

41 WASHINGTON STREET NEWTON, MA 02458

DRAWING LIST:

- A0 COVER SHEET / DRAWING LIST
- SURVEY PLAN
- SURVEY DRAINAGE PLAN
- SURVEY DRAINAGE PLAN DETAILS
- C1 SITE PLAN
- A1 FLOOR PLANS - NEW HOUSE
- A2 ELEVATIONS - NEW HOUSE
- A3 FLOOR PLAN + ELEVATIONS - NEW DECK W/ PARKING BELOW
- A4 ZONING AREA PLANS / FAR - NEW HOUSE

SB ARCHITECTS
1200 WASHINGTON ST #218, BOSTON MA 02118
TEL: 617 982 6176 CELL: 617 797 3573
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PROJECT:
41 WASHINGTON ST
NEWTON MA 02458

PERMIT SET

DRAWING TITLE:
COVER PAGE / DRAWING LIST

SCALE:
N.A.

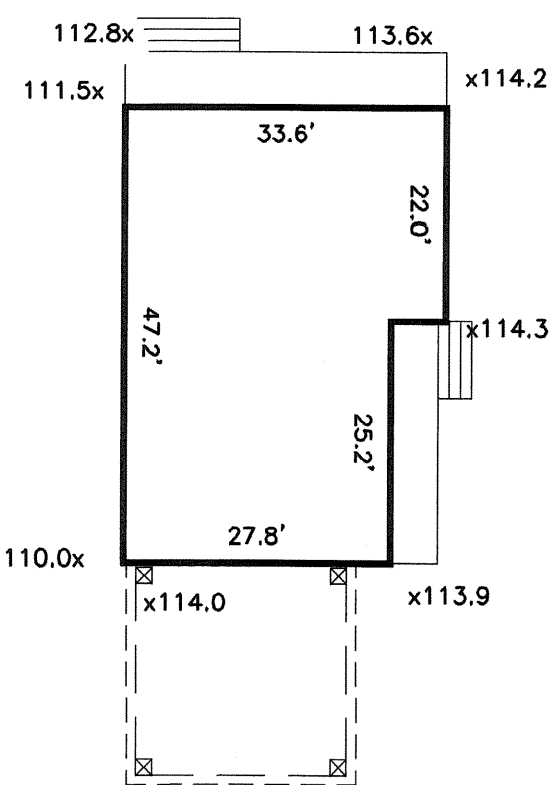
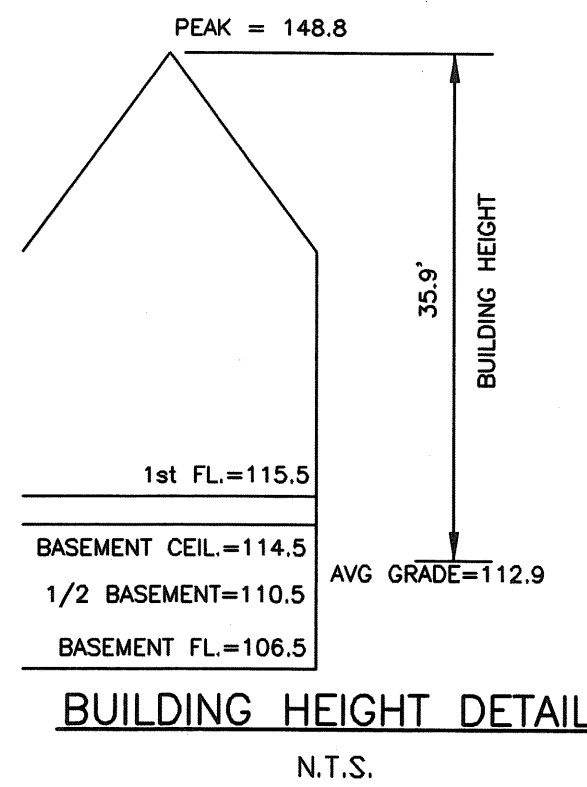
DATE:
07/24/2020

SHEET:

A0

GENERAL NOTES:

- ELEVATIONS REFER TO CITY OF NEWTON BASE. BENCHMARK: MAGNETIC PK NAIL SET IN UTILITY POLE ACROSS FROM LOCUS, ELEVATION=121.07.
- THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 811 OR 1-888-DIG-SAFE (1-888-344-7233) IN ORDER TO COMPLY WITH STATE LAW.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER.
- NO WORK WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY IS ALLOWED BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, THE APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER, OR DESIGNEE FOR SUCH WORK.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE. HE HAS SUBMITTED BY WRITTEN NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
 - SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY AND TELEPHONE SERVICE IN THE CITY.
 - SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
 - CITY OF NEWTON WATER & SEWER DEPARTMENT.
 SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
- NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
- ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED TO THE SAME DEPTH OF THE EXISTING PAVEMENT (BINDER & TOP), OR AS DIRECTED BY THE ENGINEERING SITE INSPECTOR, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
- WITH THE EXCEPTION OF THE GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE I (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
- WARNING SIGNS SHALL CONFORM TO PAGE 12 OF THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
- THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING AND UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT WITH THE DPW.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, EVERETT M. BROOKS CO. INC. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY THEN BE BACKFILLED.
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLANS SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND DRAINAGE (INCLUDING SWING-TIES), EASEMENTS AND FINAL GRADING.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. EVERETT M. BROOKS CO. INC. WILL NOT PROVIDE AS-BUILT CERTIFICATIONS TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
- APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONALITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTIONS, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
- PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
- PROPOSED DOMESTIC WATER SERVICE SHALL BE 1" TYPE K COPPER.
- PROPOSED FIRE PROTECTION WATER PIPE SHALL BE 2" TYPE K COPPER.
- PROPOSED DRAIN PIPES SHALL BE A MINIMUM OF 4" PVC PIPING. ANY DRAIN PIPES WITH LESS THAN FOUR (4) FEET OF COVER UNDER ROADWAYS AND DRIVEWAYS SHALL BE PVC SCHEDULE 80 OR DUCTILE IRON (H2O LOADING).
- THE NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE ENGINEERING INSPECTOR FROM THE CITY OF NEWTON. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH CITY OF NEWTON SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION.
- ALL OF THE ROOF RUNOFF FROM THE PROPOSED ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE PROPOSED DRAINAGE SYSTEM.
- ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING AREA AND TO A DISTANCE 5' Laterally IN ALL DIRECTIONS BEYOND THE SIDES OF THE AREA. BACKFILL IS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE SAND SHALL HAVE A PERCOLATION RATE OF 2 MINUTES PER INCH OR FASTER.
- WHENEVER PROPOSED SEWER PIPE DOES NOT HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION OR IS NOT AT LEAST 18" VERTICALLY BELOW THE EXISTING OR PROPOSED WATER PIPE, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND NOVEMBER 4, 2014.
- ALL PROPOSED WALLS BY OTHERS.
- CONSTRUCTION FENCING AND SILT FENCING SHALL BE PLACED AROUND THE ENTIRE SITE, AS REQUIRED.



NOTE: ELEVATIONS REFER TO LOWEST FINISHED GRADE WITHIN 6' OF FOUNDATION.

AVERAGE GRADE PLANE CALCULATION:
(ORD 7-90)

AVG GRADE PLANE = $\frac{\sum[(E1+E2)]}{2} / P$

AVG GRADE PLANE = $\frac{17,587.55 / 155.8}{2} = 112.9$

AVERAGE GRADE PLANE DETAIL

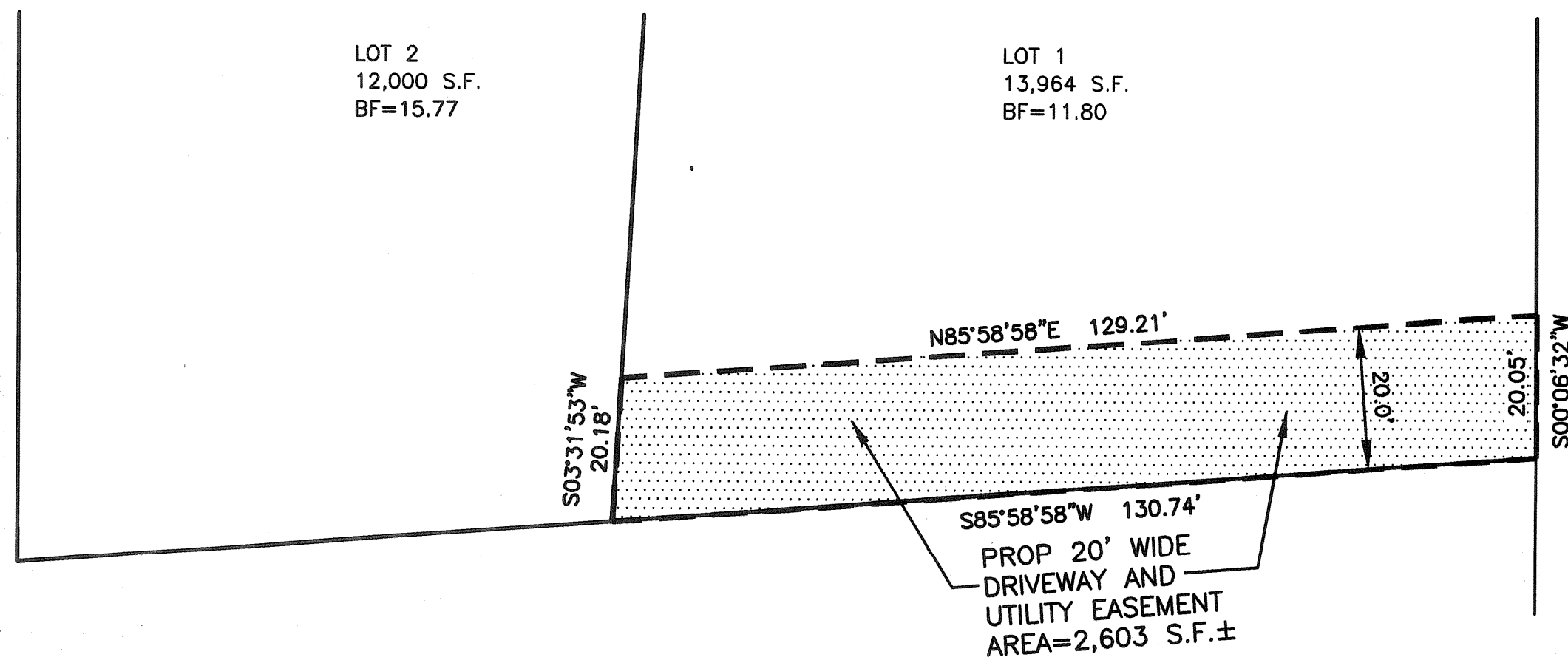
N.T.S.

ZONING INFORMATION LOT 2

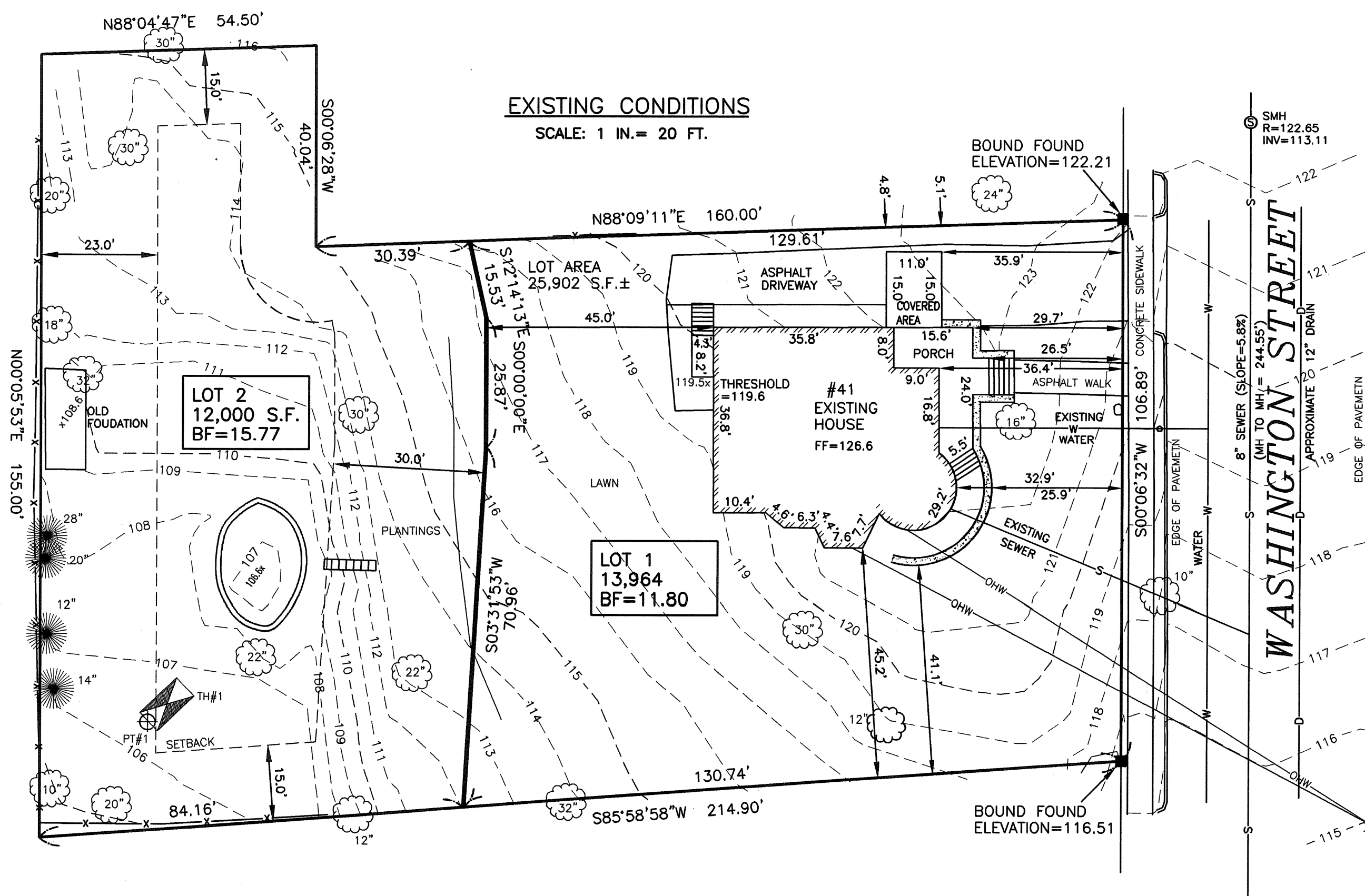
ZONE: SR-3
DEED REFERENCE: BOOK 12080 PAGE 139

	EXISTING	PROPOSED	REQUIRED
BUILDINGS	0 S.F.	2,242 S.F.	
STRUCTURES	0 S.F.	2,242 S.F.	
DRIVE	0 S.F. ±	1,412 S.F. ±	
	0 S.F. ±	3,665 S.F. ±	
LOT COVERAGE	0%	18.7%	25% (MAX)
OPEN SPACE	100% ±	69.5% ±	50% (MIN.)

- NOTES**
- SEE ARCHITECTURAL PLAN FOR F.A.R. CALCULATION.
 - ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.



PROPOSED EASEMENT DETAIL
SCALE: 1 IN. = 20 FT.

