

# FISHMAN RESIDENCE

## 43 KENWOOD AVE, NEWTON, MA 02459

### SINGLE FAMILY ALTERATION

#### BUILDING PERMIT SUBMISSION 2/8/21

CLIENT

**DRS MARTHA & MARK FISHMAN**

PROJECT NAME

**FISHMAN RESIDENCE**

ISSUANCE

ISS#	DATE	DESCRIPTION
01	2/8/21	BUILDING PERMIT

**SCOPE OF WORK:**

-INTERIOR IMPROVEMENTS TO PRIVATE HOME CONSISTING OF NON-LOAD BEARING DEMOLITION AND RECONFIGURATION OF SPACE ON SECOND FLOOR.

-SECOND FLOOR REAR ADDITION WITHIN EXISTING BUILDING FOOTPRINT. ALL STRUCTURAL ALTERATIONS WILL BE PERFORMED IN FULL COMPLIANCE WITH THE STATE BUILDING CODE. INCREASED FAR BY 0.02. PROPOSED WINDOW SEAT DOES NOT AFFECT FAR.

-PROPOSED SECOND STORY DORMER IS ENTIRELY BELOW EAVE LINE OF EXISTING PARTIAL THIRD FLR. DOES NO EXTEND EXTERIOR FOOTPRINT OF STRUCTURE. NO INCREASE TO FAR.

**GENERAL NOTES:**

- ALL AREA CALCULATIONS ARE BASED ON DATA FROM EXISTING DEEDS CITY RESOURCES AND FIELD MEASUREMENTS WHERE POSSIBLE. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.
- ALL CODES HAVING JURISDICTION SHALL BE STRICTLY APPLIED IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. ALL CODES, TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS REFERRED TO SHALL BE THE LATEST EDITION.
- ALL STRUCTURAL ALTERATIONS WILL BE PERFORMER IN FULL COMPLIANCE WITH THE STATE BUILDING CODE. SEE STRUCTURAL DWGS.
- HOLD INDICATED DIMENSIONS. CONFIRM DIMENSIONS BEFORE PROCEEDING. PLANS ARE BASED ON EXISTING DRAWINGS. ALL MEASUREMENTS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED IN FIELD. ANY DISCREPANCIES MUST BE RESOLVED BY COMMUNICATION WITH ARCHITECT BEFORE PROCEEDING.
- ALIGNMENT NOTES SUPERCEDE DIMS WHERE NOTED. WHERE CONFLICTING INFORMATION IS NOTED, DIRECTION TO BE PROVIDED BY ARCHITECT.
- MAINTAIN EXISTING LEVEL OF FIRE PROTECTION THROUGHOUT CONSTRUCTION, PER IBC 2009 SECTION 603.1
- DO NOT SCALE DRAWINGS.

**ABBREVIATIONS:**

ABV	ABOVE		
ADDNL	ADDITIONAL		
ADJ	ADJACENT		
AFF	ABOVE FINISHED FLOOR	MANF	MANUFACTURER
AHU	AIR HANDLING UNIT	MAS	MASONRY
ALN	ALIGN	MAT	MATERIAL
ALT	ALTERNATE	MECH	MECHANICAL
@	AT	MTL	METAL
APRX	APPROXIMATE	N	NORTH
BLW	BELOW	NIC	NOT IN CONTRACT
BO	BOTTOM OF	NTS	NOT TO SCALE
CEM	CEMENT, CEMENTITIOUS	OC	ON CENTER
CLG	CEILING	OC	OWNER FURNISHED
COL	COLUMN	OFCI	CONTRACTOR INSTALLED
CONT	CONTINUOUS	OPG	OPENING
CONTR	CONTRACTOR	NOM	NOMINAL
COORD	COORDINATE	PLYWD	PLYWOOD
CPT	CARPET	PNTD	PAINTED
DEMO	DEMOLITION	PNT	PAINT
DIA	DIAMETER	PL	PROPERTY LINE
DN	DIMENSION	RA	RETURN AIR REGISTER
DN	DOWN	RECP	RECEPTACLE
DR	DOOR	REINF	REINFORCEMENT
DTL	DETAIL	REM	REMOVE
E	EAST	REQ	REQUIRED
ELEV	ELEVATOR	RF	ROUGH OPENING
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	SA	SCHEDULE
EXP	EXPOSED	SCHD	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
EXSTG	EXISTING	SF	SQUARE FEET
FD	FLOOR DRAIN	SHT	SHEET
FDN	FOUNDATION	SIM	SIMILAR
FIN	FINISH	STL	STEEL
FLR	FLOOR	ST STL	STAINLESS STEEL
FO	FACE OF	TO	TOP OF
FRM	FROM	TYP	TYPICAL
FTG	FOOTING	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	W/	WITH
GC	GENERAL CONTRACTOR	W/O	WITHOUT
GWB	GYPSUM WALL BOARD	WD	WOOD
GRD	GRADE	WP	WORK POINT
HDR	HEADER	WTR	WATER
HT	HEIGHT		
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
LOC	LOCATION		
LT	LIGHT		

**ZONING CODE SUMMARY**

**APPROVED UNDER PERMIT #513-18 - ZONING, SPECIAL PERMIT; HISTORIC - NOT REQUIRED BECAUSE OF SIZE OF PROJECT**

**GOVERNING ZONING CODE:**  
ORDINANCES OF THE CITY OF NEWTON  
CHAPTER 30: ZONING ORDINANCE (11/1/2015)

**ZONING DISTRICT: SR-2 SINGLE-FAMILY RESIDENCE**

**CURRENT USE:** SINGLE FAMILY RESIDENCE

**PROPOSED USE:** NO CHANGE

CRITERIA:	REQUIRED:	EXISTING:	PROPOSED:
LOT AREA	10,000 SF	10,667 SF	NO CHANGE
LOT AREA PER UNIT	15,000 SF	10,610 SF	NO CHANGE
FRONTAGE	80'	82'	NO CHANGE
FRONT SETBACK	25'	30'	NO CHANGE
SIDE SETBACK	7.5'	9.2'	NO CHANGE
REAR SETBACK	15'	39.8'	NO CHANGE
BUILDING HEIGHT	36' SLOPED	29.2'	NO CHANGE
MAX STORIES	2.5	2.5	NO CHANGE
OPEN SPACE	5,305 SF (50%)	7,911 SF (74.6%)	NO CHANGE
LOT COVERAGE	3,183 SF (30%)	1660 SF (15.6%)	NO CHANGE
FAR	.37	.42	.44

**BUILDING CODE SUMMARY:**

**GOVERNING CONSTRUCTION CODE:**

MASSACHUSETTS STATE BUILDING CODE:  
NINTH ADDITION, RESIDENTIAL BUILDING CODE

**SECTION R302 FIRE RESISTANT CONSTRUCTION:**

R302.1 EXTERIOR WALLS PER TABLE R302.1(1), EXTERIOR WALLS W/ EQ OR > 5 FEET OF SEPARATION DISTANCE IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED

A. ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE EAVE IF FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.

B. ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE EAVE PROVIDED THAT GABLE VENT OPENINGS ARE NOT INSTALLED.

**R302.9.1 FLAME SPREAD INDEX**

WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.

**R302.13 FIRE PROTECTION OF FLOORS**

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALLBOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

**303.3 BATHROOMS**

MECHANICAL VENTILATION IN ACCORDANCE WITH SECTION M1507 IS REQUIRED FOR ALL BATHROOMS WITH A SHOWER OR BATHTUB AND ROOMS WITH A TOILET.

