

## DEPARTMENT OF PLANNING AND DEVELOPMENT

CITY OF NEWTON  
Massachusetts

**DATE:** June 17, 2021

**TO:** City Council

**FROM:** Barney S. Heath, Director of Planning and Development  
Neil Cronin, Chief Planner for Current Planning  
Katie Whewell, Senior Planner

**SUBJECT:** Petition 148-21, 145 Warren Street

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This petition was approved by the Land Use Committee pending further information regarding the specific conditions associated with the proposed four single-family attached dwellings. The petitioner provided a Construction Management Plan (**Attachment A**), Universal Design measures (**Attachment B**), and Passive House measures (**Attachment C**) for the Council to review, and conditions have been incorporated reflecting the submission of these documents and the items to be incorporated into the project.

### ***Construction Management Plan and Parking for Construction Vehicles***

The Construction Management Plan incorporates many of the items in the standard Construction Management Plan condition. A final Construction Management Plan will be reviewed and approved at the building permit phase by the Inspectional Services Department, Planning Department, and Department of Public Works.

Members of the Land Use Committee expressed interest in parking of construction vehicles. The petitioner submitted a site plan within the Construction Management Plan showing parking along the right-side property line as parking for contractors and subcontractors. Per the Traffic and Parking Regulations §176, the City prohibits parking on the southern side of Warren Street from Langley Road to Glen Avenue. The northern side of Warren Street, which is the side 145 Warren Street is on, has a two-hour parking limit from Langley Road to Glen Avenue.

### ***Universal Design and Passive House***

The petitioner submitted two documents relative to Universal Design and Passive House measures. Unit 1 is to be remodeled in accordance with Universal Design Guidelines which dictate dimensions of entrances, interior space, kitchens, and bathrooms. Items include but are not limited to the entrance not having steps and an accessible path of travel, maneuverability in each of the spaces, and many

fixtures, appliances, and outlets having a minimum or maximum distance from the floor or other points within the space. The Universal Design measures that the petitioner submitted have been incorporated into the Council Order under conditions 4, 10.j., and 12.f.

The petitioner committed to making the new construction, or units 2-4, Passive House Certified and submitted the attached Passive House document outlining measures. The Passive House measures that the petitioner submitted have been incorporated into the Council Order under conditions 3, 10.i., and 12.e.

**Attachment A:** Construction Management Plan with site plan showing contractor and subcontractor parking

**Attachment B:** Universal Design measures

**Attachment C:** Passive House measures

**Attachment D:** Council Order

CONSTRUCTION MANAGEMENT PLAN

Address: 145 Warren Street. Newton MA 02458

June 12, 2021

PROJECT OVERVIEW

Constructing a 4-unit Multifamily Project to the rear of an existing dwelling to be restored. The project will also include 7 spaces for parking below at the basement level.

CONSTRUCTION ADMINISTRATION Contact Person

Mark Cutler from Cutler Building will be on site each day to direct the operation and coordinate the activities of the sub-contractors. He will also be the first line of response to deal with unforeseen circumstances and have overall responsibility for completing the project in a professional and timely manner. Mr. Cutler will be available on call day, night and weekends by phone at 774-248-4875.

Communication

The home owner, Civico Development (David Oliveri), will periodically update the Ward Alderman by letters and/or email. The purpose of such communication will be to advise of the schedule and progress of construction, any construction activities that may negatively impact the neighborhood, any changes in plans, or any other matter that may be of interest to the neighborhood. The Contractor and/or home owners shall respond timely to concerns raised by the community in relation to the construction and its impact on the adjacent neighborhood. The Contractor/home owner will take actions reasonably necessary to eliminate or mitigate to the greatest extent possible, any concern relating to the impact of the construction on the neighborhood.

Dust, Dirt and Debris Control

The Site Superintendent will actively supervise the delivery of materials so that trucks do not idle or stand on Warren Street and to ensure that there will be no washout of concrete trucks on public property. To control the possibility that dirt and debris could be tracked from the site onto Warren Street, the truck tires will be cleaned off before leaving the site. In addition, the Contractor/developer will endeavor to keep the streets as clean as possible by means of a sweeper during the site work phase. Other methods of dust control will include, but not be limited to, covering trucks for transportation of fill material, minimizing storage of debris on-site by regular use and pick-up of dumpsters, use of tarps or other suitable material to cover stored building materials and soil.

