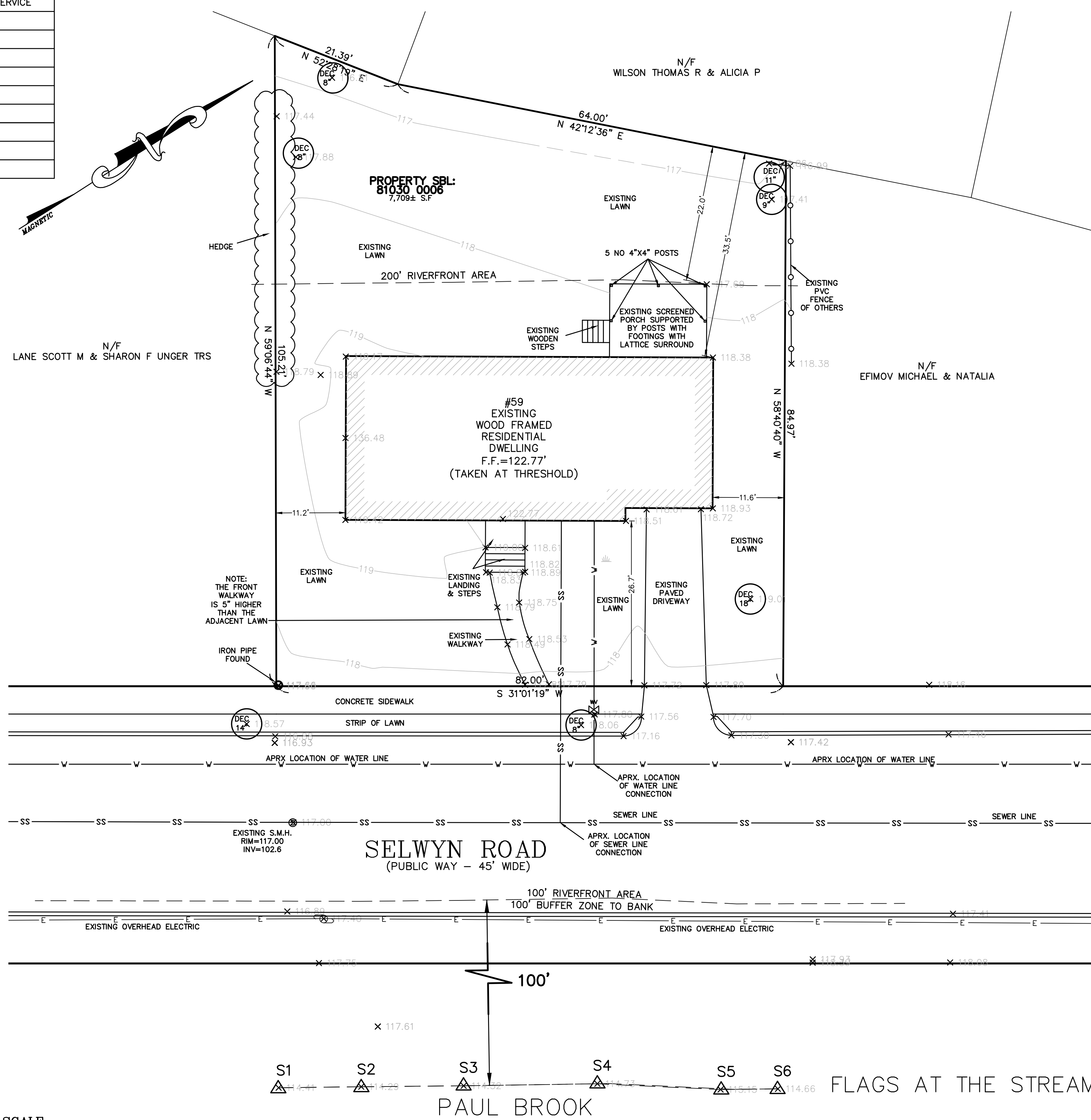
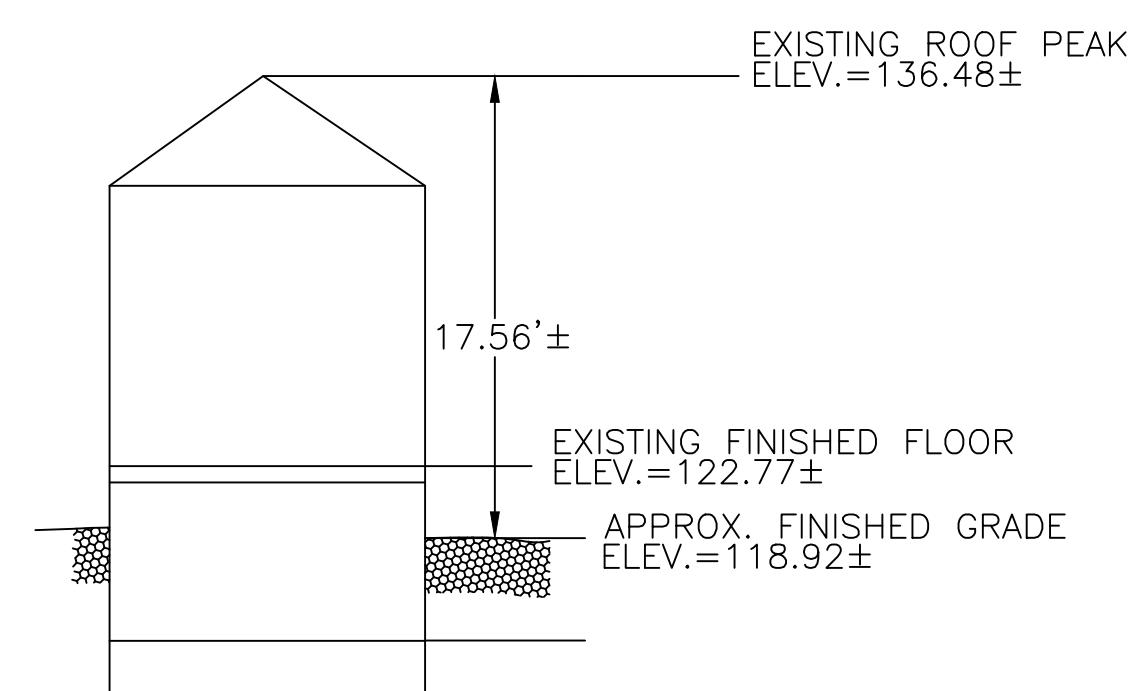


**EXISTING LEGEND**

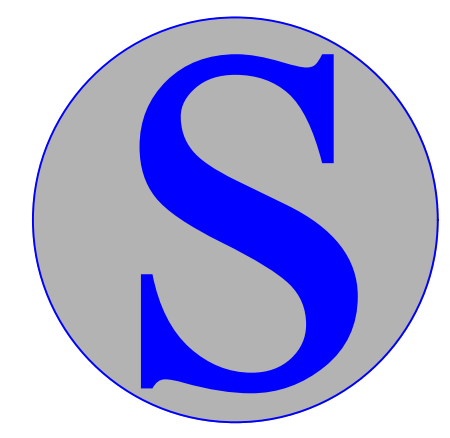
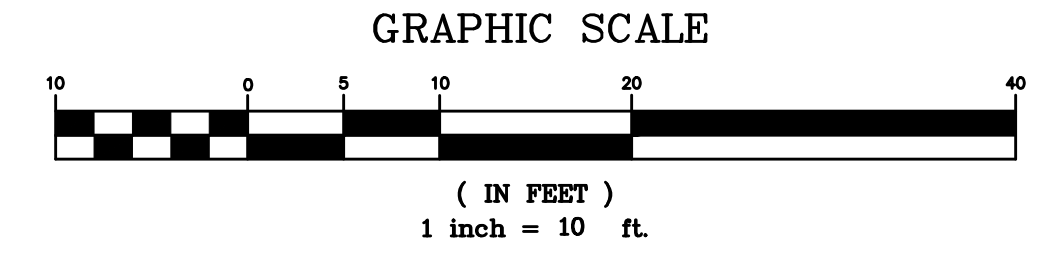
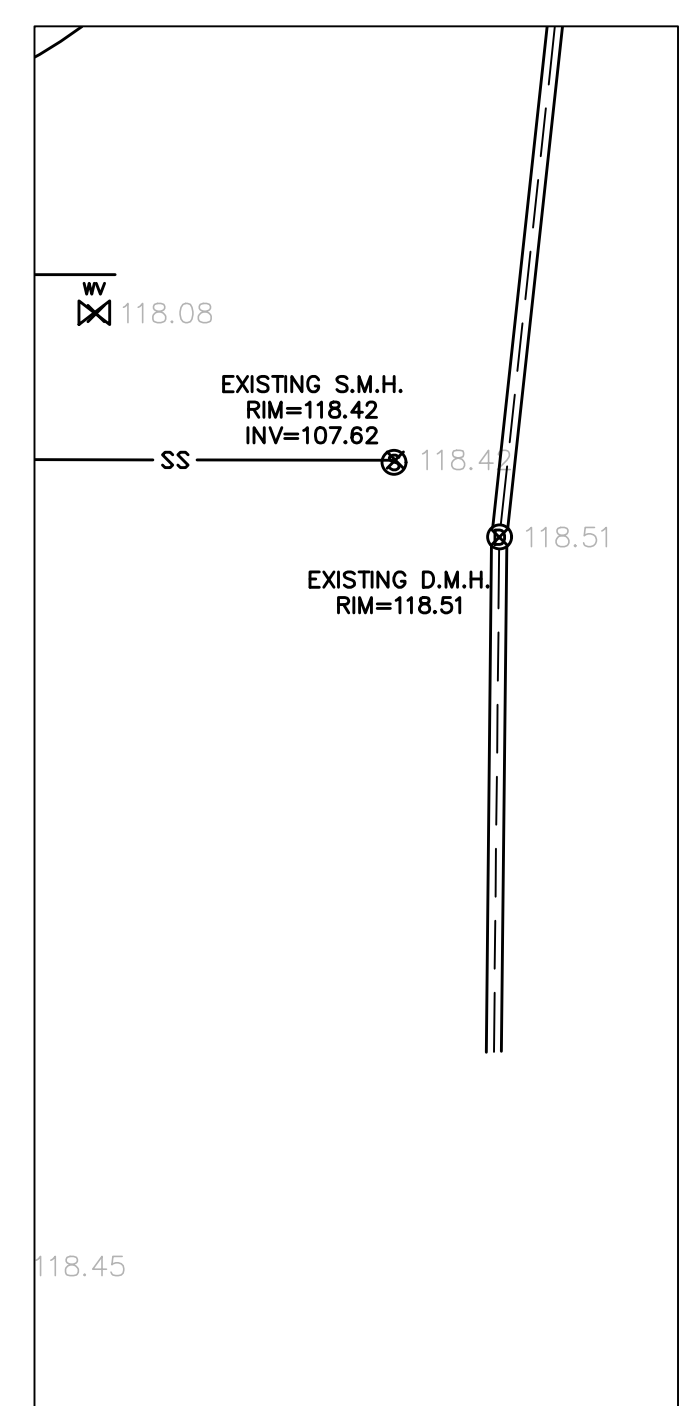
SS	SEWER LINE
⊙	SEWER MANHOLE
—V—	WATER LINE
—G—	GAS LINE
⊙	UTILITY POLE
⊗	GAS VALVE
⊗	WATER VALVE
⊙	CATCH BASIN
—	FENCE
—205—	CONTOUR LINE (MJR)
—195—	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 11/14/2019.
  2. DEED REFERENCE: BOOK 71676, PAGE 349  
PLAN REFERENCE: PLAN BOOK 8154, PLAN 301  
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
  3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
  4. I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0554E, IN COMMUNITY NUMBER: 250208, DATED 6/4/2010.
  5. THE ENTIRE PROPERTY IS MAPPED BY FEMA AS ZONE AE WITH A 100-YEAR FLOOD ELEVATION OF 114 FEET NAVD 1988. THE ENTIRE PROPERTY IS MAPPED AS ORDINANCE FLOODPLAIN [SECTION (G)1.] WITH A 100-YEAR FLOOD ELEVATION OF 120.5 CITY OF NEWTON DATUM. THE FLOODWAY UNDER THE ORDINANCE ASSOCIATED WITH THIS REACH OF PAUL BROOK DOES NOT PROJECT ONTO THE SITE.
  6. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
  7. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
  8. ZONING INFORMATION: SR-3 (SINGLE RESIDENCE - 3), LOT CREATED BEFORE 7 DEC. 1953.
  9. THE ELEVATIONS SHOWN ARE BASED ON CITY OF NEWTON DATUM.



