

# CONSERVATION COMMISSION AGENDA

August 26, 2021

The Conservation Commission will hold this meeting as a virtual meeting on Thursday, August 26, 2021 at 7:00 pm. No in-person meeting will take place at City Hall.

All meeting documents are available at: <https://www.newtonma.gov/government/planning/boards-commissions/conservation-commission/meeting-documents>

Zoom access information for the August 26, 2021 Conservation Commission meeting will be posted at the following web address 48 hours in advance of the meeting.

<https://www.newtonma.gov/government/planning/boards-commissions/conservation-commission>

Please feel free to email [jsteel@newtonma.gov](mailto:jsteel@newtonma.gov) and [crundelli@newtonma.gov](mailto:crundelli@newtonma.gov) with any questions about filings prior to the meeting or access to the meeting.

**NOTE:** In addition to the documents presented in the Commission's packet (available on the Commission's website), full NOI plans and narratives are available on [the Commission's website](#).

**NOTE:** Times listed are estimates. Items may be taken out of order at the Chair's discretion. Discussions of wetland cases may be limited by the Chair.

## DECISIONS

### I. WETLANDS DECISIONS

1. **(7:00) Presentation – New Boardwalks at Flowed Meadow – Eagle Scout Project**
  - Owners: City of Newton Applicant: Boulton Yanhs
  - Request: Eagle Scout candidate Boulton Yanhs seeks permission and wetland permitting approval for installing wooden boardwalks, supported by corrugated plastic footings, to improve trail access in the wet areas of Flowed Meadow Conservation Area.
2. **(7:15) 96 Lake Avenue – cont'd NOI – teardown/rebuild single-family home – DEP File #239-902**
  - Owner/Applicant: Tamar and Philip Warburg Representative: Dana Altobello, Merrill Engineers and Land Surveyors
  - Request: Issue an OOC.
3. **(7:25) Levingston Cove (Crystal lake) – NOI – park improvements – DEP File #239-901**
  - Owner: City of Newton Applicant: Luis Perez Demorizi, Open Space Coordinator
  - Representative: Alexandra Gaspar, Weston & Sampson Engineers
  - Request: Issue an OOC.
4. **(7:45) 409 Crafts Street – RDA – tree removal**
  - Owner/Applicant: Chris and Carl Attardo Representative: none
  - Request: Issue a DOA.
5. **(8:05) 14 Walnut Hill Road – violation, initial informal discussion – construction of hardscaping in buffer zone**
  - Owner: the Boisclair's Representative: Terry Boisclair
  - Request: Determine appropriate next steps for ex post facto permitting of the hardscaping.
6. **(8:20) 45 Puddingstone Lane – informal discussion – DEP #239-832**
  - Owner: Temple Beth Avodah Representative: none
  - Request: Determine appropriate planting/seeding mix for area at base of slope.
7. **(8:30) 580 Walnut Street – COC Request – new patio – DEP #239-721**
  - Owner: Gaurav Singal Representative: none
  - Request: Issue COC.
8. **(8:35) 178-180 Sumner Street – COC Request – addition onto SFH – DEP #239-763**
  - Owner: Min Yang Representative: none
  - Request: Issue COC.

### II. CONSERVATION AREA DECISIONS

9. **(8:40) Minor revision to Apiary Policy language**

### III. ADMINISTRATIVE DECISIONS



**Mayor**  
Ruthanne Fuller

**Director  
Planning &  
Development**  
Barney Heath

**Chief  
Environmental  
Planner**  
Jennifer Steel

**Assistant  
Environmental  
Planner**  
Claire Rundelli

**Conservation  
Commission  
Members**  
Kathy Cade  
Dan Green  
Judy Hepburn  
Ellen Katz  
Susan Lunin  
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[www.newtonma.gov](http://www.newtonma.gov)

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10. (8:50) Minutes of 8/5/21 to be approved

**IV. ISSUES AROUND TOWN DECISIONS**

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**UPDATES**

**V. WETLANDS UPDATES**

**VI. CONSERVATION AREA UPDATES**

**VII. ISSUES AROUND TOWN UPDATES**

**VIII. ADMINISTRATIVE UPDATES**

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***OTHER TOPICS NOT REASONABLY ANTICIPATED BY THE CHAIR 48 HOURS BEFORE THE MEETING***

**ADJOURN**

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**NOTE:** Times listed are estimates. Items may be taken out of order at the Chair's discretion. Discussions of wetland cases may be limited by the Chair.

## DECISIONS

### I. WETLANDS DECISIONS

1. **(7:00) Presentation – New Boardwalks at Flowed Meadow – Eagle Scout Project**
  - **Owners:** City of Newton **Applicant:** Boulton Yanhs
  - **Request:** Eagle Scout candidate Boulton Yanhs seeks permission and wetland permitting approval for installing wooden boardwalks, supported by corrugated plastic footings, to improve trail access in the wet areas of Flowed Meadow Conservation Area.
  - **Documents Presented:** PowerPoint presentation by Boulton Yanhs
  - **Jurisdiction:** Buffer Zone, RFA
  - **Staff Notes:**
    - Flowed Meadow trails are in real need of expanded boardwalk coverage.
    - Boulton is proposing to address the most needed sections of trail.
  - **Staff Recommendations:** If appropriate, vote to approve the proposed work under the Generic Trails Order of Conditions.
2. **(7:15) 96 Lake Avenue – cont'd NOI – teardown/rebuild single-family home – DEP File #239-902**
  - **Owner/Applicant:** Tamar and Philip Warburg **Representative:** Dana Altobello, Merrill Engineers and Land Surveyors
  - **Request:** Issue an OOC.
  - **Documents Presented:** Colored plans, site photos, draft OOC
  - **Jurisdiction:** Buffer Zone, City Floodplain
  - **Performance Standards**
    - **Buffer Zone. 10.53(1): General Provisions:** "For work in the Buffer Zone subject to review under 310 CMR 10.02(2)(b)3., the Issuing Authority shall impose conditions to protect the interests of the Act identified for the adjacent Resource Area. ... The purpose of preconstruction review of work in the Buffer Zone is to ensure that adjacent Resource Areas are not adversely affected during or after completion of the work."
    - **City Floodplain. Sec. 22-22. Floodplain/Watershed Protection Provisions.**
      - (b)(1) Except as provided in subsections (b)(2) and (e) of this section, no building or other structure shall be erected, constructed, altered, enlarged or otherwise created for any residence or other purpose ... which will restrict floodwater flow or reduce floodwater storage capacity shall be permitted.



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(b)(2) ... the conservation commission may issue an order of conditions for the following uses in the Floodplain/Watershed Protection District:

a) Any building or structure for which compensatory storage is provided ...

○ Project Summary

- Note: much of the site work is outside Commission jurisdiction.
- Demolish existing single-family home, including driveway and rear patio.
- Construct new single-family home with permeable paver driveway, concrete patio, paver patio, and stormwater systems. A very small increase in impervious area within the 100-foot buffer is proposed.
- Replace back yard stone stair edging to provide safety.
- Undertake repairs to stabilize the retaining wall that defines the bank of Crystal Lake
- Removal of invasive shrubs is proposed. No trees are proposed to be removed within Commission jurisdiction.
- Mitigation plantings are proposed close to the Lake and include 57 native shrubs and herbaceous plants.

○ Staff Notes

- This project has not been revised since the Commission last discussed on 8/5/21.
- A DEP File number has been received.