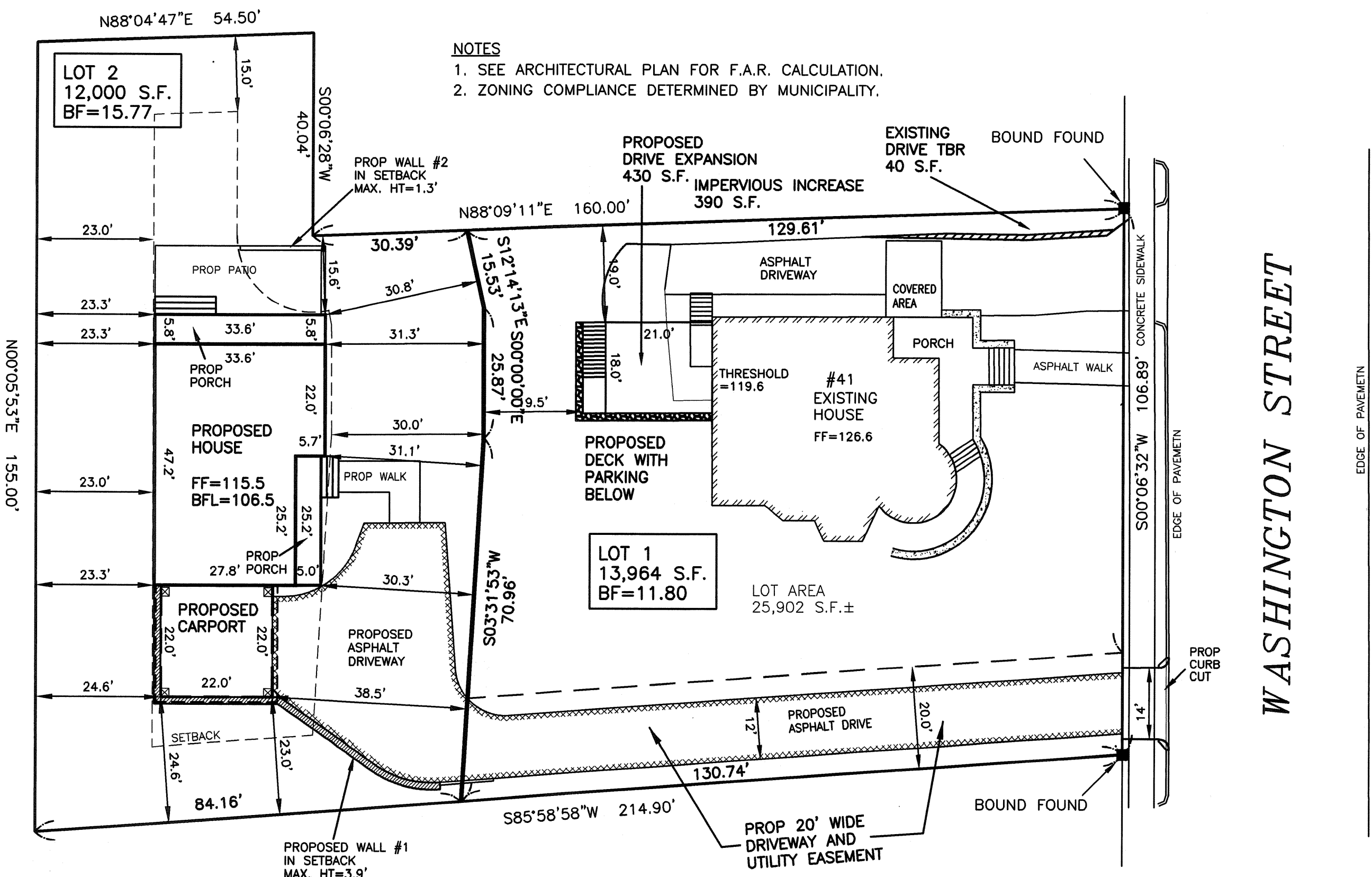


ZONING INFORMATION LOT 1

ZONE: SR-3
DEED REFERENCE: BOOK 12080 PAGE 139

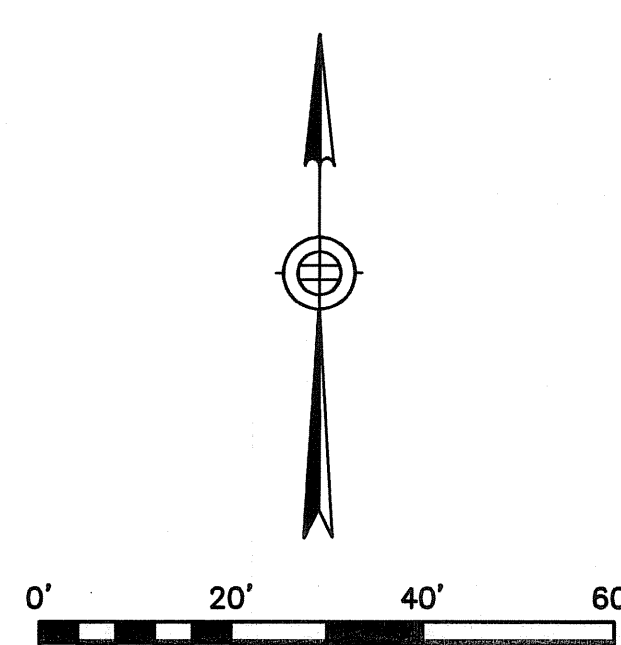
	EXISTING	PROPOSED	REQUIRED
BUILDINGS	2,206 S.F.	2,206 S.F.	
STRUCTURES	2,206 S.F.	2,284 S.F.	
DRIVE	1,043 S.F. ±	3,005 S.F. ±	
	3,249 S.F. ±	5,289 S.F. ±	
LOT COVERAGE	15.8%	15.8%	30% (MAX)
OPEN SPACE	77% ±	62% ±	50% (MIN.)

- NOTES**
- SEE ARCHITECTURAL PLAN FOR F.A.R. CALCULATION.
 - ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.



PROPOSED LAYOUT
SCALE: 1 IN. = 20 FT.

EMB
EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS
49 LEXINGTON STREET
WEST NEWTON, MA 02465
(617) 827-8750
(617) 332-1578 FAX
info@everettbrooks.com



LEGEND

- UTILITY POLE
- WATER GATE
- ⊕ HYDRANT
- ⊕ GAS GATE
- ⊕ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ CATCH BASIN
- TREE
- LIGHT POLE
- SIGN
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- TH#1 DEEP TEST HOLE
- PT#1 PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- [] — PROPOSED CONTOUR
- [] — EXISTING CONTOUR
- D — DRAIN LINE
- RD — ROOF DRAIN
- FD — FOUNDATION DRAIN
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE
- OHW — OVERHEAD WIRES
- X — FENCE
- [] — STONEWALL
- [] — HEDGE
- [] — TREE LINE

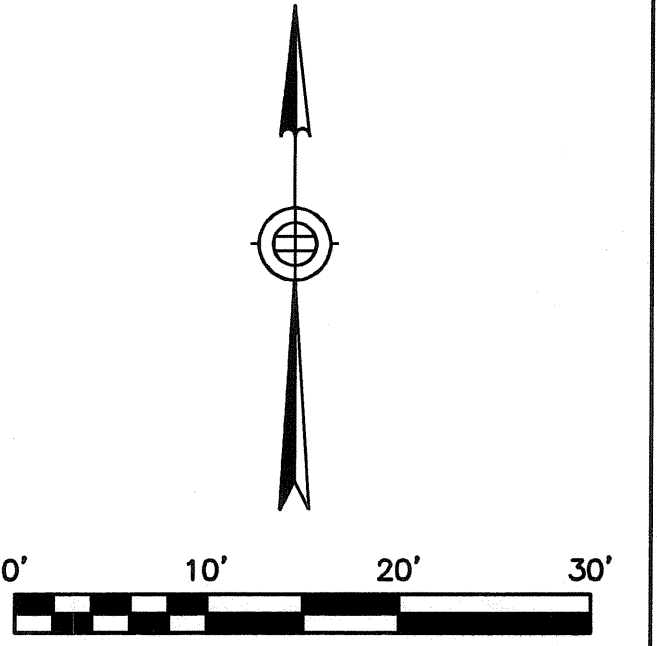
SITE PLAN OF LAND IN NEWTON, MA

41 WASHINGTON STREET

SCALE: 1 IN. = 20 FT.
DATE: JULY 23, 2020
DRAWN: ES
CHECK: MSK & BB
REVISIONS:

PROJECT NO. 26100 SHEET 1 OF 3

SOIL LOG: SEPTEMBER 3, 2015
TEST HOLE #1 (TH#1)
 ELEVATION = 106.5
 0'-8" A SANDY LOAM 10 YR 4/1
 8"-22" B SANDY LOAM 10 YR 7/8
 22"-108" C SANDY LOAM 2.5 Y 7/6
 NO MOTTLES OBSERVED
 NO GROUNDWATER OBSERVED
 NO LEDGE OBSERVED
PERCOLATION TEST #1 (PT#1)
 DEPTH: 36"-48"
 DESIGN RATE: 30 MPI



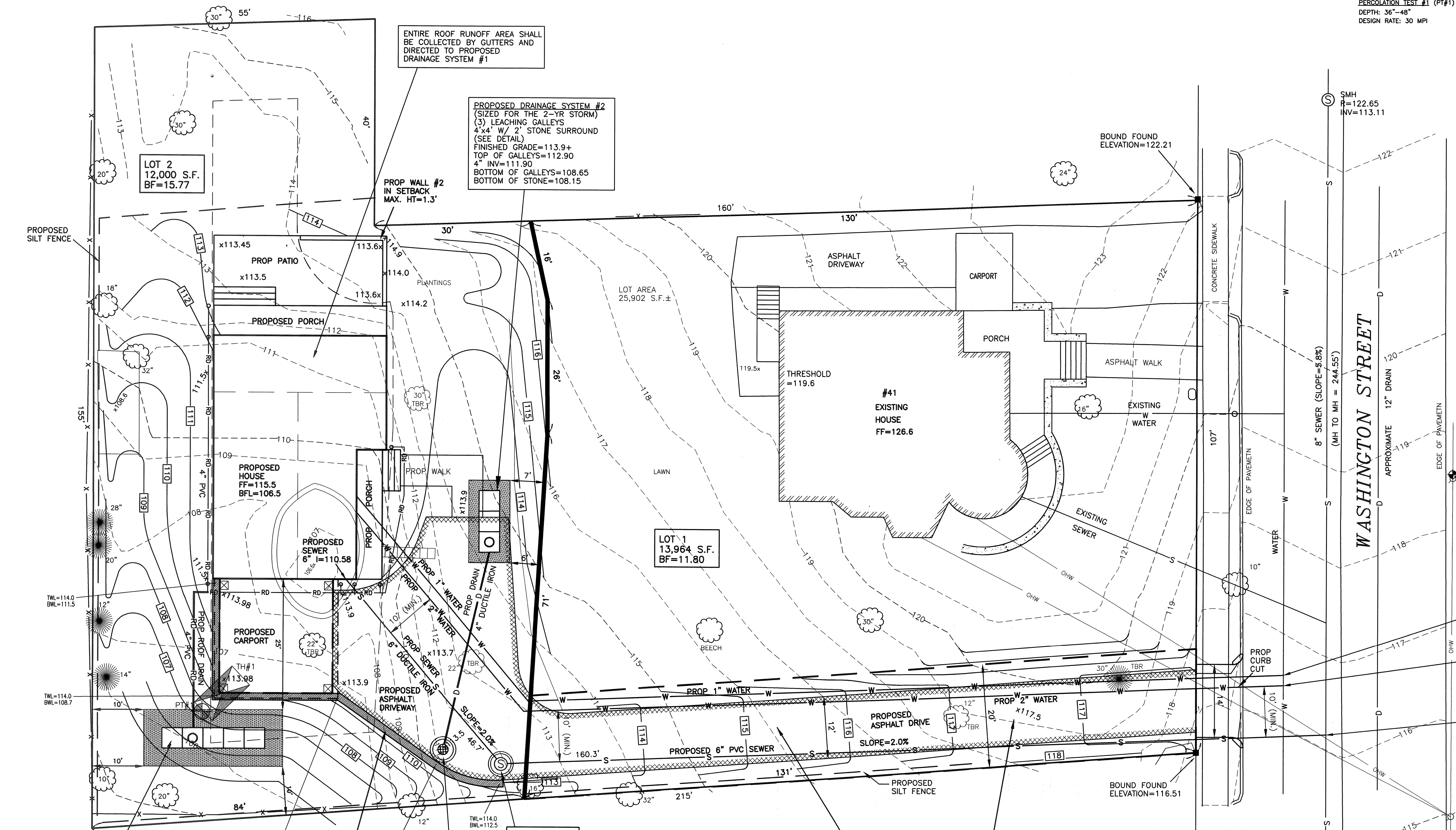
LEGEND

- UTILITY POLE
- WATER GATE
- HYDRANT
- GAS GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- TREE
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- TBR TO BE REMOVED
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- TH#1 PK NAIL SET IN UTILITY POLE ELEVATION=121.07 CITY OF NEWTON BASE
- PT#1 PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- DRAIN LINE
- ROOF DRAIN
- FOUNDATION DRAIN
- WATER LINE
- SEWER LINE
- GAS LINE
- OHW OVERHEAD WIRES
- X FENCE
- STONEWALL
- HEDGE
- TREE LINE

PROPOSED DOMESTIC WATER LINE
 1" TYPE K COPPER

PROPOSED SPRINKLER WATER LINE
 2" TYPE K COPPER

PROPOSED SEWER CONNECTION
 FINISHED GRADE=116.2
 6" INV=106.15 (PROP)
 8" INV=105.98 (EXIST)



PROPOSED DRAINAGE SYSTEM #1
 (SIZED FOR THE 100-YR STORM)
 (5) LEACHING GALLEYS
 4'x4' W/ 3.5' STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=105.5+
 TOP OF GALLEYS=104.50
 4" INV=103.50
 BOTTOM OF GALLEYS=100.25
 BOTTOM OF STONE=99.75

ENTIRE ROOF RUNOFF AREA SHALL
 BE COLLECTED BY GUTTERS AND
 DIRECTED TO PROPOSED
 DRAINAGE SYSTEM #1

PROPOSED DRAINAGE SYSTEM #2
 (SIZED FOR THE 2-YR STORM)
 (3) LEACHING GALLEYS
 4'x4' W/ 2' STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=113.9+
 TOP OF GALLEYS=112.90
 4" INV=111.90
 BOTTOM OF GALLEYS=108.65
 BOTTOM OF STONE=108.15

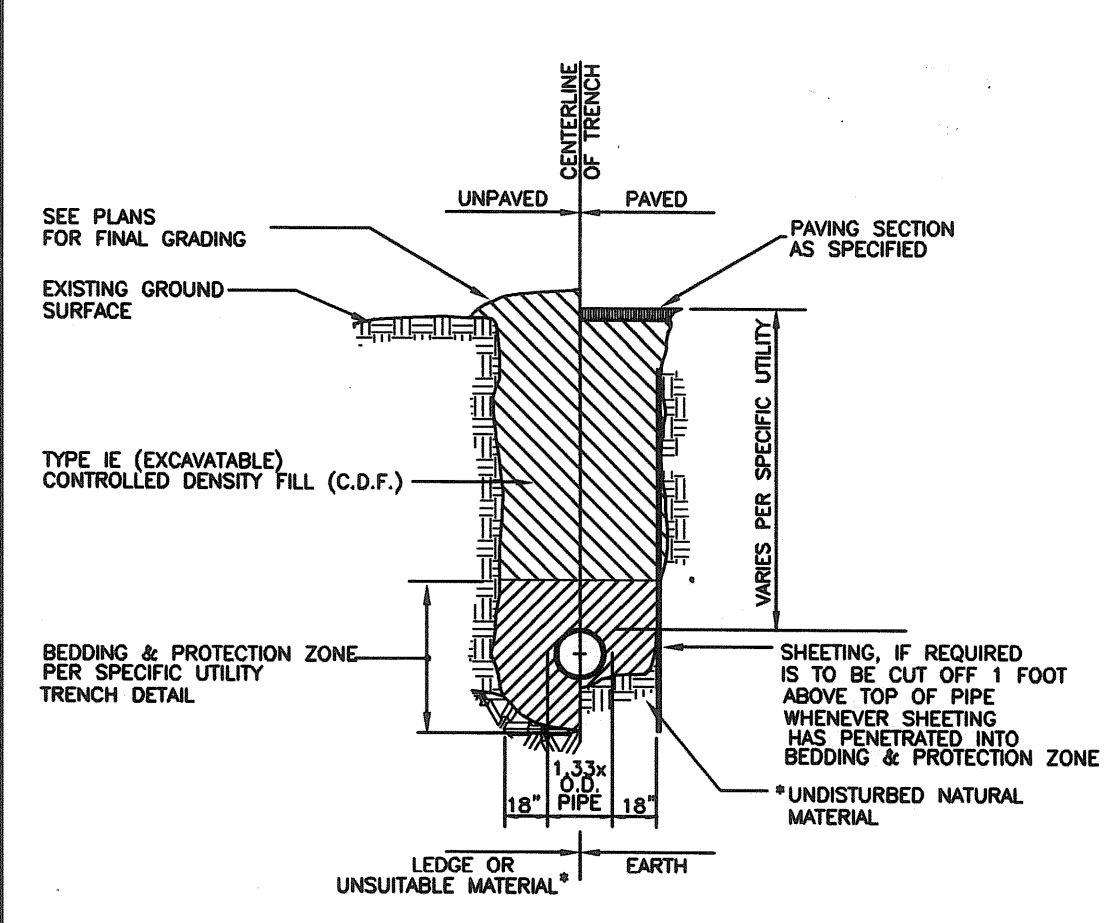
PROP WALL #2
 IN SETBACK
 MAX. HT=1.3'

PROPOSED UTILITIES & GRADING
 SCALE: 1 IN. = 10 FT.