Hours of Operation and Noise Control

In accordance with section 20-13 of the City of Newton Municipal Code (The Noise Control Ordinance), the normal work day shall begin no earlier than 7:00 AM Monday through Friday. Exterior work shall not extend beyond the hours, nor exceed the maximum noise levels, specified in Section 20-13, and all material deliveries shall comply with the work hours and time restrictions noted therein. With the advent of late fall and diminished daylight hours, it may be expected that some work will be performed on Saturdays, to accelerate the project or make up for inclement weather delays. If work is to be done on Saturdays, that work shall not begin before 8:00 AM. Under no circumstances will work be performed on Sundays or holidays consistent with municipal ordinance. Noise-producing staging activities will be conducted only during the work hours as described in this section.

Refuse Disposal

Refuse resulting from the demolition activity will either be deposited onto dump trucks with a 20/30-yard capacity or larger for direct haul from the site or where feasible, segregated for recycling purposes prior to transport. During construction, waste materials and debris will be deposited/stored in secure containers for periodic pickup and

disposal off-site. At the end of each business day, all such containers shall be securely covered during those periods when not in active use (i.e., night and weekends) and during transport from the site. Said containers will be fitted with a closable lid to protect residents from offensive odors and any breach of the facility. Trash pickups will be scheduled with sufficient regularity to ensure that the containers are not filled beyond their designated capacity

#### Insurance Coverage

The general contractor/owner shall carry one million dollars (\$1,000,000) in comprehensive liability insurance to indemnify abutting property owners from potential damage to adjacent structures and other tangible property, real and personal, caused by construction activities. The contractor shall submit a certificate to the Newton Fire Department documenting that the required coverage will be in force for the duration of the work at the site.

#### TRAFFIC & PARKING

Police details shall be provided when any work on the project may impact the movement of traffic on Warren Street or as may be required by the Chief of Police, Chief of Fire or the Traffic Engineer. This requirement may apply, but not be limited, to the following activities: deliveries, concrete pours, mobilization of equipment and any work in the street. Parking will be contained within the current site and driveway area. The owner will obtain a parking permit for their vehicle for the time of the constructions and subcontractors will be instructed to follow the street's parking restrictions and take into consideration handicap ramps and neighboring homes driveways. See Logistics Plan that will show onsite parking that will limit the amount of on-street parking.

#### Construction Phasing

Once the applicable building permits and sign-offs have been obtained from the relevant city departments, site work will begin for the addition that will include all site utilities, the foundation for the addition, formed, poured and backfilled, likely involving several separate pours over two-week period. Once framing begins, a weather tight shell should be accomplished before winter. All interior work for both the addition and existing renovation shall occur over the winter months. Once weather changes and spring arrives, all exterior will begin that will include painting and landscape.

#### Rodent Control

So, rodents and pests do not disperse from or infest the project area, prior to demolition, excavation and/or site preparation the Contractor shall develop and implement an Integrated Pest Management (IPM) Plan. As part of this plan, the Contractor shall maintain open dialogue with the City, appropriate agencies and neighboring properties (i.e., within 200 feet of project limits). The Contractor shall obtain and maintain appropriate permit(s) from city or state agencies for pest control activities associated with the work granted under permit. The Contractor shall also obtain and maintain all right of entry permits required for the performance of this Work. This includes all utilities and private properties to which entrance is required.