**EXISTING PROFILE**  
NOT TO SCALE



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59 SELWYN ROAD  
NEWTON  
MASSACHUSETTS

**SURVEY PLAN**

**REVISION BLOCK**

DESCRIPTION	DATE

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.



DATE:	05/21/2021
DRAWN BY:	S.S
CHECKED BY:	E.S
APPROVED BY:	E.S

**EXISTING CONDITIONS**

**LEGEND**

- (O) UTILITY POLE
- ☐ WATER GATE
- ⊙ HYDRANT
- ⊙ SEWER MANHOLE
- ⊙ TREE
- FG FINISHED GRADE
- SG SPOT GRADE
- 71.4 X SPOT ELEVATION
- 71 PROPOSED CONTOUR
- 71 EXISTING CONTOUR
- W WATER LINE
- S SEWER LINE
- X FENCE

IMPERVIOUS AREA	
LOT AREA	7,709 S.F.
EXISTING IMPERVIOUS AREA	2,128.5
PROPOSED IMPERVIOUS AREA	2,422.7
4% OF THE LOT AREA	308.4
INCREASE IN IMPERVIOUS AREA	294.2
294.2 < 308.4 (DRAINAGE NOT REQUIRED)	

**NOTES:**

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 11/14/2019.
2. DEED REFERENCE: BOOK 71676, PAGE 349  
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MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
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6. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
7. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
8. ZONING INFORMATION: SR-3 (SINGLE RESIDENCE - 3), LOT CREATED BEFORE 7 DEC. 1953.
9. THE ELEVATIONS SHOWN ARE BASED ON CITY OF NEWTON DATUM.

**ADDITIONAL NOTES:**

1. SPRUHAN ENGINEERING ACCEPTS NO LIABILITY FOR GROUND WATER OR OTHER SURFACE WATER IN BASEMENT.
2. CONTRACTOR TO ENSURE THAT THE BUILDING FOOTPRINT REPRESENTED ON THIS PLAN IS THE SAME AS THE PROPOSED ARCHITECTURAL/STRUCTURAL PLANS & INCORPORATES ALL OVERHANGS, CANTILEVERS & ANY COMPONENT THAT IS SUBJECT TO ZONING RESTRICTIONS. IF THIS IS FOUND NOT TO BE THE CASE THE CONTRACTOR MUST CONTACT THE ENGINEER/SURVEYOR & REQUEST A REVISED PLAN WHICH MUST BE RESUBMITTED TO I.S.D CITY OF NEWTON.
3. CONTRACTOR TO ENSURE ALL RAIN WATER FROM SPLASH BLOCKS (IF ANY) IS DIVERTED AWAY FROM BUILDING FOUNDATION & DIVERTED AWAY FROM NEIGHBORING PROPERTIES.
4. SEWER & WATER MAIN LINE LOCATION TO BE CONFIRMED BY CONTRACTOR
5. SURFACE WATER TO BE DIVERTED FROM ALL SIDES OF FOUNDATION WALL
6. ANY TREE BEING REMOVED SHALL COMPLY WITH CITY OF NEWTON TREE ORDINANCE
7. CONTRACTOR TO ENSURE SEWER LINE IS PITCHED AT AN EQUAL SLOPE OF BETWEEN 2% & 10 FROM HOUSE TO MAIN CONNECTION.
8. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

**ZONING LEGEND**

ZONING DISTRICT: SINGLE RESIDENCE 3 (LOT CREATED BEFORE 12/07/1953)			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA	7,000 S.F.	7,709± S.F.	7,709±S.F.
MIN. FRONTAGE	70'	82.0'	82.0'
MIN. YARD FRONT	25'	26.7'	25.0'
SIDE	7.5'	11.2'	9.7'
	15'	22'	24.6'
MAX LOT COVERAGE	30%	22.7%	25%
MIN OPEN SPACE	50%	76.7%	67.2%
MAX. BLDG. HEIGHT	36'	17.56'	32.28'±

IMPERVIOUS AREAS	
	EXISTING
HOUSE WITH SCREENED PORCH	1,730.5 S.F.
PAVED DRIVEWAY	271.2 S.F.
WALKWAY/STEPS/LANDING (HOUSE)	126.8 S.F.
TOTAL:	2,128.5 S.F.

IMPERVIOUS AREAS	
	PROPOSED
HOUSE WITH ADDITIONS	1,951.9 S.F.
DRIVEWAY (PAVED PART)	404.4 S.F.
WALKWAY	58.4 S.F.
FRONT STEPS & LANDING (SUPPORTING SONOTUBES ONLY 2 NO)	1.6 S.F.
DECK & STEPS (REAR) (SUPPORTING SONOTUBES ONLY 8 NO)	6.4 S.F.
TOTAL:	2,422.7 S.F.

DEGRADED AREA IN RIVERFRONT AREA	
	EXISTING
HOUSE WITH SCREENED PORCH	1,730.5 S.F.
PAVED DRIVEWAY	271.2 S.F.
WALKWAY/STEPS/LANDING (HOUSE)	126.8 S.F.
STEPS FROM SCREENED PORCH	15.8 S.F.
TOTAL:	2,144.3 S.F.

DEGRADED AREA IN RIVERFRONT AREA	
	PROPOSED
HOUSE WITH ADDITIONS	1,846.6 S.F.
DRIVEWAY	447.1 S.F.
WALKWAY	58.4 S.F.
FRONT STEPS	27.8 S.F.
DECK (INSIDE 200' RIVERFRONT AREA)	87.5 S.F.
SONOTUBES SUPPORTING SECOND FLOOR OF HOUSE (BACK RIGHT HAND SIDE)	1.6 S.F.
TOTAL:	2,469 S.F.

FLOODPLAIN IMPACT & MITIGATION SUMMARY			
ELEVATION (FT)	FLOODPLAIN CUT VOLUME (CF)	FLOODPLAIN FILL VOLUME (CF)	FLOODPLAIN NET (CF)
119.5-120.5	77.43	58.24	19.19
118.5-119.5	87.27	58.24	29.03
117.5-118.5	13.54	6.08	7.46
TOTAL	178.24	122.56	55.68

**FLOODPLAIN CUT TABLES**

FOR EXIST. BUILDING (BACK RIGHT HAND CORNER)			
ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)
119.5-120.5	28.4	1	28.4
118.5-119.5	28.4	1	28.4
117.5-118.5	28.4	0.1	2.84
TOTAL			59.64

FOR EXIST. BUILDING (CONCRETE FRONT STEPS)			
ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)
119.5-120.5	47.2	1	47.2
118.5-119.5	53.6	0.7	37.52
117.5-118.5	0	0	0
TOTAL			84.72

FOR EXIST. BUILDING (SCREENED PORCH 4X4 SUPPORTING POSTS)			
ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)
119.5-120.5	0.55	1	0.55
118.5-119.5	0.55	1	0.55
117.5-118.5	0.55	0.5	0.3
TOTAL			1.4

FOR EXIST. BUILDING (SCREENED PORCH STEPS)			
ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)
119.5-120.5	3.2	0.4	1.28
118.5-119.5	3.2	0.4	1.28
117.5-118.5	3.2	0.2	0.64
TOTAL			3.2

FOR EXIST. BUILDING (FRONT WALKWAY 5" ABOVE GRADE)			
ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)
119.5-120.5	0	0	0
118.5-119.5	48.8	0.4	19.52
117.5-118.5	24.4	0.4	9.76
TOTAL			29.28