**ELECTRICAL SCOPE + PERMITTING**

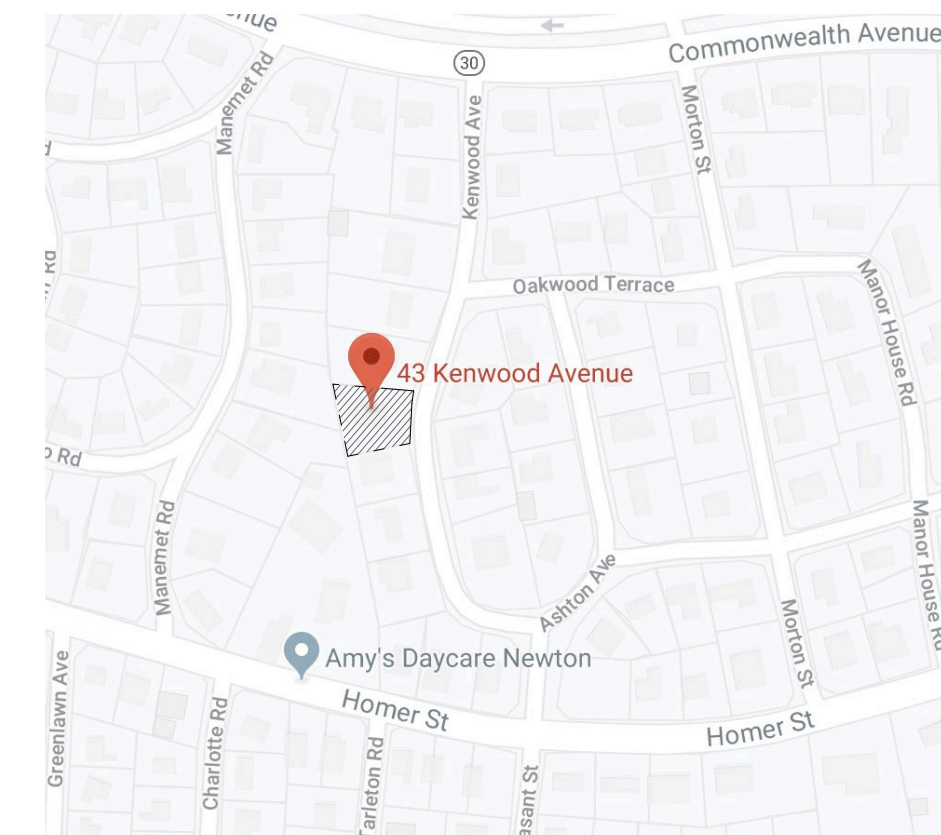
ELECTRICAL PERMITS SHALL BE DESIGN BUILD UNDER A SEPARATE PERMIT APPLICATION AND SHALL MEET REQUIRED MINIMUMS PER BUILDING CODE JURISDICTION

**MECHANICAL SCOPE + PERMITTING**

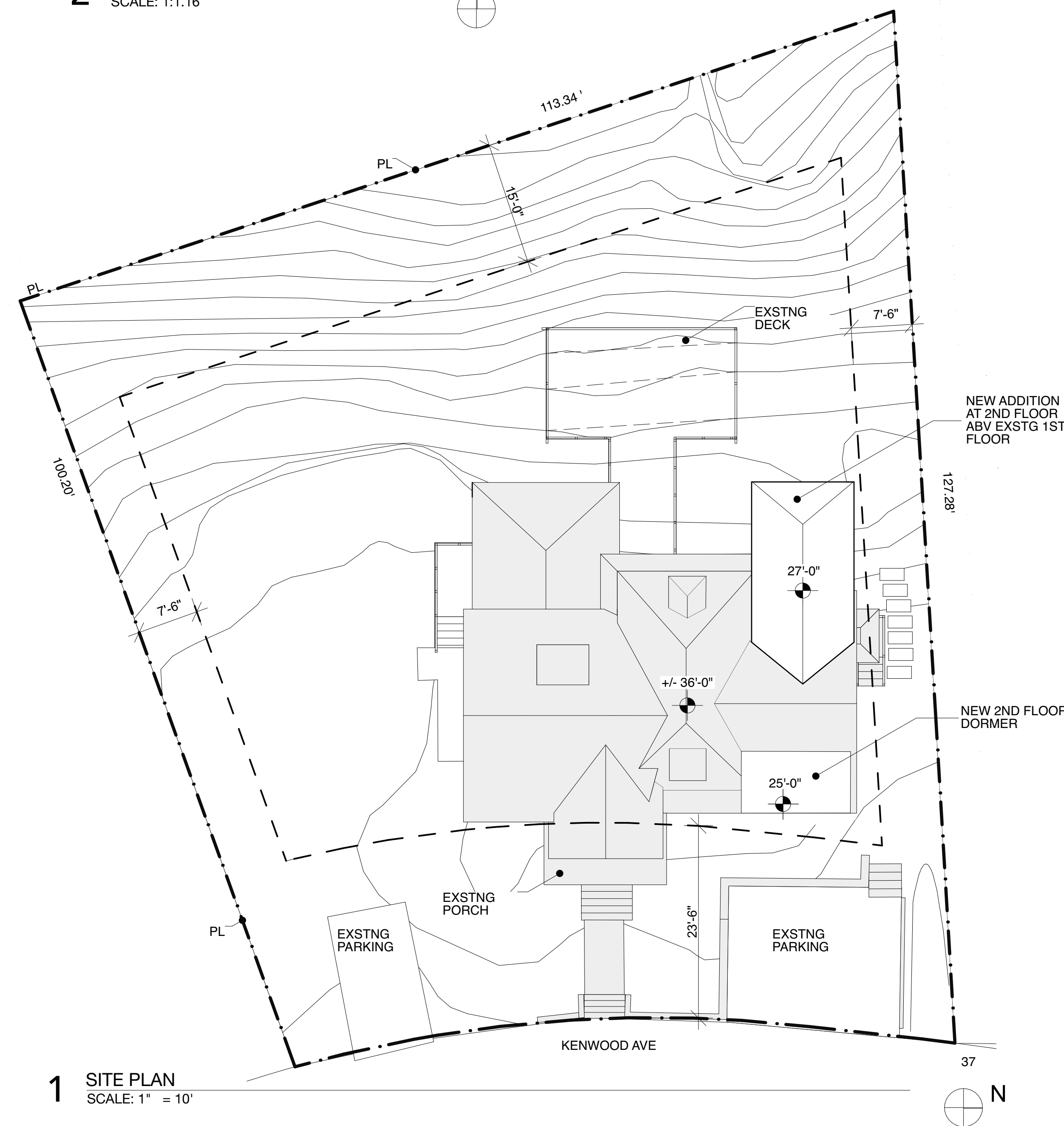
MECHANICAL PERMITS SHALL BE DESIGN BUILD UNDER A SEPARATE PERMIT APPLICATION AND SHALL MEET REQUIRED MINIMUMS PER BUILDING CODE JURISDICTION

**PLUMBING SCOPE + PERMITTING**

PLUMBING PERMITS SHALL BE DESIGN BUILD UNDER A SEPARATE PERMIT APPLICATION AND SHALL MEET REQUIRED MINIMUMS PER BUILDING CODE JURISDICTION