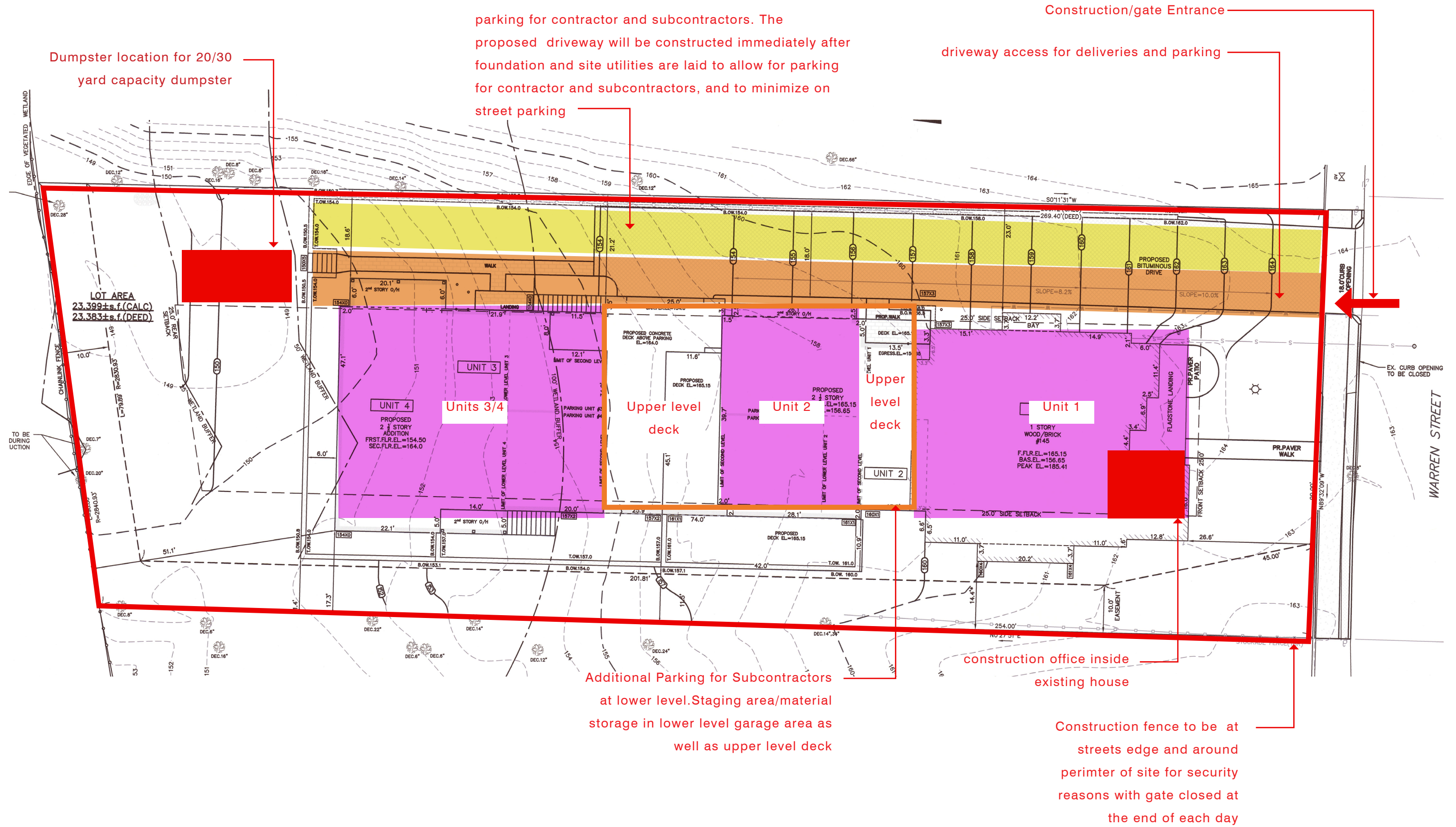
Prior to commencing any baiting, the Contractor shall submit to the Engineer a written description of proposed pest control procedures, indicating materials, quantities, methods and schedule. For all proposed pesticides to be used, submit a copy of the pesticide's manufacturer's EPA-approved pesticide label with application directions. The Contractor shall provide Engineer with copies of pesticide applicator certifications, licenses and renewals.

Prior to construction and throughout the duration of this Contract, identify and document harborage and food sources available to rodents on the construction site and in observable bordering areas. This includes any littering or improper or insufficient use of trash receptacles in construction areas. It also includes any bordering areas with sanitation conditions or structural deficiencies that violate City or State sanitation codes.

