRONT: GREATER OF 15' OR 1/2 BLDG. HT. OR AVERAGE
 SIDE: GREATER OF 1/2 BLDG. HT. OR 20' ABUTTING RESIDENTIAL OR PUBLIC USE DISTRICT
 REAR: GREATER OF 1/2 BLDG. HT. OR 20' ABUTTING RESIDENTIAL OR PUBLIC USE DISTRICT
 MAXIMUM HEIGHT: 24' (2 STORIES) 36' (3 STORIES)
 SEE NEWTON ZONING REGULATION 4.3.3

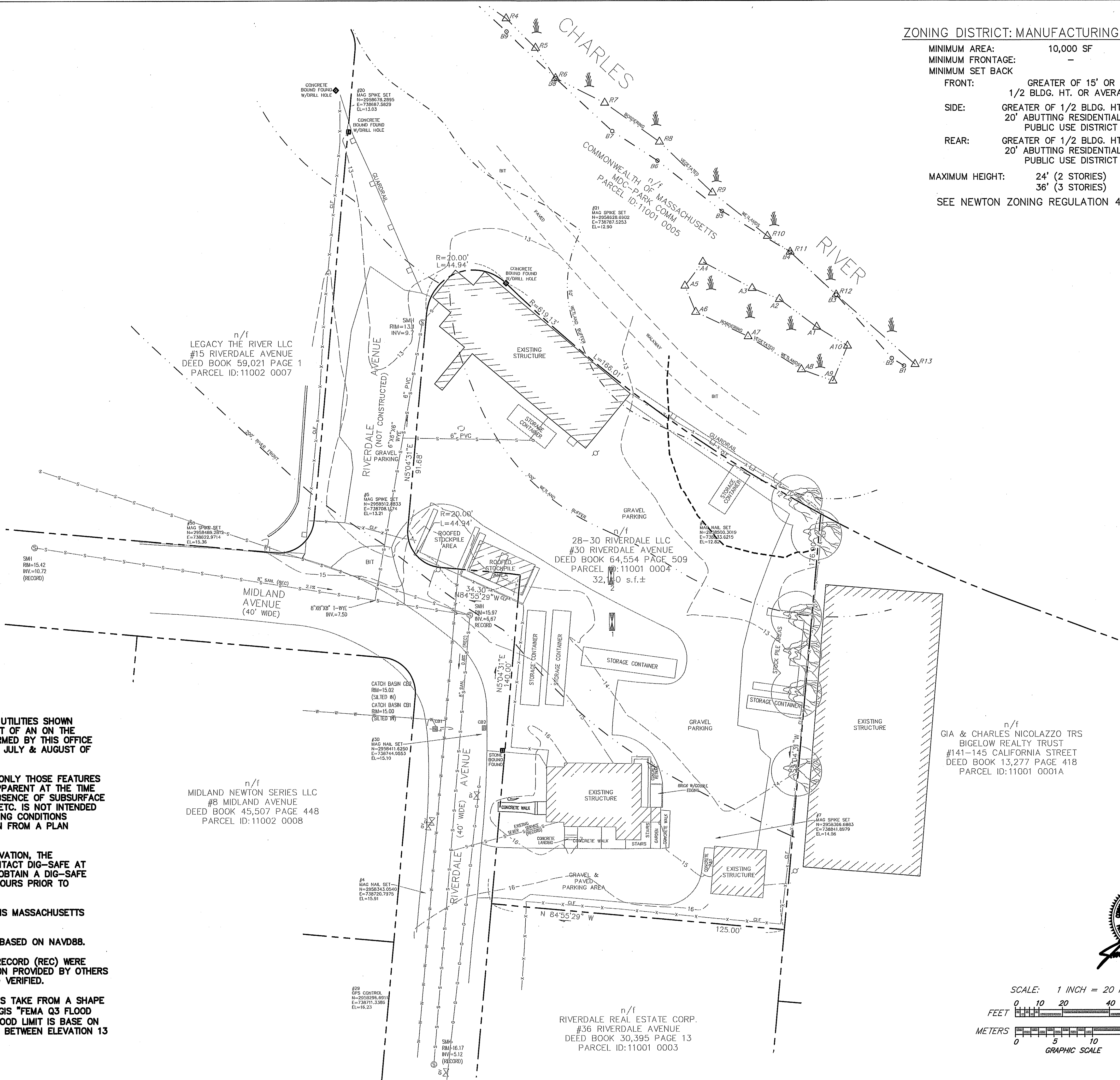
LEGEND

●	IRON PIPE FOUND
○	DRILL HOLE FOUND
■	STONE OR CONCRETE MONUMENTS
⊙	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊖	ELECTRIC MANHOLE
⊗	TELEPHONE MANHOLE
⊘	WATER MANHOLE
⊙	UNDETERMINED MANHOLE
⊙	CATCH BASIN
⊙	CLEANOUT
⊙	MONITORING WELL
⊙	ANCHOR
⊙	UTILITY POLE
⊙	WATER GATE VALVE
⊙	WATER SHUT OFF
⊙	HYDRANT
⊙	BENCHMARK
⊙	GAS VALVE
⊙	SIGN
⊙	LIGHT POLE / LAMP POST
⊙	SPOT LIGHT
⊙	FLAG POLE
⊙	MAILBOX (MBX)
⊙	BOLLARD
⊙	SHRUBS, BUSHES, ETC.
⊙	DECIDUOUS TREE
⊙	CONIFEROUS TREE
⊙	WETLAND FLAG
⊙	RIVER BANK FLAG
⊙	BOULDER
⊙	VERTICAL GRANITE CURBING
⊙	CONCRETE CURBING
⊙	CAPE COD BERM (BITUMINOUS)
⊙	BITUMINOUS CURBING (GENERIC)
⊙	SLOPED GRANITE CURBING
⊙	ELECTRIC LINE
⊙	SEWER LINE
⊙	DRAIN LINE
⊙	WATER LINE
⊙	GAS LINE
⊙	TELEPHONE LINE
⊙	OVERHEAD WIRES
⊙	CABLE TELEVISION
⊙	STONEWALL
⊙	EDGE OF PAVEMENT
⊙	FENCING (AS NOTED)
⊙	GUARD RAILING (AS NOTED)
⊙	TREE LINE
⊙	EDGE OF LANDSCAPING
⊙	BORDERING VEGETATED WETLANDS

OWNER:
 28-30 RIVERDALE LLC
 30 RIVERDALE AVENUE
 NEWTON, MA
 DEED BOOK 64,554 PG. 509
 ASSESSORS PARCEL ID: 11001 0004

PLAN NOTES:

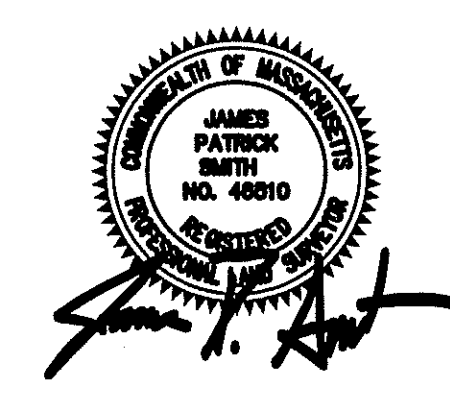
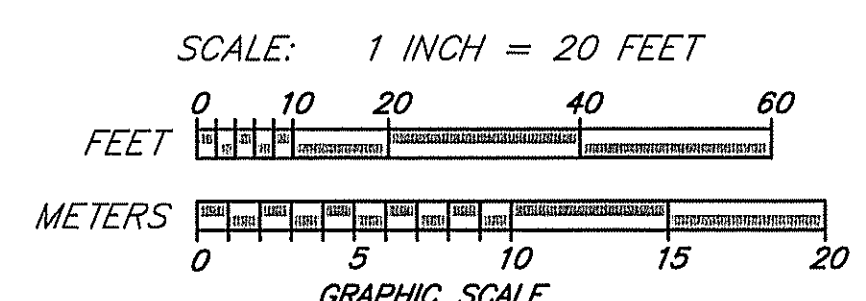
- 1.) THE ABOVE GROUND UTILITIES SHOWN HEREON ARE THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JULY & AUGUST OF 2018.
- 2.) THIS PLAN DEPICTS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT AT THE TIME OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED. SOME EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A PLAN PROVIDED TO US.
- 3.) PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-344-7233 AND OBTAIN A DIG-SAFE NUMBER AT LEAST 72 HOURS PRIOR TO INITIATING WORK.
- 4.) HORIZONTAL DATUM IS MASSACHUSETTS STATE PLANE NAD83.
- 5.) VERTICAL DATUM IS BASED ON NAVD88.
- 6.) ITEMS LABELED AS RECORD (REC) WERE TAKEN FROM INFORMATION PROVIDED BY OTHERS AND NEEDS TO BE FIELD VERIFIED.
- 7.) FLOOD LINE SHOWN IS TAKE FROM A SHAPE FILE PROVIDE BY MASS GIS "FEMA Q3 FLOOD ZONES". THE ACTUAL FLOOD LIMIT IS BASE ON AN ELEVATION GRADIENT BETWEEN ELEVATION 13 AND 12 ON SITE.



n/f
 GIA & CHARLES NICOLAZZO TRS
 BIGELOW REALTY TRUST
 #141-145 CALIFORNIA STREET
 DEED BOOK 13,277 PAGE 418
 PARCEL ID: 11001 0001A

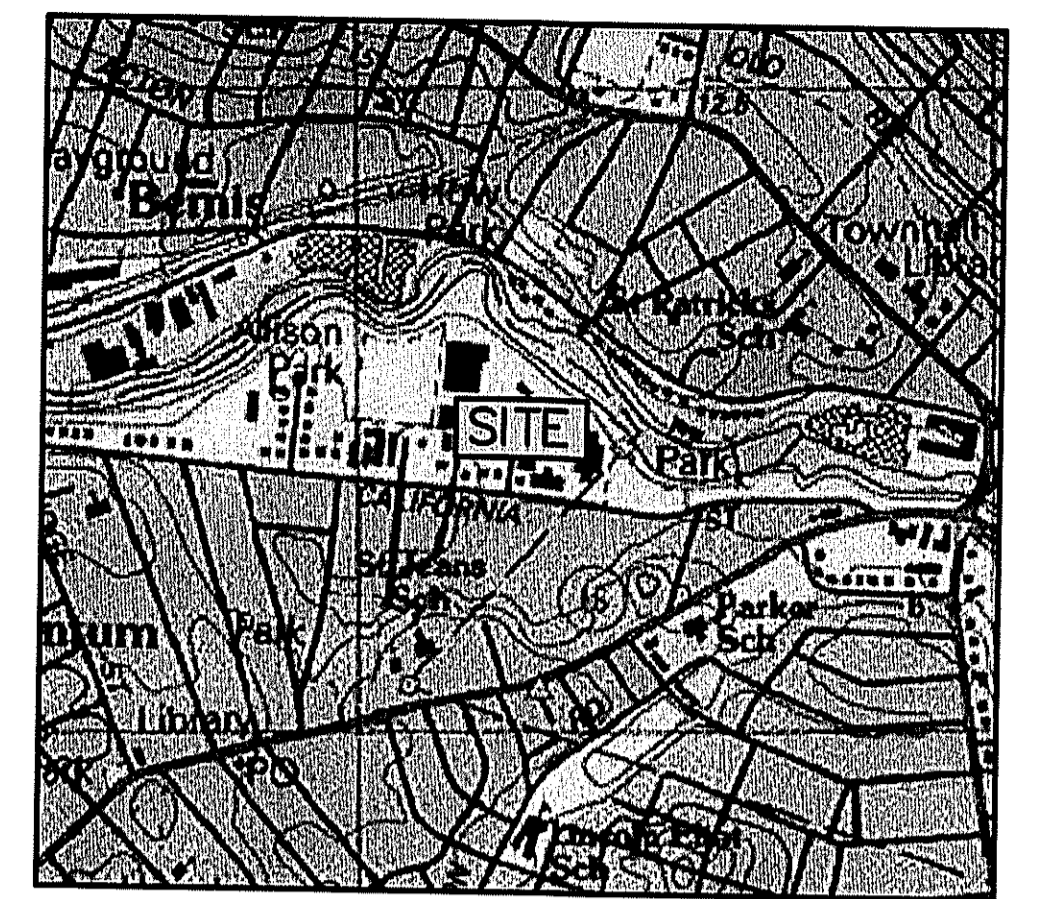
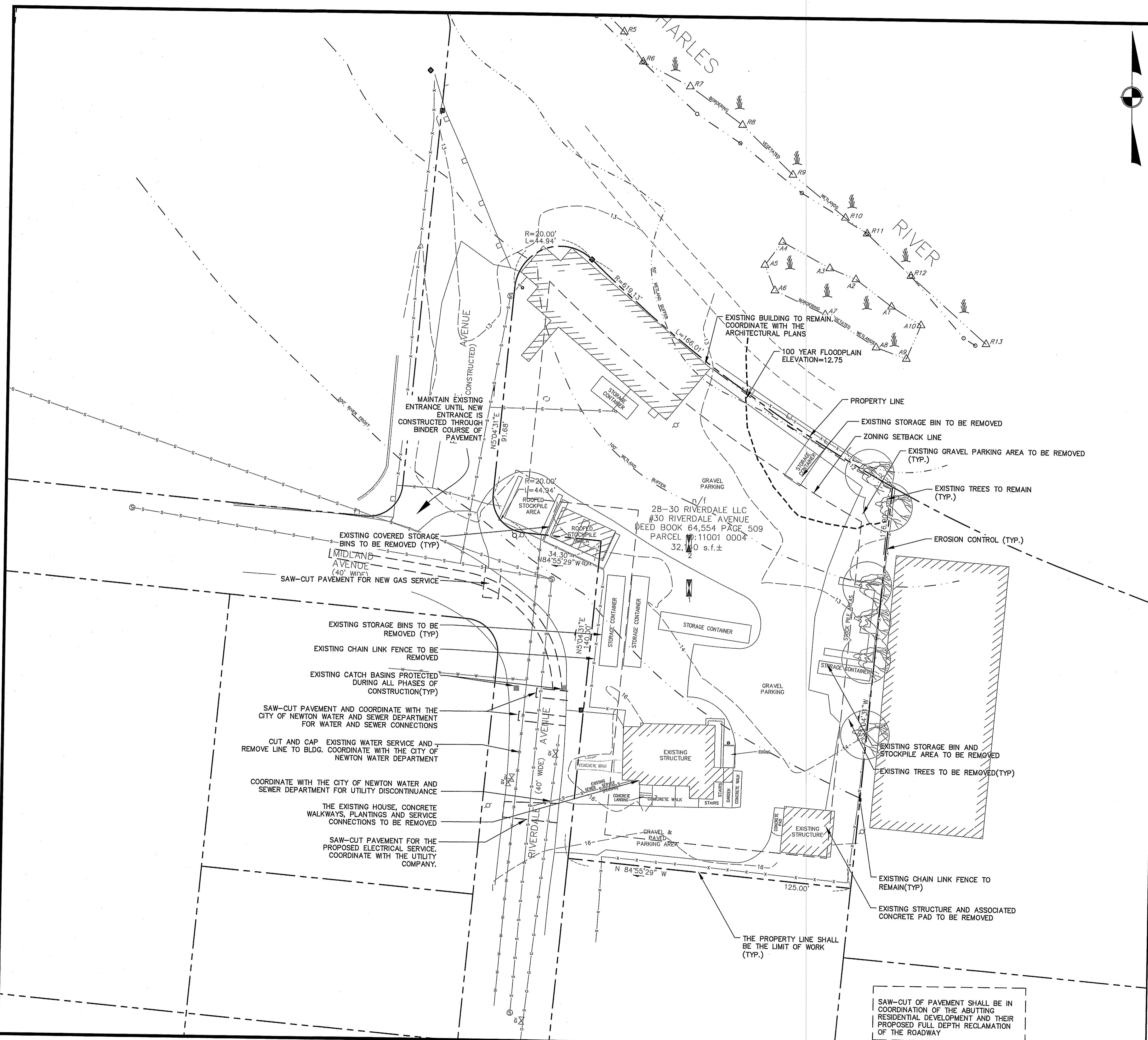
n/f
 MIDLAND NEWTON SERIES LLC
 #8 MIDLAND AVENUE
 DEED BOOK 45,507 PAGE 448
 PARCEL ID: 11002 0008