**2 LOCATION MAP**  
SCALE: 1:1.16



**1 SITE PLAN**  
SCALE: 1" = 10'

**DRAWING LIST:**

G001	COVER SHEET
A100	DEMOLITION SCOPE
A200	FLOOR PLANS & INTERIOR ELEVATIONS
A300	ELEVATIONS AND BLDG SECTIONS
S1	STRUCTURAL
S2	STRUCTURAL

**PROJECT INFORMATION**

**PROJECT LOCATION:**

43 KENWOOD AVE  
NEWTON, MA 02459

**ARCHITECTS:**

STANEV POTTS ARCHITECTS  
1103 SPRUCE STREET  
PHILADELPHIA, PA 19107  
215.625.3590

**OWNERS:**

MARTHA AND MARK FISHMAN  
43 KENWOOD AVE  
NEWTON, MA 02459

CONSULTANTS  
CIVIL ENGINEERING

**Merrill**  
Engineers and Land Surveyors  
427 Columbia Road, Hanover, MA 02339 / T: (781) 826-9200  
26 Union Street, Plymouth MA 02360 / T: (508) 746-6060

STRUCTURAL ENGINEERING

**Thornton Tomasetti**  
BUILDING STRUCTURES  
75 YORK STREET  
PORTLAND, MAINE 04101  
207-879-1838

MERFP ENGINEERING

**N/A**

ARCHITECT

**stanev potts architects**  
1103 Spruce Street Philadelphia PA 19107  
v 215-625-3590 f 215-625-3591

DRAWING TITLE

**COVER SHEET**

SCALE

**SEE DRAWING**

SEAL



PROJECT NO:  
**1708**  
DRAWN BY:  
**SM**  
CHECKED BY:  
**PS/ SP**  
DATE:  
SHEET NUMBER

**G001**

ISS#	DATE	DESCRIPTION
01	2/8/21	BUILDING PERMIT

**Merrill**  
 Engineers and Land Surveyors  
 427 Columbia Road, Hanover, MA 02339 / T: (781) 826-9200  
 26 Union Street, Plymouth MA 02360 / T: (508) 746-6060