**FLOODPLAIN FILL TABLES**

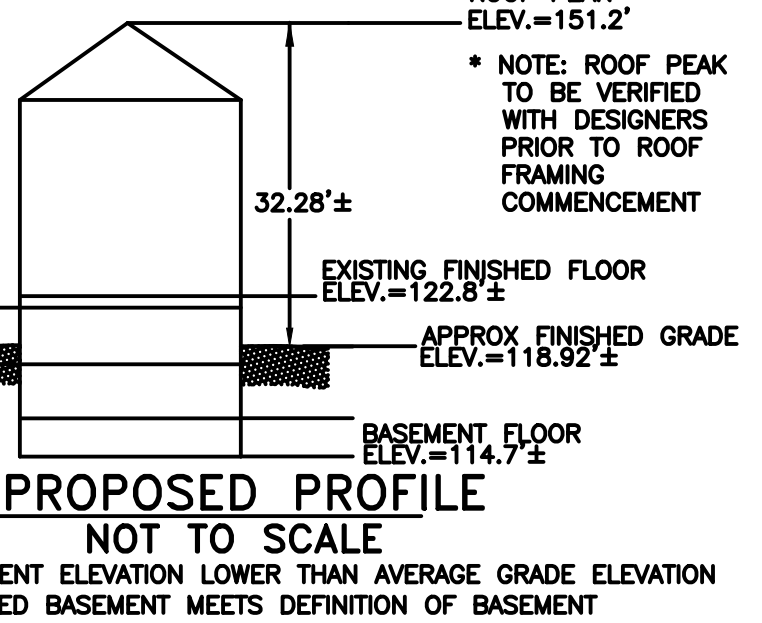
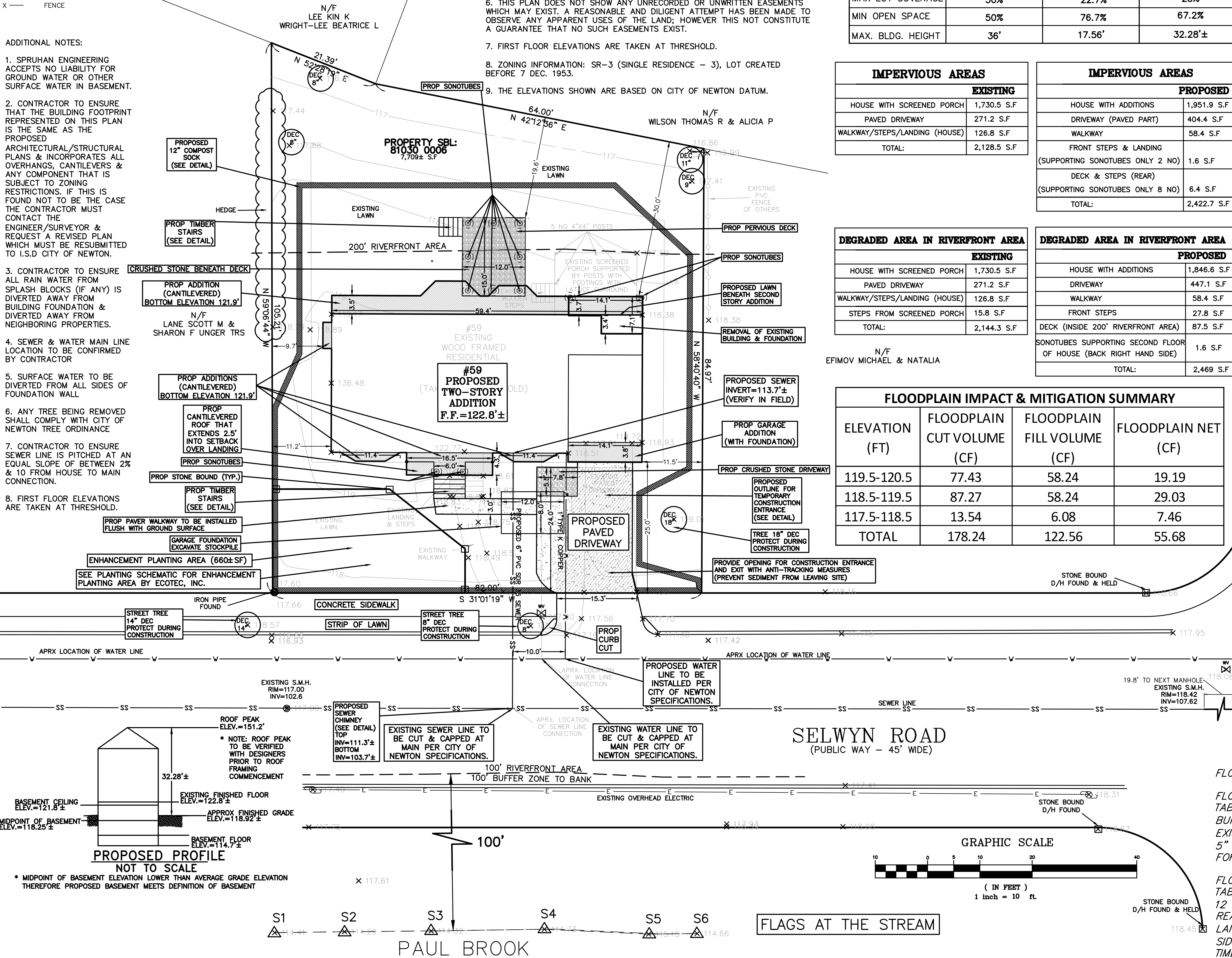
FOR PROPOSED ADDITION (GARAGE EXTENSION)			
ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)
119.5-120.5	53.6	1	53.6
118.5-119.5	53.6	1	53.6
117.5-118.5	0	0	0
TOTAL			107.2

FOR PROPOSED ADDITION (DECK, FRONT LANDING & HOUSE SONOTUBES)			
ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)
119.5-120.5	0	0	0
118.5-119.5	0	0	0
117.5-118.5	9.6	0.5	4.8
TOTAL			4.8

FOR PROPOSED ADDITION (DECK, FRONT LANDING & HOUSE SUPPORTING POSTS)			
ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)
119.5-120.5	1.2	1	1.2
118.5-119.5	1.2	1	1.2
117.5-118.5	0	0	0
TOTAL			2.4

FOR PROPOSED ADDITION (DECK STEPS)			
ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)
119.5-120.5	3.2	0.4	1.28
118.5-119.5	3.2	0.4	1.28
117.5-118.5	3.2	0.4	1.28
TOTAL			3.84

FOR PROPOSED ADDITION (TIMBER FRONT PORCH STEPS)			
ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)
119.5-120.5	5.4	0.4	2.16
118.5-119.5	5.4	0.4	2.16
117.5-118.5	0	0	0
TOTAL			4.32



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**59 SELWYN ROAD,  
 NEWTON,  
 MASSACHUSETTS**

**CIVIL PLAN**

**REVISION BLOCK**

BY	DESCRIPTION	DATE

05/21/21

**SCALE 1"=10'**

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SHEET: **2 OF 4**

DATE:	05/21/21
DRAWN BY:	S.S.
CHECKED BY:	E.S.
APPROVED BY:	E.S.

**PROPOSED CIVIL PLAN**

**FLOODPLAIN NET = FLOODPLAIN CUT - FLOODPLAIN FILL;**

**FLOODPLAIN CUT IS THE SUM OF CUT VOLUME FROM TABLE ABOVE FOR REMOVAL OF A PORTION OF EXISTING BUILDING & FOUNDATION (BACK RIGHT HAND SIDE), EXISTING FRONT STEPS/LANDING & WALKWAY (WHICH IS 5" ABOVE GRADE), SUPPORTING POSTS & TIMBER STEPS FOR REAR SCREENED PORCH.**

**FLOODPLAIN FILL IS THE SUM OF FILL VOLUME FROM THE TABLE ABOVE FOR THE PROPOSED GARAGE EXTENSION, 12 SONOTUBES & SUPPORTING POSTS, (8 TO SUPPORT REAR PERVIOUS DECK, TWO TO SUPPORT FRONT STEPS & LANDING & 2 TO SUPPORT HOUSE (BACK RIGHT HAND SIDE)) & FINALLY REAR PERVIOUS DECK & FRONT PORCH TIMBER STEPS.**