n/f
 RIVERDALE REAL ESTATE CORP.
 #36 RIVERDALE AVENUE
 DEED BOOK 30,395 PAGE 13
 PARCEL ID: 11001 0003



EXISTING CONDITIONS PLAN
 NEWTON, MASSACHUSETTS
 PREPARED FOR
 McCarty Companies
 42 Jungle Road
 Leominster, MA
 SCALE: 1" = 20' DATE: AUGUST 13, 2018
 PREPARED BY

TAUPER LAND SURVEY INC.
 25 SUTTON AVENUE, OXFORD, MA 01540
 TEL. 508-987-2266
 FAX 508-987-2267
 DWG: 18-158 30 RIVERDALE AVE NEWTON.DWG.dwg
 JOB NO. 18-158



LOCUS PLAN
1"=1,000 FT.±

- NOTES:**
- EXISTING CONDITIONS INFORMATION SHOWN WAS RECEIVED ELECTRONICALLY FROM TAUPER LAND SURVEY, INC. 25 SUTTON AVENUE OXFORD, MA 01540 AND IS BASED ON AN ON-THE-GROUND SURVEY COMPLETED IN AUGUST 13, 2018.
 - THE ZONE AE AND ZONE X FLOOD LINES SHOWN WERE TAKEN FROM A SHAPE FILE PROVIDED BY MASS GIS "FEMA Q3 FLOOD ZONES". THE ACTUAL FLOOD LIMIT SHOWN IS BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 25017C0552E, PANEL 552 OF 656, DATED JUNE 4, 2010. THE SITE IS LOCATED BETWEEN THE DETERMINED BASE FLOOD ELEVATIONS OF 12 AND 13, THEREFORE THE BASE FLOOD ELEVATION ON THIS SITE RELATIVE TO THE FEMA MAP HAS BEEN INTERPOLATED TO BE AT ELEVATION 12.75 FT.
 - THE PROJECT SITE DOES NOT CONTAIN ANY ESTIMATED HABITATS, PRIORITY HABITATS, OR CERTIFIED VERNAL POOLS BASED ON A REVIEW OF THE MASSACHUSETTS NATURAL HERITAGE ATLAS, 13TH EDITION, AND MASS GIS ONLINE MAPPING TOOL.

CONSTRUCTION SCHEDULE
THE FOLLOWING IS A GENERAL CONSTRUCTION SEQUENCE FOR THE CONSTRUCTION OF THE SITE. THE ACTUAL SCHEDULE MAY VARY SOMEWHAT FROM THAT STATED IF SITE OR WEATHER CONDITIONS REQUIRE A DIFFERENT SCHEDULE AND IF SUCH CHANGE DOES NOT NEGATIVELY AFFECT THE PREVENTION OF POLLUTION. AN EXAMPLE OF A LOGICAL CHANGE TO THE SCHEDULE WOULD BE DEVIATING FROM THE SEQUENCE BELOW TO ALLOW THE LAYING OF DRIVEWAY BERM PRIOR TO A WINTER FREEZE IN ORDER TO BETTER CONTROL THE SITE DRAINAGE.

- THE APPLICANT WILL HOLD A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF THE TOWN, THE ENGINEER, CONTRACTOR'S EMPLOYEES AND THE INSPECTOR IN ORDER TO REVIEW PERMITS, PROCEDURES AND CONSTRUCTION METHODS.
- ESTABLISH THE SITE ENTRANCE MAT AT THE CONSTRUCTION ENTRANCE TO THE SITE.
- ESTABLISH A CONSTRUCTION STAGING AND EQUIPMENT STORAGE AREA PROTECTED AGAINST EROSION BY LINES OF STAKED STRAW BALES AND SILTATION FENCING.
- INSTALL THE SILTATION CONTROL BARRIERS BETWEEN THE WORK AREAS AND IN OTHER LOCATIONS AS SHOWN WITHIN THE PLAN SET.
- TREE AND BRUSH CLEARING
- BUILDING AND UTILITY DEMOLITION
- STRIP AND STOCKPILE TOPSOIL
- PLACE THE STRAW BALES OR FENCING AT LEAST FIVE FEET FROM THE BASE OF THE LOAM PILE, IF APPLICABLE
- EXCAVATE FOR FOUNDATION
- IMPORT STRUCTURAL FILL
- EXPORT ORDINARY FILL
- POUR CONCRETE FOUNDATION
- POUR INTERIOR SLAB
- EXCAVATE FOR INTERIOR PLUMBING AND ELECTRICAL
- EXCAVATE FOR SEWER
- EXCAVATE FOR DOMESTIC WATER
- BACKFILL FOUNDATIONS
- ESTABLISH AND BUILD THE DRAINAGE DISCHARGE POINTS, AND VARIOUS ADDITIONAL EROSION CONTROL MEASURES.
- BEGIN ROUGH GRADING—EARTHWORK OPERATIONS.
- INSTALL DRAINAGE SYSTEM, INCLUDING PIPES, DRAIN MANHOLES AND CATCH BASINS.
- APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS COMPLETED OR DELAYED GREATER THAN 2 WEEKS
- AND FORM AND POUR FOUNDATION WALLS
- INSTALL SITE UTILITIES INCLUDING UNDERGROUND ELECTRICAL
- COMPLETE SITE GRADING TO MATCH THE SITE DESIGN
- LAY THE BINDER COURSE OF PAVEMENT.
- COMPLETE THE PERMANENT STABILIZATION OF SLOPES, REPAIR AREAS THAT HAVE BEEN DAMAGED, AND INSTALL ADDITIONAL EROSION CONTROL DEVICES AS REQUIRED.
- LAY SIDEWALK BINDER AND DRIVEWAY BERM.
- INSTALL CONCRETE FLATWORK
- INSTALL LANDSCAPE MATERIAL AND SITE IMPROVEMENTS
- LAY FINISH COURSE OF PAVEMENT, SIGNAGE, FENCING
- REMOVE ACCUMULATED SEDIMENT AND TEMPORARY EROSION CONTROL MEASURES AFTER ALL SLOPES HAVE BEEN PERMANENTLY STABILIZED AND THE RISK OF EROSION HAS PASSED.
- EQUIPMENT MOVING, PROJECT PUNCHLIST AND CLOSEOUT

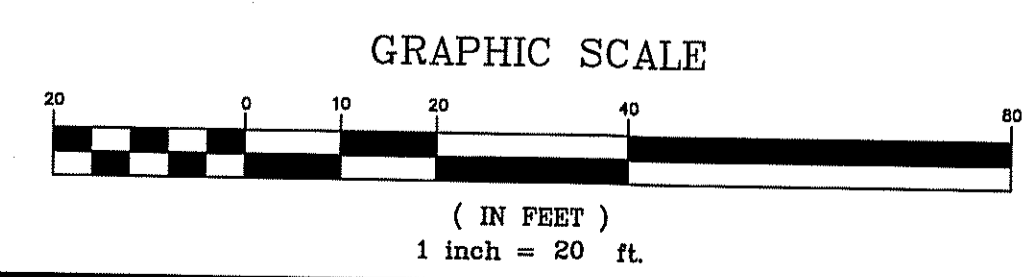
No.	Date	City Comments	Revision
1.	3/10/21		

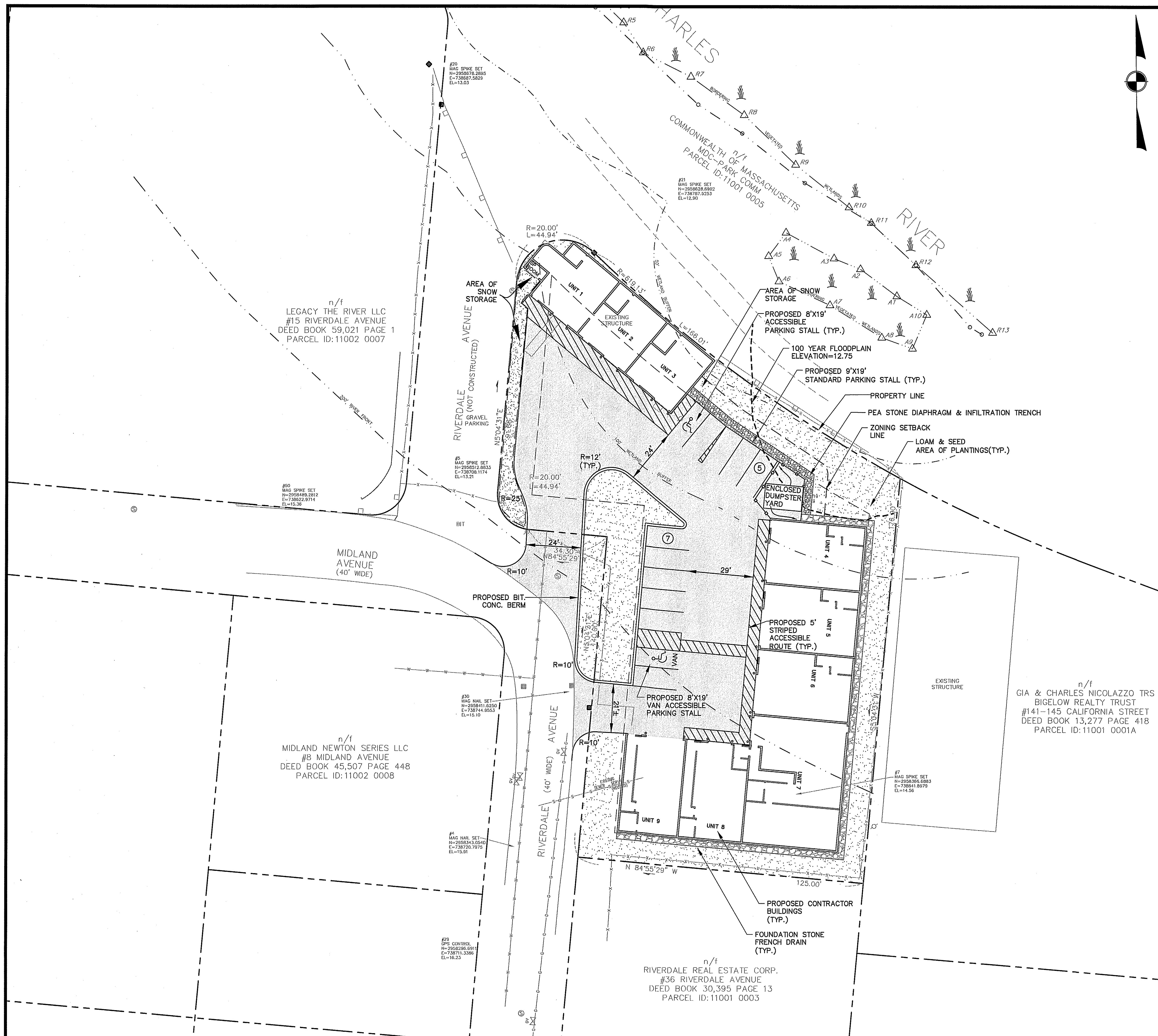
Drawn By: *lcg* Designed By: *lcb/bmm* Checked By: *lcb/bmm*

McCarty Engineering, Inc.
Civil Engineers
42 Jungle Road, Leominster, MA 01453
phone:(978) 534-1318 fax: (978) 840-6907
www.mccartygb.com

Proposed Development
30 Riverdale Avenue
Newton, MA

Existing Condition & Demolition Plan





LOCUS PLAN
1"=1,000 FT.±

- NOTES:**
- EXISTING CONDITIONS INFORMATION SHOWN WAS RECEIVED ELECTRONICALLY FROM TAUPER LAND SURVEY, INC. 25 SUTTON AVENUE OXFORD, MA 01540 AND IS BASED ON AN ON-THE-GROUND SURVEY COMPLETED IN AUGUST 13, 2018.
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ZONING SUMMARY:
DISTRICT: MANUFACTURING

DIMENSIONAL REQUIREMENTS:	REQUIRED:	PROVIDED:	CONFORMANCE:
MIN. LOT AREA:	10,000 S.F.	32,138.7 S.F.	Y
MAX. IMP. COV.:	N/A	76.6%	Y
LOT FRONTAGE:	N/A	197.8 FT.	Y
MIN. SIDE YARD:	GREATER OF 1/2 BLDG. HT. OR 20' ABUTTING RESIDENTIAL OR PUBLIC USE DISTRICT	12 FT.	Y
MIN. FRONT YARD:	GREATER OF 15' OR 1/2 BLDG. HT. OR AVERAGE OF 15' OR 1/2 BLDG. HT.	15.8 FT.	Y
MIN. REAR YARD:	GREATER OF 1.2 FT. OR 1/2 BLDG. HT.	1.2 FT.	N*
MAX. HEIGHT:	24 FT. (36 FT.)	24 FT.	Y
MAX. HEIGHT:	2 ST. (3 ST.)	2 ST.	Y
FAR	1.0 (2 ST.)	0.68 ST.	Y
	1.5 (3 ST.)		