**Thornton Tomasetti**  
 BUILDING STRUCTURES  
 75 YORK STREET  
 PORTLAND, MAINE 04101  
 207-879-1838

**stanev potts architects**  
 1103 Spruce Street Philadelphia PA 19107  
 v 215-625-3590 f 215-625-3591

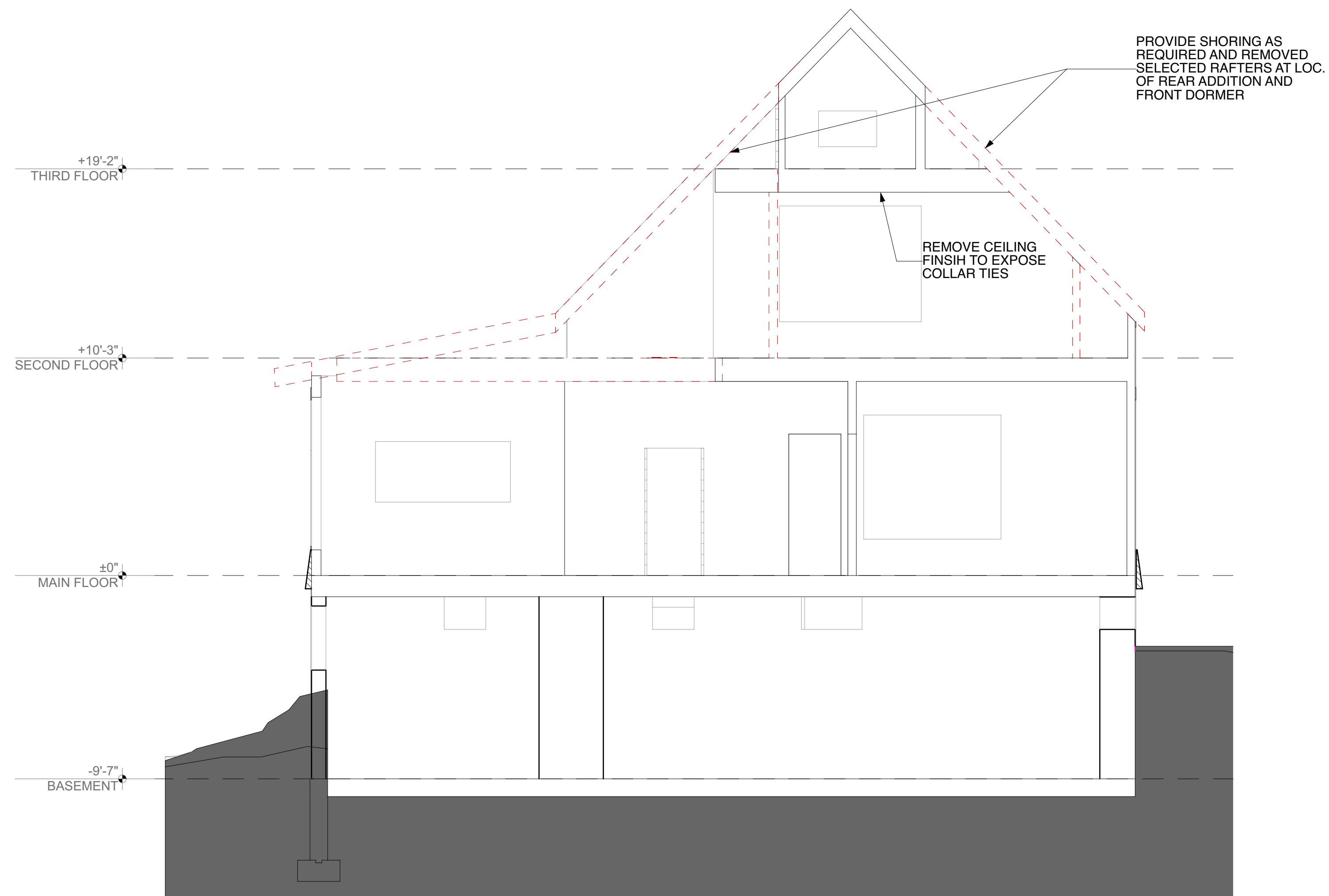
**DEMOLITION SCOPE**

**SEE DRAWING**

PROJECT NO.  
**1708**  
 DRAWN BY  
**SM**  
 CHECKED BY  
**PS/ SP**  
 DATE

SHEET NUMBER

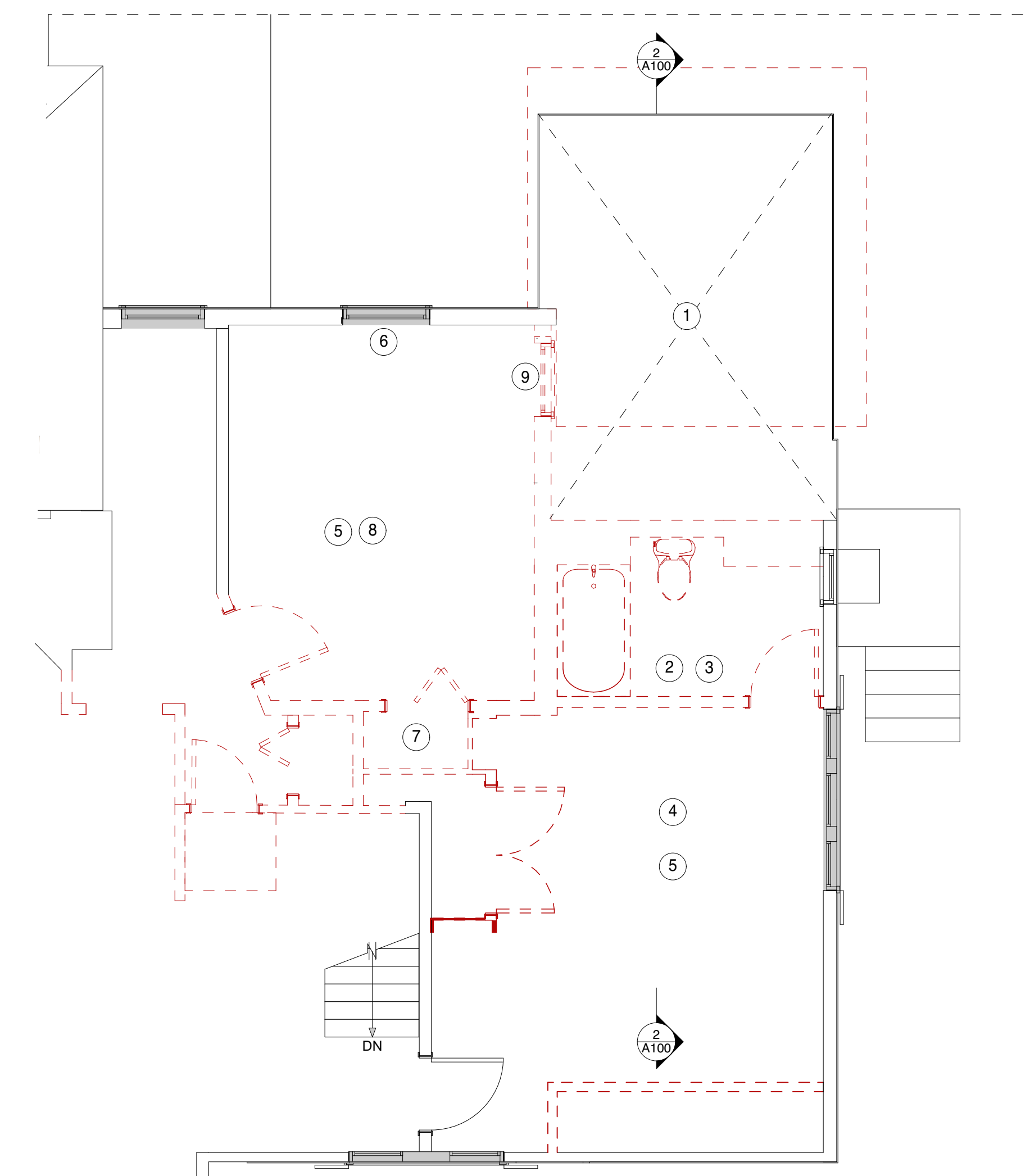
**A100**



**2 PARTIAL E/W DEMOLITION SECTION**  
 SCALE: 1/4" = 1'-0"

**DEMO NOTES:**

DASH LINE INDICATES SCOPE OF REMOVAL & MODIFICATION. GC TO COORDINATE ANY TEMPORARY SHORING. SEE STRUCTURAL DWGS FOR ADDITIONAL INFO



**1 2ND FLOOR DEMO**  
 SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES:**

EXISTING TO REMAIN

ITEMS TO BE DEMOLISHED

GC TO COORDINATE ANY REQUIREMENT FOR TEMPORARY SHORING OF BEARING WALLS WITH STRUCTURAL ENGINEER PRIOR TO DEMO.

SEE STRUCTURAL DWGS FOR ADDITIONAL DEMO NOTES.

- ① REMOVE EX ROOF + FRAMING
- ② REMOVE EX TILE FLOOR FINISH
- ③ REMOVE PLUMBING FIXTURES
- ④ REMOVE EX CARPET + WALL BASE
- ⑤ REMOVE CEILING LIGHT FIXTURES
- ⑥ REMOVE WINDOW TREATMENTS
- ⑦ REMOVE BUILT IN SHELVES
- ⑧ REMOVE EX WOOD FLOOR FINISH
- ⑨ SALVAGE AND REMOVE WINDOW FOR REINSTALLATION ("W5")

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**FLOOR PLANS & INTERIOR ELEVATIONS**

SEE DRAWING



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SHEET NUMBER

**A200**

**GENERAL NOTES:**

MILLWORK AND HARDWARE  
CLEAR FINISH VERTICAL GRAIN CHERRY  
CONCEALED EURO HINGES, SOFT CLOSE  
HARDWARE, DOVE TAIL JOINERY

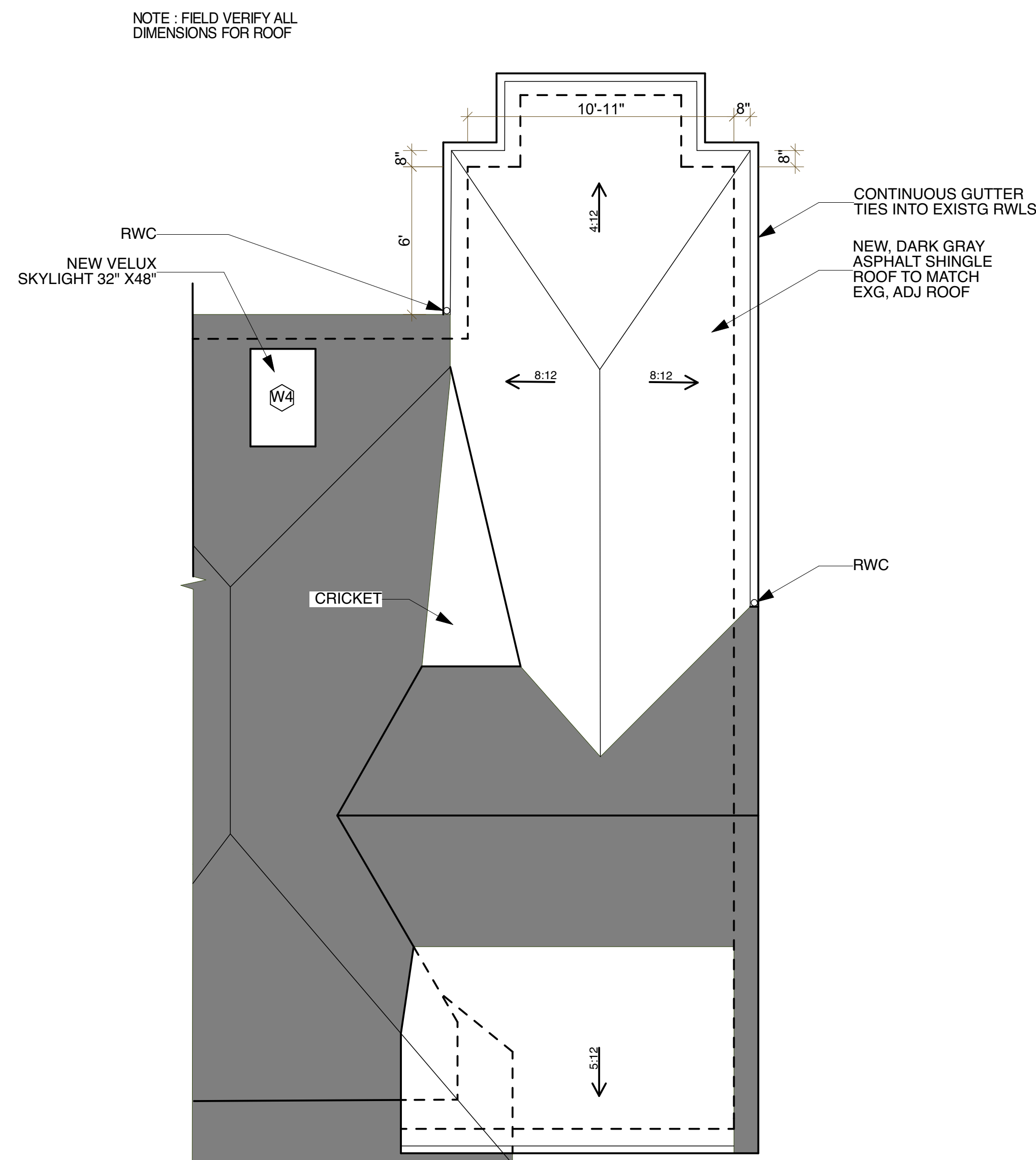
TAG	DESCRIPTION	MANUFACTURER	MODEL/TYPE	FINISH/COLOR	COMMENTS
T-1	MOSAIC FLOOR TILE				
T-2	PORCELAIN WALL TILE		16 X 36		
T-3	PORCELAIN WALL TILE				
WF-1	WOOD FLOOR		WHITE OAK		
CPT-1	BROADLOOM CARPET				
WS-1			WHITE OAK	STAINED	
WV-1			WHITE OAK	STAINED	
WS-2			POPLAR	PAINTED	
MAR-1	COUNTER		STATUARY WHITE MARBLE		
MAR-2	THRESHOLD				