This work shall be performed in such a manner that toxicant and other control tools do not pose a hazard to persons, domestic animals or non-targeted wildlife.

#### AMENDMENTS TO THE PLAN

This Plan is intended to establish a baseline condition for protection of the neighborhood from the possible adverse effects that may result from, or during, construction. It may be augmented from time to time as circumstances warrant.



Dumpster location for 20/30 yard capacity dumpster

parking for contractor and subcontractors. The proposed driveway will be constructed immediately after foundation and site utilities are laid to allow for parking for contractor and subcontractors, and to minimize on street parking

Construction/gate Entrance

driveway access for deliveries and parking

Additional Parking for Subcontractors at lower level. Staging area/material storage in lower level garage area as well as upper level deck

construction office inside existing house

Construction fence to be at streets edge and around perimeter of site for security reasons with gate closed at the end of each day



145 Warren Street  
Construction Logistics/ Site Plan

June 14, 2021



# 145 Warren Street

RE: Universal Design June 15, 2021

## SUMMARY OF UNIVERSAL DESIGN GUIDELINES

The following features will be incorporated into the renovation of the existing home at 145 Warren Street.

### 1. Entrances

- One entrance without steps and a flat or very low threshold
- 60" by 60" level maneuvering space at stepless entrance [roof over entrance offers additional convenience]
- 36" exterior door with lever hardware
- Movement sensor light at entrance
- A peephole at 42" and 60" above the floor
- Ambient and focused lighting at keyhole
- High visibility address number
- Parking convenient to dwelling [covered from the elements]
- Accessible path of travel to dwelling from drop off area [slope of 1:20 or less eliminates the necessity of handrails, except when needed by a specific individual]

### 2. General Interior

- Hall widths of 42" [where possible] [interior accessible route is 36"]
- Passage doors 32" clear [provided with 34" or 36" door] equipped with lever hardware
- Flush transitions between floor surfaces [maximum of 1/2" rise]
- 5 lbs maximum force to open doors
- 18" minimum space at latch side of the door
- 60"x60" maneuvering space in each room [after furniture is placed]
- Increased number of electrical outlets for additional lighting and alarm indicators, especially in bedrooms
- Electrical outlets at 18" minimum height
- Light switches at 44" maximum above the floor
- View windows at 36" maximum sill height and large enough to use as an escape route in the event of an emergency
- Crank operated [casement] or light weight sliding windows
- Closet rods adjustable from 30" to 66" above the floor
- Loop or other easy to use handle pulls on drawers and cabinets
- High contrast, glare free floor surfaces and trim
- Low pile carpet or smooth anti-slip flooring
- High-speed internet access data connection port and cabling
- Maneuvering space at doors- if inswinging door obstructs a bathroom or kitchen fixture or appliance, use of offset hinges, swing door out, hinge door on opposite jamb, or widen doorway

### 3. Kitchens

- Clear floor space in kitchen with 60" minimum turning circle
- 30"x48" area of approach [forward or parallel, depending on fixture type] in front of all appliances
- Cooktop or range with front of side mounted controls and staggered burners to eliminate dangerous reaching

- Front-mounted controls on washer and dryer
- Variable height sink adjustable between 32" and 40"
- Exposed piping and any sharp or hot elements in any kneespace should be padded or concealed
- Single-lever faucet controls
- Full height pantry cabinets for high and low storage
- Adjustable height shelves in wall cabinets
- Refrigerator/ freezer with frozen food storage in the bottom or side-by-side refrigerator/ freezer
- Variable height counter surfaces or adjustable through a range of 28" to 40"
- Base cabinets with pullout shelves or drawers
- Microwave oven at countertop height with uninterrupted counter surface or pull out shelf to support the safe transfer of hot and/ or heavy cookware
- Under cabinet glare free task lighting