○ Staff Recommendations: Vote to close the hearing and issue an Order of Conditions with the following conditions.

- Approve two plan sheets as the Plans of Record:
  - Site Plan 96 Lake Ave., last revised 8/2/21, Sheet 1 of 1, Merrill Engineering and Land Surveyors. – NOTE that all landscaping details on this sheet are superseded by Landscape Plan, Sheet A0-51, 7/29/21
  - Landscape Plan, Sheet A0-51, 7/29/21, Place Tailor, Inc.
- The stairs may be reconstructed and widened for safety purposes up to 4' wide in their current alignment and length but said reconstruction may not disturb the mature trees nearby. Grading of the adjacent slopes has not been proposed and is not hereby approved.
- The minor grading changes associated with the proposed swale are approved. The new swale must be stabilized with the New England Wetland Plants Detention Basin mix and, if necessary, and erosion control blanket.
- Buckthorn, bittersweet, and winged euonymus may be removed from throughout the site if so desired by the owners.
- The proposed 42-inch fence along the northeastern property line must be raised 4-6" to allow for wildlife passage.
- Any new "wrought iron" fence along the rear property line (shared with Crystal Lake) must be raised 4-6" to allow for wildlife passage.
- Approved repairs to stabilize the retaining wall that defines the bank of Crystal Lake are limited to the injection of low-toxicity grout. More involved reconstruction of the wall and/or stairs is not hereby permitted.
- Mitigation plantings must be installed as per the approved plans and at least 75% of shrubs and 75% aerial coverage of groundcover must survive after 2 growing seasons.
- If any trees within the project area die within 2 years of the start of construction or have been demonstrably harmed by construction activities, they shall be replaced at a ratio of 2:1 with native canopy saplings (of roughly 2 caliper inches).

**3. (7:25) Levingston Cove (Crystal lake) – NOI – park improvements – DEP File #239-901**

- Owner: City of Newton Applicant: Luis Perez Demorizi, Open Space Coordinator Representative: Alexandra Gaspar, Weston & Sampson Engineers
- Request: Issue an OOC.
- Documents Presented: Colored plans, site photos, draft OOC
- Jurisdiction: Bank, City Floodplain, LUWW
- Performance Standards

- **Bank: 310 CMR 10.54**

(a) Work on a Bank shall not impair the following:

1. The physical stability of the Bank;
2. The water carrying capacity of the existing channel within the Bank;
3. Ground water and surface water quality;
4. The capacity of the Bank to provide breeding habitat, escape cover and food for fisheries;
5. The capacity of the Bank to provide important wildlife habitat functions. ...
6. Work on a stream crossing ..

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- (b) Structures may be permitted in or on a Bank ...
- (c) No project may be permitted which will have any adverse effect on specified habitat sites of Rare Species.
- **LUWW: 10.56**
  - (a) Work shall not impair the following:
    1. The water carrying capacity within the defined channel, which is provided by said land in conjunction with the banks;
    2. Ground and surface water quality;
    3. The capacity of said land to provide breeding habitat, escape cover and food for fisheries; and
    4. The capacity of said land to provide important wildlife habitat functions. ...
    5. Work on a stream crossing ...
  - (b) The issuing authority may issue an Order to maintain or improve boat channels
  - (c) No project may be permitted which will have any adverse effect on rare species.
- **City Floodplain. Sec. 22-22. Floodplain/Watershed Protection Provisions.**
  - (b)(1) Except as provided in subsections (b)(2) and (e) of this section, no building or other structure shall be erected, constructed, altered, enlarged or otherwise created for any residence or other purpose ... which will restrict floodwater flow or reduce floodwater storage capacity shall be permitted.
  - (b)(2) ... the conservation commission may issue an order of conditions for the following uses in the Floodplain/Watershed Protection District:
    - a) Any building or structure for which compensatory storage is provided ...
- **Project Summary**
  - Install a new decking system that will cantilever out over the edge of Crystal Lake and add passive recreation space to the park's footprint.
  - Install new ADA-compliant pathways.
  - Regrade and introduce terraced walls that ease steep slopes, in conjunction with new native plant installations to stabilize eroded slopes and replace invasive species along the bank.
  - Install rain gardens and infiltration trenches at the toe of steep slopes that collect and convey stormwater. Rain gardens will have overflows that lead into Crystal Lake.
  - Add stone veneer to outside face of existing retaining wall along the lake edge.
  - Remove bittersweet, glossy buckthorn, multiflora rose, and purple loosestrife from the park.
  - Remove 1 tree.
  - Proposed plantings include 7 trees, 159 shrubs, 559 herbaceous perennials, 1442 upland grasses/rushes/sedges, and 519 aquatic grasses/perennials.
- **Staff Notes:**
  - This project will likely meet all the performance standards of the Wetland protection regulations. The process of the project must be clarified and conditioned.
  - In the narrative (and on the plans, as appropriate) the applicant should expand descriptions of anticipated processes such as:
    - Excavation
    - Stockpiling
    - Dewatering
    - Concrete washout
  - The applicant should ensure the narrative addresses the severe soil compaction of the site, staff concerns about the challenge of rain gardens thriving, and staff concerns about the challenge of establishing seed mixes on steep slopes.
  - The applicant should clarify:
    - chapter 91 status,
    - anticipated timing of the work,
    - what work is proposed in the BVW (L1.11), and
    - tree protection (L1.11 and L5.00).
      - L5.00 Type A appears to be just trunk protection but says root zone will be protected.
      - L5.00 Type B appears to be full root zone protection, but it says, "where space allows", and the lines on L1.11 appears to be full area fencing.
      - There is little room to protect many of the trees.

- The 30" tree just outside the work zone to the north should be protected.
- Several large trees near the existing path don't have any individual protection shown.
- L1.20 – what is "lightweight fill"?
- Why grading changes are proposed beyond the edge of the water (L1.41)?
- Why there must be any (admittedly minor) grading so close to mature trees?
- What the "add alt – cofferdam with sandbags" (L1.10) pertains to? (stone veneer work?)
- What treatment methods and timing are planned for invasive species removal?
- What "synthetic turf reinforcement material" (narrative pg 2) is? (the 70-21-10 soil mixture?)
- Where the cross-sections A-D are located on the plan view?
- L5.07 – Turf Reinforcement detail. "tree mix"? (seed mix?) – please add the specs to the plan.
- S101 – "Section through pile cap" detail say "embed micropiles 6". Is that correct?
- S101 – is the cantilevered deck secured with bolts, not "deadmen"?
- Suggested plan and narrative changes:
  - Change in the narrative and L1.10 "straw wattles" to "staked silt fence and staked compost sock"
  - The narrative states (confusingly) that the City Floodplain is at 149'. It is, on the CNVD. But that is 142.5' NAVD88, the datum of the plans. Therefore, the cut and fill information in the narrative pages 4&5 is inaccurate.
  - Add cofferdam details.
  - Add the Turf Reinforcement specs to the plan.
  - Add dewatering information.
  - Add stockpiling locations.
- Staff Recommendations: Await responses to staff notes (and Commissioners' questions).