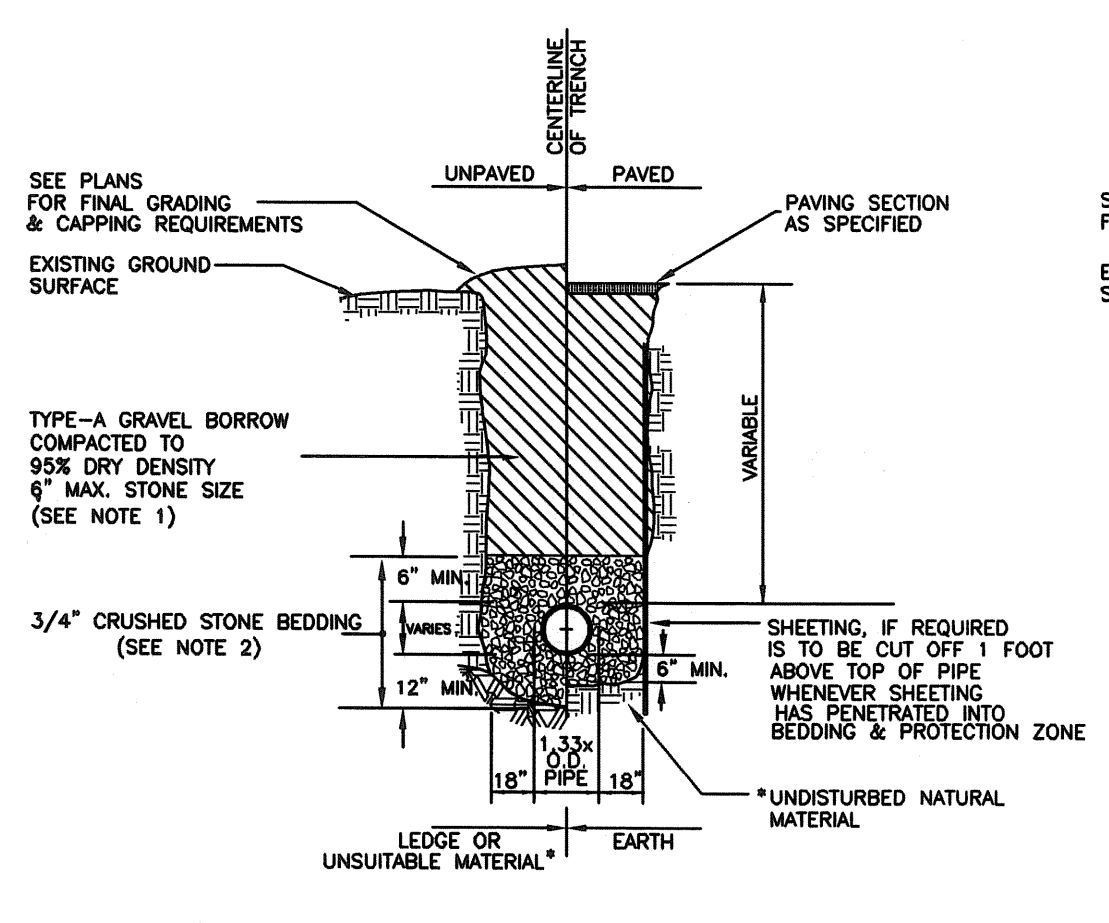
**SITE PLAN OF LAND IN
 NEWTON, MA**

41 WASHINGTON STREET

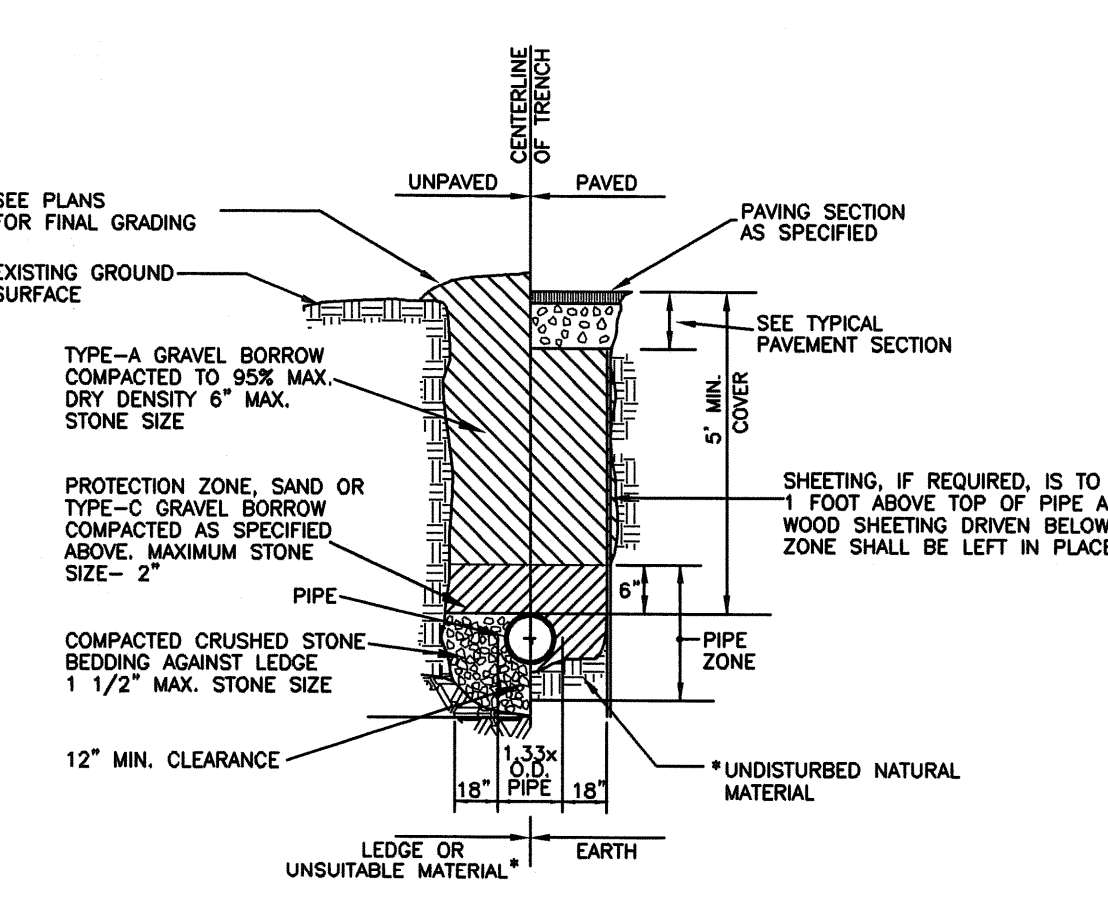
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 DATE: JULY 16, 2020
 DRAWN: ES
 CHECK: MSK & BB
 REVISIONS:



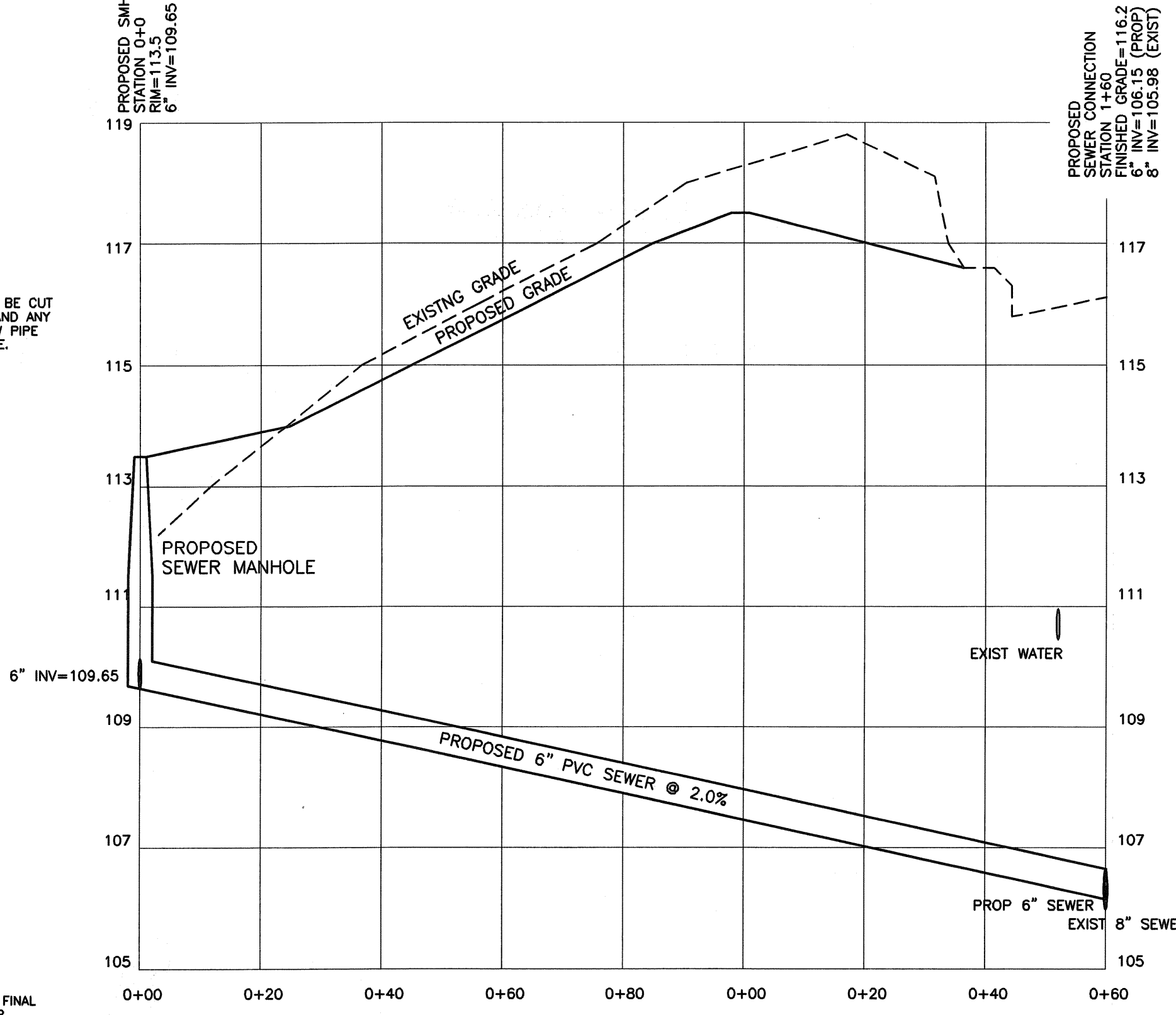
TYPICAL C.D.F. TRENCH DETAIL
N.T.S.