*EXISTING BUILDING IS NON CONFORMING AND THE PROPOSED BUILDING WILL REPLACE THE EXISTING BUILDING IN KIND

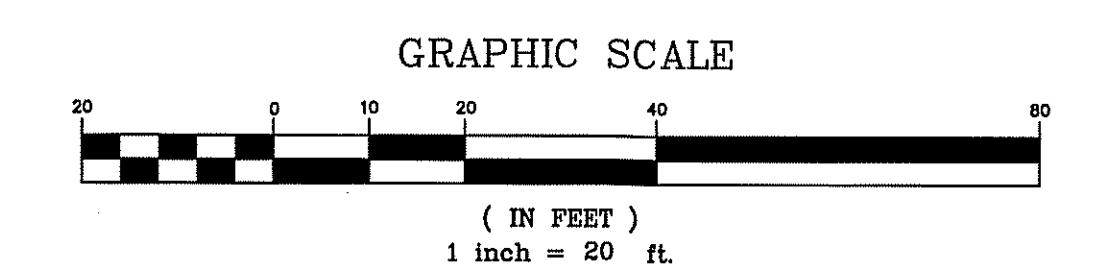
PARKING SUMMARY:

REQUIREMENTS:
STORAGE BUSINESS: 1 SPACE/2,500 SF NFA
STORAGE BUSINESS: 1 SPACE/4 EMPLOYEES

PROPOSED:
STORAGE: 10,989 SF
EMPLOYEES: 3

PARKING REQUIRED:
STORAGE BUSINESS: 10,989 SF X 1 SP/2,500 SF = 5 SPACES
STORAGE BUSINESS: 3 EMPLOYEES X 1 SP/4 EMPLOYEES = 1 SPACE

TOTAL SPACES REQUIRED: 6 SPACES
PARKING PROVIDED: 12 SPACES



No.	Date	Revision
1.	3/10/21	City Comments

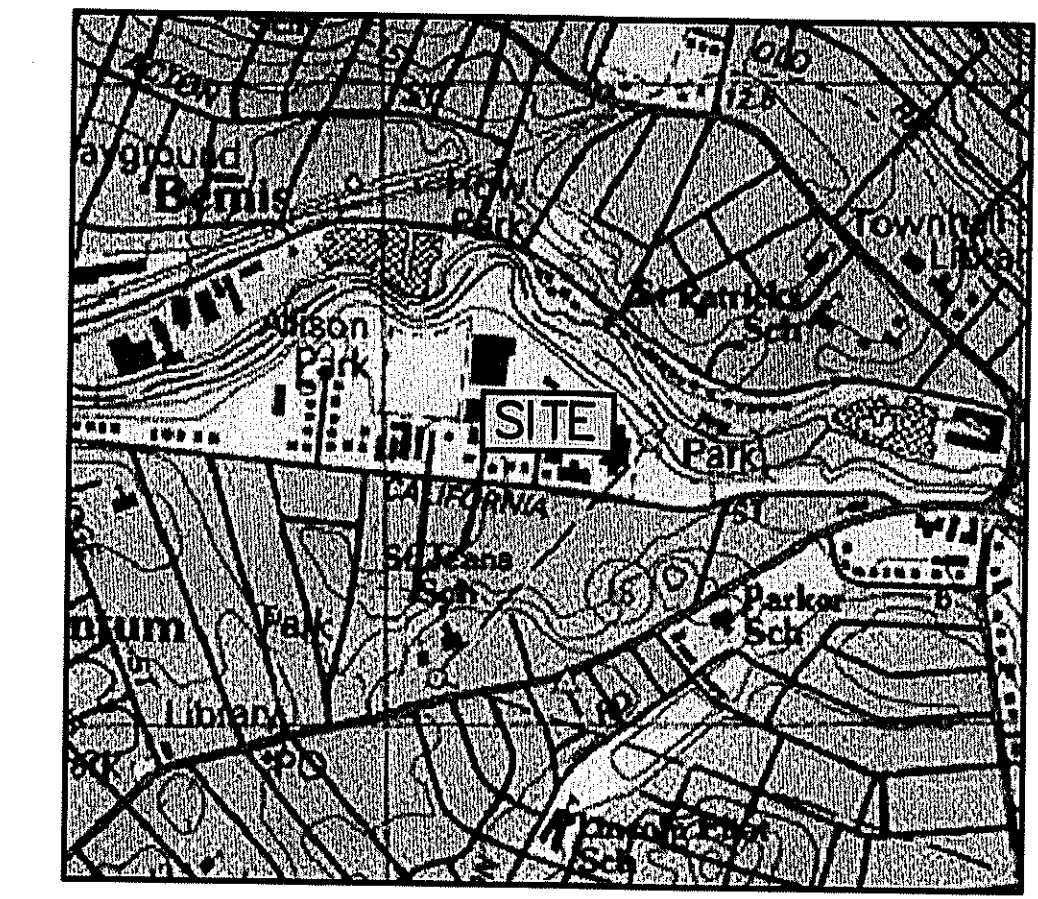
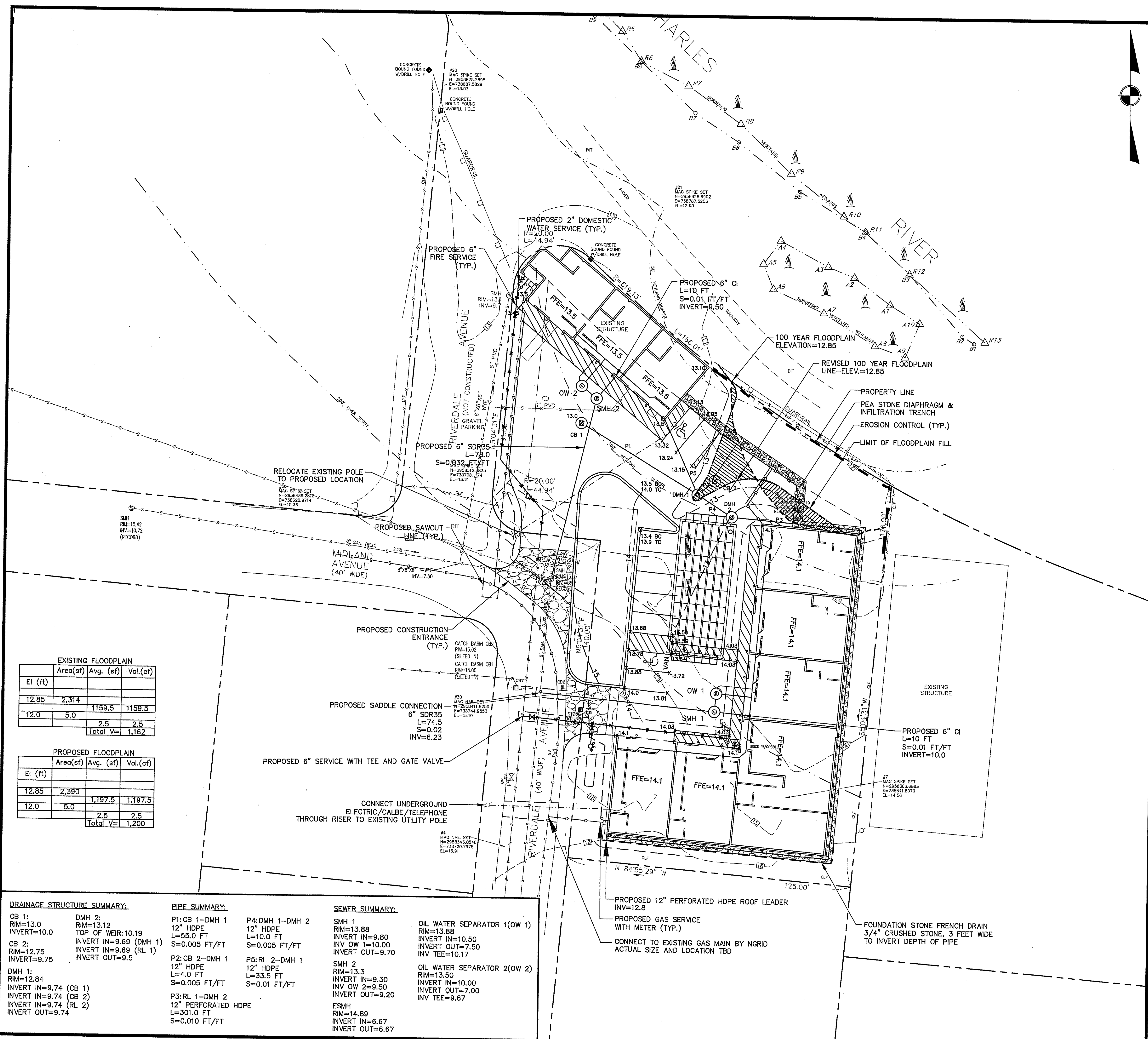
Drawn By: *lg* Designed By: *lg/brm* Checked By: *lg/brm*

McCarty Engineering, Inc.
Civil Engineers
42 Jungle Road, Leominster, MA 01453
phone:(978) 534-1318 fax: (978) 840-6907
www.mccartydb.com

Project Name
Proposed Development
30 Riverdale Avenue
Newton, MA

Sheet Title
Layout & Materials Plan

Job No: 195 Sheet No.
File Name: 195P-CBP01
Date: February 22, 2021
Scale: 1"=20'
3



LOCUS PLAN
1"=1,000 FT.±

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GENERAL NOTES

- THE CONSTRUCTION OF ALL PROPOSED UTILITIES SHALL CONFORM TO THE CITY OF NEWTON STANDARDS AND SPECIFICATIONS, LATEST EDITION, AS WELL AS THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS, LATEST EDITION. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS DURING CONSTRUCTION.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO MCCARTY ENGINEERING, INC. AT 978-534-1318.
- THE CONTRACTOR SHALL CALL "DIG-SAFE" AT 1-888-DIG-SAFE (344-7233) 72 HOURS PRIOR TO CONSTRUCTION TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION ADJACENT TO EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIAL AT AN APPROVED SITE. BURIAL OF WASTE MATERIAL ON-SITE IS NOT PERMITTED.
- CONTRACTOR SHALL STRIP TOP SOIL AND STOCKPILE ON-SITE FOR REUSE. SOIL STOCKPILES SHALL BE NO HIGHER THAN 8'. STOCKPILES SHALL BE ENCLOSED BY TEMPORARY SILT FENCES TO PREVENT TRAVEL OF SEDIMENT TO ADJACENT DRAINAGE WAYS.
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SURFACE RESTORATION IS COMPLETE AND SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES FROM ON-SITE CONSTRUCTION ACTIVITIES AND REMOVE ANY SEDIMENT OR DEBRIS DEPOSITED THEREON IMMEDIATELY.
- DRAINAGE GENERATED AS A RESULT OF TRENCH DEWATERING SHALL BE DISCHARGED TO EXISTING DRAINAGE COURSES WITH PROPER EROSION CONTROL MEASURES. DISCHARGE ONTO PAVEMENT OR PRIVATE PROPERTY SHALL NOT BE ALLOWED.
- WHEN TAPPING EXISTING PRECAST MANHOLES OR SEWER PIPE, DRILL HOLES AT 4" CENTER TO CENTER WITH A STARDRILL AROUND THE PERIPHERY OF THE OPENING TO CREATE A PLANE OF WEAKNESS BEFORE BREAKING THE SECTION OUT.
- SANITARY SEWER AND WATER MAIN SHALL BE SEPARATED BY 10 FEET MINIMUM HORIZONTALLY. WHEN SEWER AND WATER CROSS, THE WATER MAIN SHALL BE A MINIMUM OF 18" ABOVE THE SEWER PIPE CROWN.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS, TOP OF ALL WATER MAINS SHALL BE 5.0 FEET BELOW FINISH GRADE.
- VERIFY LOCATION OF BUILDING UTILITY CONNECTIONS WITH ARCHITECTURAL, MECHANICAL AND PLUMBING PLANS.
- ALL CLEARING, GRADING, DRAINAGE, CONSTRUCTION AND DEVELOPMENT SHALL BE CONDUCTED WITH STRICT ACCORDANCE WITH THESE PLANS.