#### 4. (7:45) 409 Crafts Street – RDA – tree removal

- Owner/Applicant: Chris and Carl Attardo Representative: none
- Request: Issue a DOA.
- Documents Presented: Colored plans, site photos, draft DOA
- Jurisdiction: Buffer Zone, Riverfront Area
- Performance Standards
  - **Riverfront Area: 10.58(4)**
    - c) No Practicable and Substantially Equivalent Economic Alternatives.
    - d) No Significant Adverse Impact.
      1. Within 200-foot riverfront areas, the issuing authority may allow the alteration of up to 5000 square feet or 10% of the riverfront area within the lot, whichever is greater ..., provided that:
        - a. At a minimum, a 100' wide area of undisturbed vegetation is provided... preserved or extended to the max. extent feasible....
        - b. Stormwater is managed ...
        - c. Proposed work does not impair the capacity ... to provide important wildlife habitat functions. ...
        - d. ... incorporating erosion and sedimentation controls ... to attenuate nonpoint source pollution.
  - **10.58(5) RFA: Redevelopment within Previously Developed Riverfront Areas; Restoration & Mitigation**
    - ... work improves existing conditions.
    - Redevelopment means ... reuse of degraded or previously developed areas.
    - A previously developed riverfront area contains areas degraded prior to August 7, 1996....
    - Work to redevelop previously developed riverfront areas shall ...:
      - (a) At a minimum, work shall result in an improvement over existing conditions ...
      - (b) Stormwater management is provided according to standards
      - (c) Proposed work shall not be closer to the river than existing conditions or 100', whichever is less
      - (d) Proposed work...shall be located... away from the river, except in accordance with 10.58(5)(f) or (g).
      - (e) ... proposed work shall not exceed the ... degraded area ... except in accordance with 10.58(5)(f) or (g).
      - (f) despite what it says in 310 CMR 10.58(5)(c), (d), and (e), more alteration at the RFA outer boundary may be allowed if an applicant proposes restoration ... of at least 1:1 ...
      - (g) despite what it says in 310 CMR 10.58(5)(c), (d), or (e), more alteration at the RFA outer boundary may be allowed if an applicant proposes mitigation ... of at least 2:1

(h) The issuing authority shall include a continuing condition in the COC ...under 10.58(5)(f) or (g) prohibiting further alteration within the restoration or mitigation area....

○ Project Summary

- Remove 5 trees from property at surface grade. No stump grinding is proposed.
  - Tree 1 – 20” Crimson Maple – damaged
  - Tree 2 – 20” Black Locust – dead
  - Tree 3 – 10” Black Locust – leaning towards house
  - Tree 4 – 14” Black Locust – root system damaging driveway
  - Tree 5 – 23” Norway maple –close to house

○ Staff Notes:

- The applicant is proposing to remove these trees and present a mitigation planting plan in the coming months as he prepares a Notice of Intent application for the renovation of the house in preparation for sale.
- Staff are concerned that separating the permitting of mitigation planting from the permitting of tree removal sets a bad precedent.
- Staff feel that until an NOI is submitted, the request to remove trees must be considered on its own – therefore any required mitigation must be considered at this point in time.
- Staff have concerns about how a lot this small will be able to support the anticipated replacement plantings for the proposed tree removal, especially without an understanding of what expansion/renovations will be proposed to the house itself.
- City Forester, Marc Welch, has asked for a complete tree removal permit application and will determine what, if any, tree replacement would be required under the City’s tree ordinance based on his (as yet outstanding) assessment of the health of the trees.
- There are three mature trees on the lot the applicant is not proposing to remove. These trees should be protected during any tree removal activity on site to ensure there is no confusion in what trees are to be removed.
- Since 5 trees have been requested to be removed, staff cannot administratively approve. The Tree Replacement Policy states that the ½’ for each 1” cut may be reduced for hazard tree replacement. The Admin Approval form suggests 1 sapling for each 8-16”, 2 saplings for each 16-24”, 3 saplings for each >24” hazard tree cut.
- It is staff’s opinion that trees 3 and 4 do not pose immediate risk and so should remain at this time. The Commission may wish to require a report from a certified arborist (including Marc Welch) prior to approving the removal of trees 3, and/or 4.
  - The Black Locust tree (tree 4) does not appear to pose an imminent risk to the structure.
  - The smallest Black Locust (tree 3) is leaning over the house slightly, but does not seem to pose a imminent risk to the structure.
- It is staff’s opinion that trees 1, 2 and 5 could be approved to be removed by the Commission as hazards, with appropriate mitigation.
  - Staff agree that the dying Black Locust (tree 2) poses a significant risk to the house.
  - Staff feel that the Norway maple (tree 5) behind the home leans over the home and so poses some risk.
  - Staff feel that the maple (tree 1) along the street edge shows signs of decline, and may pose a risk to pedestrians and/or the structure.
- If the applicant does not wish to provide a mitigation plan and install mitigation plantings immediately following tree removal, the Commission may wish to require an NOI for the intended tree removal and construction project.

○ Staff Recommendations: If appropriate, vote to issue negative 3 Determination of Applicability for the removal of trees 1, 2 and 5 with the following special conditions – DOA to be held until a mitigation planting plan has been received by the Conservation Office and approved by Conservation staff.

- Applicant must schedule a pre-work site visit with staff to ensure tree protection is installed.
- Trees not approved to be removed must be protected by orange snow fencing at the drip line (as possible) prior to any work on site.
- No stump grubbing may occur.

**5. (8:05) 14 Walnut Hill Road – violation, initial informal discussion – construction of hardscaping in buffer zone**

- Owner: the Boisclair’s Representative: Terry Boisclair
- Request: Determine appropriate next steps for ex post facto permitting of the hardscaping.
- Documents Presented: Aerial, photos

- Jurisdiction: LUWW, Bank
- Performance Standards:
  - **Bank: 310 CMR 10.54**
    - (a) Work on a Bank shall not impair the following:
      1. The physical stability of the Bank;
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      5. Work on a stream crossing ...
    - (b) The issuing authority may issue an Order to maintain or improve boat channels
    - (c) No project may be permitted which will have any adverse effect on rare species.
- Staff Notes:
  - Staff feel that the “drainage stream” qualifies as an “intermittent stream” since it originates upgradient and appears to be the beginning of “Stearns Brook”.
  - DPW is not aware of a functioning culvert draining the “pond”, but the “Stearns Brook” drainage easement traverses the 14 Walnut Hill Road lot and the historical existence of a “hole” through which water has always drained indicates that a culvert was installed at one point in time.
  - In response to some flooding reports on the private properties bordering Oakdale Woods Conservation Area, staff discovered some unpermitted hardscaping: a stone-lined pond (with aeration features) and a stone bridge within the stream corridor of Stearns Brook, an intermittent stream.
  - The owner has provided the following background on the issue.
    - “There is an above ground drainage stream which starts at one end of Oakdale woods and runs parallel to Route nine. This drainage stream then ends in the corner of our backyard, where it funnels into a hole leading underground. All my life the backyard has occasionally flooded during periods of prolonged torrential rains. Large amounts of water rapidly come out of a hole on the other end of Oakdale woods during heavy rains and flow directly into our back yard. When the rain is too heavy or prolonged it occasionally causes pooling in our yard. It always drains completely within 24 hours. Apparently before I was born, my father said the city used to periodically dredge the drainage stream. But that stopped probably sometime in the 1970s. The situation as I was growing up was that the approximately 1-foot hole leading into the ground in our yard would always get covered with sticks, leaves and debris from the running water going into the drainage hole. In fact, when I was younger, I also had to remove a dead raccoon from the hole. It seems to be a natural rocky formation of a cavern leading under our yard. It is not a pipe or man-made drainage hole from what we can tell. In 2010 I constructed the stone bridge and pond as a decoration, and as a solution to the flooding problem. I constructed a permanent drainage hole at the site of the existing hole with a drainage grate to allow for better water flow during the torrential rains. The pond was dug down below the natural ground level of the drainage stream. When the stream fills up, the water runs down the stream through the pond directly into the drainage hole as it always had, even before the pond was built.
  - The decorative structures (pond rim, fountain, and bridge) were constructed without permits.
  - The Commission must determine whether said construction degraded the wetland resources (bank of intermittent stream and land under water) and whether any mitigation/alteration should be required.
  - The Commission must determine whether an after-the-fact NOI or RDA should be required to ensure that the constructed hardscape meets regulatory standards.
- Staff Recommendations: None at this time.