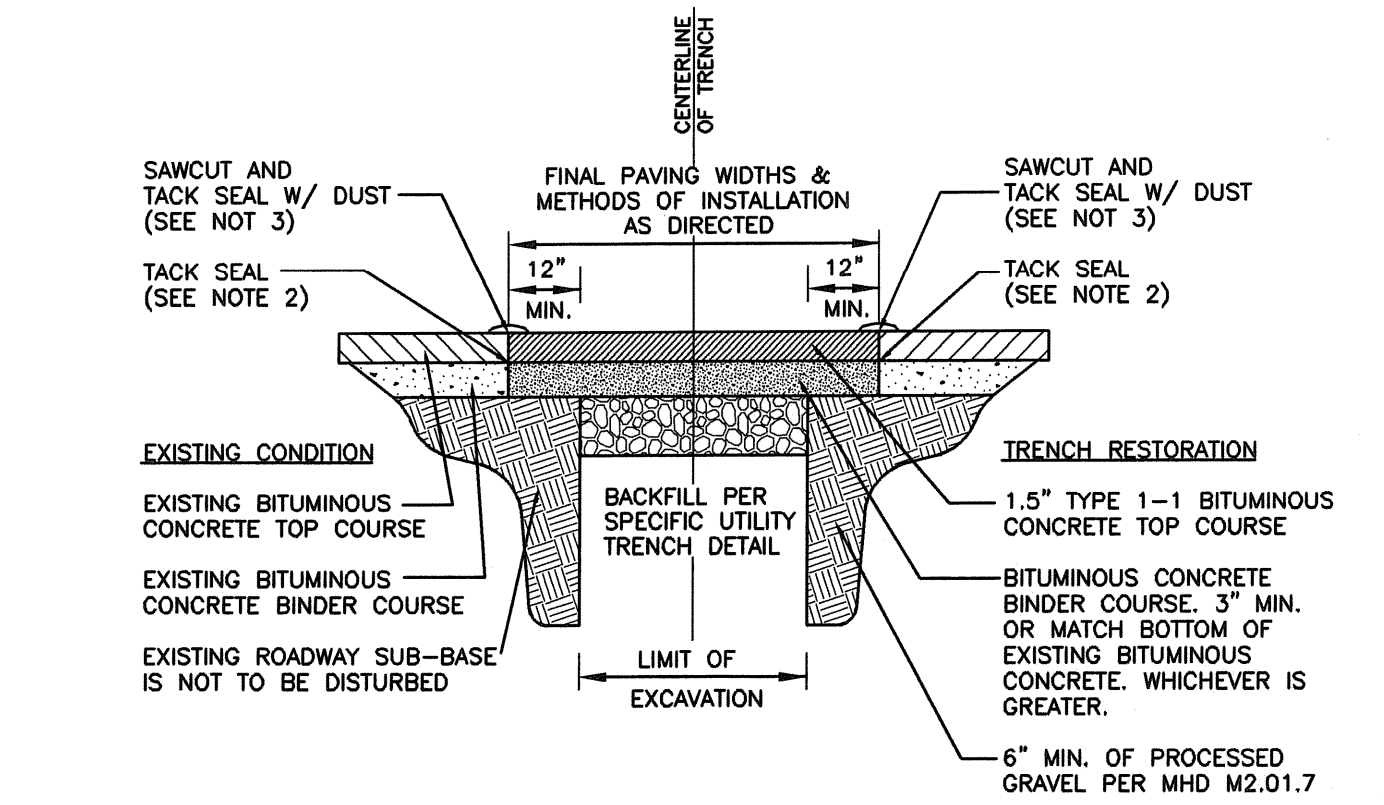
GRAVITY SEWER TRENCH DETAIL
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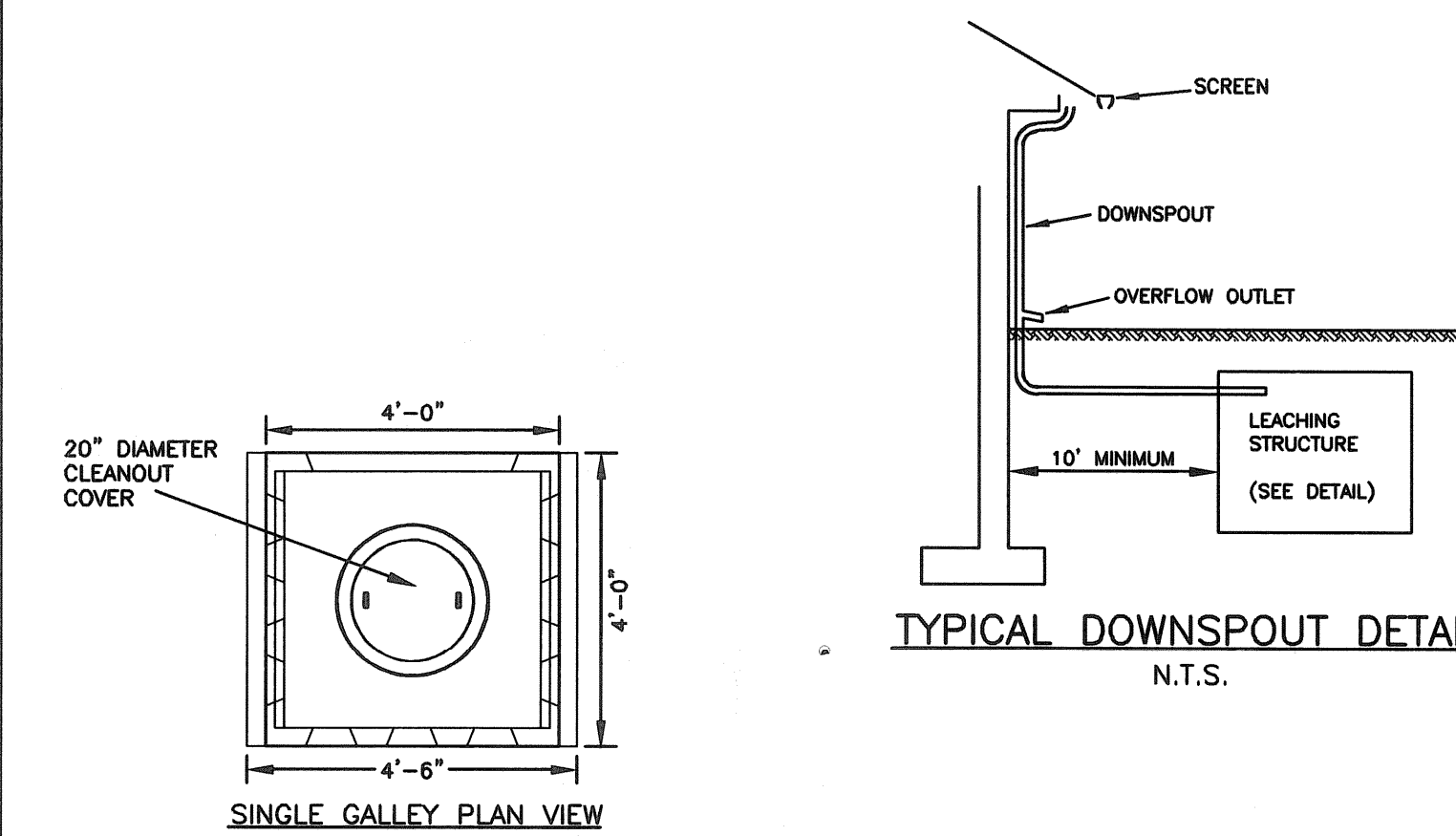
TYPICAL WATER TRENCH DETAIL
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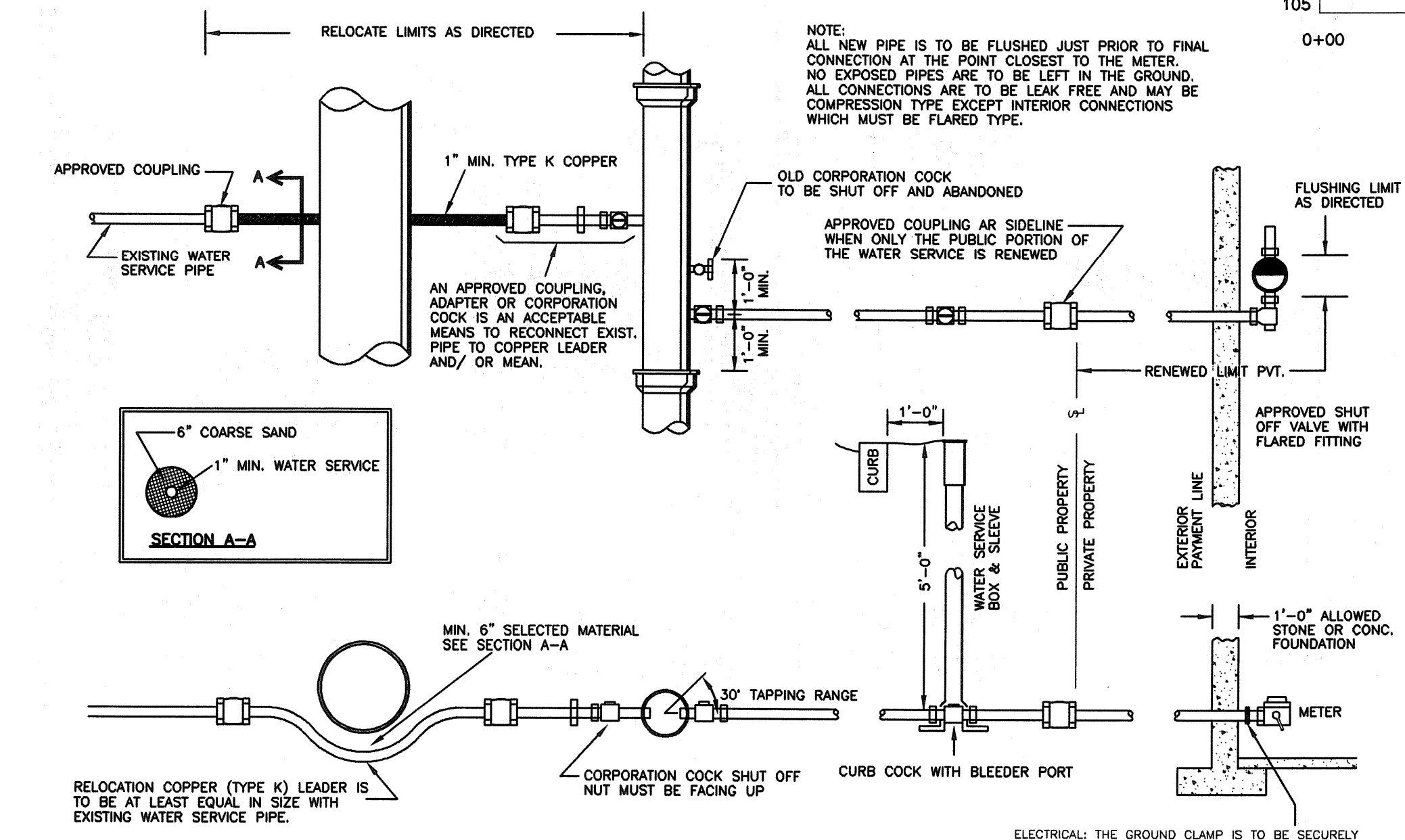
PROPOSED SEWER CONNECTION
VERTICAL SCALE: 1 IN. = 2 FT.
HORIZONTAL SCALE: 1 IN. = 20 FT.



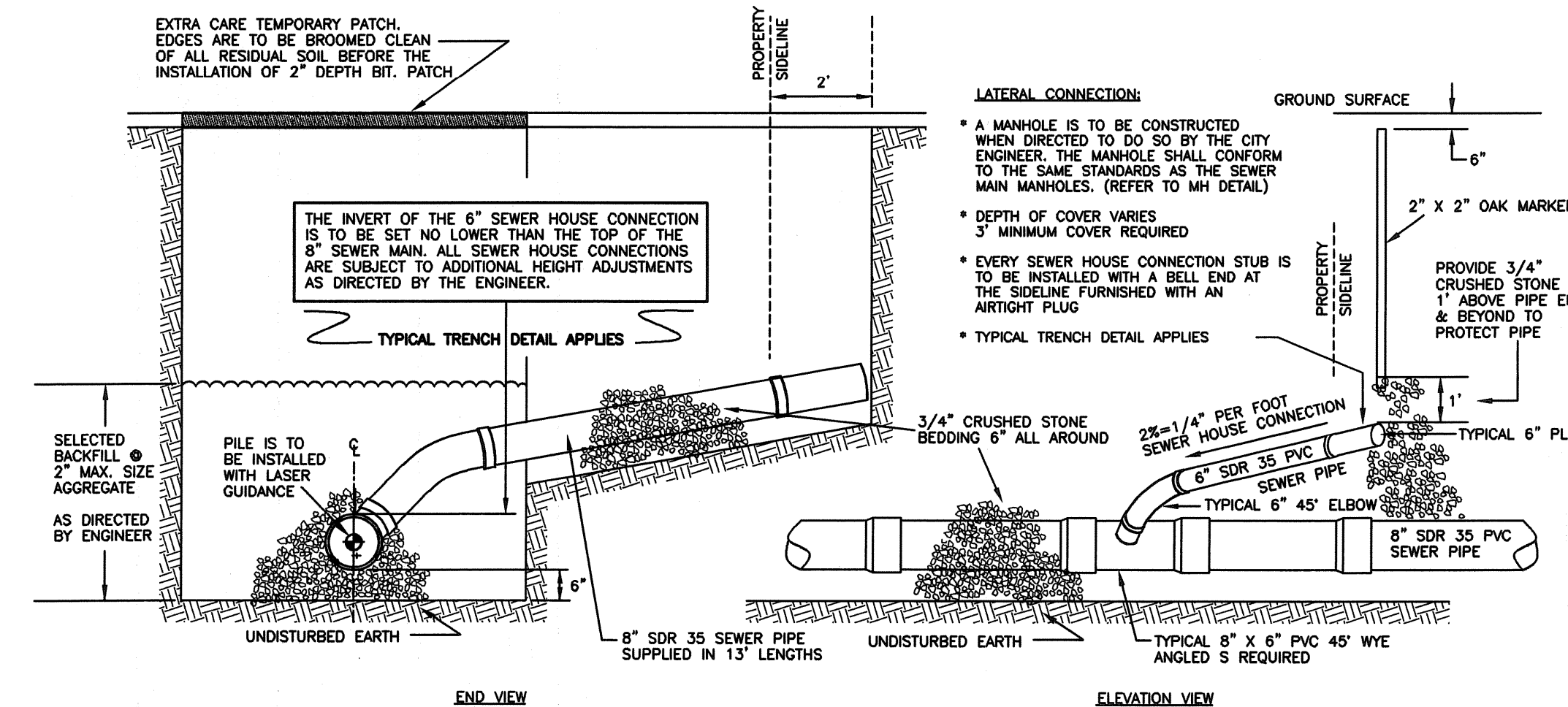
TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL
N.T.S.



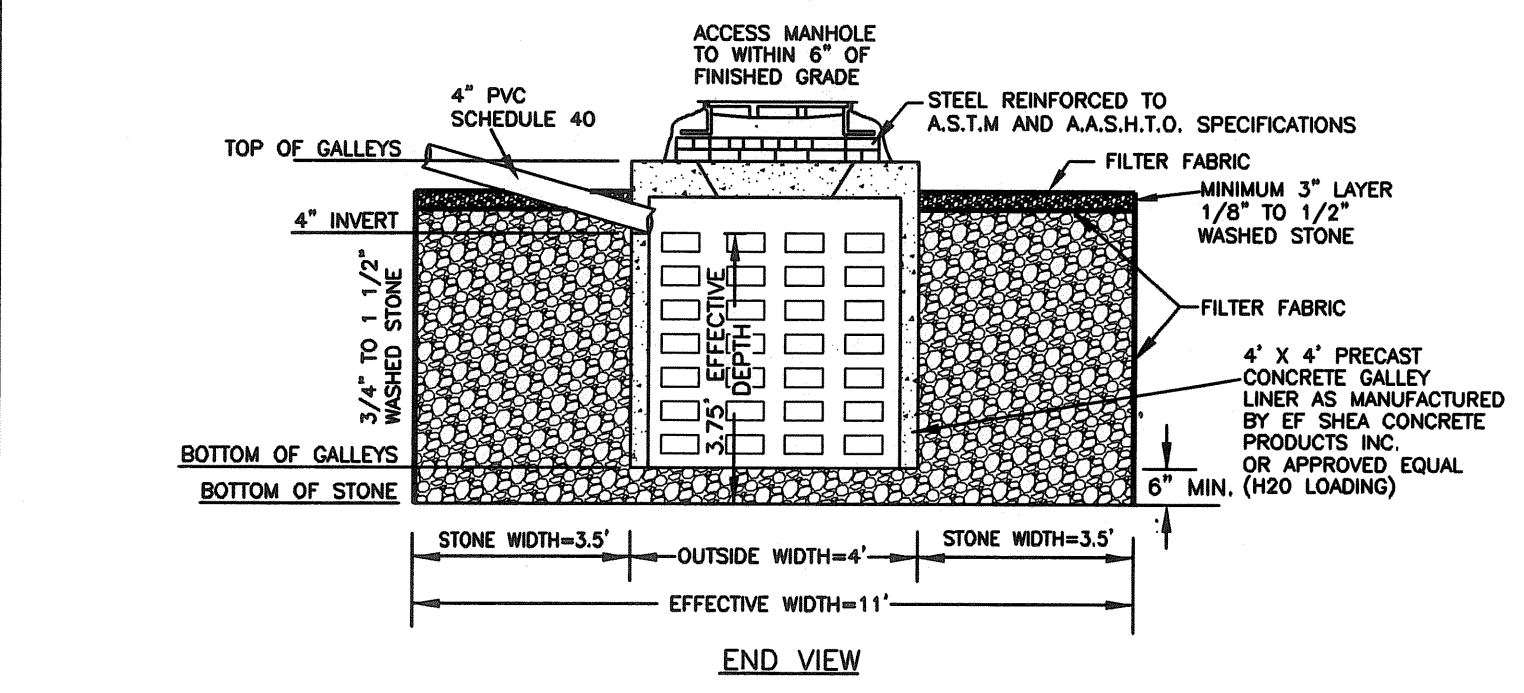
TYPICAL DOWNSPOUT DETAIL
N.T.S.