#### 4. Bathrooms

- 60" minimum turning circle
- 30"x48" area of approach [forward or parallel, depending on fixture type] in front of all fixtures
- Toilet in a 38"x56" space with centerline of toilet 18" from sidewall. Toilet may be positioned in a 60"x60" space.
- 32" minimum lavatory counter height with lever faucet control
- Broadly applied bands of blocking [reinforcement] inside walls around toilets and bathing fixtures for future installation of grab bars
- Offset controls in tub or shower to minimize stooping, bending and reaching
- Curbless or roll in showers, if installed, will be at least 36"x60". Also providing a standard tub.
- Shower to be designed to accept a portable bench or bathing seat
- Adjustable height hand-held shower head in addition to standard fixture shower head
- Anti-scald devices on all plumbing fixtures
- Mirror to backsplash of lavatory



From: James Moriarty / June 16, 2021/

# 145 Warren St

## Green Features

The 145 Warren St project is targeting the following green and high efficient features to support low carbon development.

### Passive House Certification

Passive House is a program for advanced energy performance, typically aiming to reduce heating and cooling energy use by 80% compared to typical buildings. The program includes robust energy modeling to inform low energy usage and emphasizes small mechanical equipment to serve the building. Benefits include healthier indoor air quality, balanced controlled ventilation, increased durability and longevity of all assemblies, reduced noise attenuation from outside. The program also requires a high level of oversight via a third-party verifier, and layers in additional benefits such as indoor air quality through the EPA Indoor AirPlus program.

- Insulated envelope to reduce energy use
- Reduce drafts through super air tight construction
- Fresh air to all spaces with filtered outdoor air through high efficiency energy recovery ventilation
- Noise reduction through efficient triple pane windows throughout
- Low emitting products throughout by achieving the EPA Indoor AirPlus program
- Water savings by using low flow fixtures and efficient distribution systems to minimize wasted hot water
- Renewable energy production through roof mounted solar PV panels
- Electric Vehicle charging at each garage location
- Leveraging incentives through the MassSave program and federal tax credits will help offset some of the costs of construction
- Green Jobs and Training will be provided throughout the project and help transition the trade network systems such as heat pumps, air tightness, and high insulation systems.

### Eliminate Fossil Fuel Use

Along with achieving Passive House certification, the project will not use any fossil fuel burning appliances, instead using high efficiency air source heat pump based systems for heating, cooling, hot water, and cooking for the project. Combined with renewable energy, the use of all electric systems will serve to reduce the carbon emissions of the homes throughout their life.

### Reduce Embodied Carbon

The project aims to make decisions to lower embodied carbon use in the project including avoiding any spray foam products on the inside of the building, instead opting for exterior rigid insulation products that include low global warming potential refrigerants. Will look to reduce concrete use and eliminate any steel for structural instead using wood framed construction.



## Transit and Walkability

By increasing the density in this location, the project will impact the community as a whole to reduce carbon emissions by encouraging public transit, walking, and short trips. The walkscore of the project is rated at a 77 and very walkable, with good transit, and bikable infrastructure. The homes are located 0.2 miles from the Newton Centre green line T station for easy commuting into Boston.

### 145 Warren Street

[Add scores to your site](#)


Newton Center, Newton, 02459


Commute to **Downtown Newton** 


 5 min  20 min  8 min  28 min [View Routes](#)

 **Favorite**
 **Map**
 **Nearby Apartments**

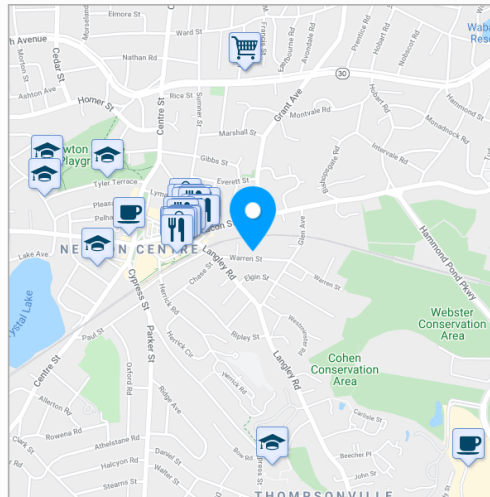
[More about 145 Warren Street](#) 


**Very Walkable**  
 Most errands can be accomplished on foot.


**Good Transit**  
 Many nearby public transportation options.


**Bikeable**  
 Some bike infrastructure.

[About your score](#)