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**6. (8:20) 45 Puddingstone Lane – informal discussion – DEP #239-832**

- Owner: Temple Beth Avodah Representative: none
- Request: Determine appropriate planting/seeding mix for area at base of slope.
- Documents Presented: photos
- Staff Notes:
  - The area at the base of the revegetated slope, where the old amphitheater was removed, was approved to be seeded with the New England Wetland Seed Mix Wildflower Mix. It has now been seeded twice with no success, likely due to heavy shade and the extreme rainfall this year.
  - Temple representatives are looking for guidance on what the Commission would suggest to revegetate this area successfully.
  - Staff would recommend Clethra (Sweet Pepperbush) in this area, as it will likely revegetate this area quickly.
- Staff Recommendations: Approve 6 Clethra shrubs to be planted at the base of the slope.

**7. (8:30) 580 Walnut Street – COC Request – new patio – DEP #239-721**

- Owner: Gaurav Singal Representative: none
- Request: Issue COC.
- Staff Notes: All required COC materials have been received and a site visit on 8/16/21 confirmed compliance.
- Staff Recommendations: Vote to issue a Certificate of Compliance.

**8. (8:35) 178-180 Sumner Street – COC Request – addition onto SFH – DEP #239-763**

- Owner: Min Yang Representative: none
- Request: Issue COC.
- Staff Notes: All required COC materials have been received and a site visit is scheduled on 8/23/21 to confirm compliance.
- Staff Recommendations: Vote to issue a Certificate of Compliance.

**II. CONSERVATION AREA DECISIONS**

**9. (8:40) Minor revision to Apiary Policy language**

- Documents Presented: Revised draft policy
- Staff Notes:
  - Add to the introduction: “To facilitate planning and oversight, the Commission requires all licensed beekeepers to come before the Commission annually (usually in the summer) to give status updates and discuss their interests in for applying for license renewals.”
  - Add to definitions: “Temporary – 90 days or less”
  - Simplify the description of allowed colony density **FROM**: “The apiary shall comprise no more than two colonies at the start and end of each season. On a temporary basis, these colonies may be split in order to prevent swarming and then re-combined later in the same year. A Nuc used for splitting is considered a temporary colony. If a split results in an independently viable hive, the new hive shall count toward the total number of hives allowed on the site.” **TO** “The licensed apiary shall comprise no more than two hives year-round. One additional nucleus colony, not to exceed 4 cubic feet, is permitted for a period not to exceed 90 days.”
- Staff Recommendations: Vote to approve these minor modifications.

**III. ADMINISTRATIVE DECISIONS**

**10. (8:50) Minutes of 8/5/21 to be approved**

- Documents Presented: Draft 8/5/21 minutes
- Staff Recommendations: Vote to accept the 8/5/21 minutes.

**IV. ISSUES AROUND TOWN DECISIONS – None at this time.**

---

**UPDATES**

**V. WETLANDS UPDATES**

- Charles River Lower Basin Aquatic Weed Control OOC: The OOC must be issued by 8/26/21 to meet the 21-day obligation. Staff will inform the Commission of any additional conditions added to the reviewed and approved OOC, based on input from Boston and Cambridge.

**VI. CONSERVATION AREA UPDATES**

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The location of this meeting/event is wheelchair accessible and Reasonable Accommodations will be provided to persons with disabilities who require assistance. If you need a Reasonable Accommodation, please contact the city of Newton’s ADA/Section 504 Coordinator, Jini Fairley, at least two business days in advance (2 weeks for ASL or CART) of the meeting/event: [fairley@newtonma.gov](mailto:fairley@newtonma.gov) or (617) 796-1253. The city’s TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

- 622 Boylston Encroachment into Oakdale Woods: Staff are working with the maintenance contractor to secure a date to install the birdhouses.

#### **VII. ISSUES AROUND TOWN UPDATES**

#### **VIII. ADMINISTRATIVE UPDATES**

- Staff update: The August 26<sup>th</sup> meeting will be Assistant Environmental Planner Claire Rundelli's last meeting. She has accepted a position as the Planner Conservation Agent in the Town of Natick and starts September 8<sup>th</sup>.
- Commission update: Staff had an interview with Sonya McKnight, who submitted an application for the Conservation Commission. Staff have recommended her to the Mayor to be appointed as an associate position for the Commission.

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#### ***OTHER TOPICS NOT REASONABLY ANTICIPATED BY THE CHAIR 48 HOURS BEFORE THE MEETING***

#### ***ADJOURN***

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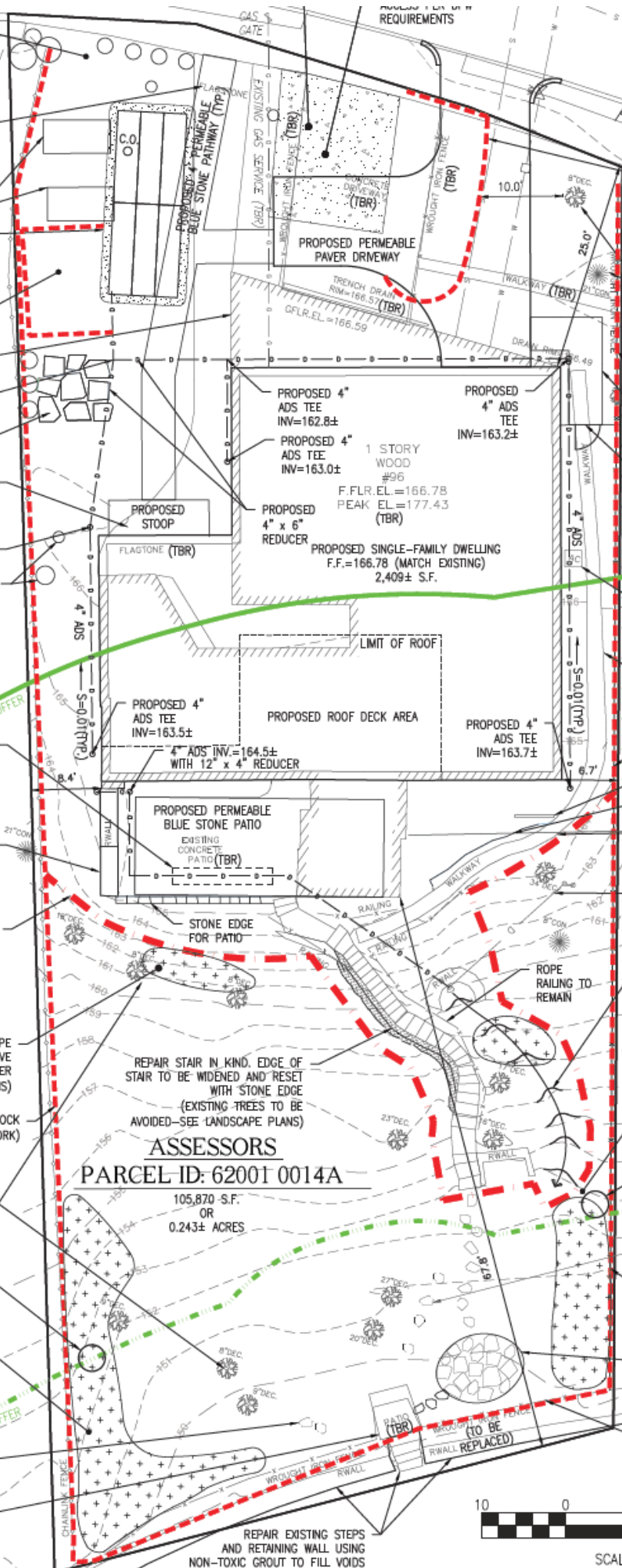
Print