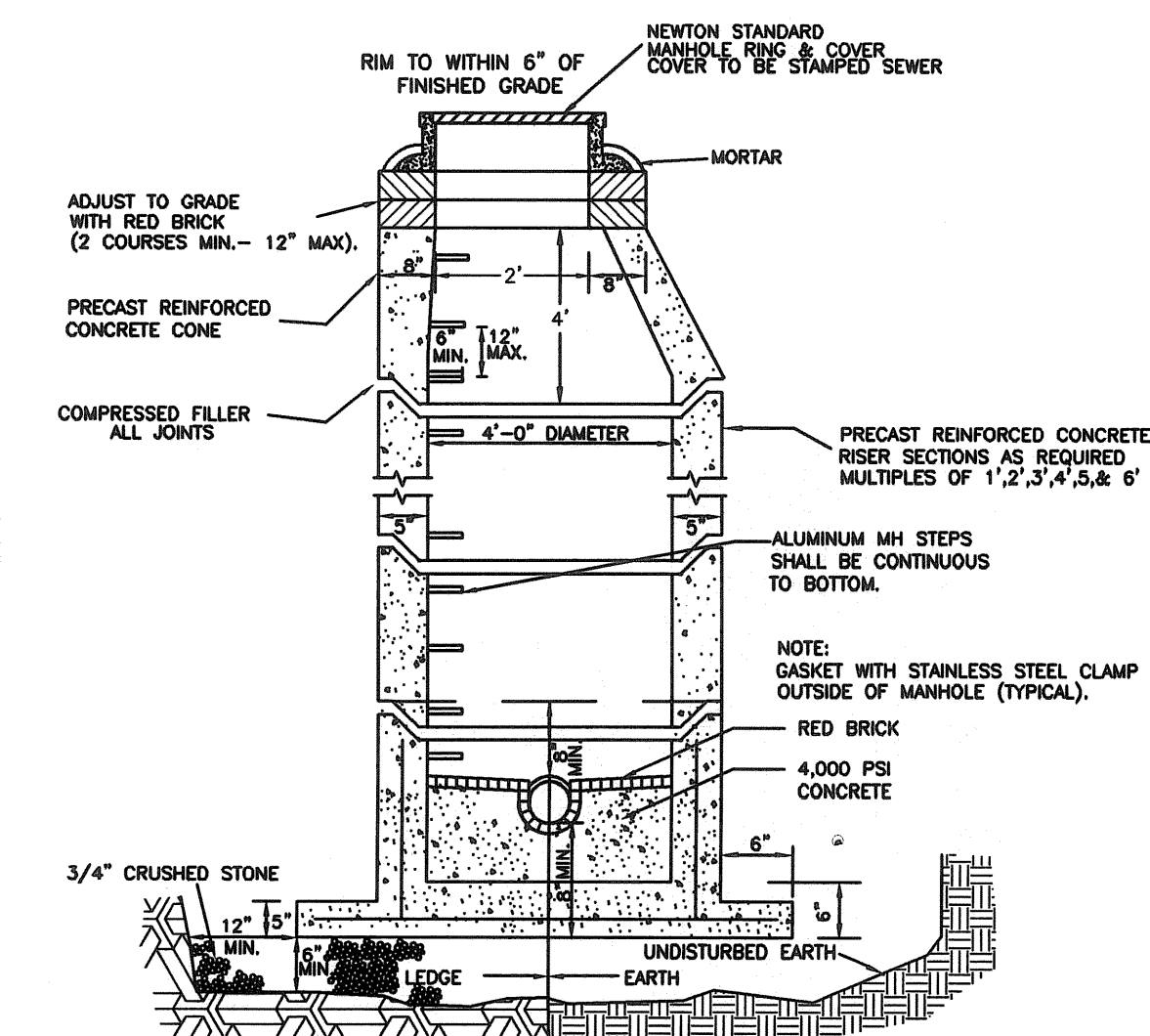
TYPICAL WATER SERVICE CONFIGURATION
N.T.S.



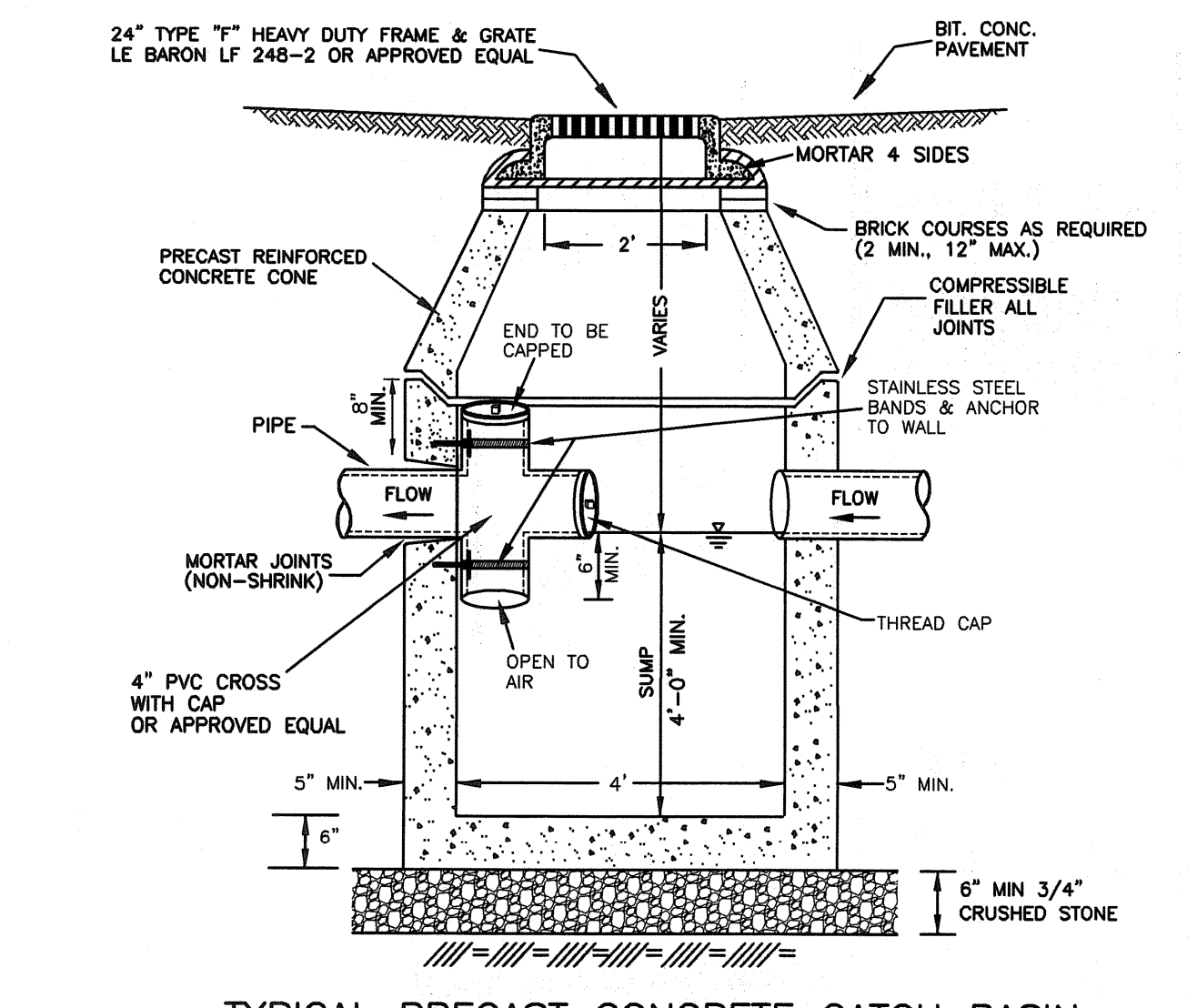
TYPICAL PVC SEWER HOUSE CONNECTION
N.T.S.



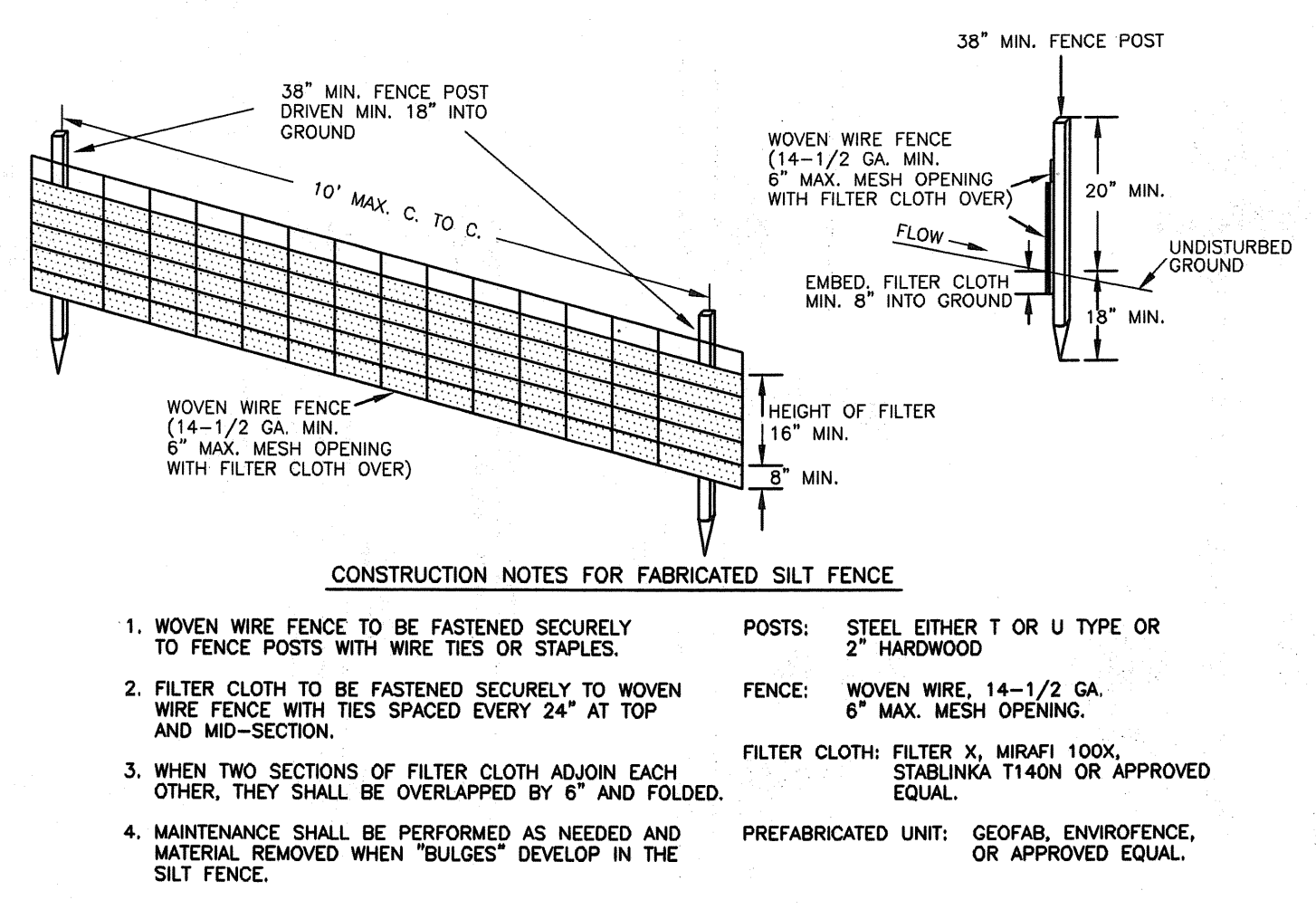
LEACHING GALLEY DETAIL
N.T.S.



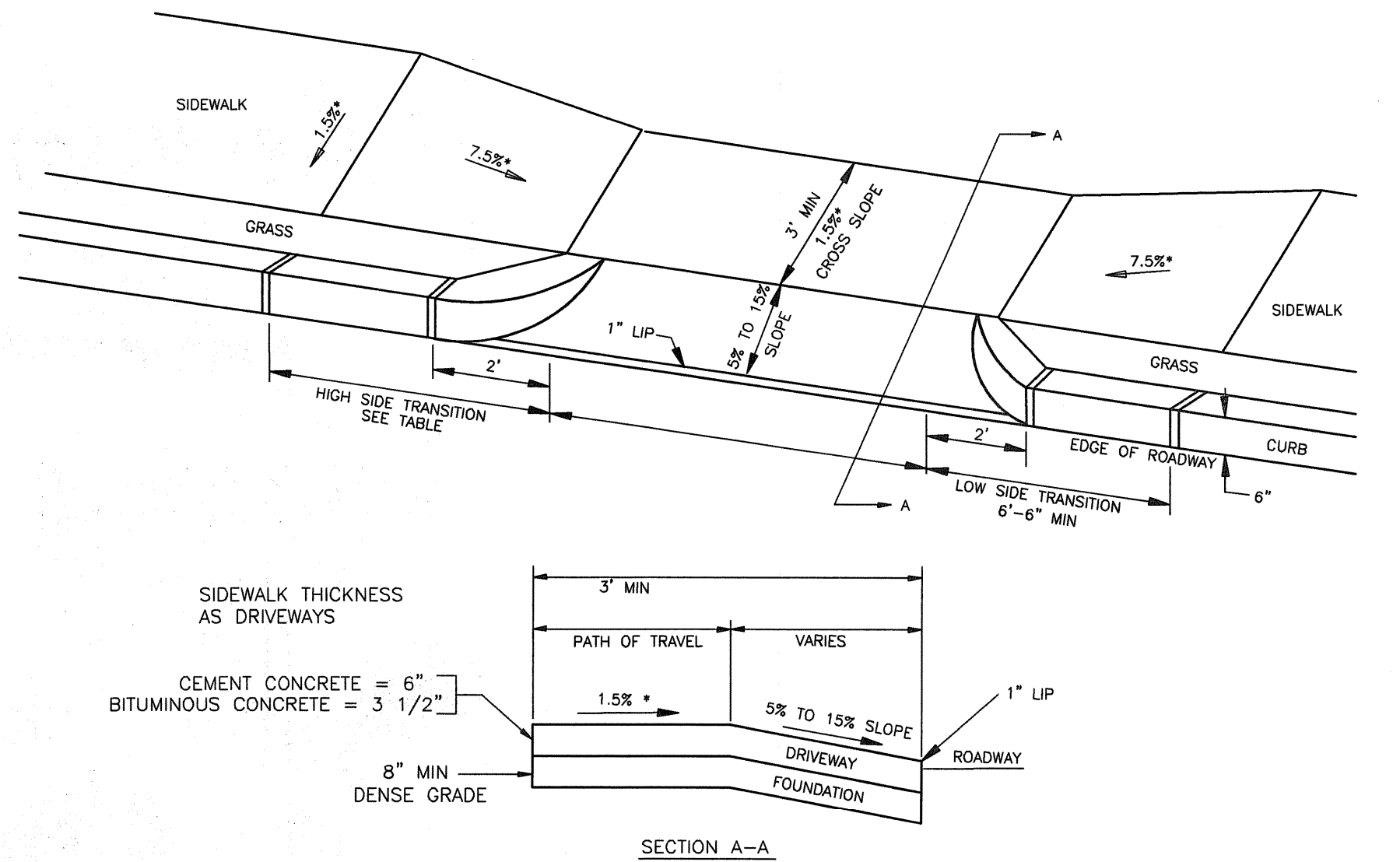
TYPICAL PRECAST CONCRETE SEWER MANHOLE
N.T.S.



TYPICAL PRECAST CONCRETE CATCH BASIN WITH PVC GAS TRAP
N.T.S.



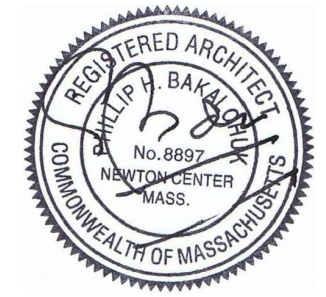
SILT FENCE DETAIL
N.T.S.



DRIVEWAY APRON WITH CORNER BLOCKS
N.T.S.