CITY OF NEWTON

IN CITY COUNCIL

ORDERED:

That the City Council, finding that the public convenience and welfare will be substantially served by its action, that the use of the site will be in harmony with the conditions, safeguards and limitations set forth in the Zoning Ordinance, and that said action will be without substantial detriment to the public good, and without substantially derogating from the intent or purpose of the Zoning Ordinance, grants approval of the following SPECIAL PERMIT/SITE PLAN APPROVAL to allow four single-family attached dwellings with exceptions to dimensional requirements for side setbacks and lot coverage, retaining walls four feet or more in height within a setback, to allow a driveway within ten feet of the side lot line, to allow for a reduced driveway width, and to waive one parking stall as recommended by the Land Use Committee for the reasons given by the Committee through its Chairman, Councilor Richard Lipof:

1. The specific site is an appropriate location for the proposed four single-family attached dwellings because such use is allowed within the Multi-Residence 1 zone and the site has the required lot area. (§7.3.3.C.1)
2. The proposed four single-family attached dwellings will not adversely affect the neighborhood due to the proposed building design that preserves the historic structure and locates the additional massing to the rear. (§7.3.3.C.2)
3. The proposed single-family attached dwellings will not create a nuisance or serious hazard to vehicles or pedestrians because the driveway location is being maintained. (§7.3.3.C.3)
4. Access to the site over streets is appropriate for the types and numbers of vehicles involved.
5. The specific site is an appropriate location for the proposed retaining wall greater than four feet within the side setback due to the downward slope of the site and to accommodate the driveway along the property line. (§7.3.3.C.1)
6. The specific site is an appropriate location for the waiver of one parking stall because it is in close proximity to Newton Centre Village Center. (§7.3.3.C.1)
7. Literal compliance with the dimensional standards for the side setback, lot coverage, a driveway located within ten feet of the side lot line, and reduced driveway width is in the public interest because the building design preserves a historic structure, and the site design utilizes the existing driveway. (§3.2.4, §6.2.3.B.2 )
8. Literal compliance with the required number of parking stalls is in the public interest because the site is located within one half mile of transit, and secure and indoor bicycle parking is

being provided in lieu of one parking stall. (§3.2.4, §6.2.3.B.2 )

PETITION NUMBER: #148-21

PETITIONER: 145 Warren CREH, LLC AND Norton Point Warren Street, LLC

LOCATION: 145 Warren Street, Ward 6, on land known as Section 61, Block 39, Lot 10, containing approximately 23,399 sq. ft. of land

OWNER: 145 Warren CREH, LLC AND Norton Point Warren Street, LLC

ADDRESS OF OWNER: 12 Morse Lane  
Natick MA 01760

TO BE USED FOR: Four single-family attached dwellings

EXPLANATORY NOTES: Special permit as per §7.3.3 to allow four attached single-family dwellings in a Multi-Residence 1 (MR1) zoning district (§3.4.1); reduce the side setback requirement (§3.2.4); allow increased lot coverage (§3.2.4); allow retaining walls of four feet or more in height within a setback (§5.4.2.B); allow a driveway within ten feet of the side lot line (§6.2.3.B.2); allow reduced driveway width for parking facilities over five stalls (§5.1.8.D.1); and to waive one parking stall (§5.1.4)

ZONING: Multi-Residence 1 (MR1) district

Approved subject to the following conditions:

1. All buildings, parking areas, driveways, walkways, landscaping and other site features associated with this Special Permit/Site Plan Approval shall be located and constructed consistent with:
  - a. A set of plans prepared by VTP Associates, Inc., signed and stamped by Joseph R. Porter, Professional Land Surveyor, and Mark Besio, Professional Engineer:
    - i. "Zoning Plan, Newton, Massachusetts, Showing Proposed Conditions at #145 Warren Street," dated November 4, 2020, Revised: May 12, 2021
    - ii. "Grading, Drainage and Utility Plan, Showing Proposed Conditions at #145 Warren Street," dated November 4, 2020, Revised: January 20, 2021
    - iii. "Detail -1, Showing Proposed Conditions at #145 Warren Street," dated November 4, 2020, Revised: January 20, 2021
    - iv. "Detail -2, Showing Proposed Conditions at #145 Warren Street," dated November 4, 2020, Revised: January 20, 2021