An aerial photograph of a residential neighborhood with black lines overlaid to delineate individual property lots. A yellow star is placed on the roof of a house in the lower-middle section of the map, identifying the location of 96 Lake Avenue. The map includes a search bar at the top left, navigation controls (plus, minus, and compass icons), a layers panel at the top right, and a print button at the bottom right. The background shows houses, trees, and a road.

PROPOSED LANDSCAPE AREA (FOR ADDITIONAL HIL/SPECIFICATIONS ON ALL WALKS/LANDSCAPE IMPROVEMENTS SEE LANDSCAPE PLANS BY PLACETAIIOR)

LAKE AVENUE  
10" SEWER MAIN S=0.32% WITH 6"

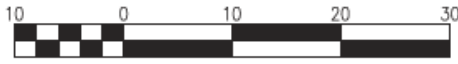
- EXISTING FLAGSTONE PATHWAY TO BE REMOVED. SALVAGE SLATES FOR REUSE
- 4x8 VEGETABLE BEDS
- PROPOSED 10.25' WIDE x 24' LONG CULTREC RECHARGER 150 XL HD INFILTRATION SYSTEM
- CONCRETE WASHOUT AREA
- EXISTING BUILDING DEMOLITION FOOTPRINT
- PROPOSED 6" ADS TEE INV=162.5±
- REUSED FLAGSTONE FOR INFORMAL PATIO (SEE LANDSCAPE PLAN)
- EXISTING FLAGSTONE PATHWAY TO BE REMOVED. SALVAGE SLATES FOR REUSE
- PROPOSED 4" ADS TEE INV=163.0±
- EXISTING TREES TO BE REMOVED FOR CONSTRUCTION ACCESS
- 2'x2' INFILTRATION TRENCH WITH 12" PERFORATED PIPE INV=164.25 (SEE DETAIL)
- EXISTING RETAINING WALL TO REMAIN (SEE LANDSCAPE PLAN FOR MORE DETAIL)
- PROPOSED SILT SOCK WITH SILT FENCE (SEE DETAIL)
- STABILIZE EXISTING SLOPE AS NECESSARY WITH NATIVE PLANTINGS PER OWNER (SEE LANDSCAPE PLANS)
- PROPOSED SILT SOCK (LIMIT OF WORK)
- EXISTING TREES AT REAR OF PROPERTY TO REMAIN (TYP.) (SEE LANDSCAPE PLAN FOR MORE DETAIL)
- APPROXIMATE LOCATION OF EXISTING INVASIVE BUCKTHORNE VINES (TO BE REMOVED)
- PROPOSED NATIVE MITIGATION PLANTINGS (TYP-SEE LANDSCAPE PLANS FOR MORE DETAIL)
- EXISTING PATIO REMNANTS TO BE REMOVED AND REPLACED WITH NATURAL GROUND COVER
- EXISTING CONCRETE PAVEMENT PATIO (TO BE REMOVED AND RESTORED WITH NATURAL GROUND COVER)



- PROPOSED STOCKPILE AND CONSTRUCTION WITH SILT SOCK SURROUNDING AND ORANGE CONSTRUCTION FENCING TO BE LIMIT OF AREA AND PROTECT TREES.
- EXISTING TREES TO REMAIN AND CONTRACTOR TO ENSURE TREE PROTECTION PROCEDURES ARE FOLLOWED THROUGHOUT PROJECT
- EXISTING FENCE TO REMAIN
- PROPOSED 4' PERMEABLE BLUE STONE PATHWAY (TYP.)
- PROPOSED 42" HIGH FENCE WITH GATE (TYP.)
- REMOVE EXISTING AC UNIT
- EXISTING PATHWAY AND FLAGSTONE TO REMAIN. REMOVES STONES FOR CONSTRUCTION AND RESET.
- PROPOSED 42" HIGH FENCE (TYP.)
- PROPOSED WOOD SCREEN
- PROPOSED STONE EDGE FOR REGRADING
- EXISTING PATHWAY AND FLAGSTONES TO REMAIN. REMOVES STONES FOR CONSTRUCTION AND RESET.
- EXISTING ROOF DRAIN LINES TO BE ABANDONED
- PROPOSED VEGETATED SWALE (TO BE STABILIZED WITH NEW ENGLAND WETLAND PLANTS, INC (NEWP) "NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX" OR APPROXIMATE EQUAL). IF SLOPE EROSION PERSISTS, AN ECS-1B EROSION CONTROL BLANKET FROM NEWP SHALL BE USED WITH THE ABOVE SEED MIX.
- PROPOSED NATIVE MITIGATION PLANTINGS (SEE LANDSCAPE PLANS FOR MORE DETAIL)
- APPROXIMATE LOCATION OF EXISTING INVASIVE BUCKTHORNE VINES WITHIN MAPLE TREE (TO BE REMOVED)
- APPROXIMATE EXISTING STEPPING FLAGSTONE (TYP.)
- PROPOSED 42" HIGH FENCE TO BE RAISED 4"-6" TO ALLOW FOR WILDLIFE PASSAGE (TYP.)
- PROPOSED 9'x8' OVAL PA TO BE RELOCATED USING SALVAGED FLAGSTONES/PA FROM SITE
- REPLACE EXISTING WROUGHT IRON FENCE IN KIND TO BE RAISED 4"-6" TO ALLOW FOR WILDLIFE PASSAGE (TYP.)