**NOTES**

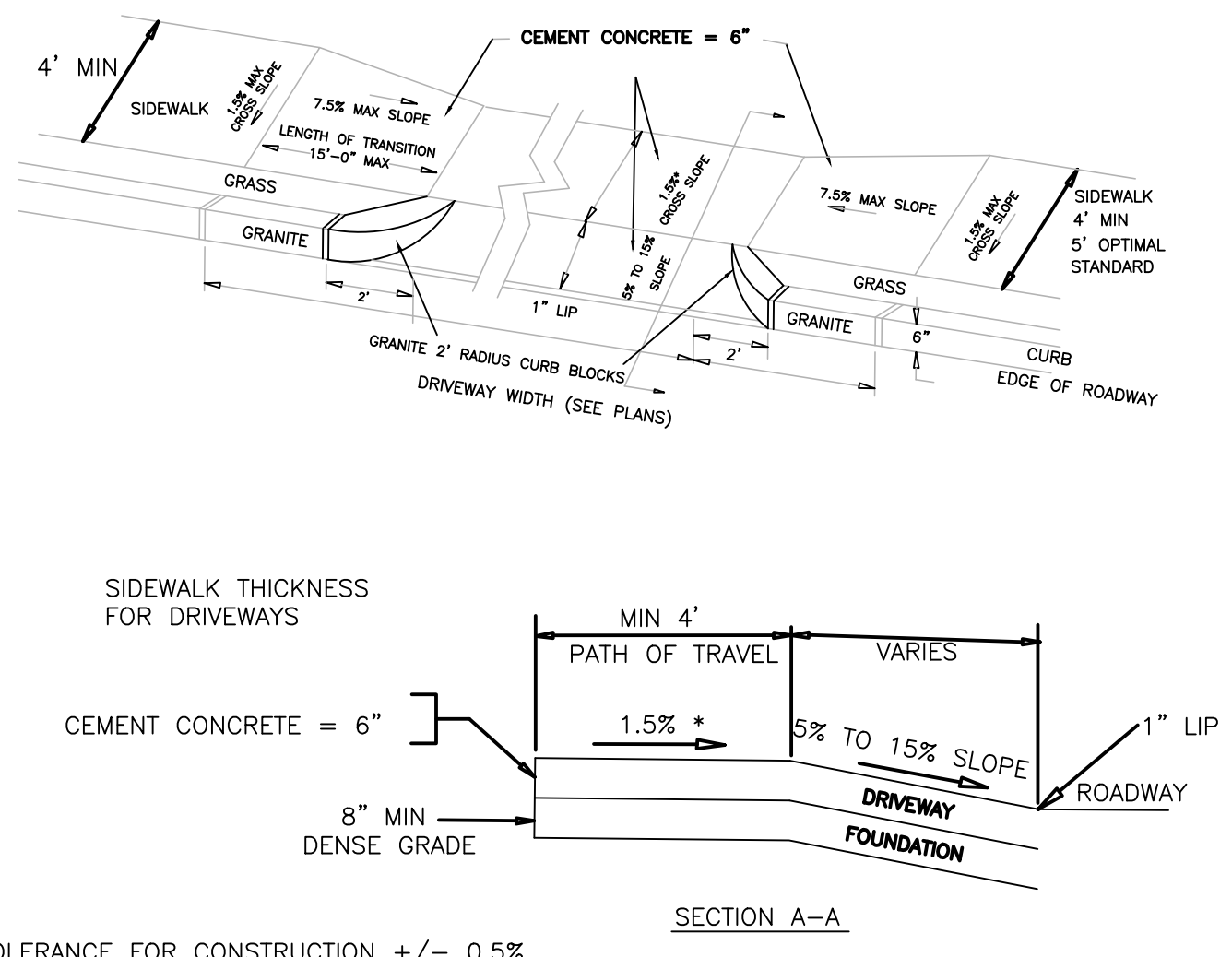
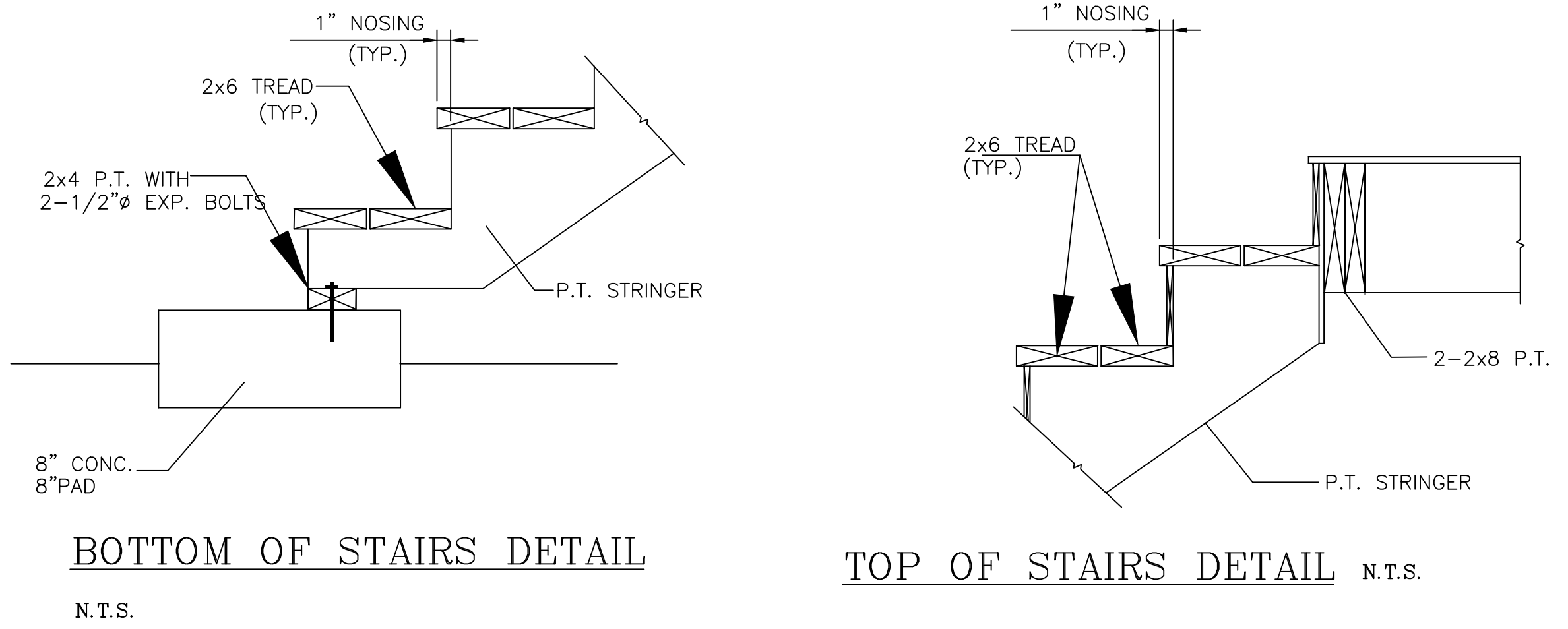
- ELEVATIONS REFER TO CITY OF NEWTON DATUM.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 1-888-344-7233 IN ORDER TO COMPLY WITH STATE LAW.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER. REFER TO NOTE 29 FOR DETAILS. NOTE: A TRENCH PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION BEING CARRIED OUT.
- PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
- PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND ON NOV 14TH, 2019.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE, HE HAS SUBMITTED NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
  - SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY, AND TELEPHONE SERVICE IN THE CITY.
  - SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
  - CITY OF NEWTON WATER & SEWER DEPARTMENT. SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
- NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
- ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH PAVEMENT OF EXISTING PAVEMENT THICKNESS OR AS DIRECTED BY THE CITY ENGINEERING INSPECTOR, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
- WARNING SIGNS SHALL CONFORM TO PAGE 66 OF THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
- IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, SPRUHAN ENGINEERING, P.C. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, TIES TO ALL GATES, VALVES, CLEAN-OUTS, CONNECTION POINTS AT MAINS, STRUCTURE ACCESS/MAINTENANCE COVERS, ANY EASEMENTS AND FINAL GRADING.
- THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING & UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT AND A TRENCH PERMIT WITH THE DPW.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. SPRUHAN ENGINEERING P.C. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
- ANY PROPOSED PVC PIPES UNDER PAVING OR CONCRETE WITH LESS THAN 30" OF COVER MUST BE ENCASED IN CONCRETE. (SEE PAGE 21, CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.)
- THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE COMPLETELY REMOVED FROM THE SITE, REPLACED AS SPECIFIED AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK; FAILURE TO HAVE THIS WORK INSPECTED MAY RESULT IN THE DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE WATER & SEWER SERVICES INSPECTED. THE UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, UTILITIES MAY THEN BE BACKFILLED.
- THE EXISTING CONTOURS OF THE LAND ARE NOT TO BE ALTERED BY MORE THAN THREE (3) FEET AS A RESULT OF THE PLACEMENT OR REMOVAL OF SOD, LOAM, CLAY, GRAVEL OR STONE, OR OTHER SOLID MATERIAL UNLESS A PROPOSED RETAINING WALL OR SWALE IS INSTALLED AFTER IT IS APPROVED BY BOTH CITY OF NEWTON ENGINEERING DEPARTMENT & CITY OF NEWTON I.S.D

- NO WORK IS ALLOWED WITHIN A CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER. IF ALLOWED, SPECIAL CONSTRUCTION REQUIREMENTS WILL BE REQUIRED, AND AS SUCH IT IS RECOMMENDED THAT THE APPLICANT OR APPLICANT'S REPRESENTATIVE CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
- AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
- DURING CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.
- WITH EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL OF CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- ALL NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS RECEIVED BY THE CITY ENGINEER.
- ALL SILTATION CONTROL NEEDS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER'S OFFICE FOR APPROVAL PRIOR TO COMMENCEMENT.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED.
- APPROVAL OF THIS PLAN BY CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATION AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONABILITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.

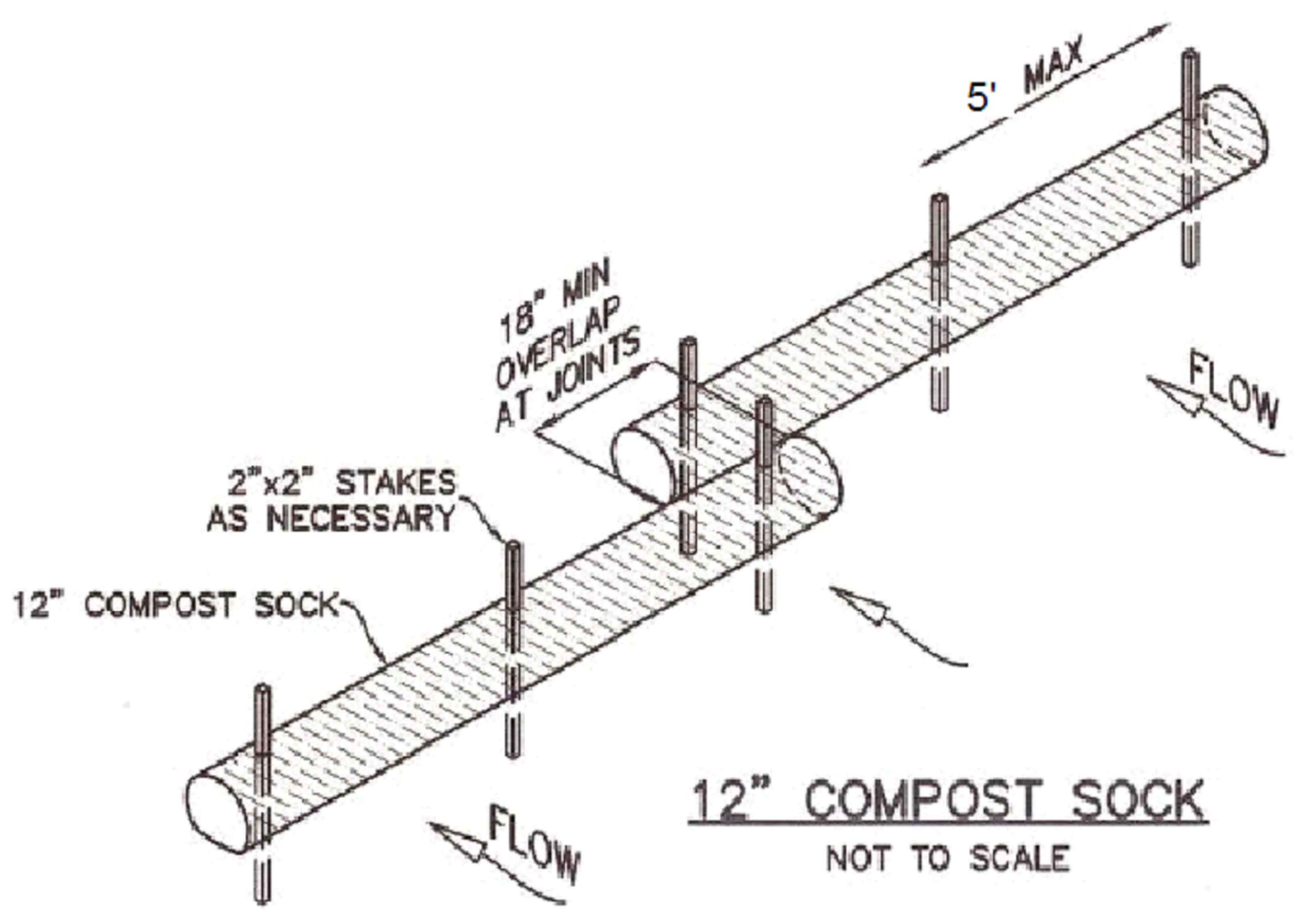
- PER CITY OF NEWTON ORDINANCE NO. B-42, COUNCIL ITEM #251-19, BUILDING SEWER, WATER SERVICE PIPE & SIDEWALK/CURB REPLACEMENT ORDINANCE, THE APPLICANT IS REQUIRED TO INSTALL/REPLACE SIDEWALK & CURB ALONG THE ENTIRE FRONTAGE. THIS SHALL INCLUDE APPROPRIATE TRANSITION TO ADJOINING CURBING & WALKWAYS, INCLUDING ACCESSIBLE CURB CUTS & OTHER ACCESS AS REQUIRED. THE ENGINEERING CONSTRUCTION INSPECTOR MAKES A DETERMINATION, BASED ON THE MATERIAL & MANNER OF CONSTRUCTION OF THE EXISTING SIDEWALK & CURB THAT THE EXISTING SIDEWALK & CURB HAS THE ABILITY TO BE RE-SET OR REUSED WITHOUT REPLACEMENT.
- THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, MANHOLES ETC. CONTRACTOR TO NOTIFY ENGINEER BEFORE BACKFILL OR SIGN OFF CANNOT OCCUR WITHOUT RE-EXCAVATION.
- PRIOR TO THE ENGINEERING DIVISION RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED, AN AS-BUILT PLAN MUST BE SUBMITTED. THE AS-BUILT PLAN MUST SHOW DIMENSIONAL TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED & DATED BY THE ENGINEER OF RECORD. THE FOLLOWING STATEMENT MUST BE ON ALL AS-BUILT PLANS SUBMITTED TO THE ENGINEERING DIVISION:  
I CERTIFY THAT THE CONSTRUCTION SO SHOWN WAS INSPECTED PRIOR TO BACKFILL & THAT ALL WORK CONFORMS WITH THE APPROVED PLAN & MEETS OR EXCEEDS THE CITY OF NEWTON CONSTRUCTION STANDARDS.