- b. Architectural plans entitled “145 Warren Street Newton Center” prepared by Civico Development, dated February 24, 2021, Revised April 13, 2021 signed and stamped by Andrew Consigli, Registered Architect:
    - i. Lower Level Plan (A1);
    - ii. Street Level Plan (A2);
    - iii. Upper Level Plan (A3).
    - iv. Elevations (Sides) (A4)
    - v. Elevations (Rear) (A5)
  - c. Proposed Front Elevation titled “Preserving and bringing back Historic features” prepared by Civico, showing the Front Elevation including door to be restored, sign to be restored, clay tile roof to remain, shingles to be scraped and repainted, windows to be restored, and brick to be repointed, Page 6
  - d. Landscape Plan entitled “Illustrative Planting Plan” prepared by Verdant, dated January 25, 2021, signed and stamped by Blair Hines, Registered Landscape Architect.
2. The petitioner shall preserve the existing proportions, substrate and architectural details that contribute to the historic significance of the original structure including but not limited to all exterior walls, roof structure, and window openings.
  3. Units 2-4 shall be designed and constructed to achieve Passive House certification as described in “145 Warren Street, Green Features” prepared by Sustainable Comfort, dated June 16, 2021 on file with the City Clerk and the Planning Department, and in accordance with the requirements of the Passive House US Institute (PHIUS), the Passive House Institute, or other recognized Passive House standards and/or certification organization.
  4. Unit 1 shall be adapted to Universal Design standards in accordance with “145 Warren Street re: Universal Design” prepared by Sustainable Comfort dated June 15, 2021 on file with the City Clerk and the Planning Department.
  5. Prior to the issuance of any building permit, the petitioner shall provide a final site plan for review and approval by the Director of Planning and Development, City of Newton Fire Department, Department of Planning and Development, City Engineer, and Department of Inspectional Services.
  6. Prior to the issuance of a Building Permit, the petitioner shall provide a final design for a standby generator on site and implement such design to the satisfaction of the City Engineer.
  7. Prior to the issuance of a Building Permit, the petitioner shall conduct a closed-circuit television inspection of the City’s drainpipe on site and provide an electronic copy of such inspection to the Commissioner of Public Works.
  8. The petitioner shall comply with the Tree Preservation Ordinance.
  9. Prior to the issuance of any building permit for the Project the Petitioner shall submit a Construction Management Plan (CMP) for review and approval by the Commissioner of Inspectional Services, the Director of Planning and Development, and the City Engineer. The Construction Management Plan shall be consistent and not in conflict with relevant conditions of this Order and shall include, but not be limited to, the following provisions:
    - a. 24-hour contact information for the general contractor of the project.

- b. Hours of construction: construction shall be limited to between the hours of 7:00 a.m. and 7:00 p.m. on weekdays and from 8:00 a.m. to 7:00 p.m. on Saturdays. No construction is permitted on Sundays, or holidays except in emergencies, and only with prior approval from the Mayor.
  - c. The proposed schedule of the project, including the general phasing of the construction activities and anticipated completion dates and milestones.
  - d. Site plan(s) showing the proposed location of contractor and subcontractor parking, on-site material storage area(s), on-site staging areas(s) for construction and delivery vehicles, and location of any security fencing.
  - e. Proposed methods for dust control including, but not limited to: covering trucks for transportation of excavated material; minimizing storage of debris on-site by using dumpsters and regularly emptying them; using tarps to cover piles of bulk building materials and soil; locating a truck washing station to clean muddy wheels on all truck and construction vehicles before exiting the site.
  - f. Proposed methods of noise and vibration control, in accordance with the City of Newton's Ordinances. Staging activities should be conducted in a manner that will minimize off-site impacts of noise. Noise producing staging activities should be located as far as practical from noise sensitive locations.
  - g. Tree preservation plan to define the proposed method for protection of any existing trees to remain on the site.
  - h. A plan for rodent control prior to demolition, during demolition, and during construction.
  - i. The CMP shall also address the following:
    - safety precautions;
    - anticipated dewatering during construction;
    - site safety and stability;
    - impacts on abutting properties.
10. No Building Permit shall be issued pursuant to this Special Permit/Site Plan Approval until the petitioner has:
- a. Recorded a certified copy of this Order for the approved Special Permit/Site Plan Approval with the Registry of Deeds for the Southern District of Middlesex County.
  - b. Filed a copy of such recorded Order with the City Clerk, the Department of Inspectional Services, and the Department of Planning and Development.
  - c. Provided a final Site Plan for review and approval by the Department of Planning and Development, Engineering Division of Public Works and Fire Department.
  - d. Filed with the City Clerk, the Commissioner of Inspectional Services, and the Department of Planning and Development, a statement from the Engineering Division approving the final site plan.