**ASSESSORS**  
**PARCEL ID: 62001 0014A**

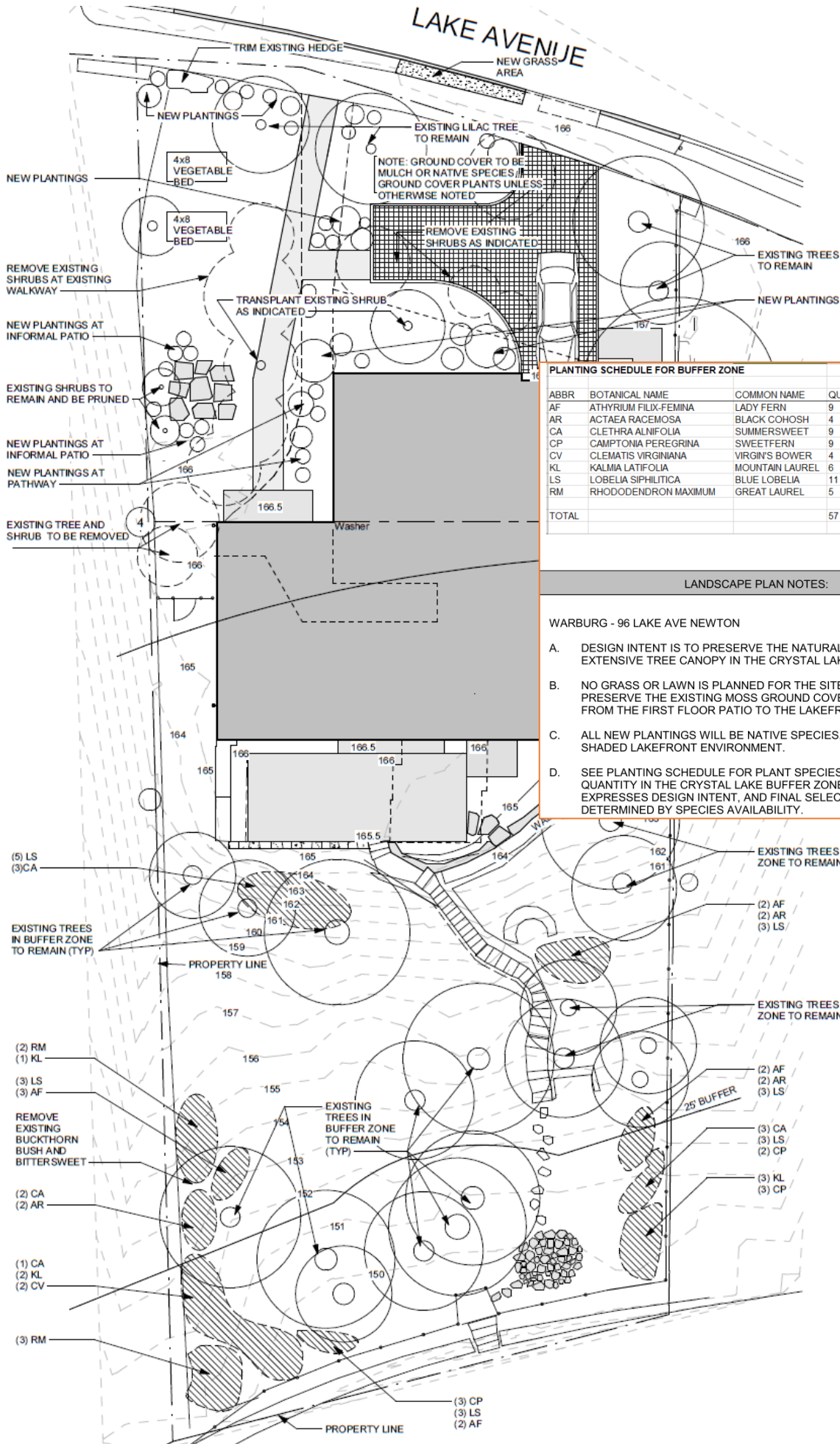
105,870 S.F.  
OR  
0.243± ACRES



SCALE IN FEET

REPAIR EXISTING STAIRS AND RETAINING WALL USING NON-TOXIC GROUT TO FILL VOIDS

# LAKE AVENUE



**PLANTING SCHEDULE FOR BUFFER ZONE**

ABBR	BOTANICAL NAME	COMMON NAME	QUANTITY	HT RANGE	SPACING
AF	ATHYRIUM FILIX-FEMINA	LADY FERN	9	1'-2'	12"
AR	ACTAEA RACEMOSA	BLACK COHOSH	4	4'	24"
CA	CLETHRA ALNIFOLIA	SUMMERSWEET	9	3'-6'	24"
CP	CAMPIONIA PEREGRINA	SWEETFERN	9	3'	12"
CV	CLEMATIS VIRGINIANA	VIRGIN'S BOWER	4	20' vine	24"
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	6	3'-6'	36"
LS	LOBELIA SIPHILITICA	BLUE LOBELIA	11	1'-3'	24"
RM	RHODODENDRON MAXIMUM	GREAT LAUREL	5	12'	36"
TOTAL			57		

**LANDSCAPE PLAN NOTES:**

WARBURG - 96 LAKE AVE NEWTON

- DESIGN INTENT IS TO PRESERVE THE NATURAL HABITAT AND EXTENSIVE TREE CANOPY IN THE CRYSTAL LAKE BUFFER ZONE.
- NO GRASS OR LAWN IS PLANNED FOR THE SITE. THE INTENT IS TO PRESERVE THE EXISTING MOSS GROUND COVER THAT EXTENDS FROM THE FIRST FLOOR PATIO TO THE LAKEFRONT WALL.
- ALL NEW PLANTINGS WILL BE NATIVE SPECIES, SELECTED FOR THE SHADED LAKEFRONT ENVIRONMENT.
- SEE PLANTING SCHEDULE FOR PLANT SPECIES AND APPROXIMATE QUANTITY IN THE CRYSTAL LAKE BUFFER ZONE. PLANTING SCHEDULE EXPRESSES DESIGN INTENT, AND FINAL SELECTIONS WILL BE DETERMINED BY SPECIES AVAILABILITY.