**NOTE:**  
IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO CONTACT THE ENGINEER OF RECORD FOR ALL INSPECTIONS OUTLINED IN NOTE 33 ON THIS PLAN

**FRONT PORCH & REAR DECK (EXISTING & PROPOSED) STEPS DETAIL**



**DRIVEWAY APRON WITH CORNER BLOCKS**



**SECTION B-B**  
NTS

NOTE: CONSTRUCT SEDIMENT BARRIER AND CHANNEL RUNOFF TO SEDIMENT TRAPPING DEVICE

RUMBLE STRIPS MAY BE USED AS AN ALTERNATIVE SUBJECT TO THE APPROVAL OF THE CITY PRIOR TO INSTALLATION

**CONSTRUCTION SPECIFICATIONS:**

- THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 2-3 INCH (50-75 MM) STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 6 INCHES (152 MM). USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.
- THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS AND IN ANY CASE SHALL NOT BE LESS THAN 12 FEET (3.6 M) WIDE.
- THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET (15.2 M).
- LOCATE CONSTRUCTION ENTRANCES AND EXITS TO LIMIT SEDIMENT LEAVING THE SITE AND TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES AND ENTRANCES AT CURVES IN PUBLIC ROADS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEE SEDIMENT BASIN BMP.
- ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, STRAW BALES, OR OTHER APPROVED METHODS.

**INSPECTION AND MAINTENANCE:**

- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- REPLACE GRAVEL MATERIAL WHEN SURFACE VOIDS ARE NOT VISIBLE.
- AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY.
- IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS.

**NOTE: DIMENSIONS ± SUBJECT TO SITE PARAMETERS & CONDITIONS**

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.