FIXTURE	MANUFACTURER	MODEL	COLOR/FINISH	PART NO.	NOTES
<b>MASTER BATHROOM</b>					
SHOWER HEAD	KOHLER	PURIST	POLISHED CHROME	K-965-AK-CP	
SHOWER CONTROL	KOHLER	PURIST RITE TEMP w/ LEVER HANDLE	POLISHED CHROME	K-TS14423-4-CP	
SHOWER BED	CUSTOM				
TOILET	TOTO	MH WALL HUNG	OI COTTON	CT437FGF01	
SINK	TOTO	KIWAMI RENESSE	OI COTTON	LT98F01	
SINK FAUCET	KOHLER	HONESTY	POLISHED CHROME	K-99760-4-CP	

TAG	MANUFACTURER	MODEL/TYPE	FINISH/COLOR	HEIGHT	WIDTH	NOTES
W-1	LOEWEN	FIXED	METAL CLAD	6'-0"	5'-0"	STYLE TO MATCH EXISTING WINDOWS
W-2	LOEWEN	CASE	METAL CLAD	4'-6"	2'-6"	STYLE TO MATCH EXISTING WINDOWS
W-3	LOEWEN	CASE	METAL CLAD	4'-6"	2'-6"	STYLE TO MATCH EXISTING WINDOWS
W-4	VELUX		METAL CLAD			
W-5	EXISTING					RELOCATED, ADD INSULATED LAMINATED GLASS STORM WINDOW
W-6						STYLE TO MATCH EXISTING WINDOW

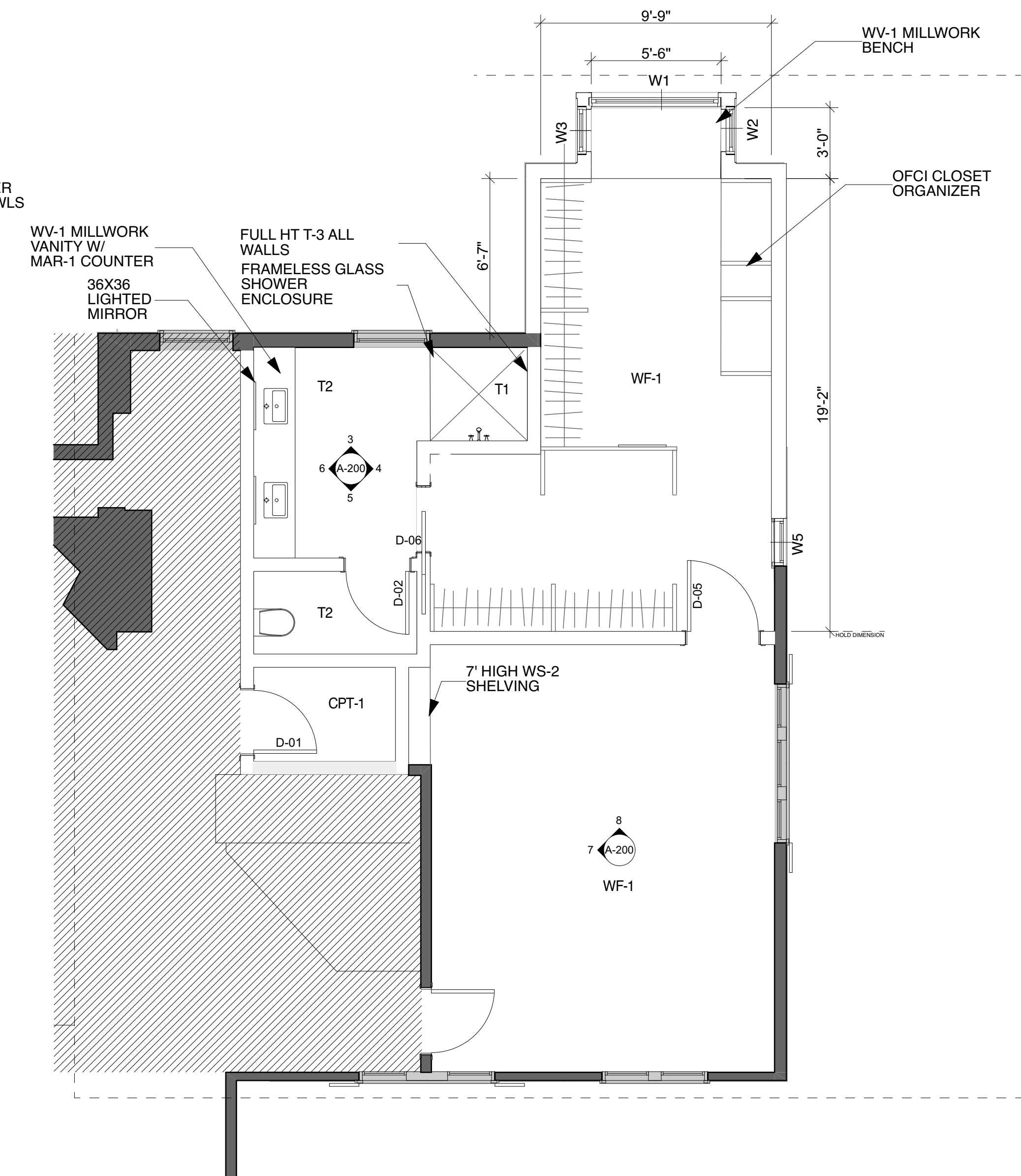
TAG	MANUFACTURER	DESCRIPTION	MODEL/TYPE	FINISH/COLOR	NOTES
D-01					
D-02					
D-03					
D-04					
D-05		POCKET DOOR			