# Newton GIS Browser

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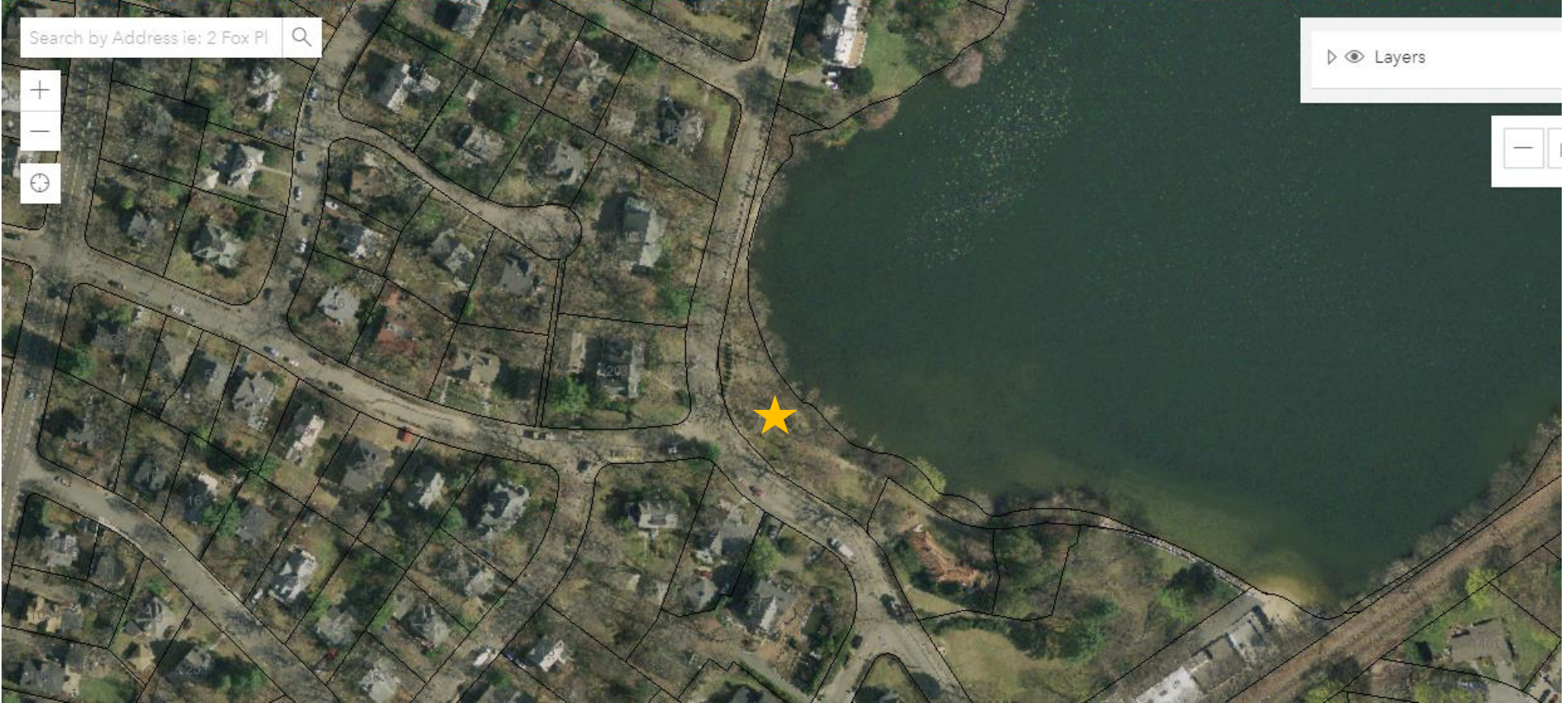
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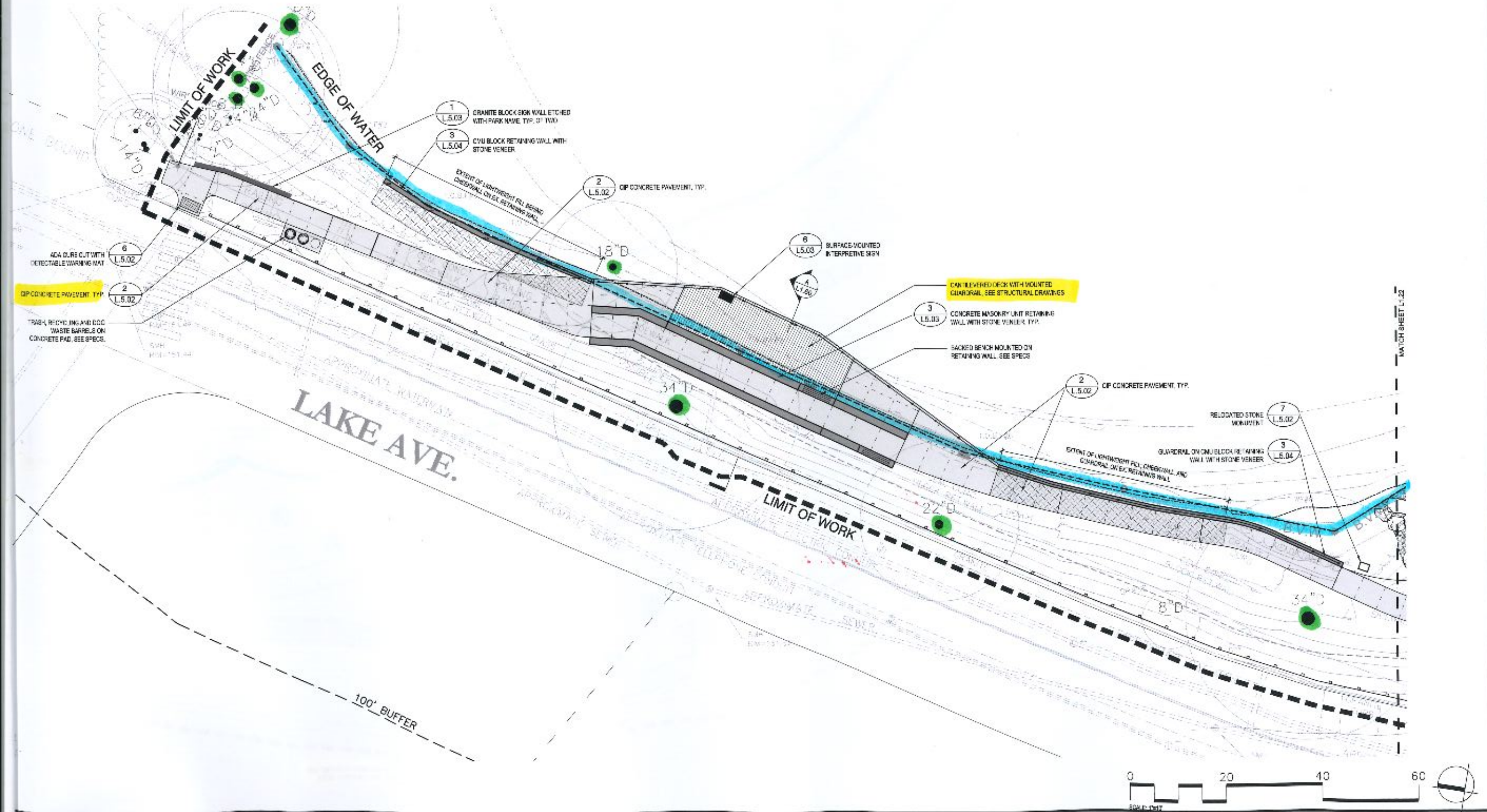


**LEGEND**

	LIMIT OF WORK		EXISTING STONE WALL		U.U. UNDERGROUND UTILITY										
	TOP OF BANK		EXISTING TREE		E.U. UNDERGROUND ELECTRIC										
	EDGE OF WATER		SALVAGED LANDSCAPE SOULDER		T.O.B.F. TOP OF BANK FLAG										
	RETAINING WALL		SALVAGED FLAT GRANITE BLOCK		W.F. WETLAND FLAG										
	WOOD GUARDRAIL		PARK REGULATION SIGN		G.S. GAS GAUGE										
	DECKING GUARDRAIL		INTERPRETIVE SIGN		W.G. WATER GAUGE										
	DECKING		BENCH		S.V.M. SINKING VEGETATED WETLAND										
	BITUMINOUS CONCRETE PAVEMENT		TRASH AND RECYCLING RECEPTABLES		C.M.U. CONCRETE MASONRY UNIT										
	EXTENT OF LIGHTWEIGHT FILL		SACKED BENCH ON RETAINING WALL		C.P. CAST-IN-PLACE										
	CIP CONCRETE PAVEMENT		RELOCATED MEMORIAL STONE		TYP. TYPICAL										
	SCORE JOINT		TYPICAL		S.V. SIMILAR										
	EXPANSION JOINT		CAST IN PLACE		I.S.A. IMPERVIOUS SURFACE AREA										
	ETCHED GRANITE BLOCK PARK ENTRY SIGN	<table border="1"> <tr> <td>EXISTING CONDITION</td> <td>4,996 sq ft</td> <td>+1.0%</td> </tr> <tr> <td>PROPOSED CONCEPT</td> <td>4,794 sq ft</td> <td></td> </tr> </table>	EXISTING CONDITION	4,996 sq ft	+1.0%	PROPOSED CONCEPT	4,794 sq ft		<table border="1"> <tr> <td colspan="2">EXISTING LANDSCAPE BORDER COUNT</td> </tr> <tr> <td>STATUS</td> <td>16</td> </tr> <tr> <td>WATER EDGE</td> <td>22, VERIFY IN FIELD</td> </tr> </table>	EXISTING LANDSCAPE BORDER COUNT		STATUS	16	WATER EDGE	22, VERIFY IN FIELD
EXISTING CONDITION	4,996 sq ft	+1.0%													
PROPOSED CONCEPT	4,794 sq ft														
EXISTING LANDSCAPE BORDER COUNT															
STATUS	16														
WATER EDGE	22, VERIFY IN FIELD														

**MATERIALS NOTES**

1. REFER TO EXISTING CONDITIONS PLAN FOR SURVEY INFORMATION.
2. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. ALL PAVEMENT WIDTHS ARE NOTED ON THE LAYOUT PLAN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.