EXISTING FLOODPLAIN

EI (ft)	Area(sf)	Avg. (sf)	Vol.(cf)
12.85	2,314		
12.0	5.0	1159.5	1159.5
		2.5	2.5
		Total V=	1,162

PROPOSED FLOODPLAIN

EI (ft)	Area(sf)	Avg. (sf)	Vol.(cf)
12.85	2,390		
12.0	5.0	1,197.5	1,197.5
		2.5	2.5
		Total V=	1,200

DRAINAGE STRUCTURE SUMMARY:

CB 1: RIM=13.0 INVERT=10.0	DMH 2: RIM=13.12 TOP OF WEIR:10.19	P1:CB 1-DMH 1 12" HDPE L=55.0 FT S=0.005 FT/FT	P4:DMH 1-DMH 2 12" HDPE L=10.0 FT S=0.005 FT/FT	SMH 1: RIM=13.88 INVERT IN=9.80 INV OW 1=10.00 INVERT OUT=9.70	OIL WATER SEPARATOR 1(OW 1) RIM=13.88 INVERT IN=10.50 INVERT OUT=7.50 INV TEE=10.17
CB 2: RIM=12.75 INVERT=9.75	INVERT IN=9.69 (DMH 1) INVERT IN=9.69 (RL 1) INVERT OUT=9.5	P2:CB 2-DMH 1 12" HDPE L=4.0 FT S=0.005 FT/FT	P5:RL 2-DMH 1 12" HDPE L=33.5 FT S=0.01 FT/FT	SMH 2: RIM=13.3 INVERT IN=9.30 INV OW 2=9.50 INVERT OUT=9.20	OIL WATER SEPARATOR 2(OW 2) RIM=13.50 INVERT IN=10.00 INVERT OUT=7.00 INV TEE=9.67
DMH 1: RIM=12.84 INVERT IN=9.74 (CB 1) INVERT IN=9.74 (CB 2) INVERT IN=9.74 (RL 2) INVERT OUT=9.74				ESMH: RIM=14.89 INVERT IN=6.67 INVERT OUT=6.67	

PIPE SUMMARY:

P1:CB 1-DMH 1
12" HDPE
L=55.0 FT
S=0.005 FT/FT

P2:CB 2-DMH 1
12" HDPE
L=4.0 FT
S=0.005 FT/FT

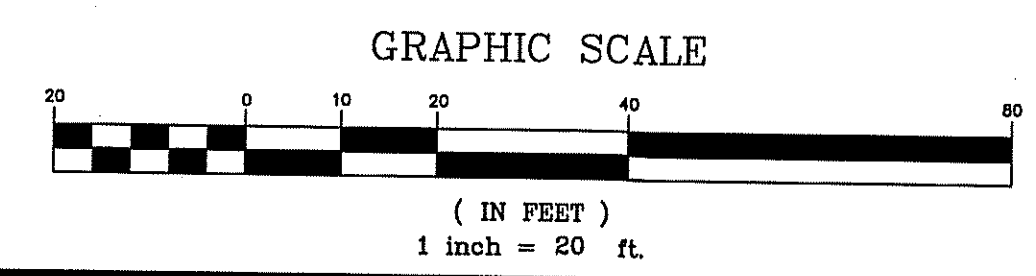
P3:RL 1-DMH 2
12" PERFORATED HDPE
L=301.0 FT
S=0.010 FT/FT

SEWER SUMMARY:

SMH 1:
RIM=13.88
INVERT IN=9.80
INV OW 1=10.00
INVERT OUT=9.70

SMH 2:
RIM=13.3
INVERT IN=9.30
INV OW 2=9.50
INVERT OUT=9.20

ESMH:
RIM=14.89
INVERT IN=6.67
INVERT OUT=6.67



No.	Date	Revision
1.	3/10/21	City Comments

Drawn By: log
Designed By: log/bmm
Checked By: lcg/bmm

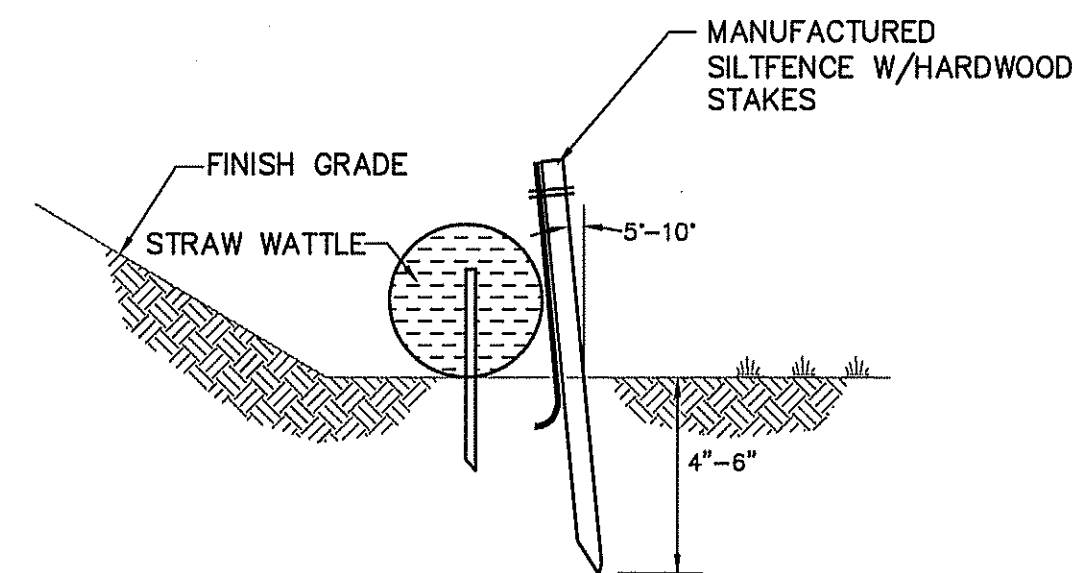
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Proposed Development
30 Riverdale Avenue
Newton, MA

Project Name
Sheet Title
Grading, Drainage & Utility Plan

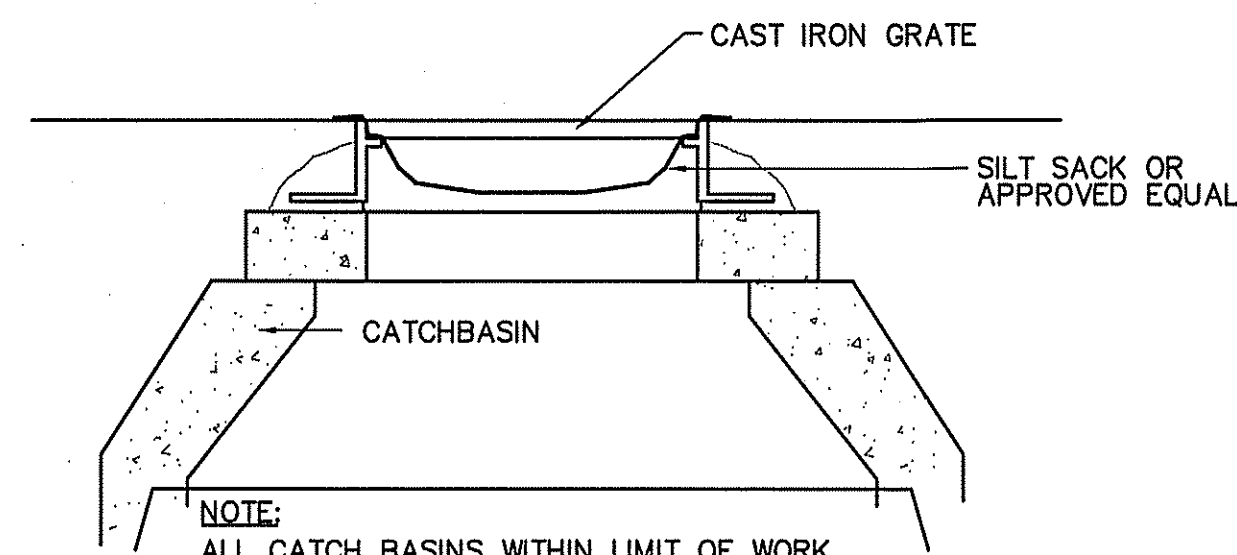
Job No: 195
File Name: 195P-CBP01
Date: February 22, 2021
Scale: 1"=20'

Sheet No.
4



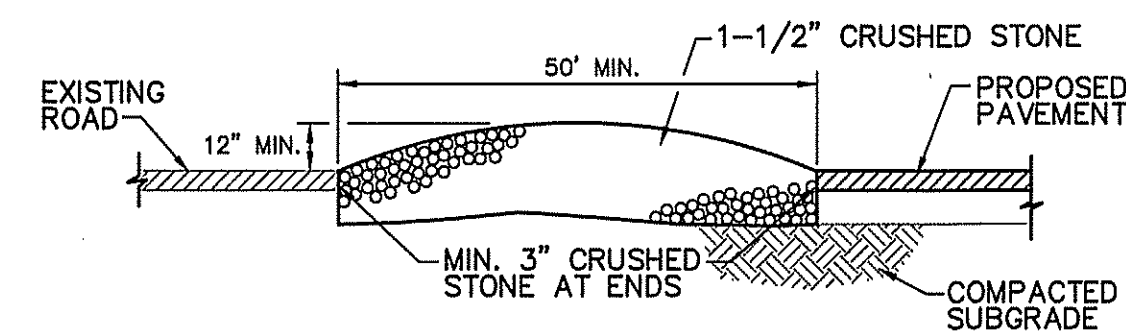
NOTE: 1. STRAW WATTLES SHALL BE INSTALLED ON CONTOUR AND STAKED WITH 18 OR 24 INCH WOOD STAKES AT FOUR FEET ON CENTER
2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 2/3 OF ROLL HEIGHT

STRAW WATTLE / SILT FENCE DETAIL
N.T.S.



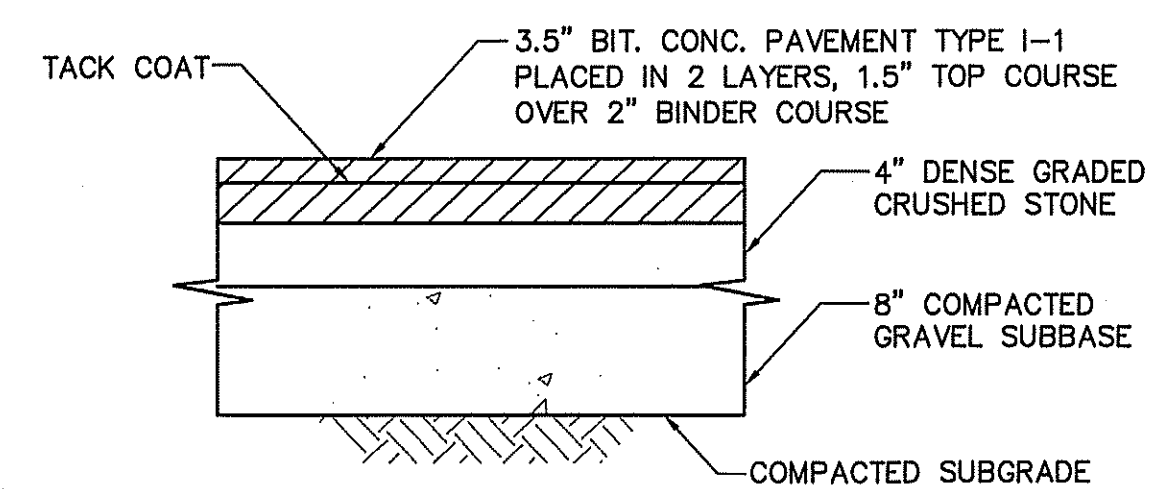
NOTE: ALL CATCH BASINS WITHIN LIMIT OF WORK SHALL BE EQUIPPED WITH SILT SACKS OR APPROVED EQUAL.

TEMPORARY CATCHBASIN FILTER
N.T.S.

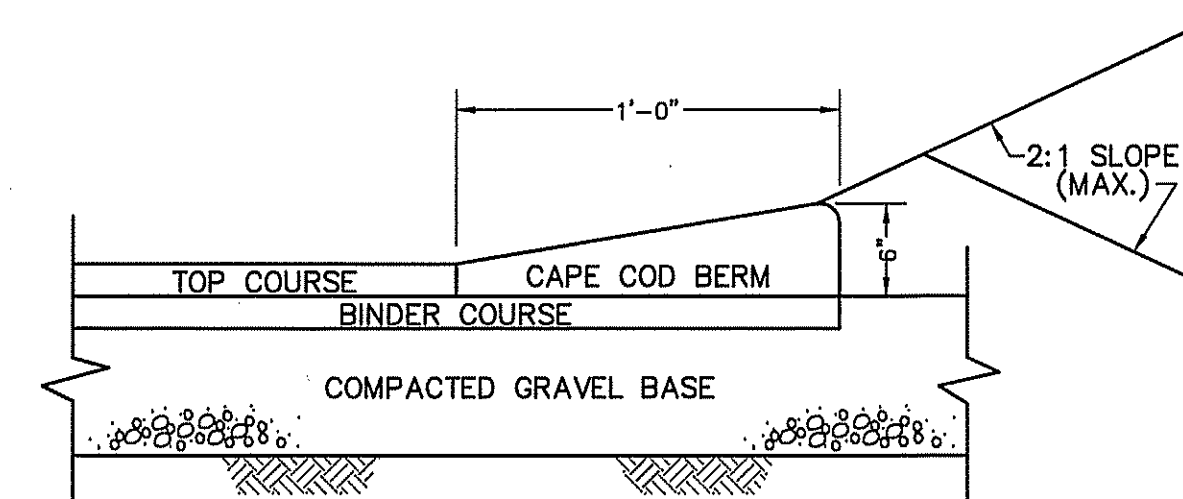


NOTES: THE PURPOSE OF THIS TEMPORARY BERM IS TO REMOVE MUD FROM THE TIRES OF VEHICLES LEAVING THE SITE DURING CONSTRUCTION. PROVIDE LEVEL AREA OF CRUSHED STONE 50 FEET IN FROM EDGE OF EXISTING ROAD.

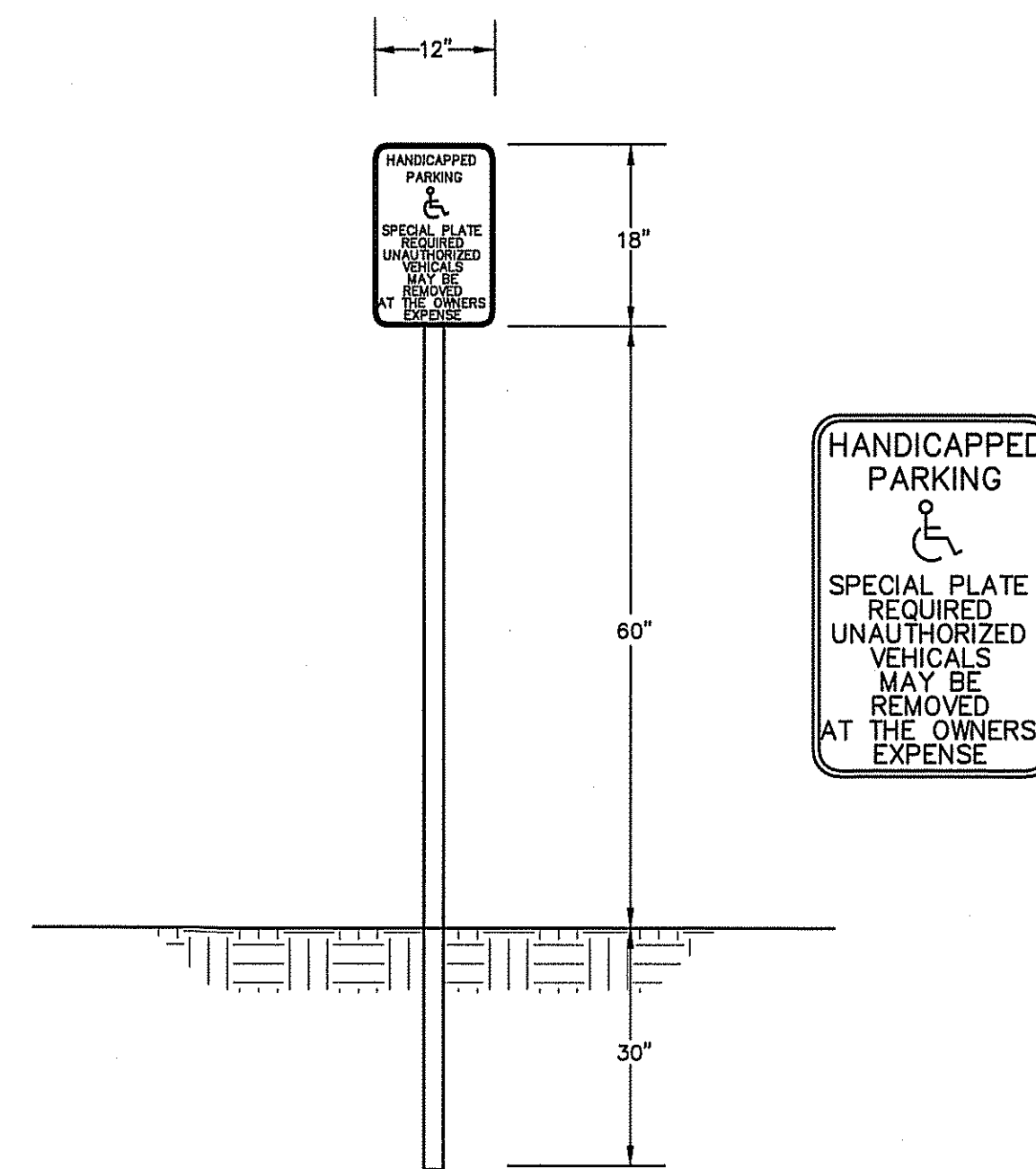
TEMPORARY ENTRANCE BERM
N.T.S.