SITE PLAN OF LAND IN NEWTON, MA

41 WASHINGTON STREET
SCALE: 1 IN. = 20 FT.
DATE: JULY 16, 2020
DRAWN: ES
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PROJECT NO. 26100 SHEET 3 OF 3



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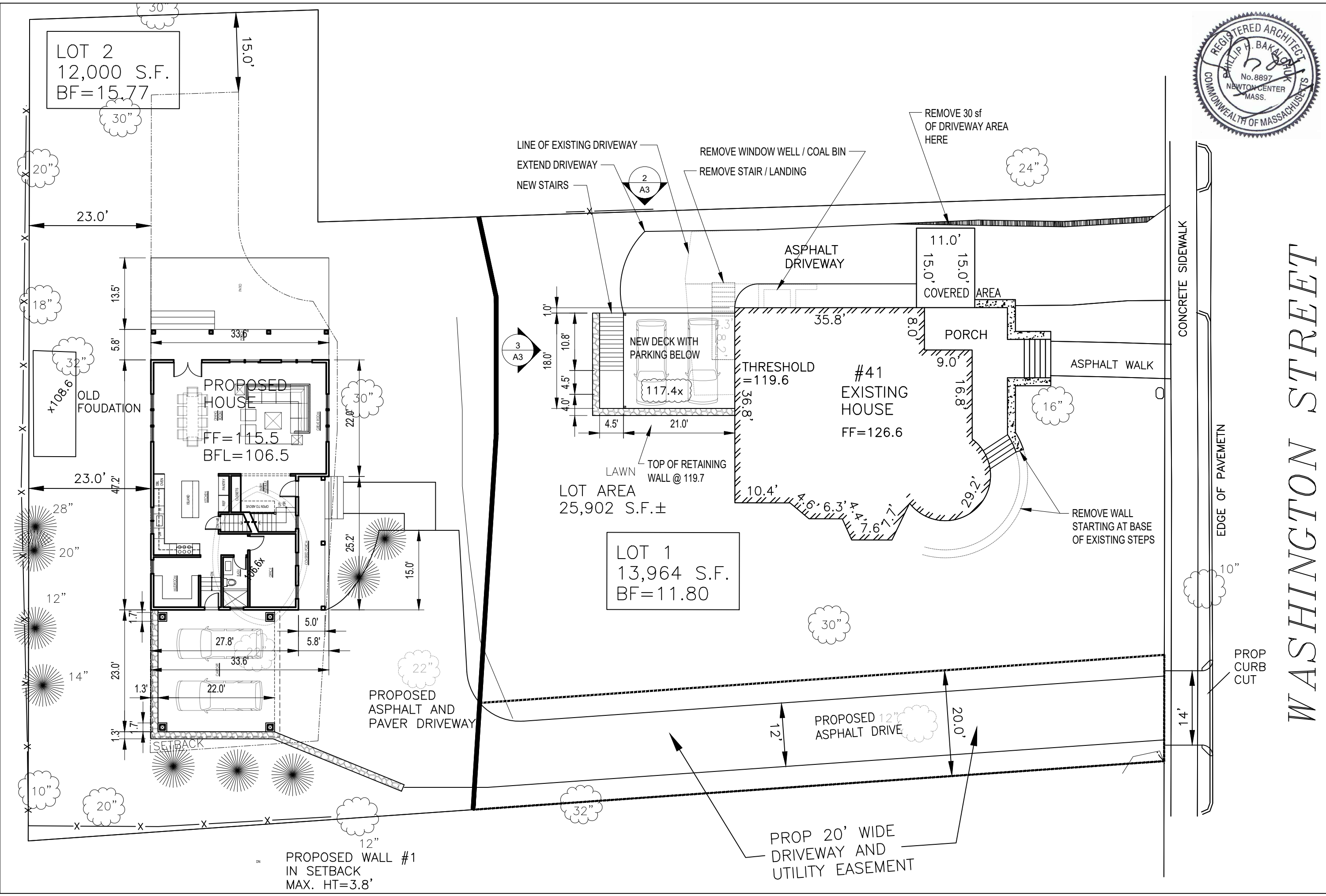
DRAWING TITLE:
 SITE PLAN

SCALE:
 1/16" = 1'-0"

DATE:
 07/24/2020

SHEET:

C1



WASHINGTON STREET

CONCRETE SIDEWALK

EDGE OF PAVEMENT

PROP CURB CUT

PROPOSED WALL #1
 IN SETBACK
 MAX. HT=3.8'

PROP 20' WIDE
 DRIVEWAY AND
 UTILITY EASEMENT

PROPOSED 12" ASPHALT DRIVE

REMOVE WALL
 STARTING AT BASE
 OF EXISTING STEPS

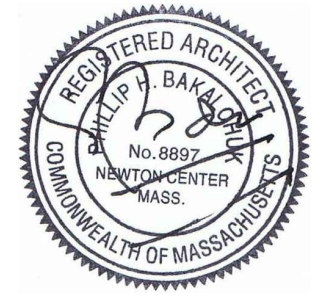
#41
 EXISTING HOUSE
 FF=126.6

LOT 1
 13,964 S.F.
 BF=11.80

LOT AREA
 25,902 S.F.±

PROPOSED HOUSE
 FF=115.5
 BFL=106.5

LOT 2
 12,000 S.F.
 BF=15.77



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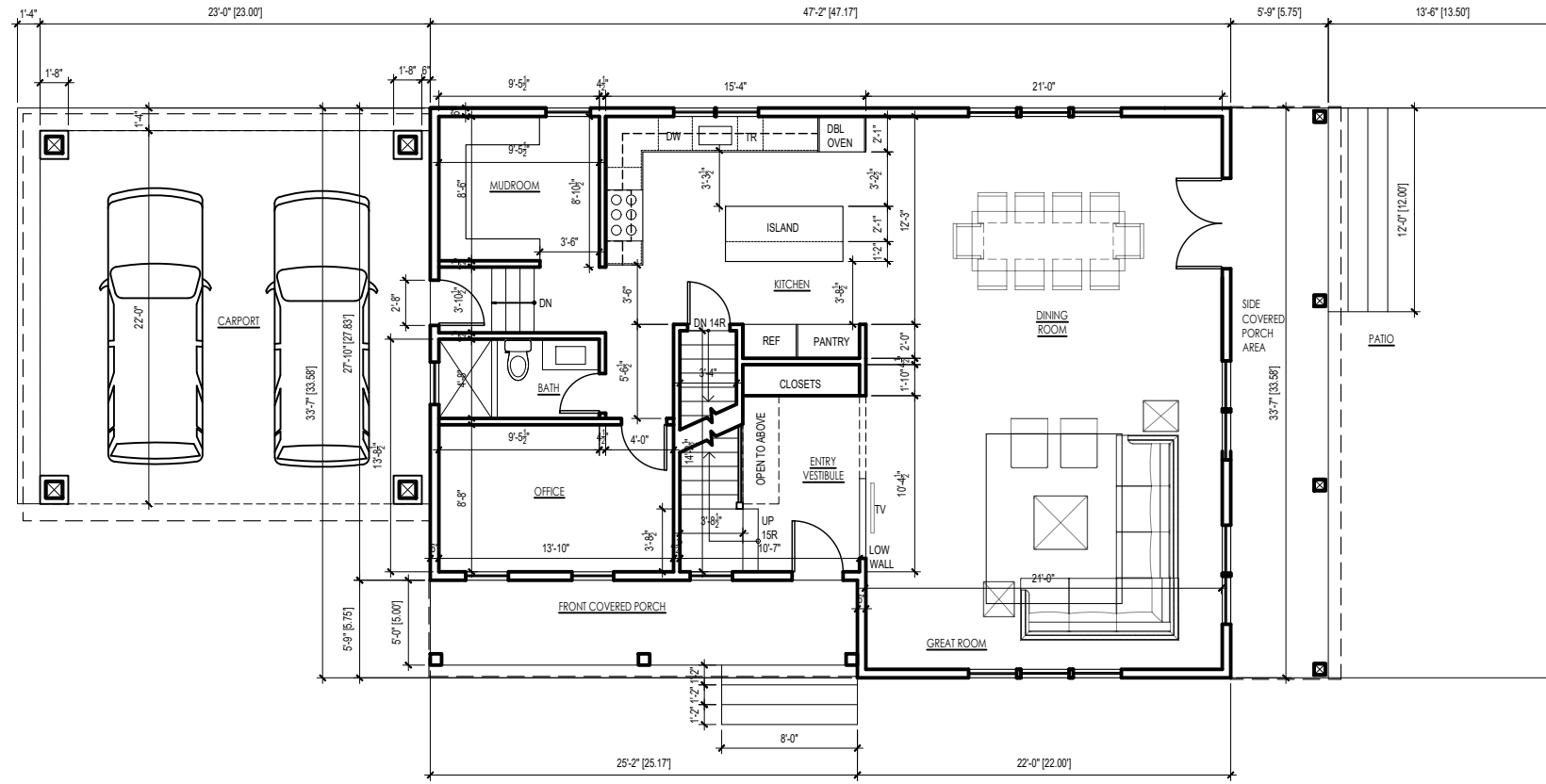
DRAWING TITLE:
 FLOOR PLANS - NEW HOUSE

SCALE:
 3/32" = 1'-0"

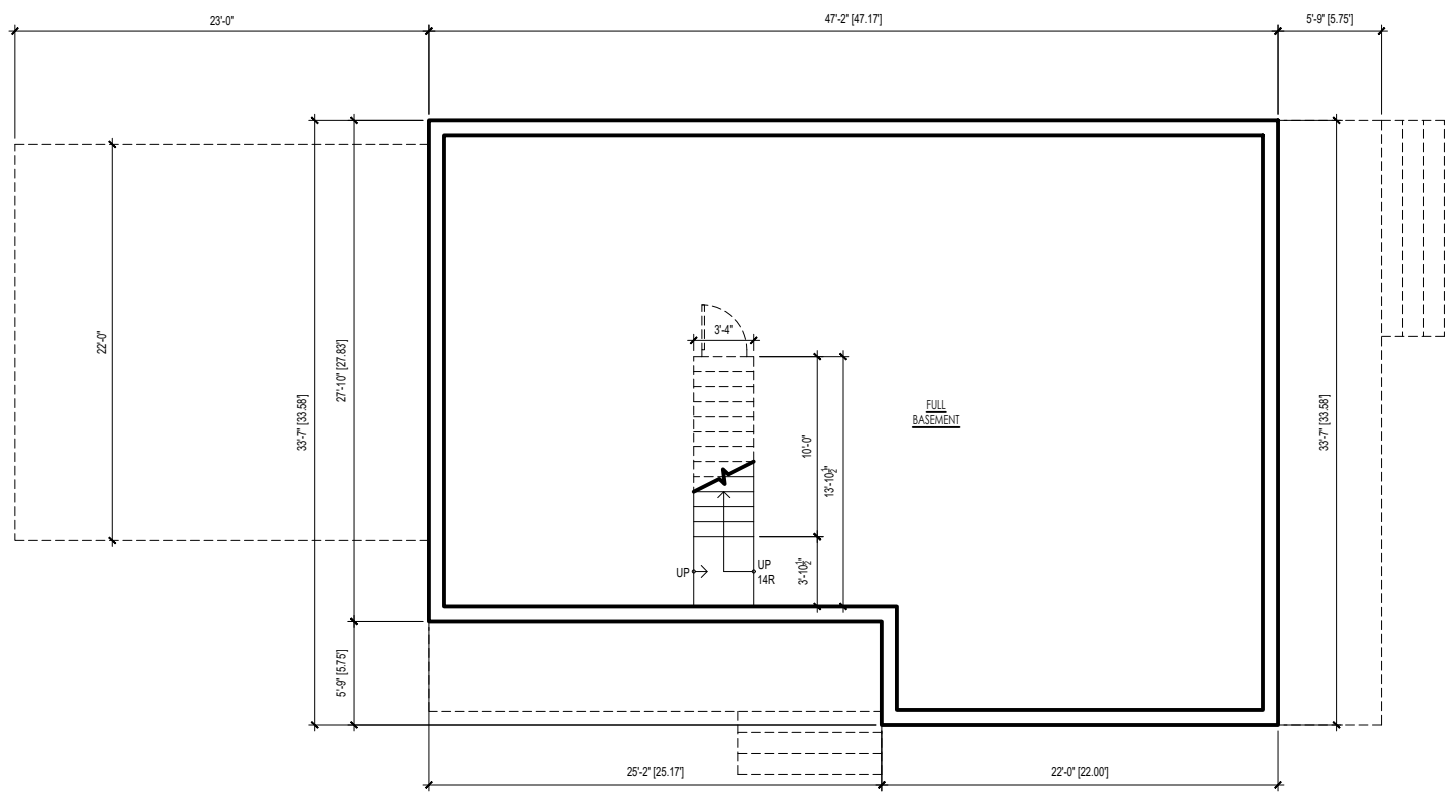
DATE:
 07/24/2020

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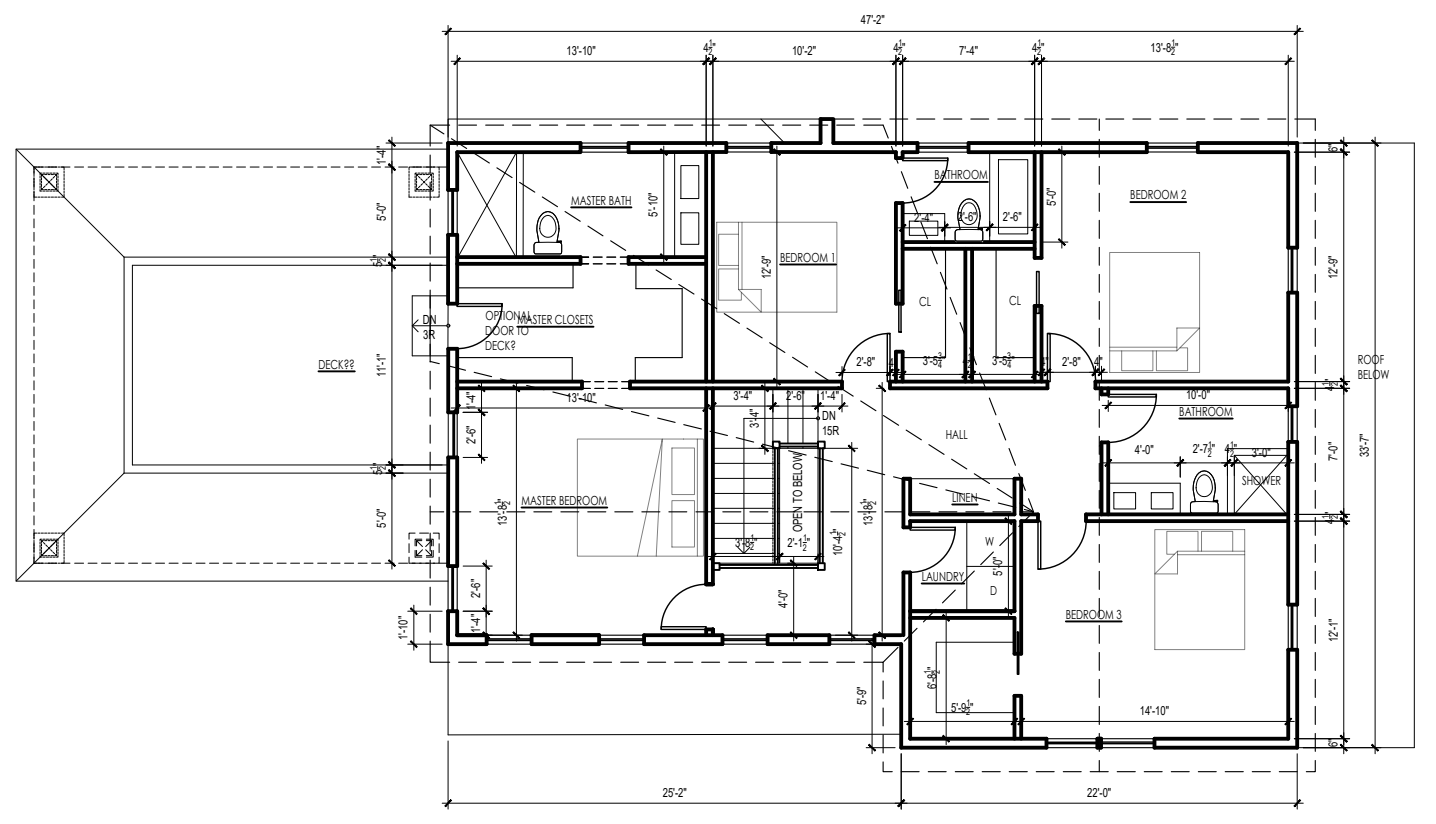
A1