NOTE: FIELD VERIFY ALL DIMENSIONS FOR ROOF



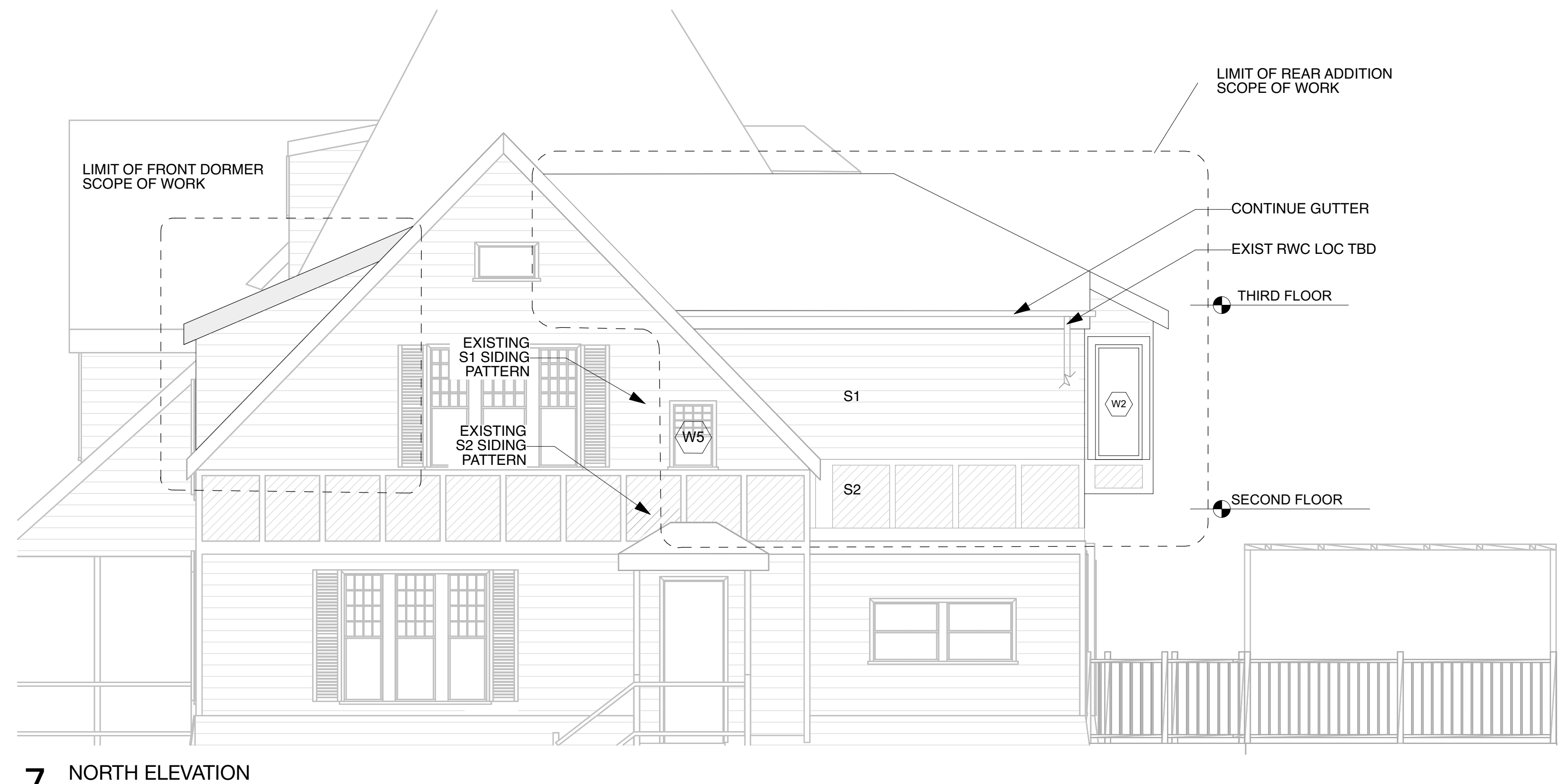
**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