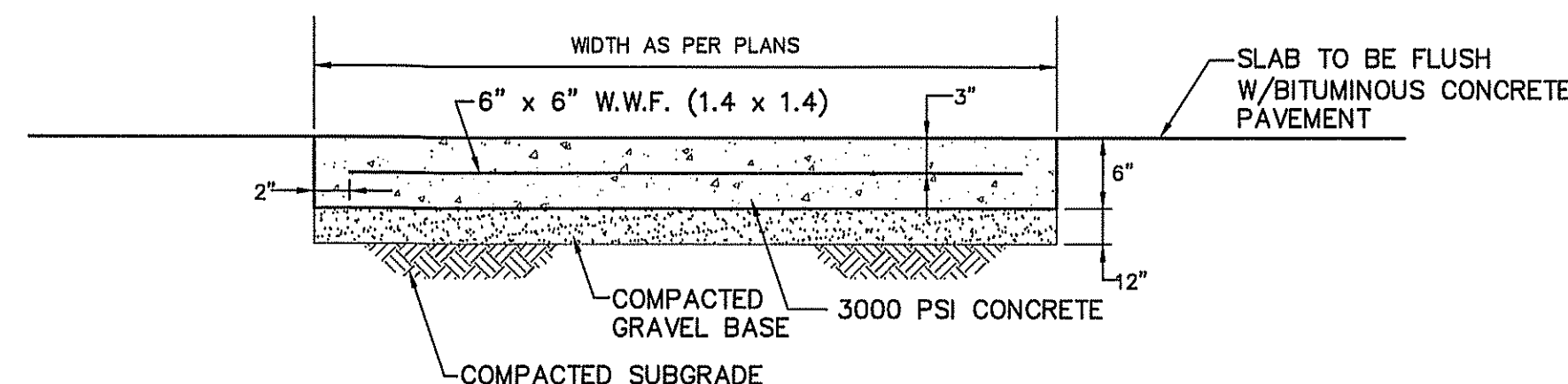
BITUMINOUS CONCRETE PAVEMENT DETAIL
N.T.S.



BITUMINOUS CONCRETE BERM DETAIL
N.T.S.

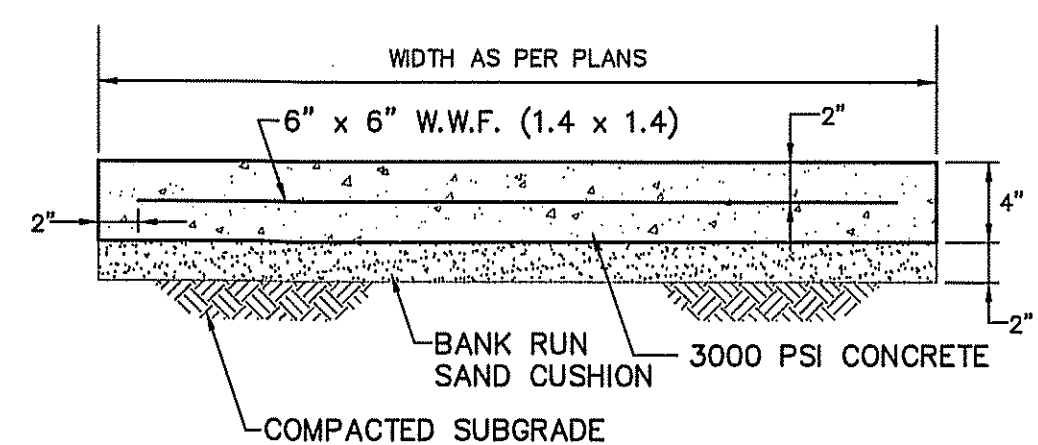


HANDICAPPED PARKING SIGN DETAIL
N.T.S.



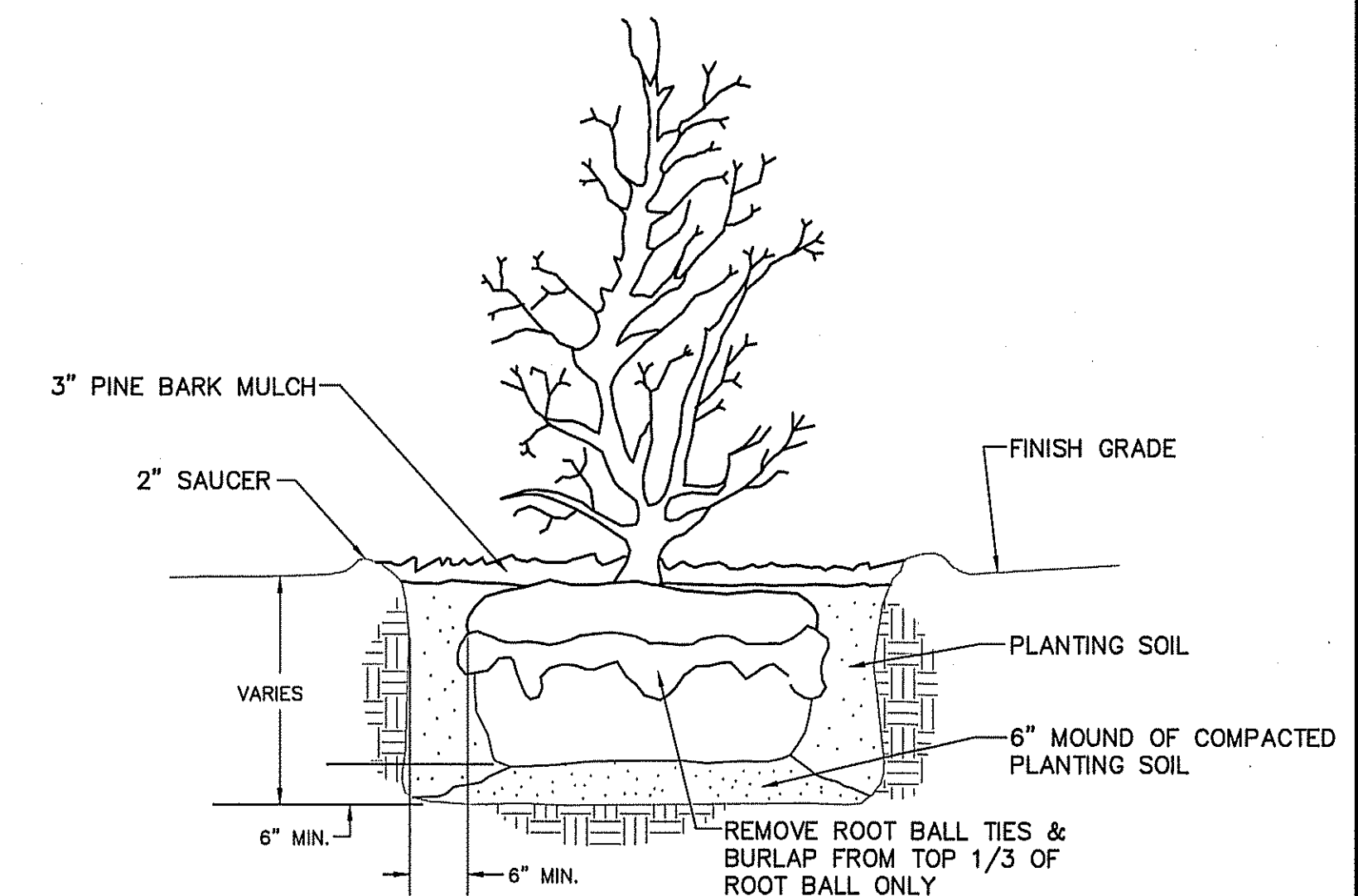
NOTE: CONSTRUCTION JOINTS ARE TO BE AT 6' INTERVALS

CONCRETE DUMPSTER PAD DETAIL
N.T.S.

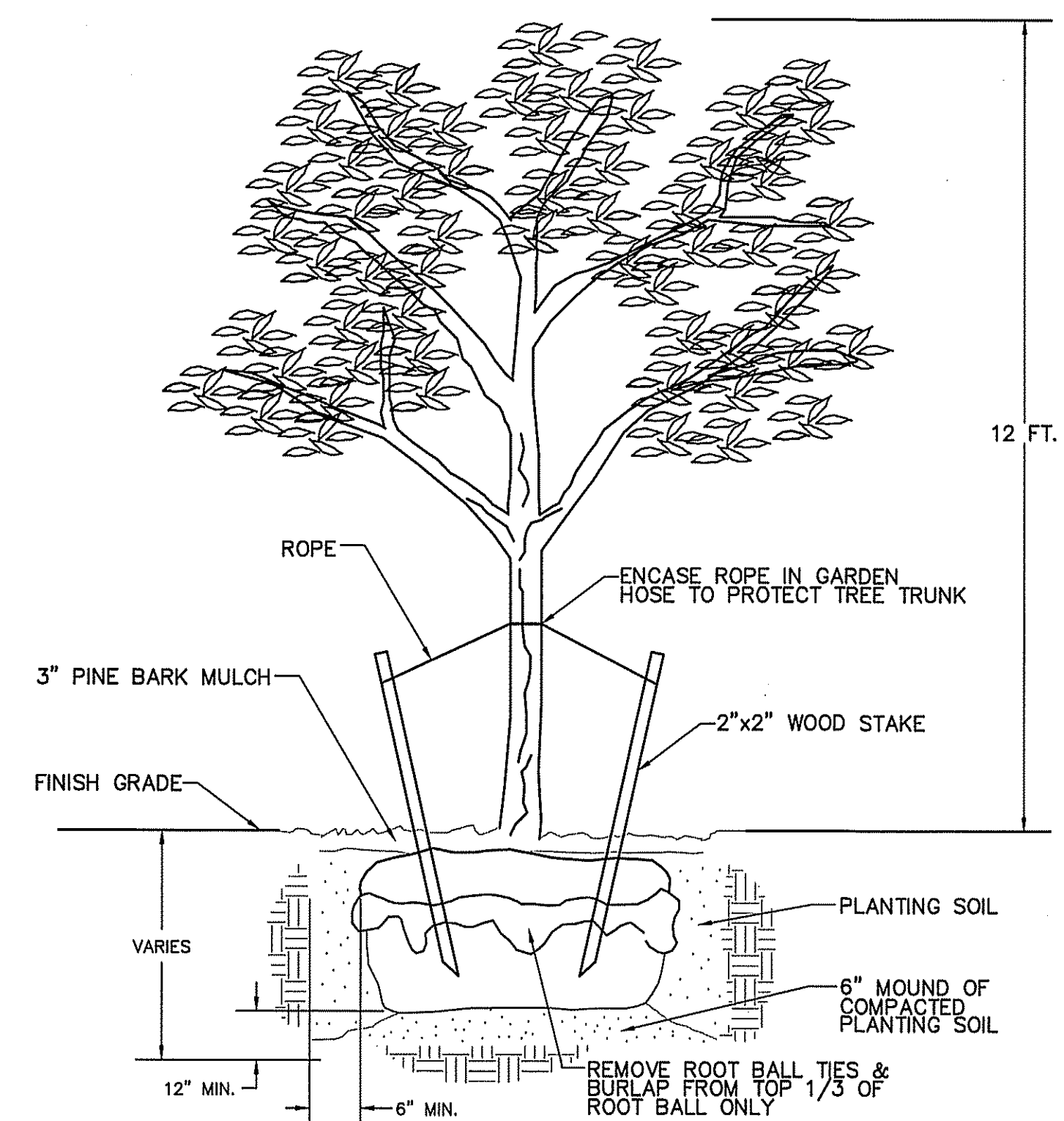


NOTE: CONSTRUCTION JOINTS ARE TO BE AT 6' INTERVALS

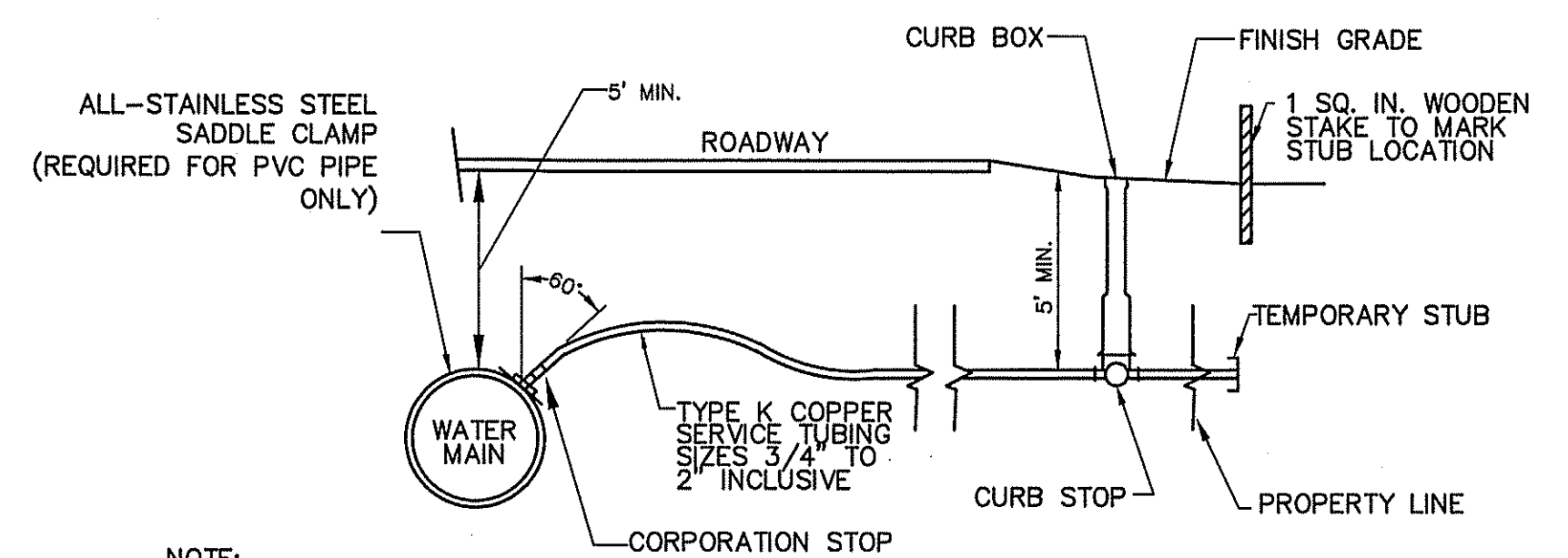
CONCRETE SIDEWALK DETAIL
N.T.S.