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BY	DESCRIPTION	DATE

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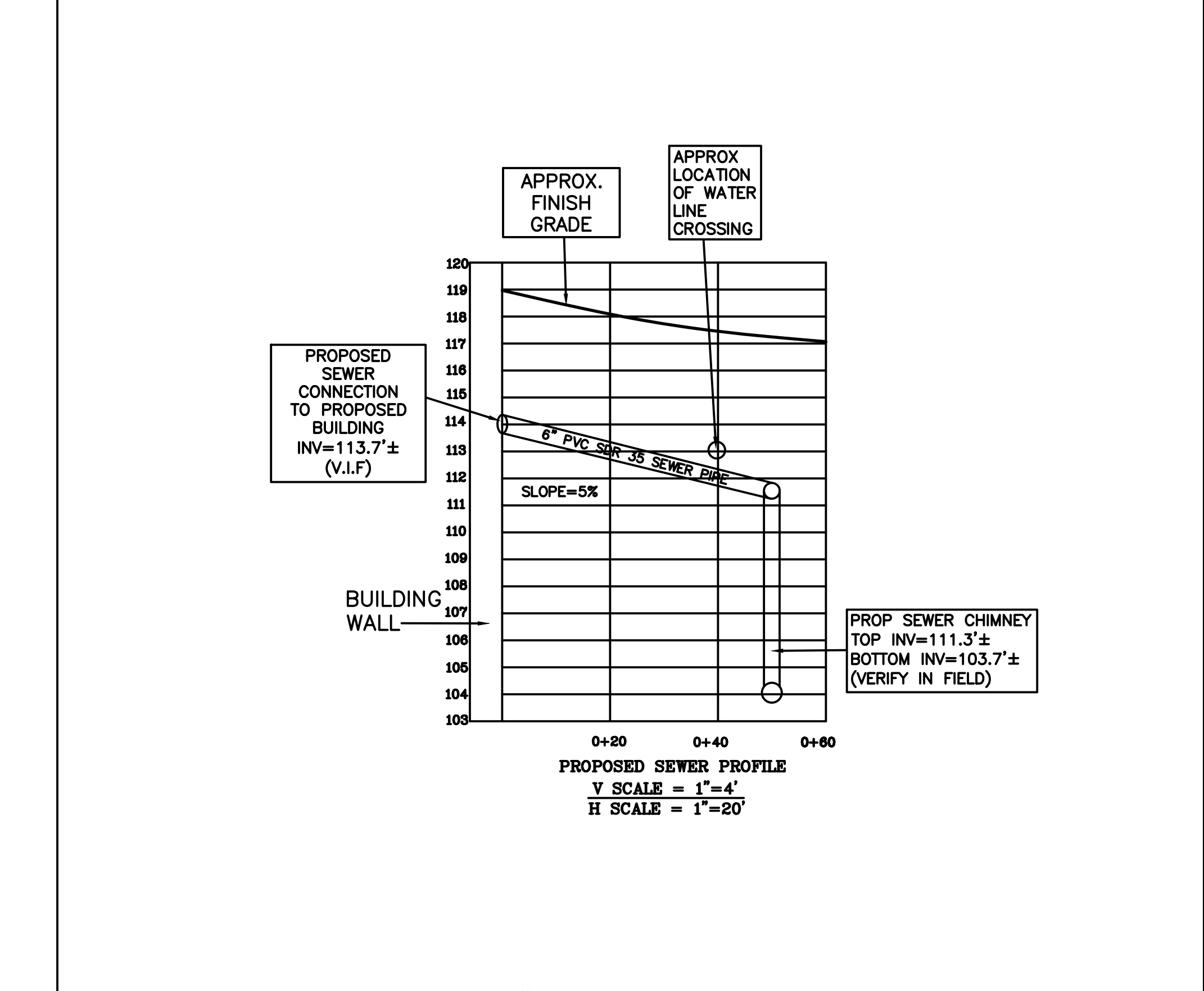
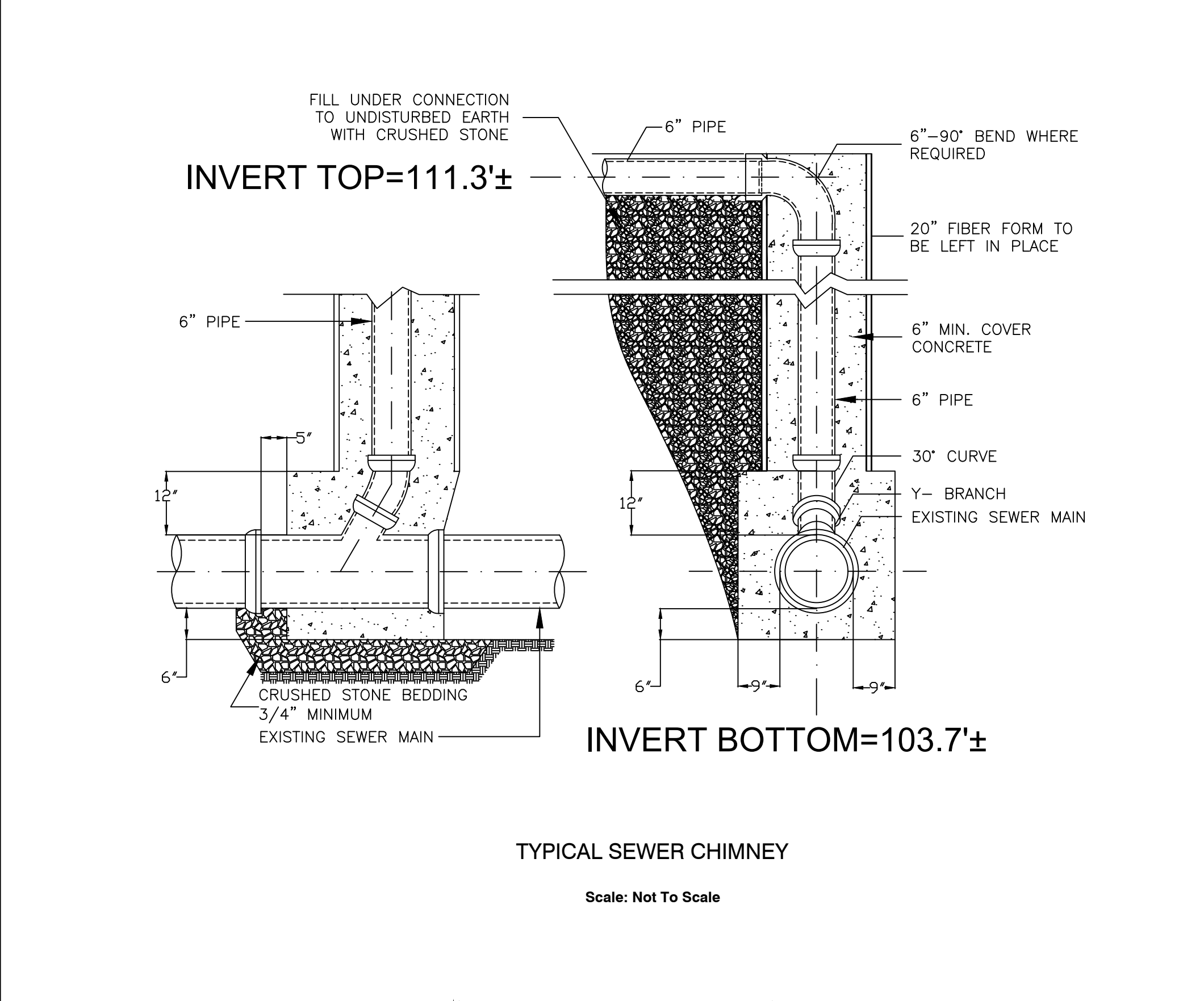
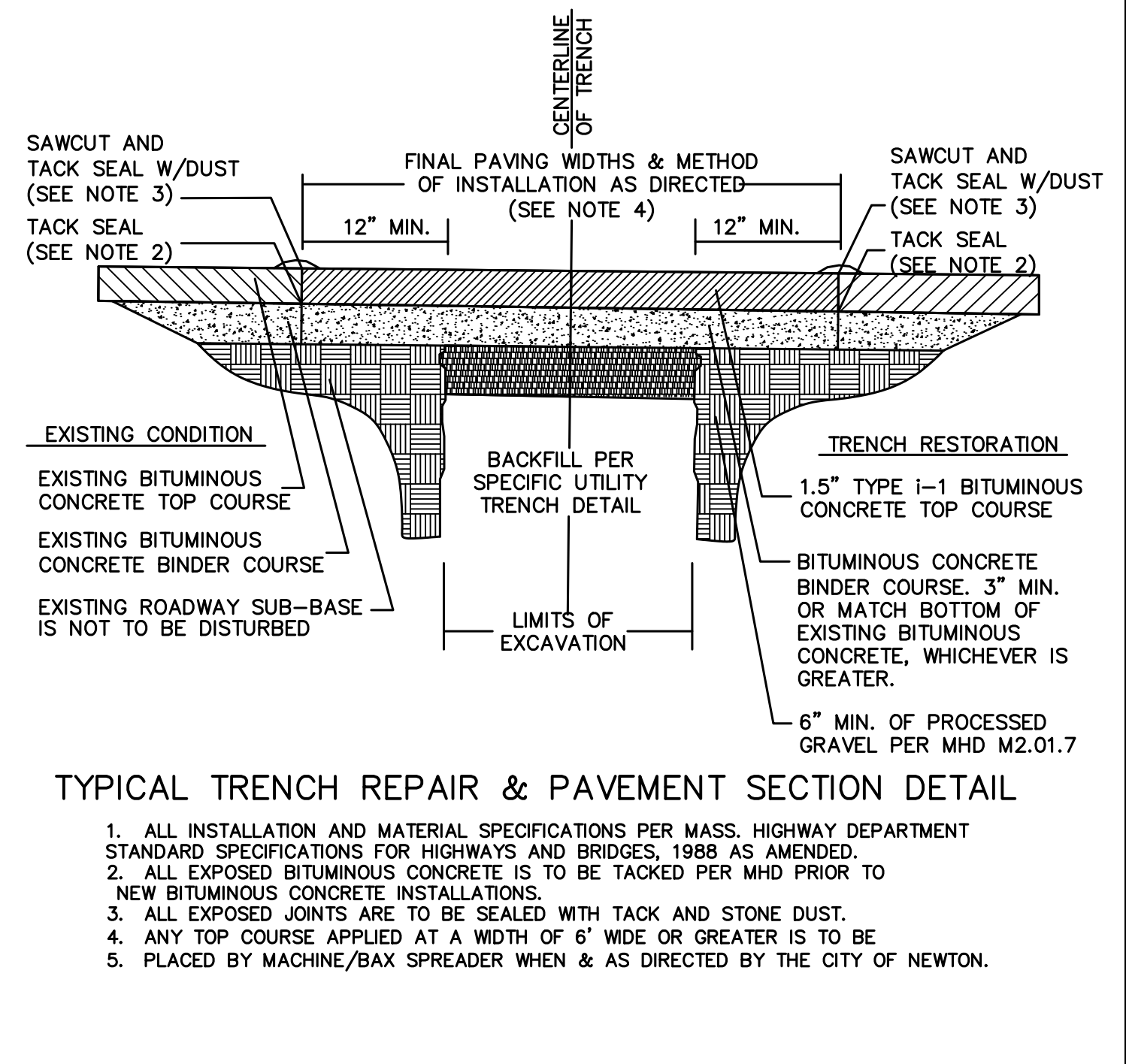