- e. Provided a Final Landscape Plan showing compliance with the Tree Preservation Ordinance and all new plantings, for review and approval by the Director of Planning and Development.
  - f. Provided a final Operations and Maintenance Plan (O&M) for stormwater management to the Engineering Division of Public Works for review and approval. Once approved, the O&M must be adopted by applicant, and recorded at the Registry of Deeds for the Southern District of Middlesex County. A certified copy of the O&M shall be submitted to the Engineering Division of Public Works.
  - g. Obtained a written statement from the Planning Department that confirms the Building Permit plans are consistent with plans approved in Condition #1 including all dimensional requirements.
  - h. Filed with the City Clerk, Inspectional Services, and the Planning Department a statement from the Newton Historical Commission approving the final plans.
  - i. Submitted a Passive House narrative and/or checklist prepared and certified by a licensed architect to the Director of Planning and Development, indicating standards that will be achieved for Units two through four in order to achieve Passive House Certification in accordance with Condition #3.
  - j. Submitted a Universal Design narrative and/or checklist prepared and certified by a licensed architect to the Director of Planning and Development, indicating standards that will be achieved Unit One in order to achieve Universal Design designation in accordance with Condition #4.
11. Prior to the issuance of any occupancy certificate, the petitioner shall conduct a closed-circuit television inspection of the City's drainpipe on site and provide an electronic copy of such inspection to the Commissioner of Public Works.
12. No Occupancy Permit for the use covered by this Special Permit/Site Plan Approval shall be issued until the petitioner has:
- a. Filed with the City Clerk, the Department of Inspectional Services, and the Department of Planning and Development a statement by a registered architect certifying compliance with Condition #1.
  - b. Submitted to the Department of Inspectional Services and the Department of Planning and Development a final as-built survey plan in paper and digital format.
  - c. Filed with the Department of Inspectional Services and the Department of Planning and Development a statement by the City Engineer certifying that all engineering details for the project site have been constructed to standards of the City of Newton Public Works Department.
  - d. Filed with the Department of Inspectional Services a statement by the Director of Planning and Development approving final location, number, and type of plant materials, final landscape features, fencing, and parking areas.

- e. Filed with Inspectional Services and the Planning Department, a statement or certificate from a licensed architect certifying that the portions of the residential building that are designated Passive House have been constructed in accordance with Condition 3.
  - f. Filed with Inspectional Services and the Planning Department, a statement or certificate from a licensed architect certifying that the portions of the residential building that are designated to be Universal Design have been constructed in accordance with Condition 4.
13. Notwithstanding the provisions of Condition #9 above, the Commissioner of Inspectional Services may issue one or more certificates of temporary occupancy for all or portions of the site prior to installation of final landscaping, fencing, and/or benches provided that the Petitioner shall first have filed with the Director of Planning and Development a bond, letter of credit, cash or other security in the form satisfactory to the Director of Planning and Development in an amount not less than 135% of the value of the aforementioned remaining site work to secure installation of such landscaping, fencing, signage and parking areas. This condition shall not apply to the public footpath.
14. The project shall be constructed in accordance with the Order of Conditions issued by the Conservation Commission and must seek approval from the Conservation Commission for any changes to the approved work.