TYPICAL SHRUB PLANTING DETAIL
N.T.S.

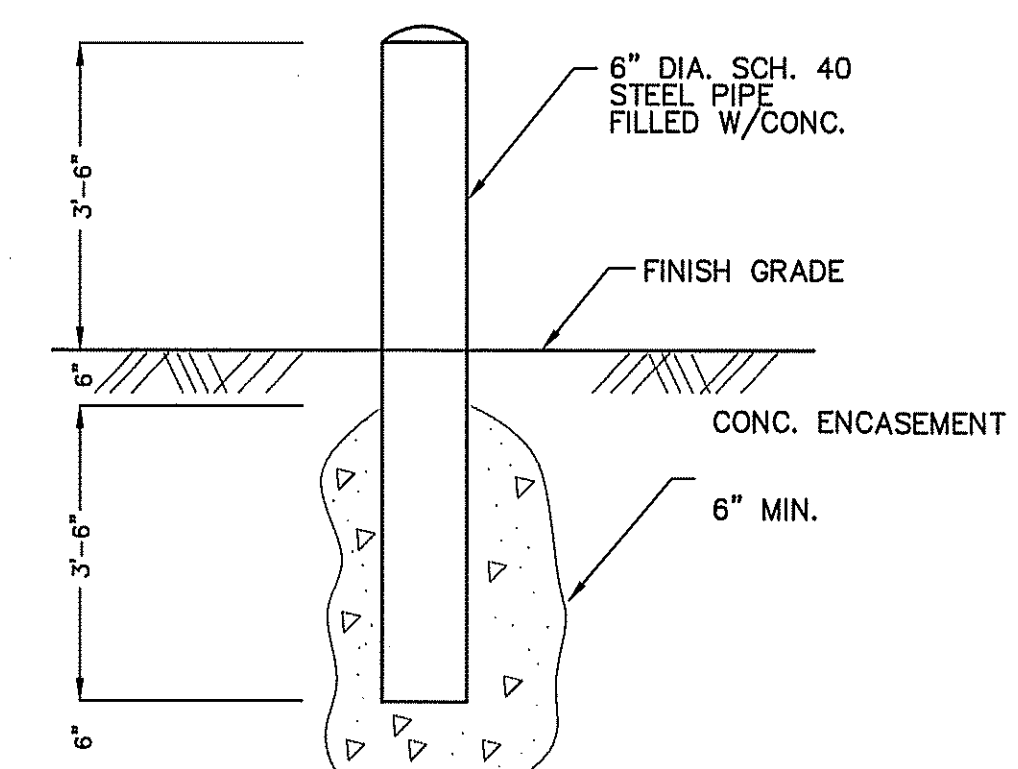


TYPICAL TREE PLANTING DETAIL
N.T.S.



NOTE: TUBING, CORPORATION COCK & CURB STOP SHALL BE AS REQUIRED BY LOCAL WATER DEPARTMENT

WATER SERVICE DETAIL
N.T.S.



BOLLARD DETAIL
N.T.S.

No.	Date	Revision
1.	3/10/21	No Revision



Drawn By: JLL
Designed By: PJM
Checked By: JLL

McCarty Engineering, Inc.
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42 Jungle Road, Leominster, MA 01453
phone: (978) 534-1318 fax: (978) 840-6907
www.mccartydb.com

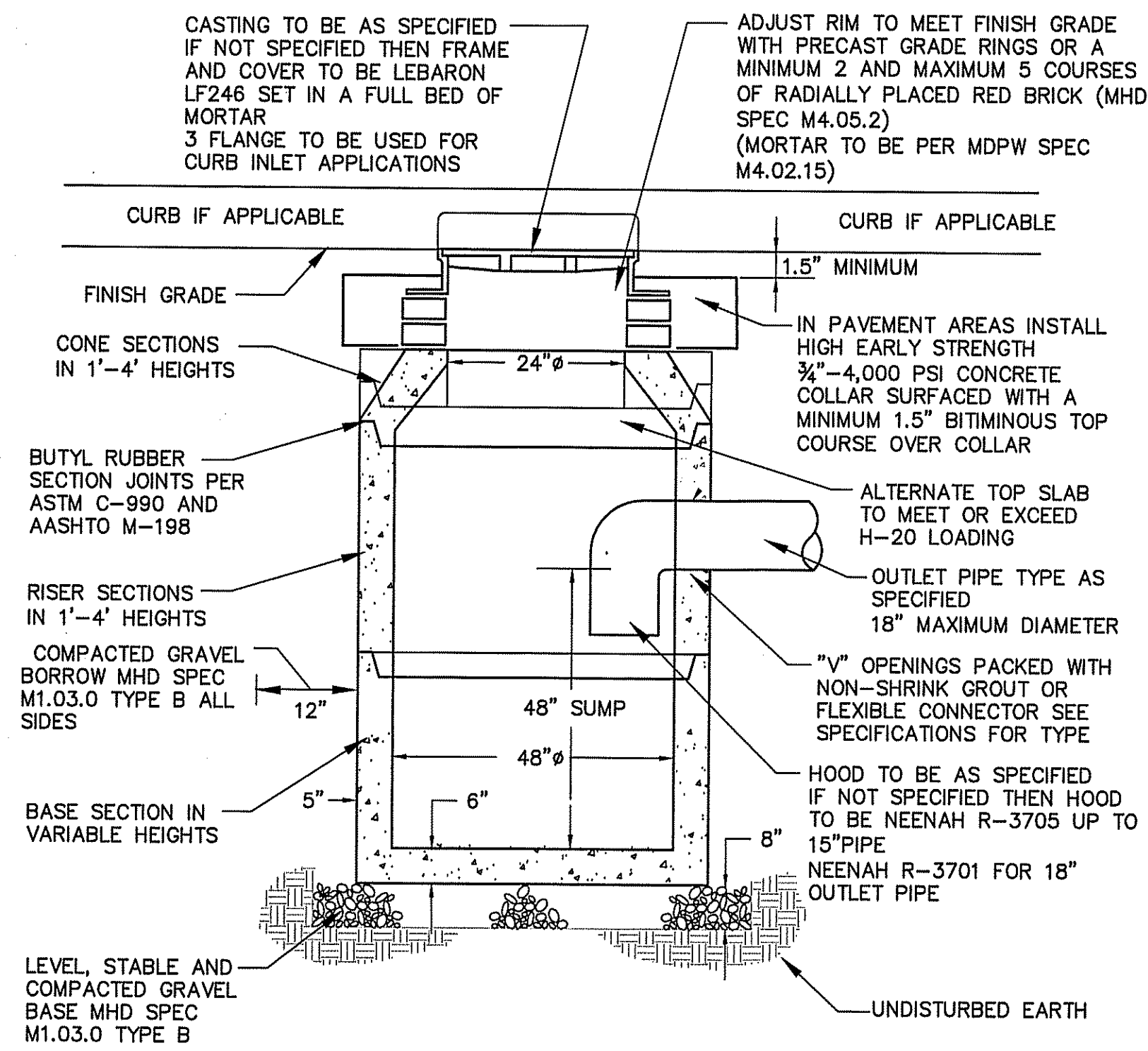
Project Name
Riverdale
30 Riverdale Avenue
Newton, MA

Sheet Title
Construction Details

Job No: 195
File Name: 195P-DET01
Date: February 22, 2021
Scale: N.T.S.

Sheet No.

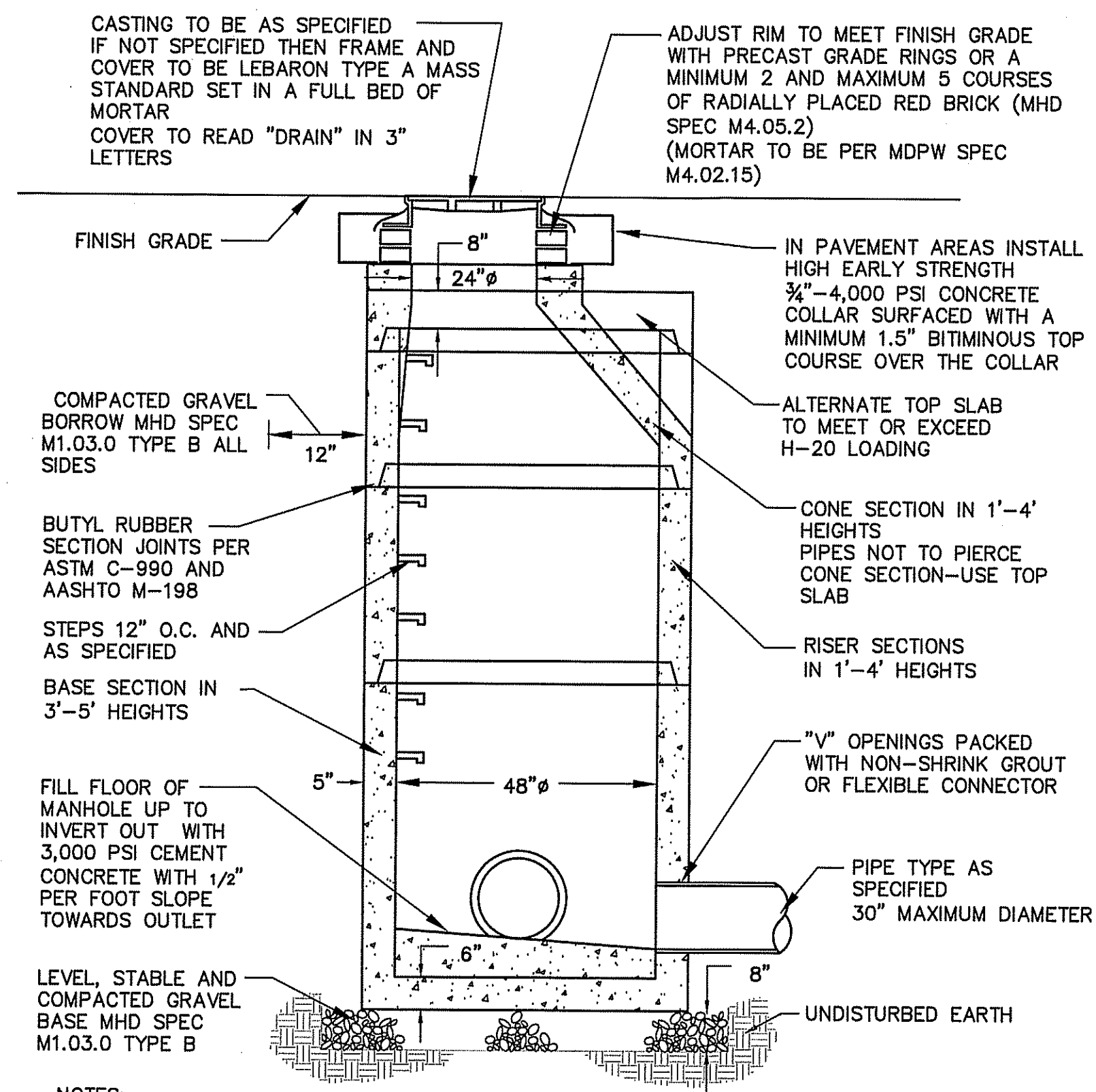
6



- EXCAVATION TO ALLOW FOR FREE TRAVEL OF COMPACTION EQUIPMENT
- ALL COMPACTION TO A MINIMUM 95 PERCENT DRY DENSITY DETERMINED BY ASTM D1557 SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- ALL PRECAST TO MEET OR EXCEED ASTM C-478 AND AASHTO M 199 SPECIFICATIONS
- REINFORCED STEEL TO MEET OR EXCEED ASTM A185 AND H-20 LOADING REQUIREMENTS
- ALL PRECAST CONCRETE TO BE 4,000 PSI MINIMUM AND MEET ASTM C-478 (6.1)
- ALL INTERIOR HOLES TO BE SEALED WITH NON-SHRINK GROUT