2 1ST FLOOR PLAN
 Scale: 3/32" = 1'-0"



1 BASEMENT PLAN
 Scale: 3/32" = 1'-0"

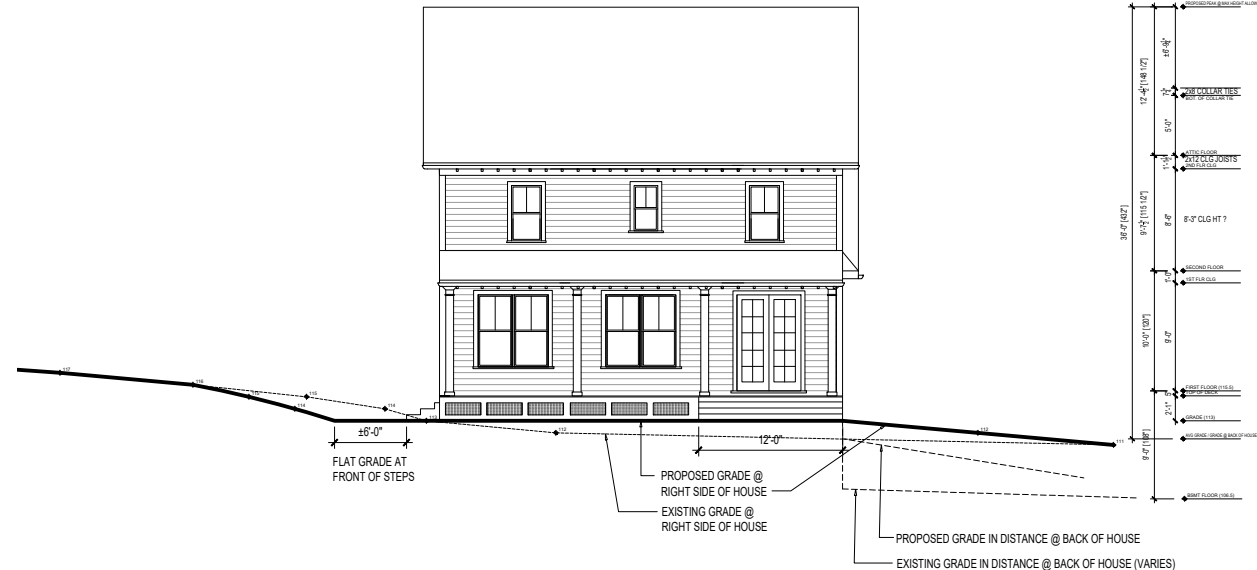


3 2ND FLOOR PLAN
 Scale: 3/32" = 1'-0"



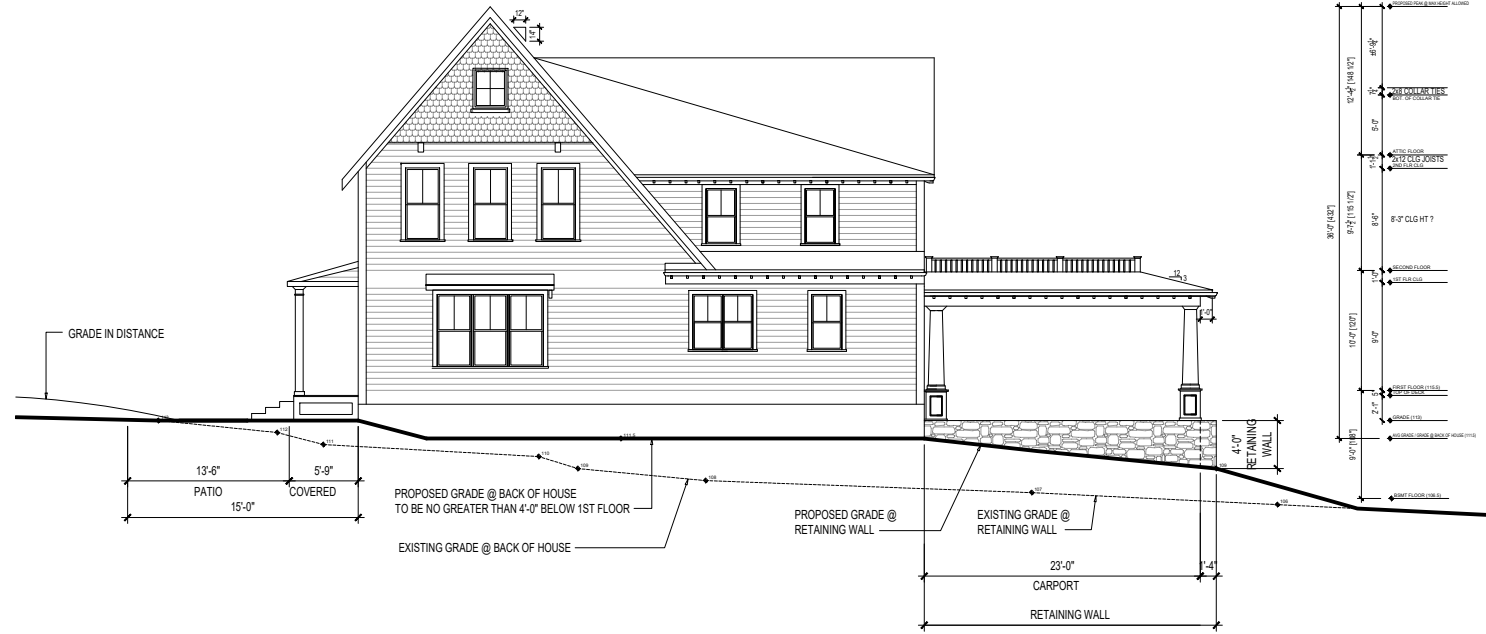
1 FRONT ELEVATION

Scale: 1/16" = 1'-0"



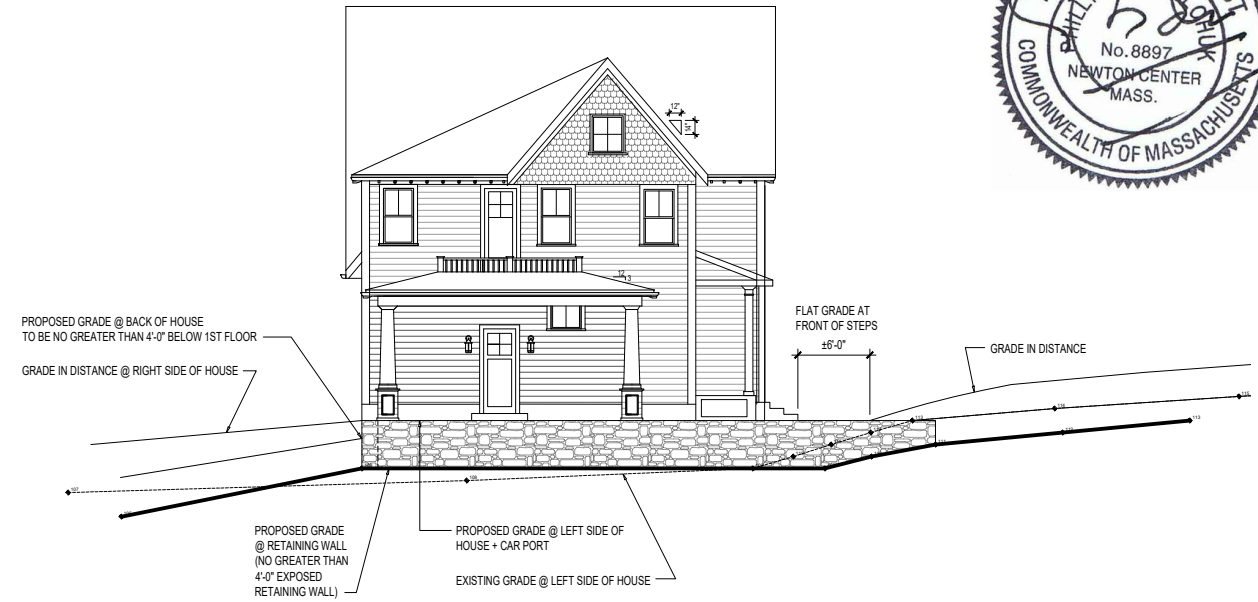
2 RIGHT ELEVATION

Scale: 1/16" = 1'-0"



3 REAR ELEVATION

Scale: 1/16" = 1'-0"



4 LEFT ELEVATION

Scale: 1/16" = 1'-0"



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ELEVATIONS - NEW HOUSE

SCALE:
1/16" = 1'-0"

DATE:
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 41 WASHINGTON ST
 NEWTON MA 02458