NOTES:  
 EXISTING  
 NEW

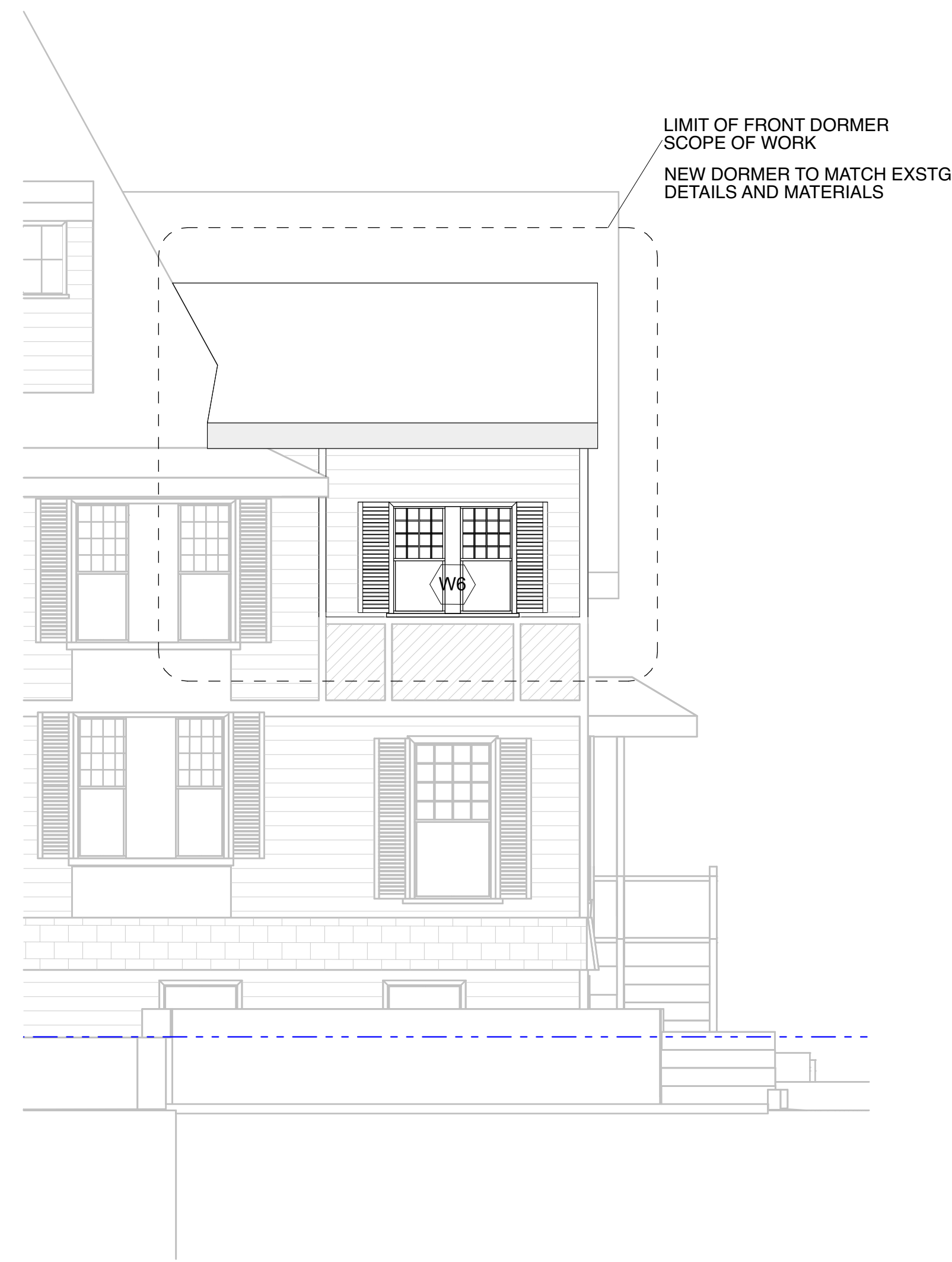


**1 SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

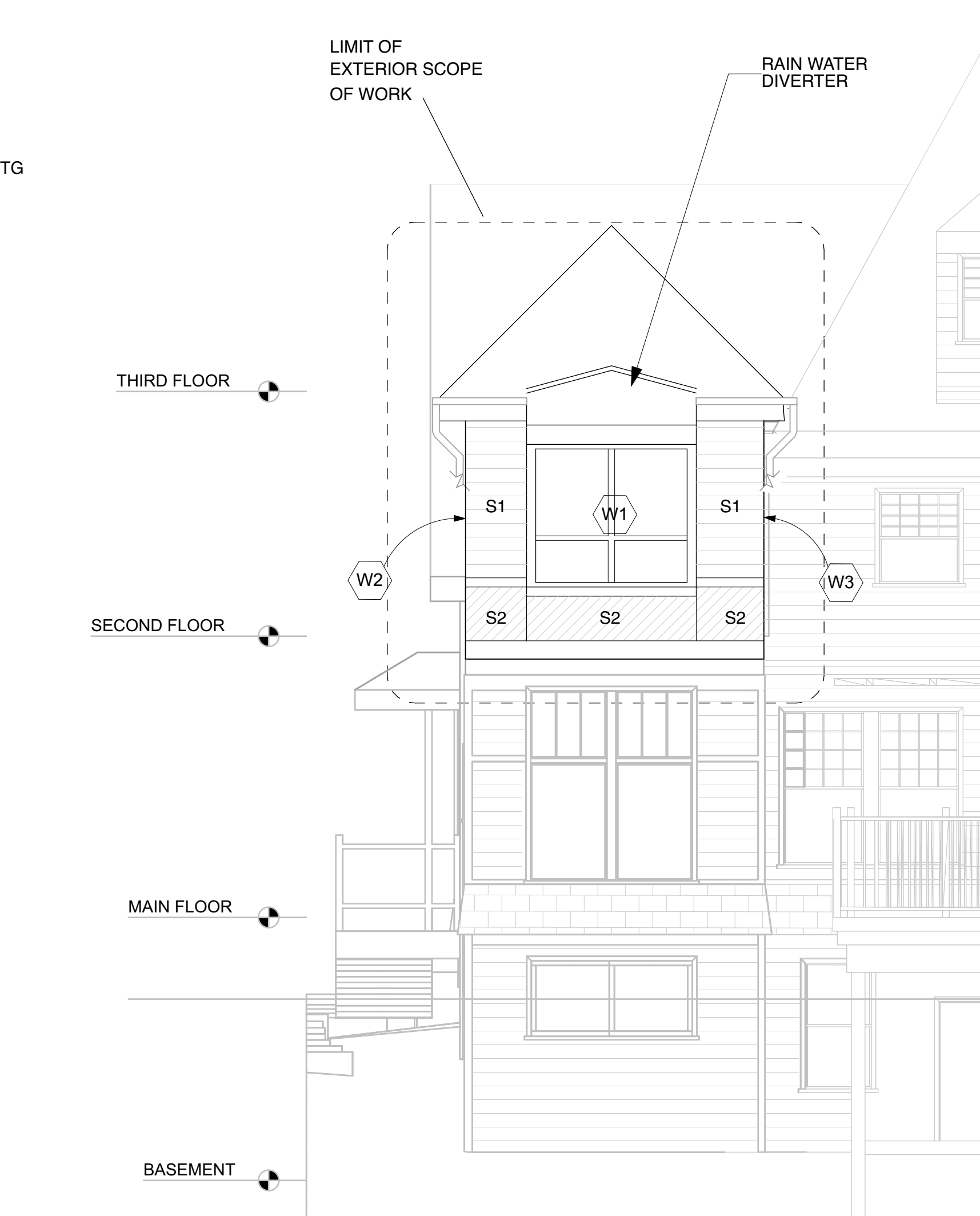
NOTES:  
 NOT IN CONTRACT



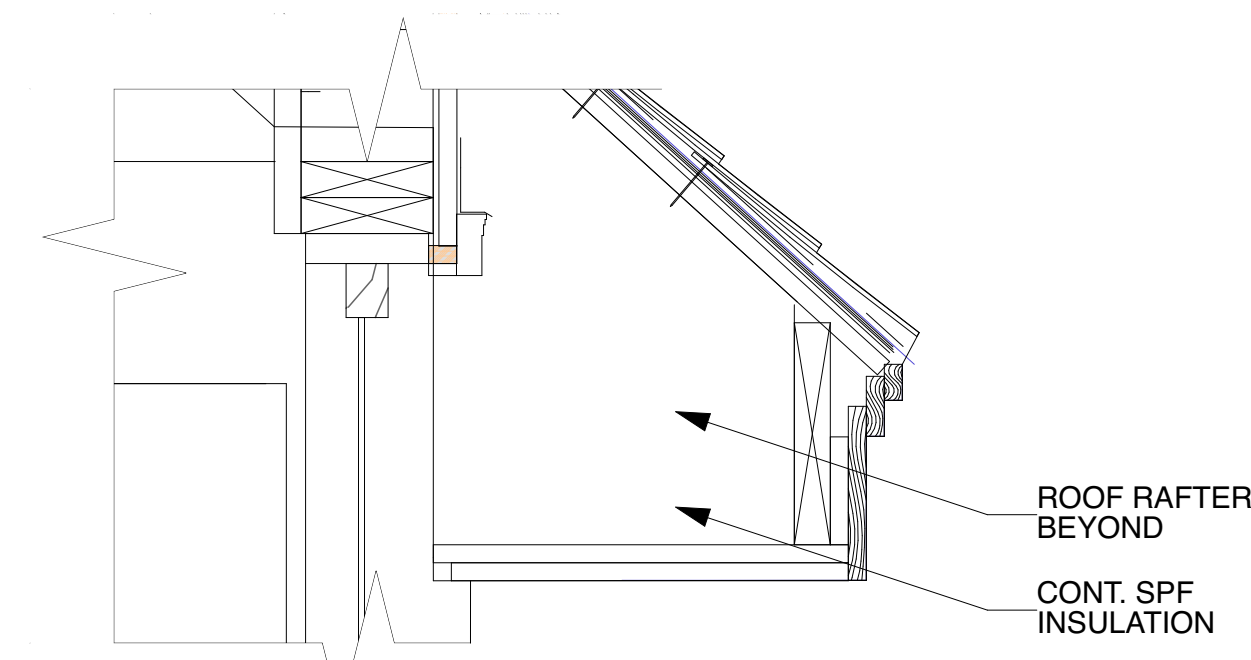
**7 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