PRECAST CONCRETE CATCH BASIN DETAIL

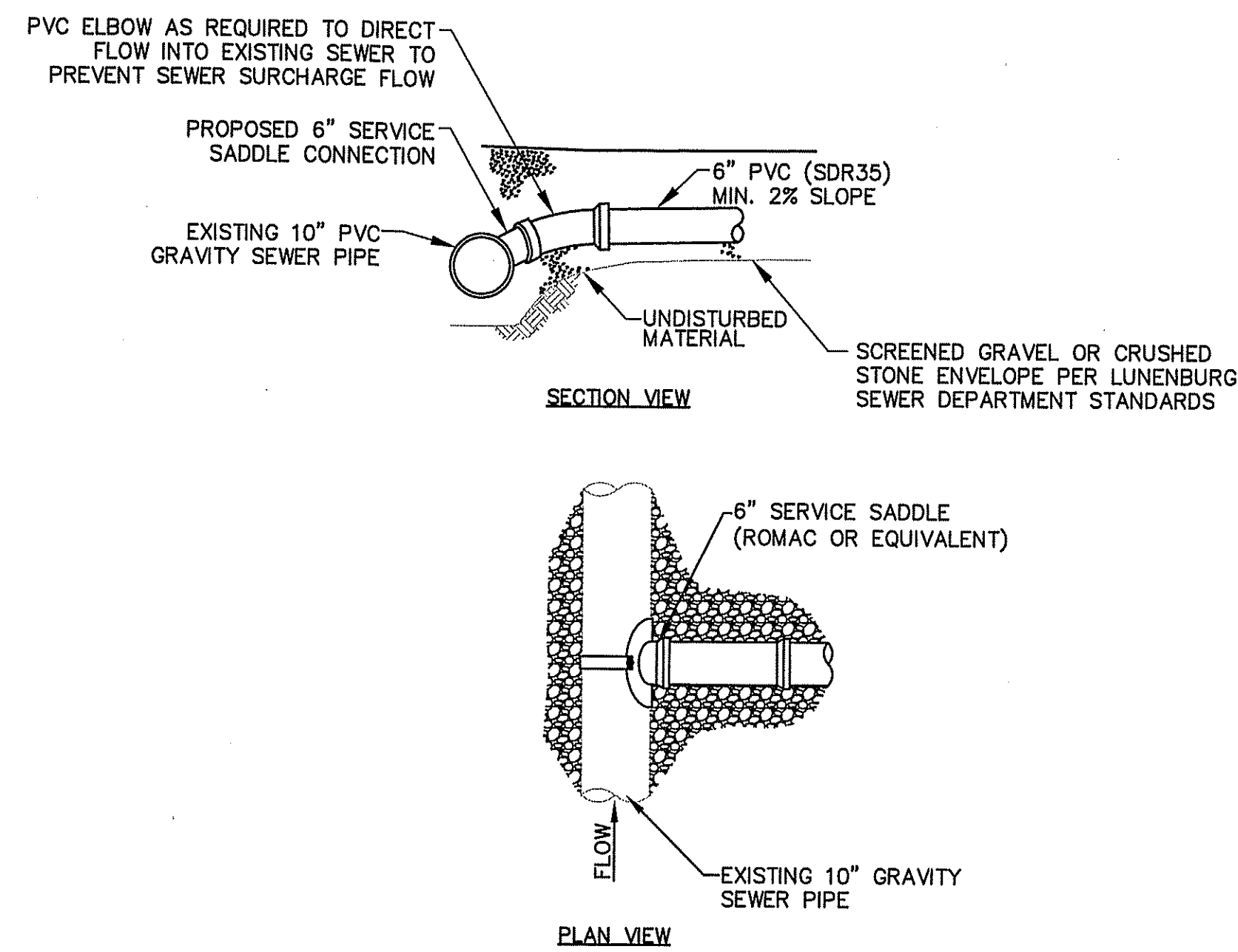
N.T.S.



- EXCAVATION TO ALLOW FOR FREE TRAVEL OF COMPACTION EQUIPMENT
- ALL COMPACTION TO A MINIMUM 95 PERCENT DRY DENSITY DETERMINED BY ASTM D1557 SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- ALL PRECAST TO MEET OR EXCEED ASTM C-478 AND AASHTO M 199 SPECIFICATIONS
- REINFORCED STEEL TO MEET OR EXCEED ASTM A185 AND H-20 LOADING REQUIREMENTS
- ALL PRECAST CONCRETE TO BE 4,000 PSI MINIMUM AND MEET ASTM C-478 (6.1)
- IF NO STEPS ARE SPECIFIED THAN AS THE LOCAL MUNICIPALITY REQUIRES OR IF NO MUNICIPALITY REQUIREMENTS THEN COPOLYMER POLYPROPYLENE COATED REINFORCED PER ASTM C-478 AND OSHA (STD 1-1.9)
- CONTRACTOR TO CONFIRM WITH CITY OR TOWN DPW THAT BRICK INVERTS ARE NOT A REQUIREMENT
- FILL ALL INTERNAL AND EXTERNAL HOLES WITH NON-SHRINK GROUT

PRECAST CONCRETE DRAIN MANHOLE DETAIL

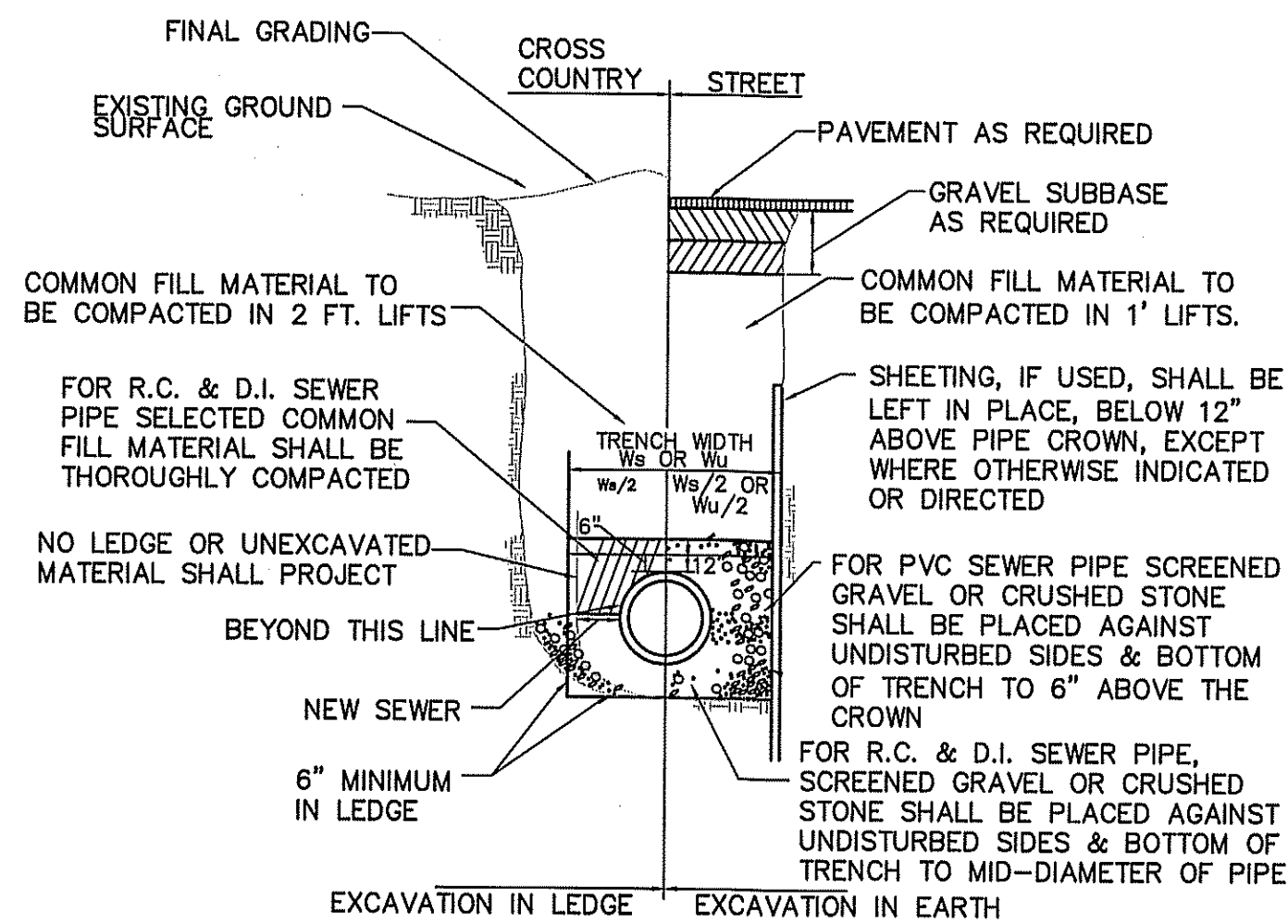
N.T.S.



- NOTES:
- INSTALL SADDLE FIRST, THEN CORE HOLE.
 - INSERTA-TEE SERVICE CONNECTORS OR WYE CONNECTORS MAY BE ALLOWED UPON DPW APPROVAL IF UTILITY CONFLICTS ARE ENCOUNTERED THAT ALTER DESIGN INVERTS.

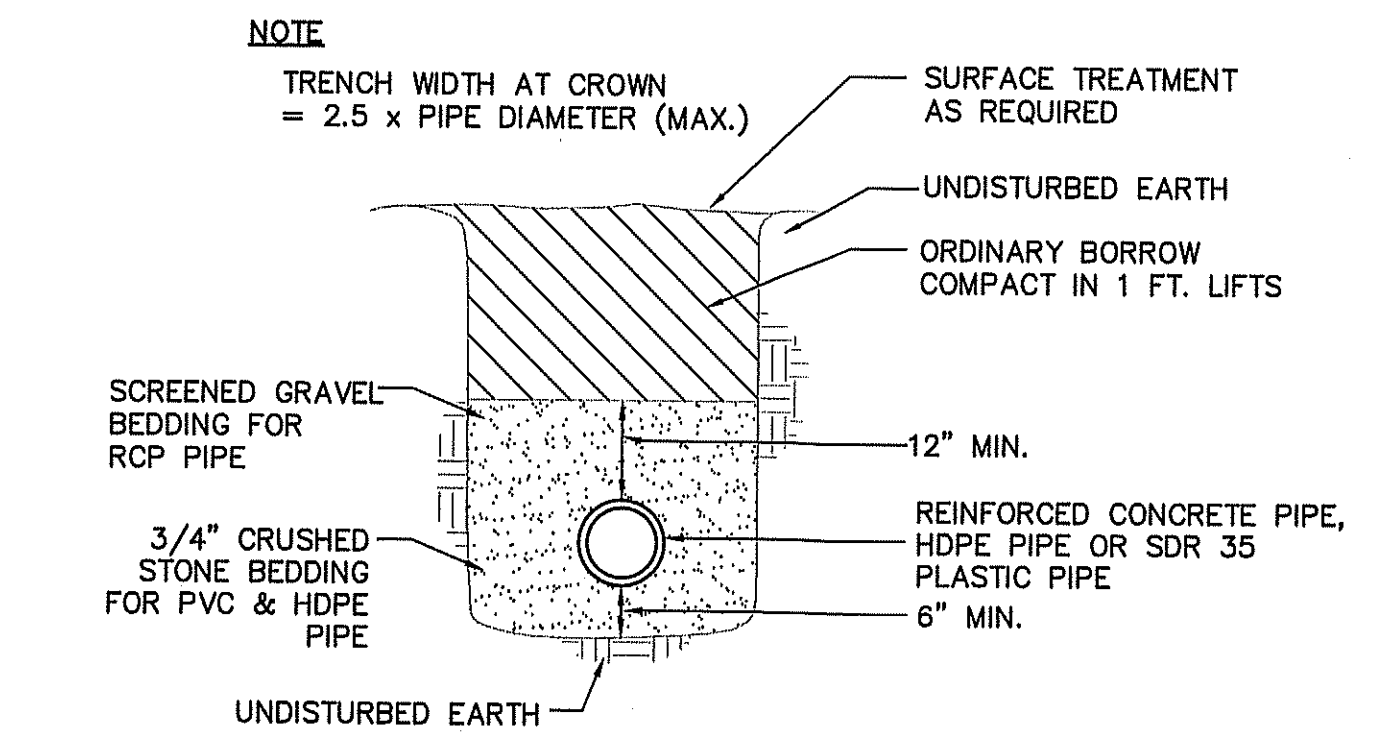
SEWER SERVICE CONNECTION DETAIL

N.T.S.



SEWER TRENCH SECTION

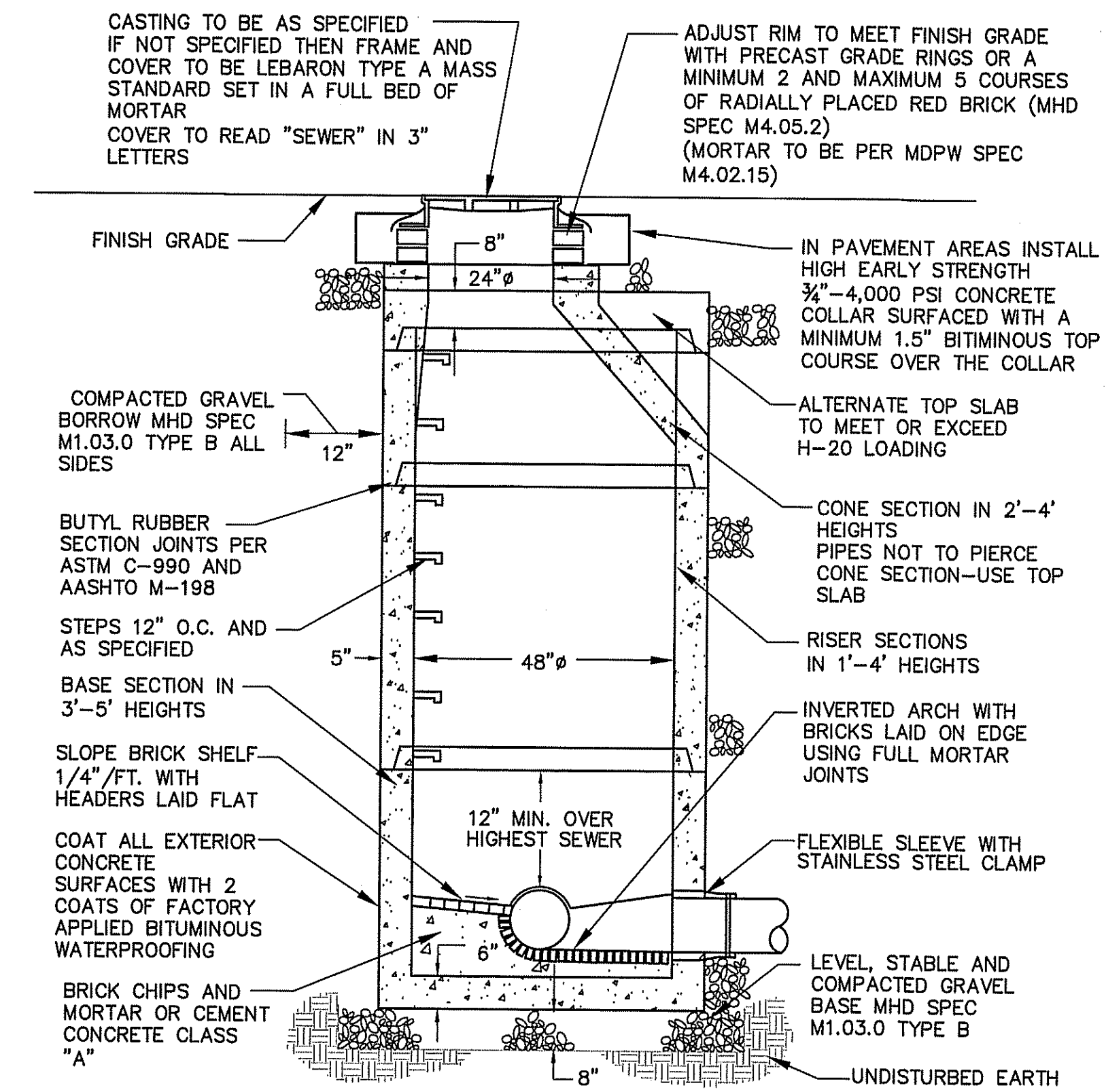
N.T.S.