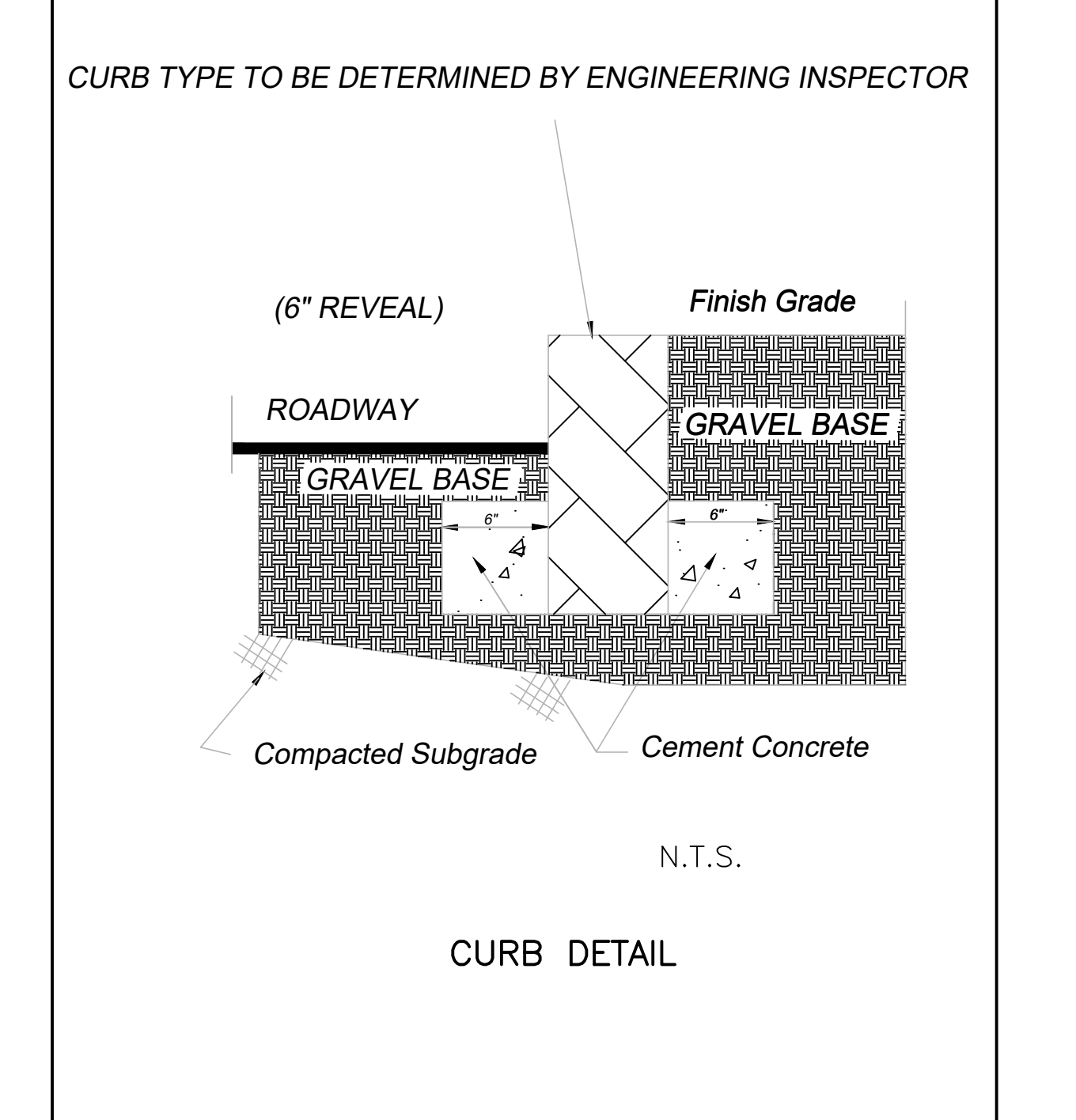
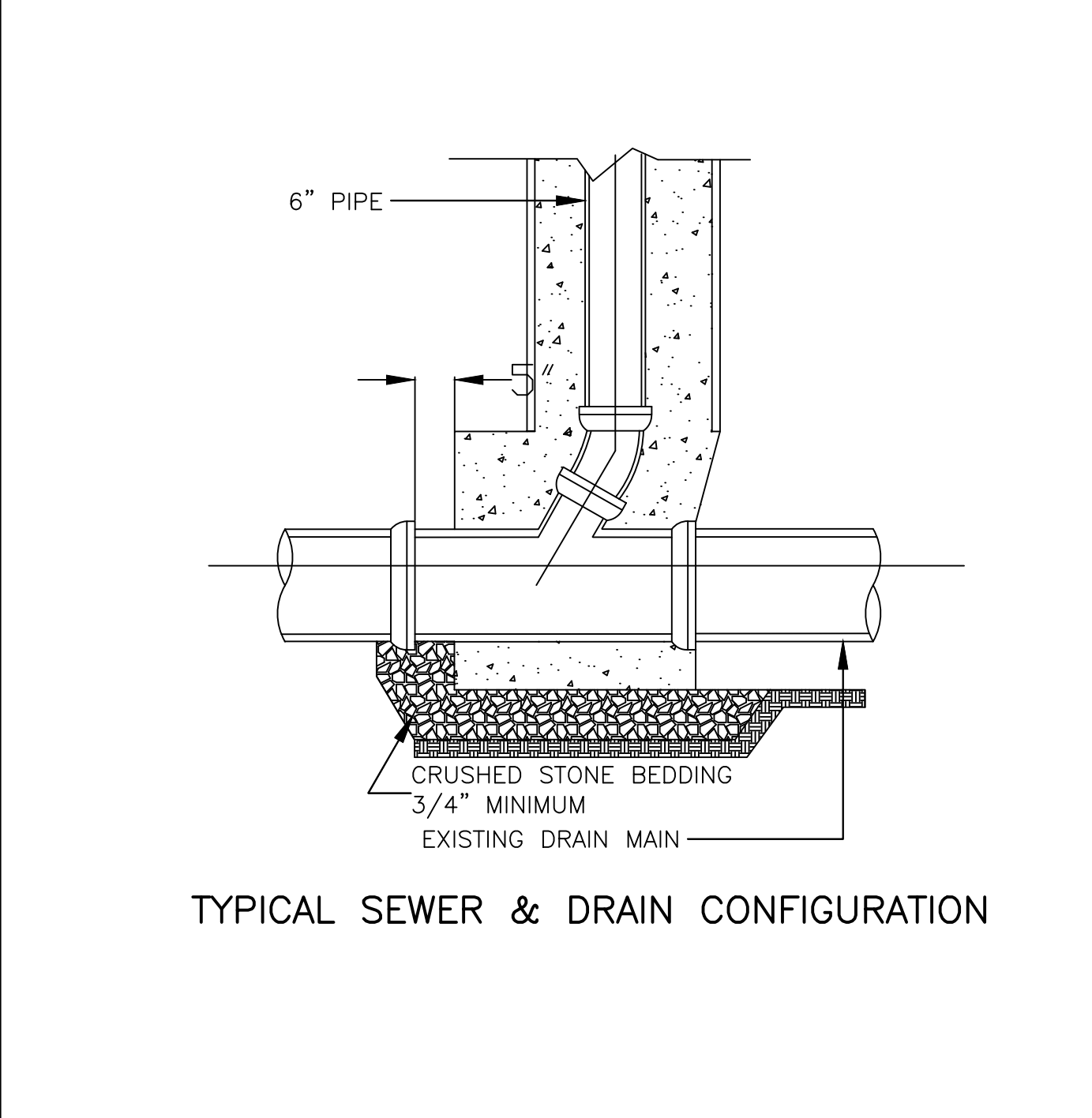
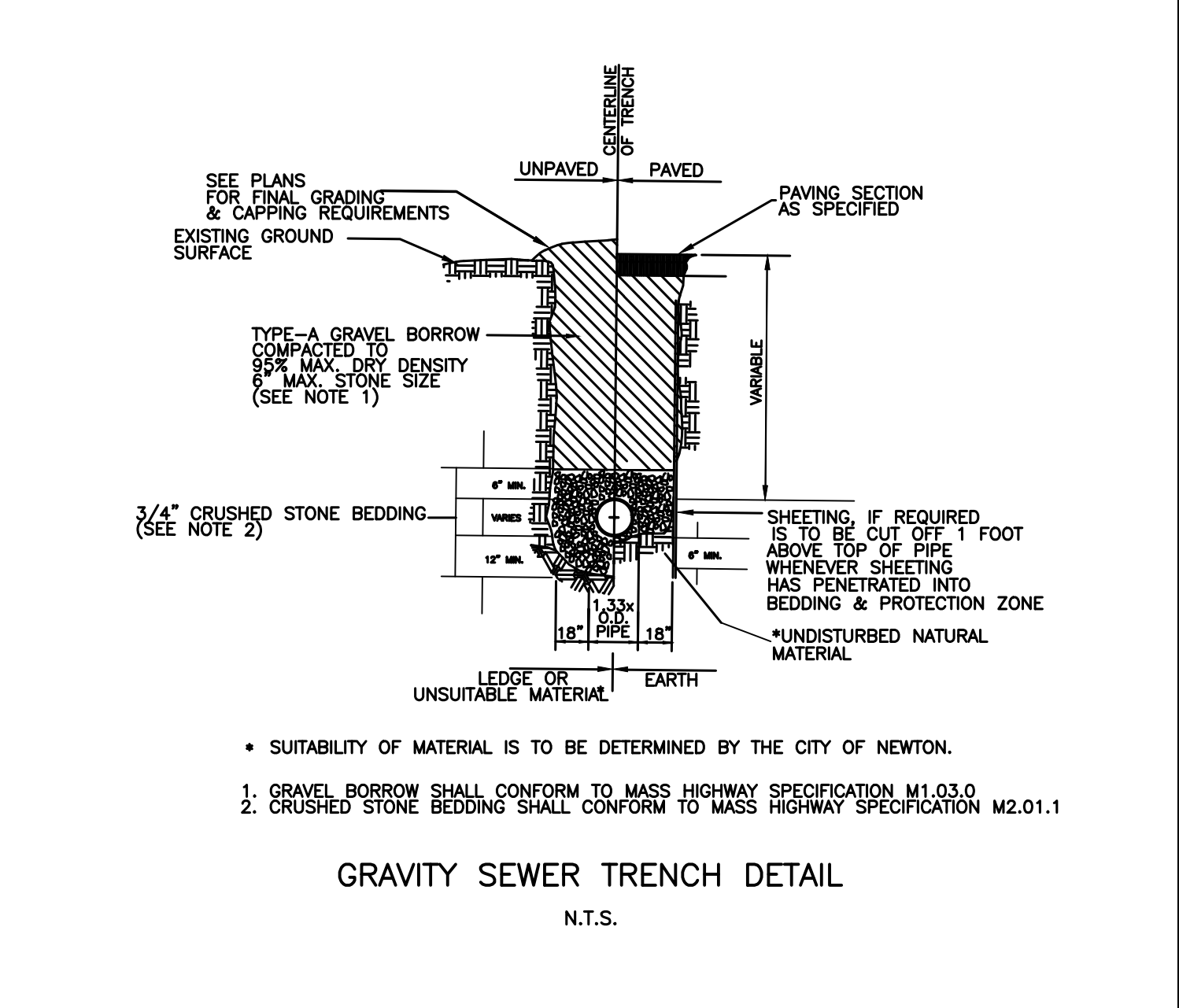
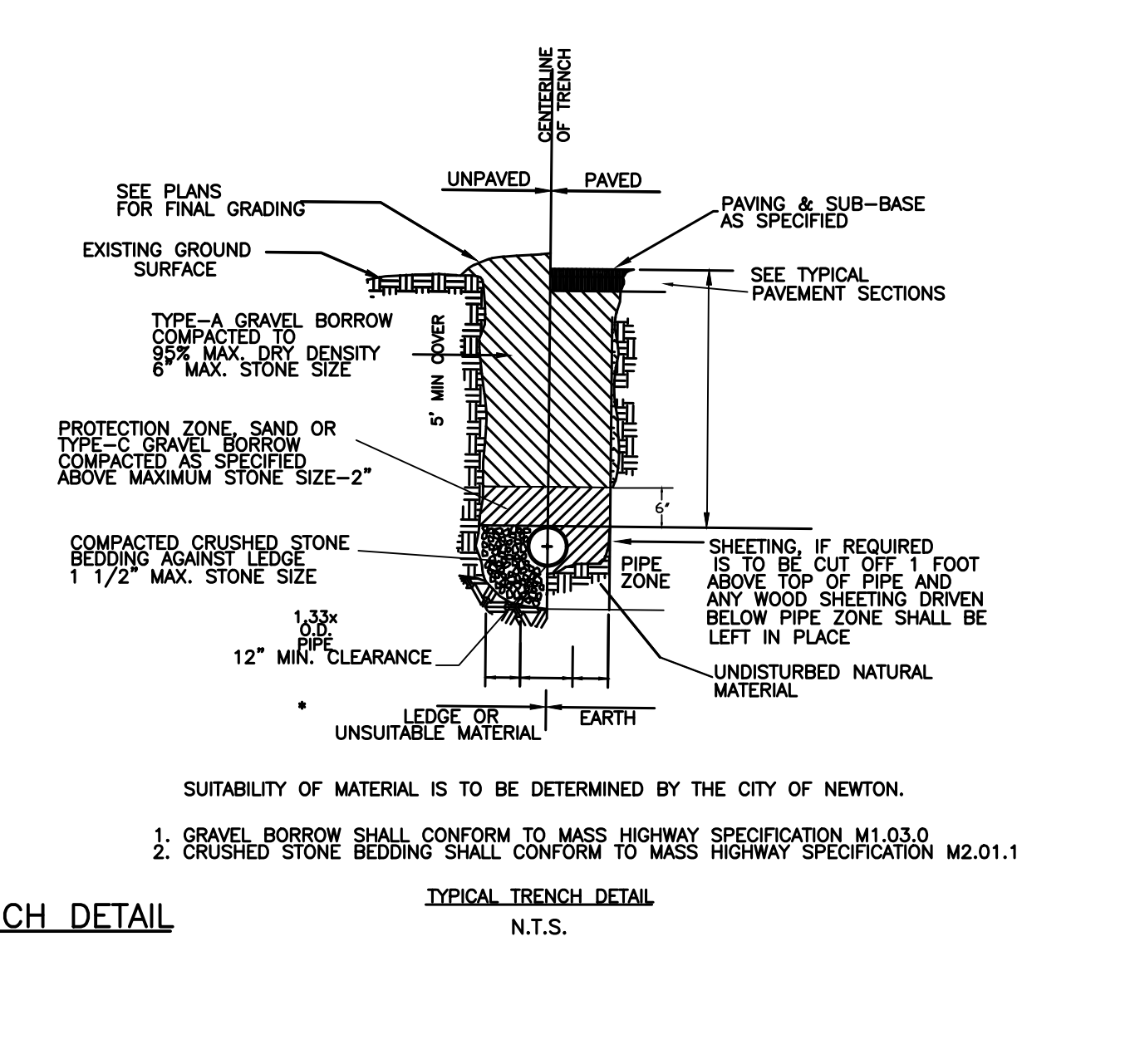
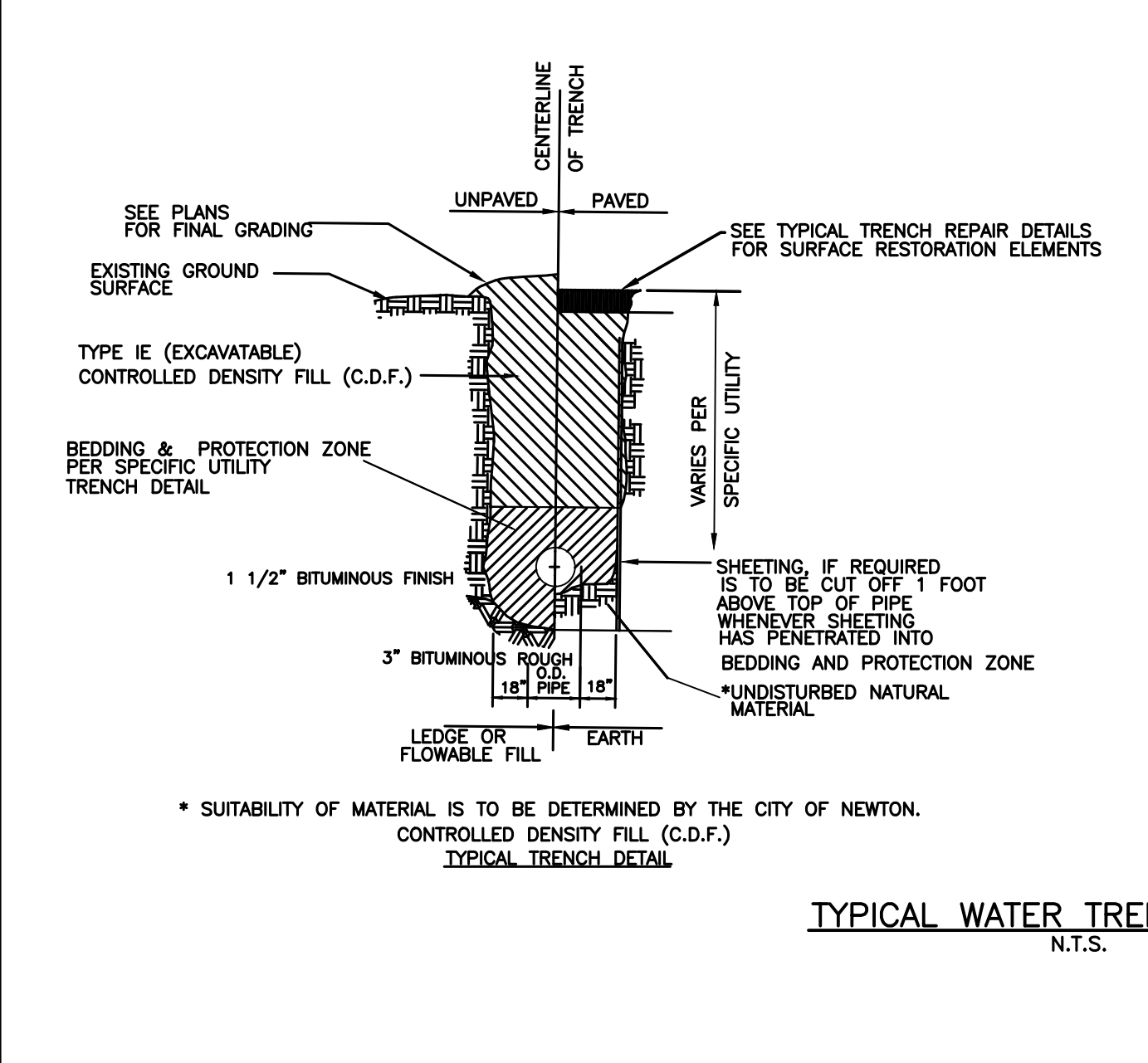
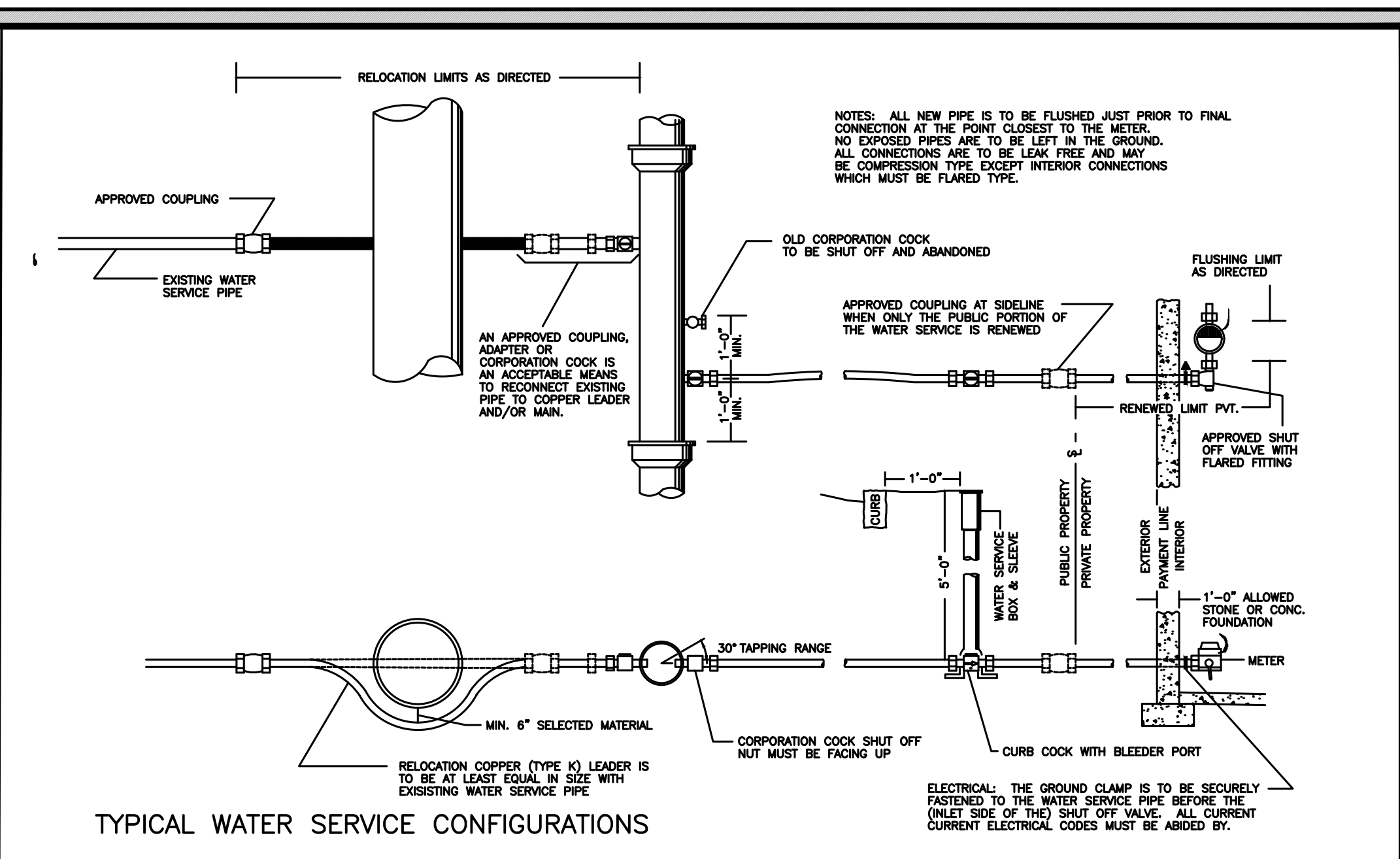
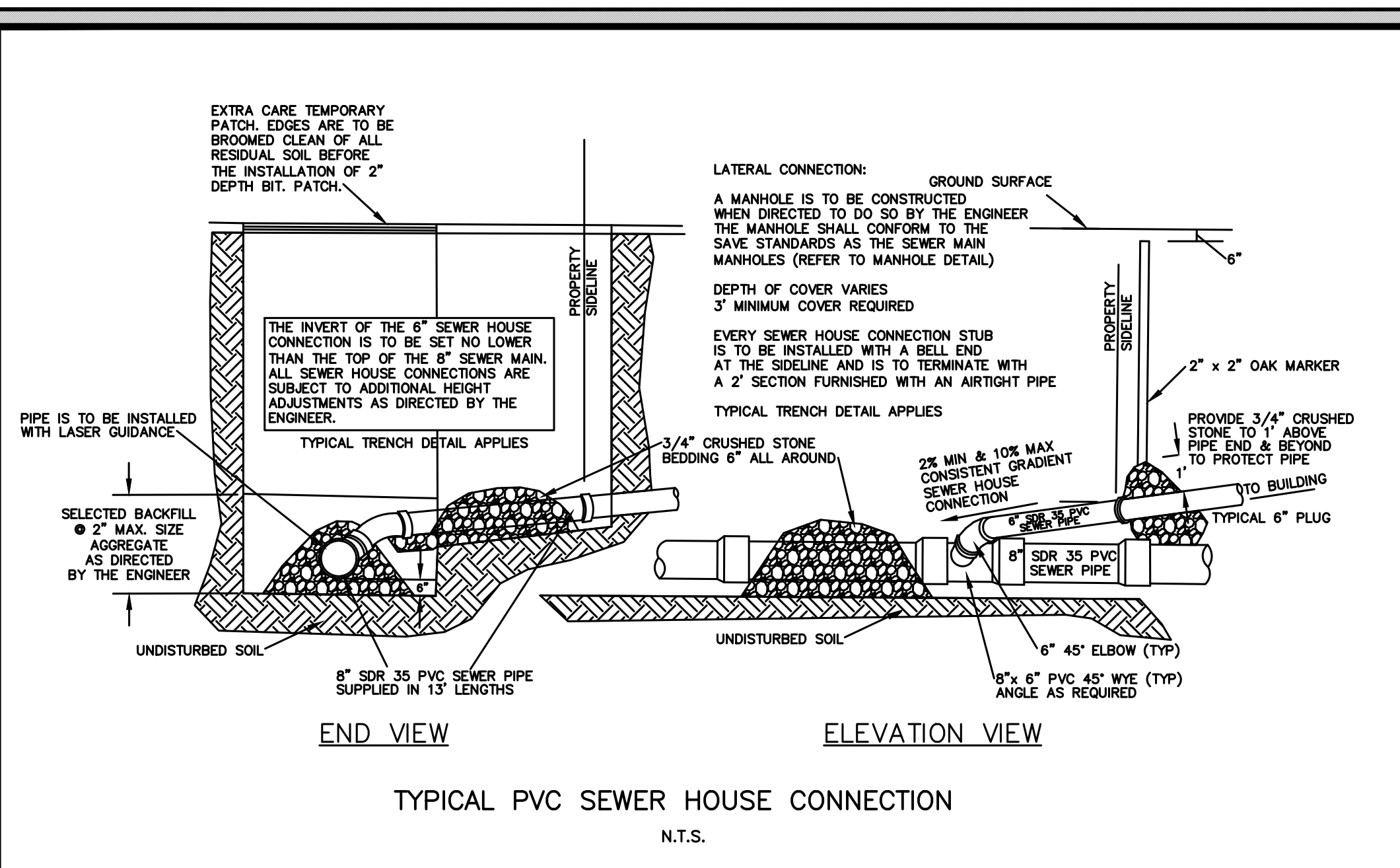
**DETAILS**

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05/21/21



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APPROVED BY	ES
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SHEET:	4 OF 4

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