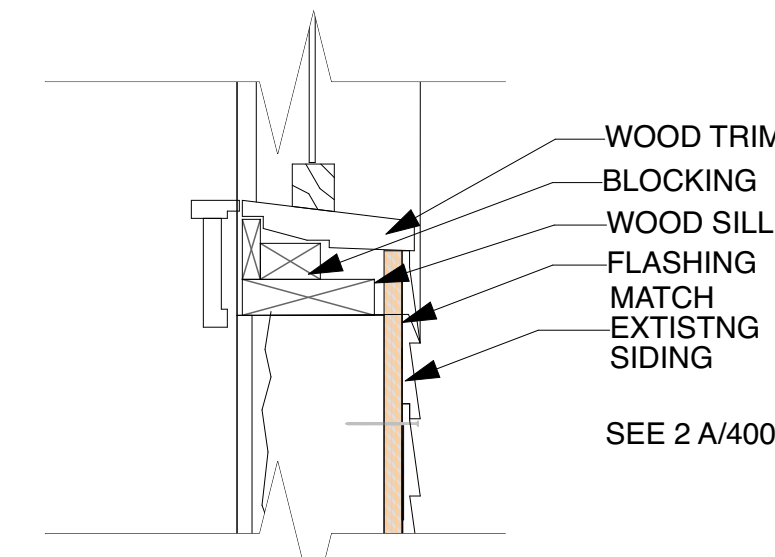
**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



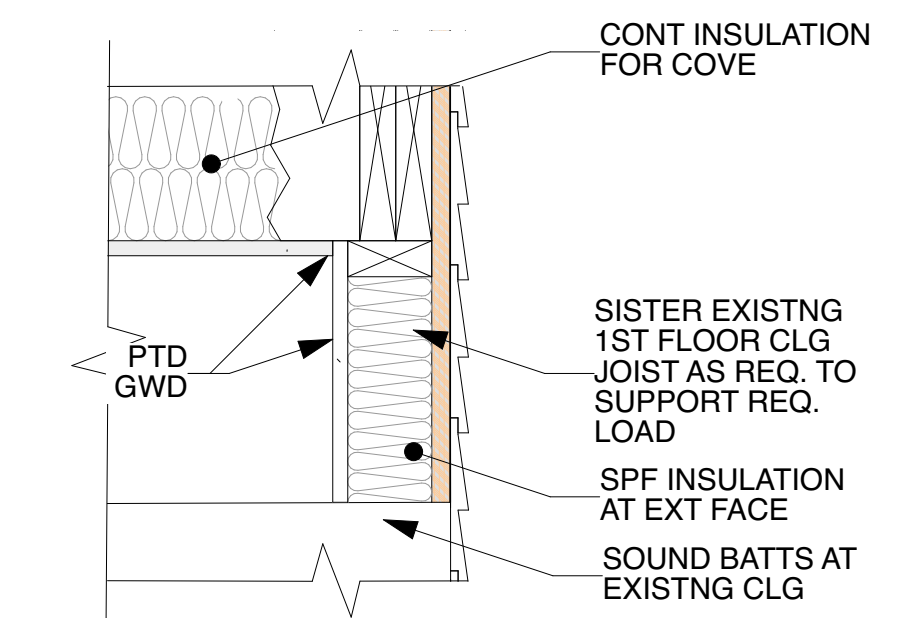
**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



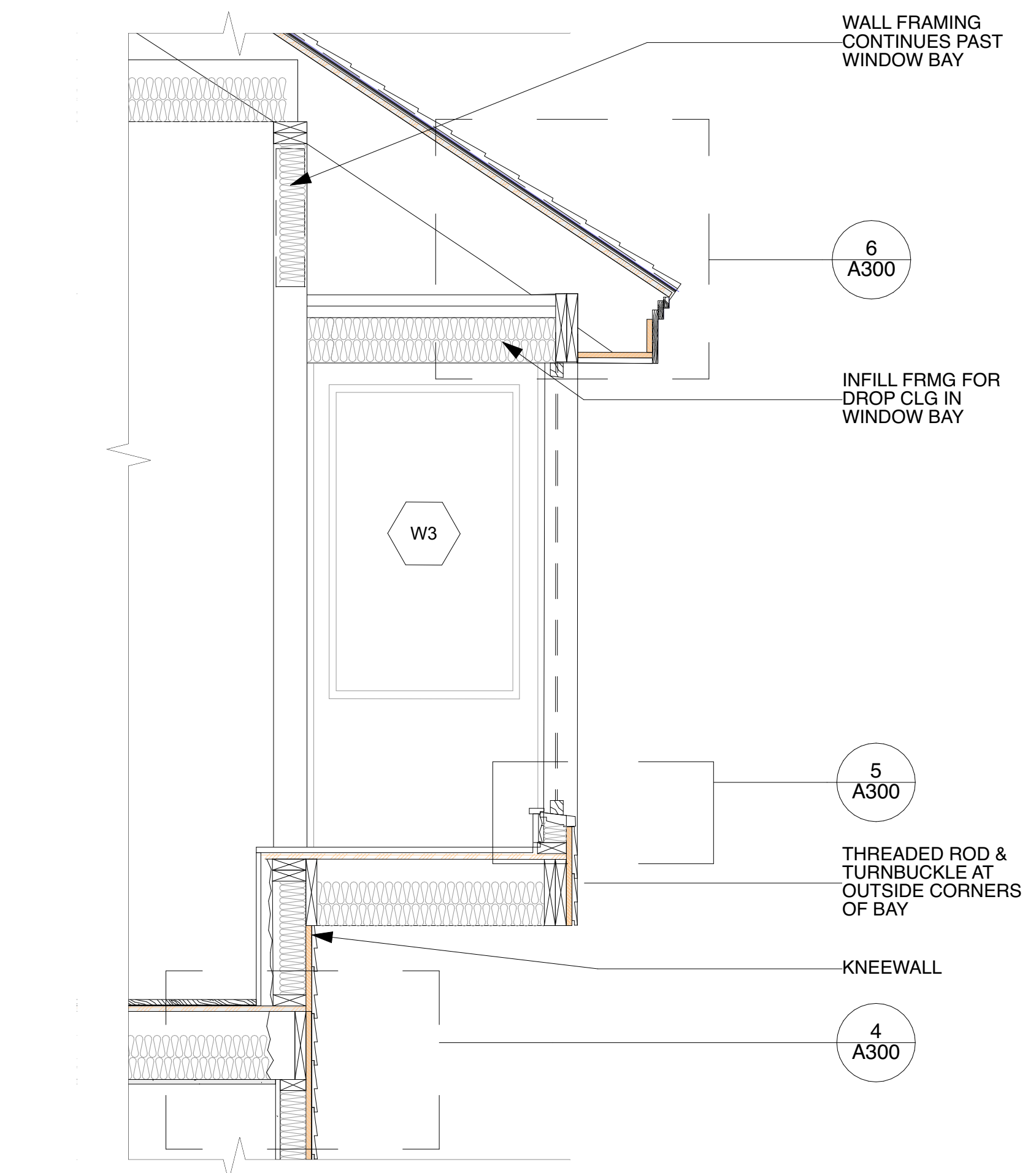
**6 ROOF SOFFIT DTL**  
SCALE: 1 1/2" = 1'-0"



**5 WINDOW SILL DTL**  
SCALE: 1 1/2" = 1'-0"



**4 EXTERIOR WALL + DOOR DTL**  
SCALE: 1 1/2" = 1'-0"



**1 DTL @ WINDOW BOX**  
SCALE: 3/4" = 1'-0"

CLIENT

**DRS MARTHA & MARK FISHMAN**

PROJECT NAME

**FISHMAN RESIDENCE**

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DRAWING TITLE

**ELEVATIONS AND BLDG SECTIONS**

SCALE

**SEE DRAWING**

SEAL



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**A300**