- NOTE:
- TRENCH WIDTH AT CROWN = 2.5 x PIPE DIAMETER (MAX.)
 - REINFORCED CONCRETE PIPE, HDPE PIPE OR SDR 35 PLASTIC PIPE
 - SCREENED GRAVEL BEDDING FOR RCP PIPE
 - 3/4" CRUSHED STONE BEDDING FOR PVC & HDPE PIPE
 - UNDISTURBED EARTH
 - ORDINARY BORROW COMPACT IN 1 FT. LIFTS
 - 12" MIN.
 - SURFACE TREATMENT AS REQUIRED
 - UNDISTURBED EARTH

DRAIN PIPE TRENCH DETAIL

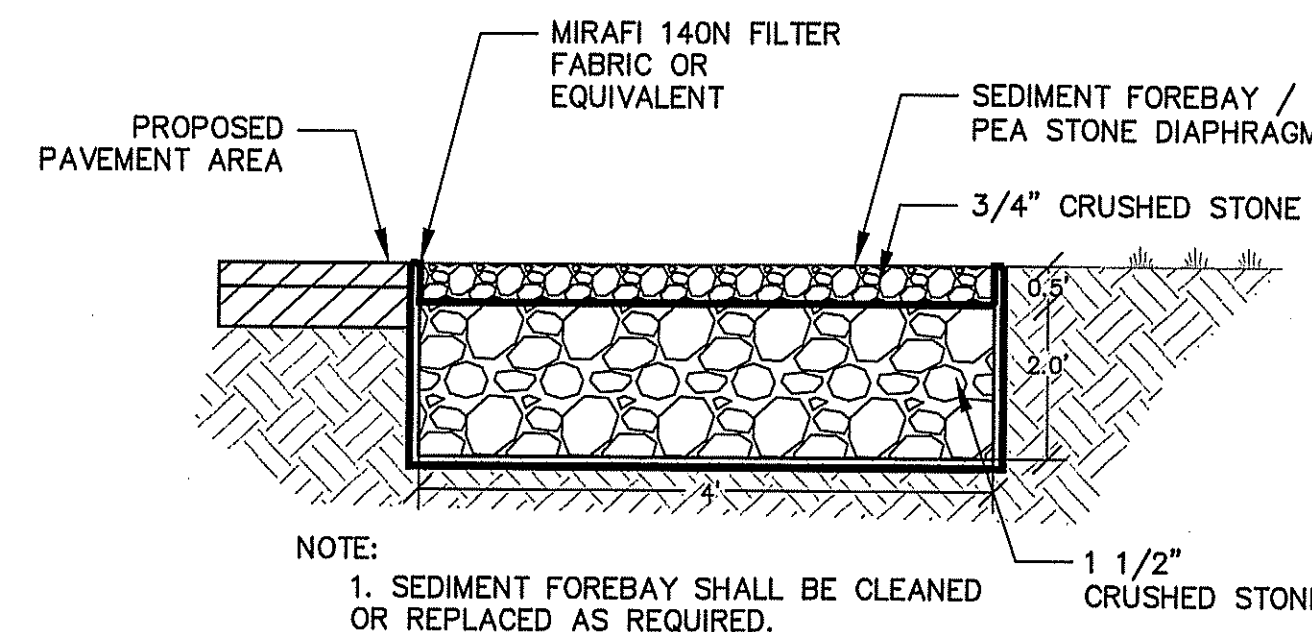
N.T.S.



- NOTES:
- EXCAVATION TO ALLOW FOR FREE TRAVEL OF COMPACTION EQUIPMENT
 - ALL COMPACTION TO A MINIMUM 95 PERCENT DRY DENSITY DETERMINED BY ASTM D1557 SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
 - ALL PRECAST TO MEET OR EXCEED ASTM C-478 AND AASHTO M 199 SPECIFICATIONS
 - REINFORCED STEEL TO MEET OR EXCEED ASTM A185 AND H-20 LOADING REQUIREMENTS
 - ALL PRECAST CONCRETE TO BE 4,000 PSI MINIMUM AND MEET ASTM C-478 (6.1)
 - IF NO STEPS ARE SPECIFIED THAN AS THE LOCAL MUNICIPALITY REQUIRES OR IF NO MUNICIPALITY REQUIREMENTS THEN COPOLYMER POLYPROPYLENE COATED REINFORCED PER ASTM C-478 AND OSHA (STD 1-1.9)
 - FILL ALL INTERNAL AND EXTERNAL HOLES WITH NON-SHRINK GROUT

4' I.D. DIAMETER PRECAST CONCRETE SEWER MANHOLE

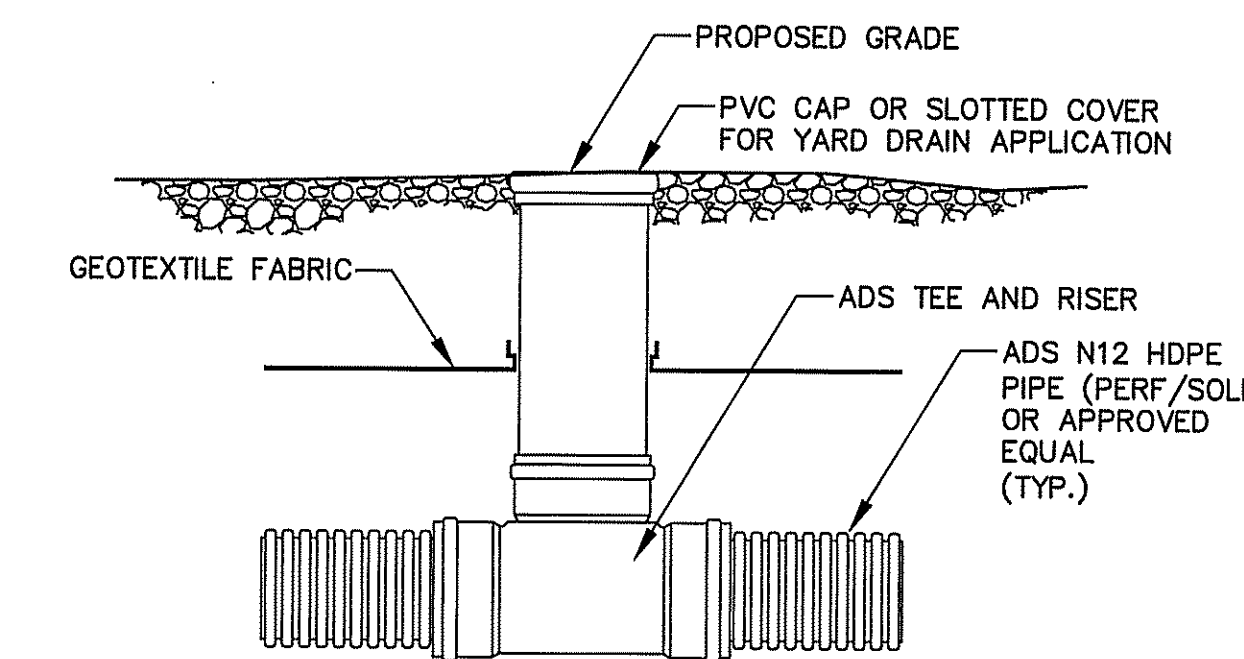
N.T.S.



- NOTE:
- SEDIMENT FOREBAY SHALL BE CLEANED OR REPLACED AS REQUIRED.

INFILTRATION TRENCH DETAIL

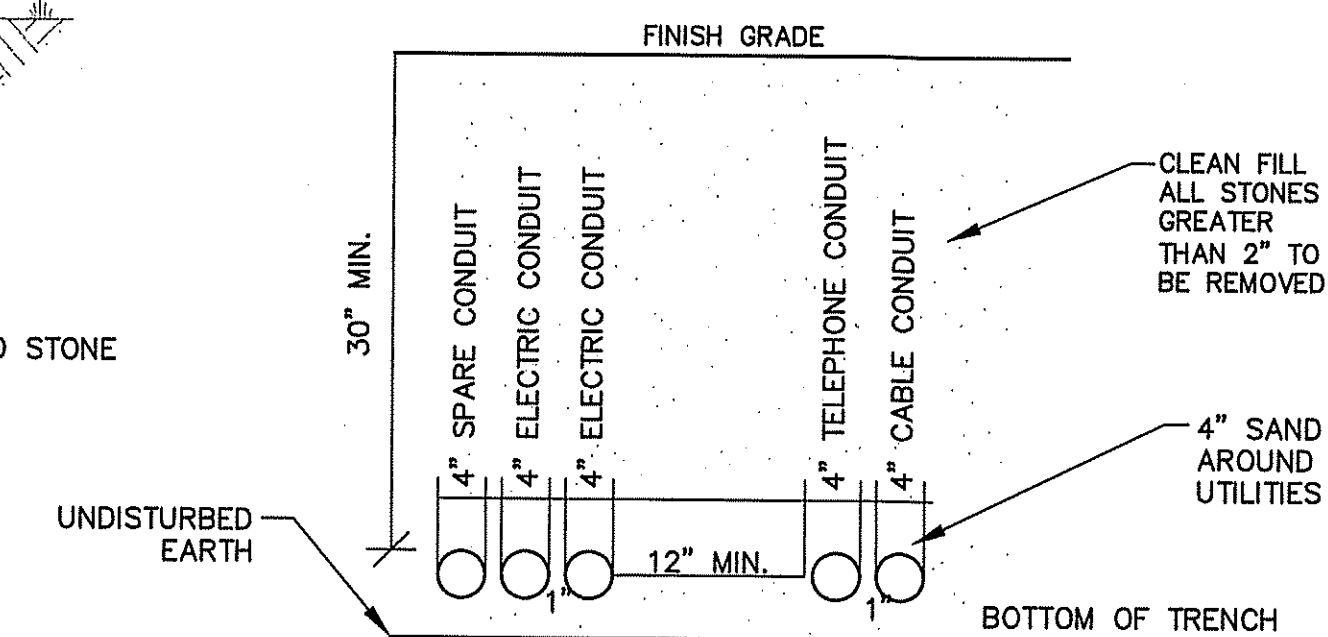
N.T.S.



- NOTES:
- RISER PIPE CAP ELEVATION TO BE SET FLUSH W/GRADE.
 - ALTERNATE CLEANOUTS MAY BE UTILIZED WITH PRIOR APPROVAL.

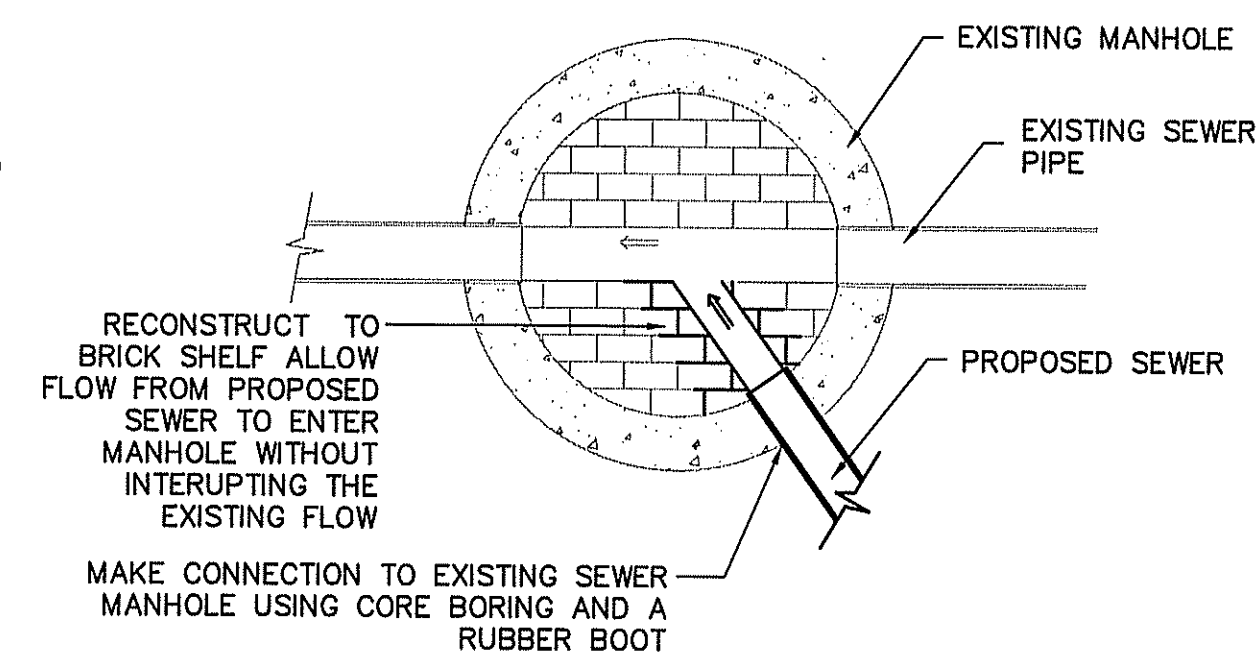
CLEANOUT/YARD DRAIN DETAIL

N.T.S.



TYPICAL UTILITY TRENCH DETAIL

N.T.S.



CONNECTION TO EXISTING SMH

N.T.S.

No.	Date	Revision
1.	3/10/21	No Revision



Drawn By: JLL
 Designed By: FJM
 Checked By: JRM

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Project Name
Riverdale
 30 Riverdale Avenue
 Newton, MA

Sheet Title
Construction Details

Job No: 195
 File Name: 195P-DET02
 Date: February 22, 2021
 Scale: N.T.S.

Sheet No.
7