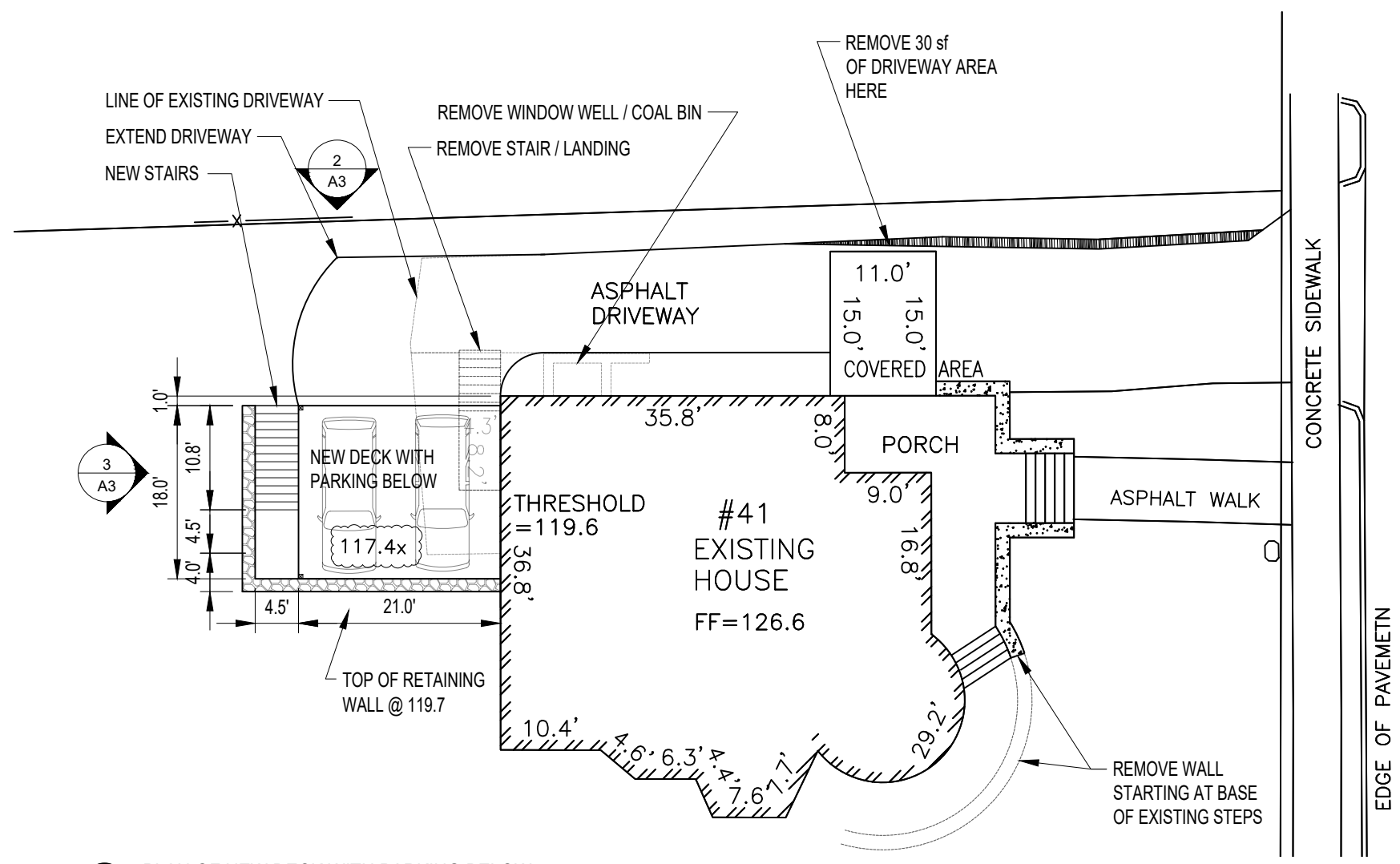
PERMIT SET

DRAWING TITLE:
 PLAN + ELEVATIONS
 NEW DECK W/ PARKING BELOW

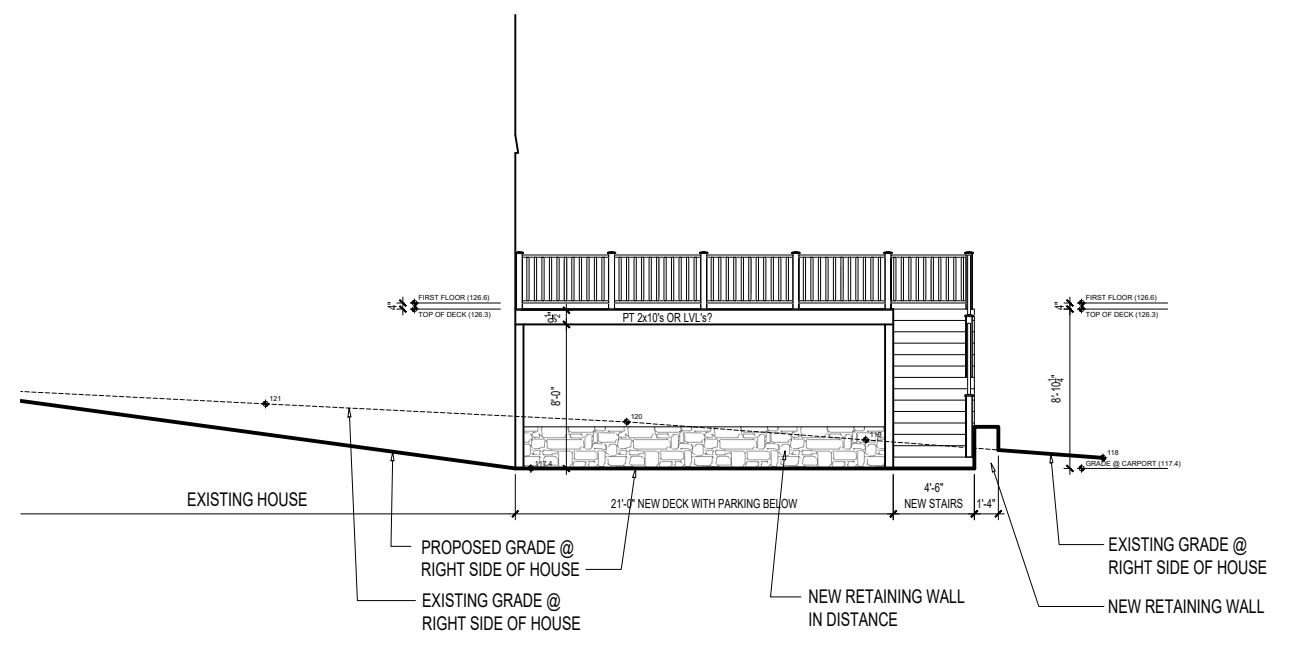
SCALE:
 AS NOTED

DATE:
 07/24/2020

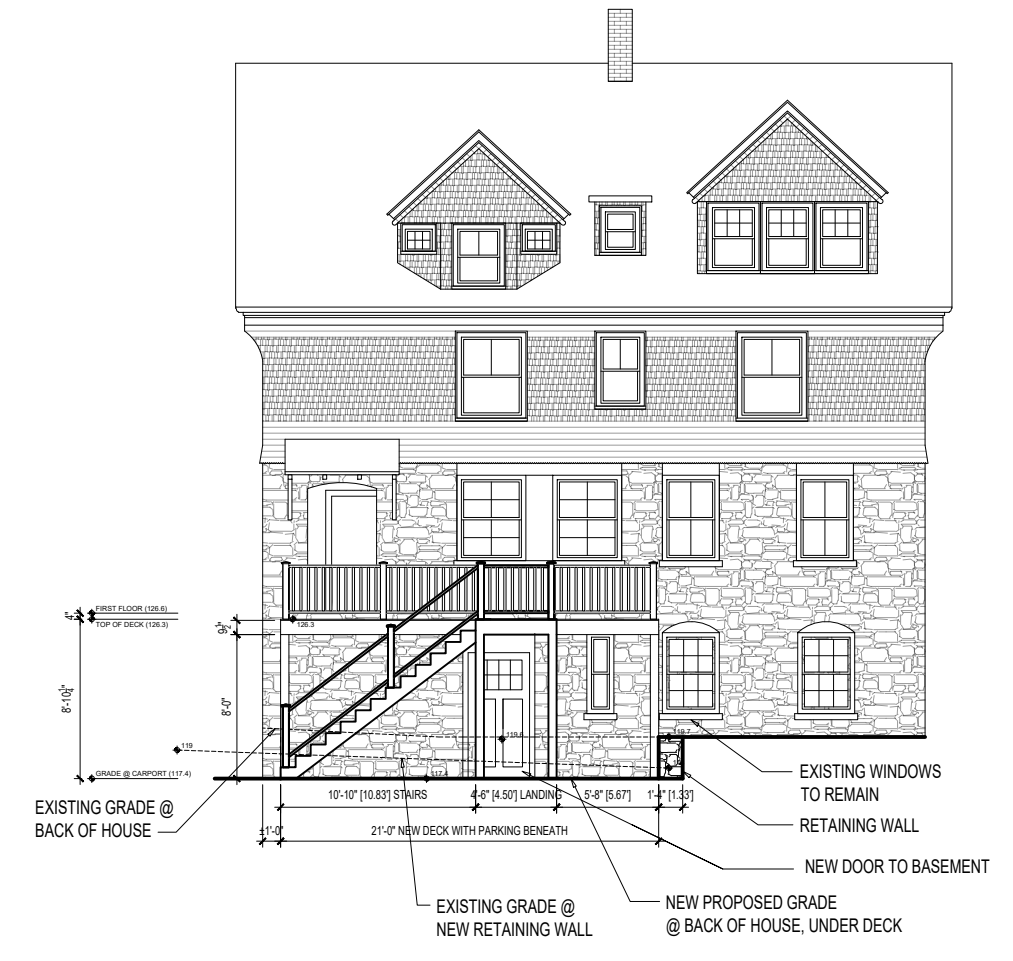
SHEET:
 A3



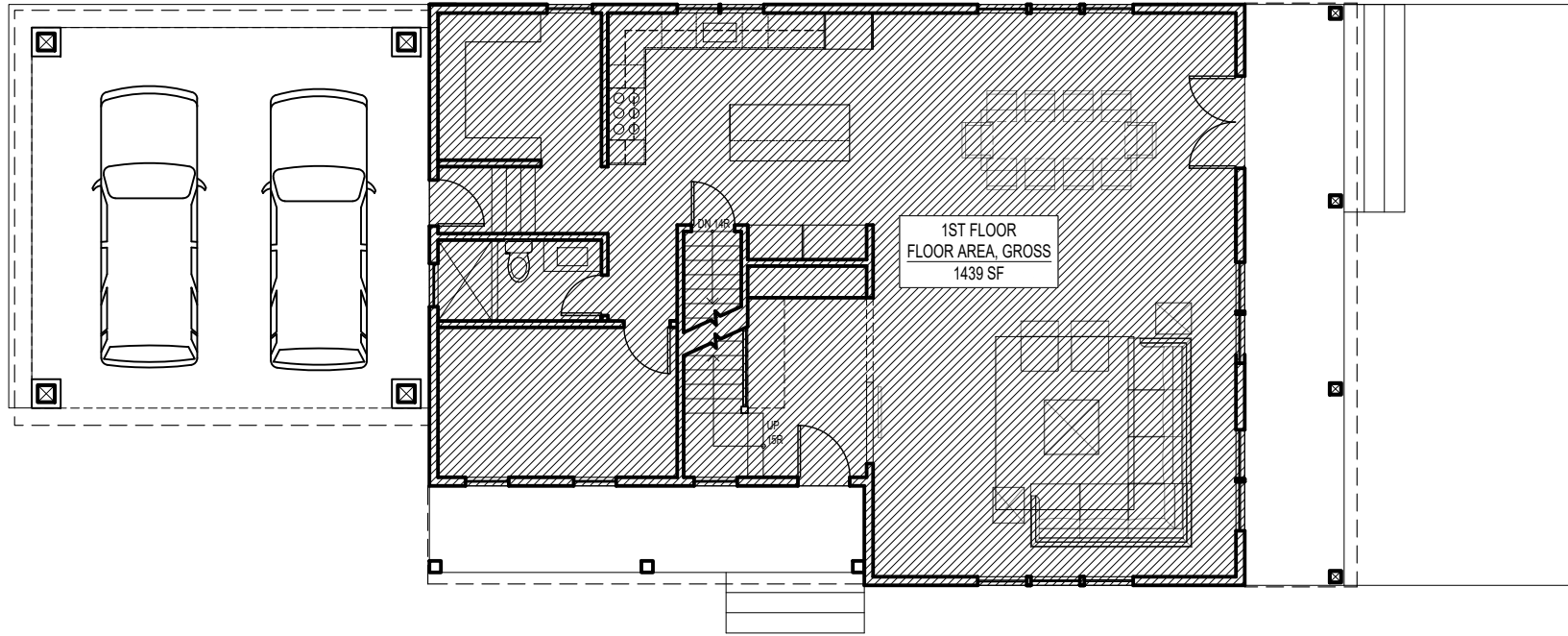
1 PLAN OF NEW DECK WITH PARKING BELOW Scale: 1/16" = 1'-0"



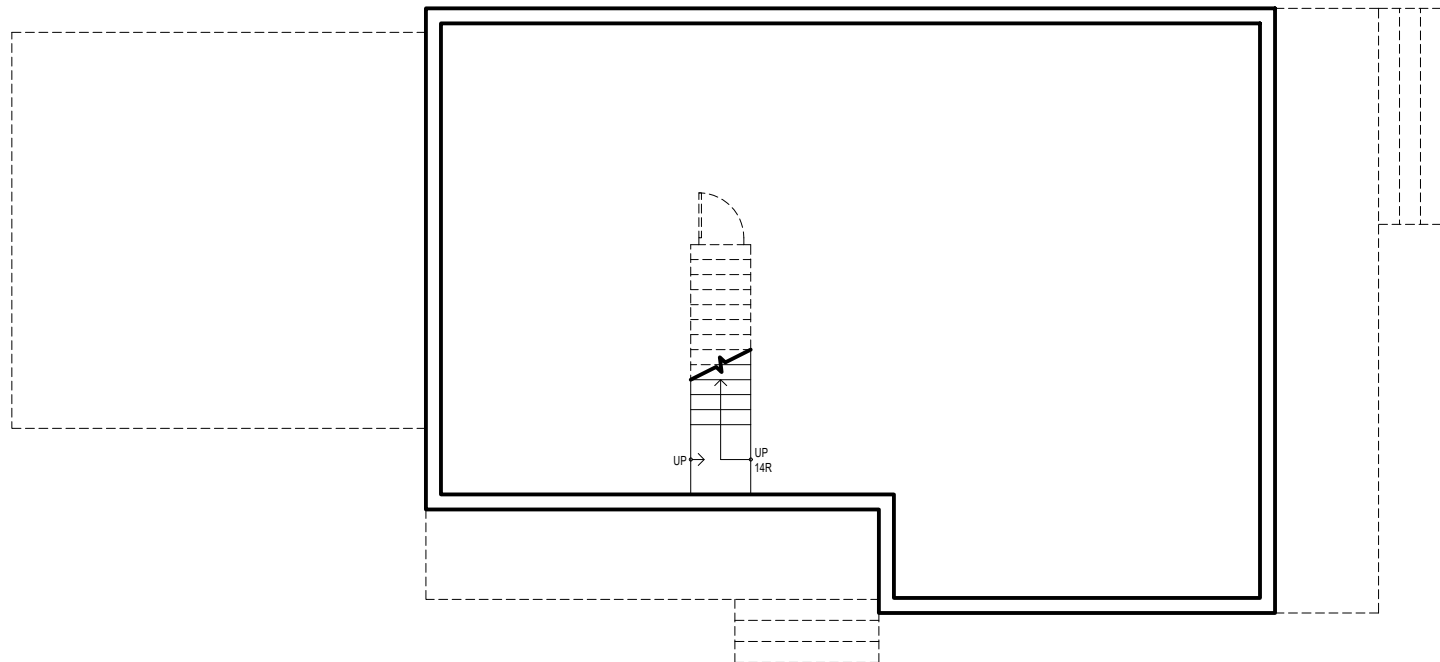
2 SIDE ELEVATION OF NEW DECK WITH PARKING BELOW Scale: 3/32" = 1'-0"



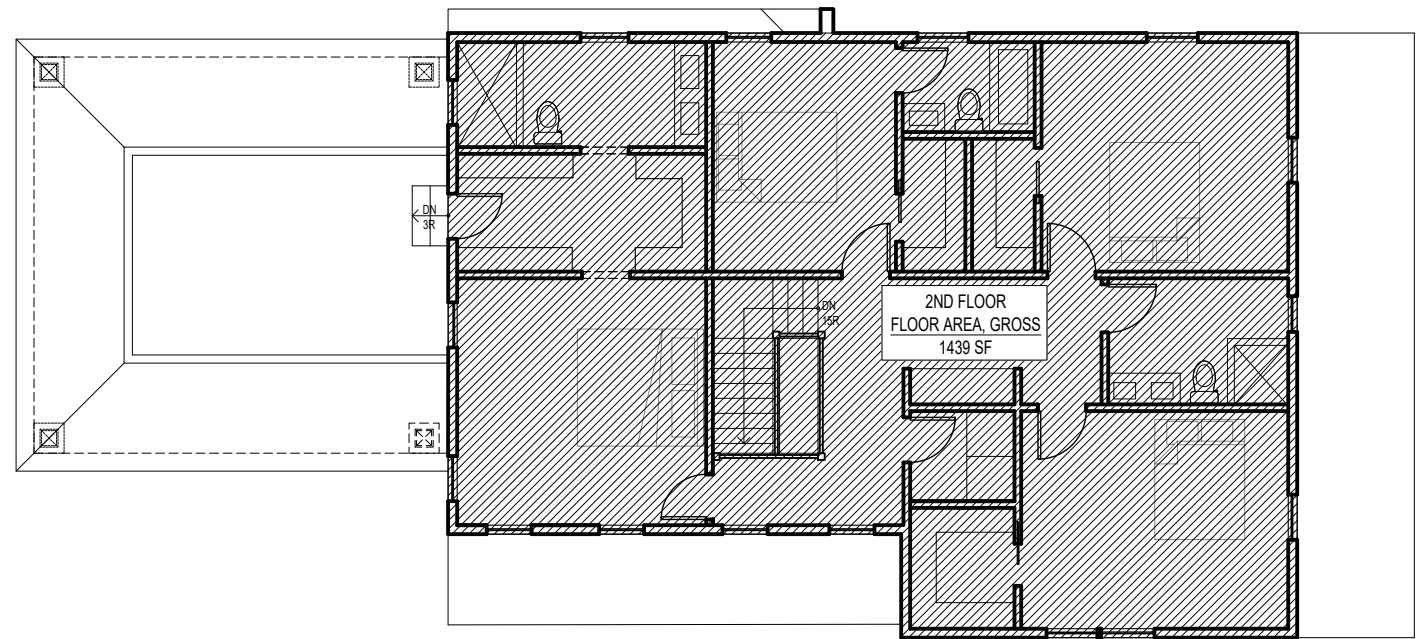
3 REAR ELEVATION OF NEW DECK WITH PARKING BELOW Scale: 3/32" = 1'-0"



2 1ST FLOOR PLAN
Scale: 3/32" = 1'-0"



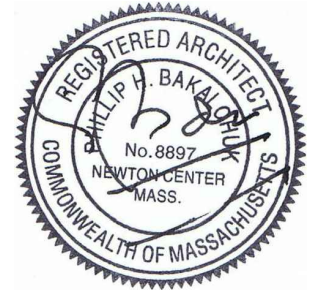
1 BASEMENT PLAN
Scale: 3/32" = 1'-0"



3 2ND FLOOR PLAN
Scale: 3/32" = 1'-0"

FAR CALCULATIONS FOR NEW HOUSE ON 41 WASHINGTON ST (LOT #2), NEWTON		PREPARED BY SB ARCHITECTS 07/23/2020
INPUTS		
SPACE	PROPOSED FAR CALCS (SQ. FT.)	NOTES
1. 1ST STORY	1439	
2. ATTACHED GARAGE	0	
3. 2ND STORY	1439	
4. ATRIA, OPEN WELLS, AND OTHER VERTICAL SPACES (IF NOT COUNTED IN 1ST/2ND STORY)	0	
5. CERTAIN FLOOR AREA ABOVE THE 2ND STORY	0	THERE IS NO FLOOR AREA WITH 5' CLG HT OR GREATER
6. ENCLOSED PORCHES	0	
7. MASS BELOW 1ST STORY **	0	1ST FLOOR TO GRADE IS LESS THAN OR EQUAL TO 4FT THEREFORE DOES NOT COUNT
8. DETACHED GARAGE	0	
9. AREA ABOVE DETACHED GARAGES W/ CLG HT OF 7' OR GREATER	0	
10. OTHER DETACHED ACCESSORY BUILDINGS (1 DETACHED BLDG UP TO 120 SF IS EXEMPT)	0	
FAR OF STRUCTURE(S)		
(A) TOTAL GROSS FLOOR AREA (SUM OF ROWS 1-10 ABOVE)	2878	
(B) LOT SIZE	12000	ZONE:SR3
FAR = (A/B)	0.24	
ALLOWED FAR		
(C) FAR ALLOWED	0.24	.44 + .02 (OLD LOT BONUS) = .46
MAX TOTAL GROSS FLOOR AREA ALLOWED = (B x C)	2880	

** MASS BELOW 1ST STORY AREA CALCULATION	
(X) LENGTH OF BSMT WALL WHERE GRADE IS MORE THAN 4FT BELOW 1ST FLOOR	0 LF
(Y) TOTAL PERIMETER WALL LENGTH	0 LF
FLOOR AREA OF MASS BELOW 1ST FLOOR AREA	0 SF
(X/Y) x (FLOOR AREA OF MASS BELOW 1ST STORY)	#DIV/0! SF
50% OF FLOOR AREA OF MASS BELOW 1ST STORY	0 SF



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PROJECT:
41 WASHINGTON ST
NEWTON MA 02458

PERMIT SET

DRAWING TITLE:
ZONING AREA PLANS / FAR - NEW HOUSE

SCALE:
3/32" = 1'-0"

DATE:
07/24/2020

SHEET:

A4