Project:  
**IMPROVEMENTS TO LOUISE LEVINGSTON COVE**

**NEWTON**  
 Parks & Recreation  
 INTERSECTION OF LAKEVIEW AND LAKE AVENUE, NEWTON CENTRE, MA, 02459

**Weston & Sampson**

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Revisions:

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 Reviewed By: CB  
 Approved By: DE

W&S Project No: 2170082  
 W&S File No: 2170082

Drawing Title:

**MATERIALS PLAN ENLARGEMENT**

Sheet Number:

**L1.20**

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**LEGEND**

	LIMIT OF WORK		EXISTING DRAINAGE STRUCTURE. SEE UTILITIES PLAN
	TOP OF BANK		EXISTING CONTOUR
	EDGE OF WATER		EXISTING SPOT ELEVATION
	GRADE BREAK		EXISTING TREE
	PROPOSED CONTOUR	HP	HIGH POINT
	PROPOSED SLOPE	LP	LOW POINT
	PROPOSED SPOT ELEVATION	TW	TOP OF WALL
	PIPE SOLID DRAIN PIPE	BW	BOTTOM OF WALL
	PIPE PERFORATED DRAIN PIPE. DIAMETER VARIES	EX	EXISTING
	OVERFLOW DRAIN	HDPE	HIGH DENSITY POLYETHYLENE
		INV	INVERT
		DIA.	DIAMETER

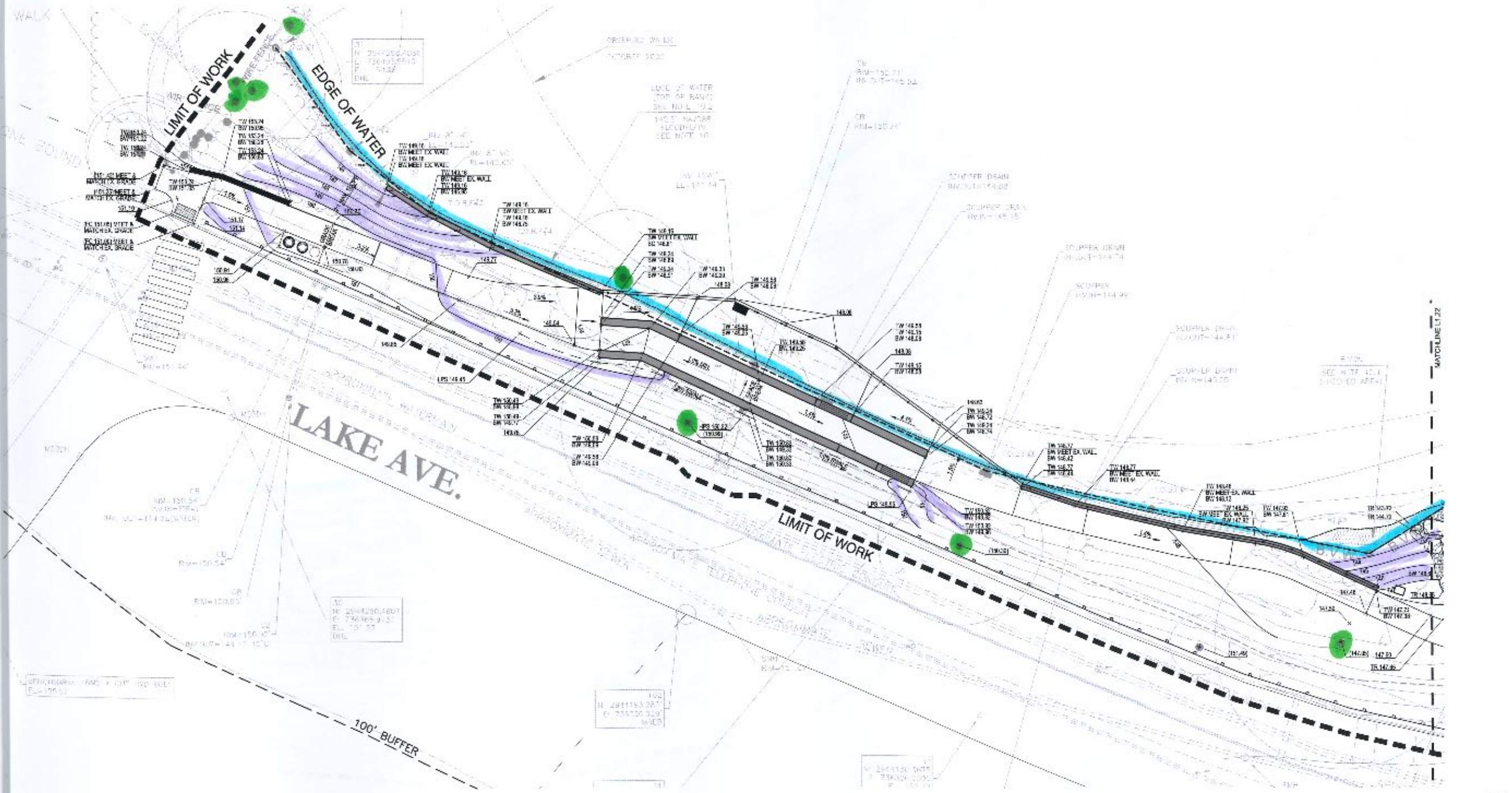
**GRADING AND DRAINAGE NOTES**

1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF DRAINAGE SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF FRAMINGHAM.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND INVERT ELEVATIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER AND OWNER'S REPRESENTATIVE.
3. ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) OF 4.5%.
4. MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
5. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
6. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MISRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
7. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
8. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
9. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.
10. WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PANELS, TYPICAL.

**COMPENSATORY STORAGE CALCULATIONS**

ELEVATION	CUT (CY)	FILL (CY)
143-144	0.82	0.75
144-145	0.37	0.28

- NOTES:**
1. AREA WITHIN LIMIT OF WORK IS WITHIN THE FLOOD PLAIN. EL. 142.5 (SEE NOTE 10 ON THE EXISTING CONDITIONS PLAN).
  2. CUT REPRESENTS THE COMPENSATORY STORAGE BEING CREATED IN THE FLOOD PLAIN WITHIN EACH ELEVATION INTERVAL.
  3. FILL REPRESENTS THE QUANTITY OF FILL BEING CREATED IN THE FLOOD PLAIN WITHIN EACH ELEVATION INTERVAL.



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Scale:  
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 Reviewed By: CB  
 Approved By: CB  
 W&S Project No: 2170569  
 W&S File No: 2170569

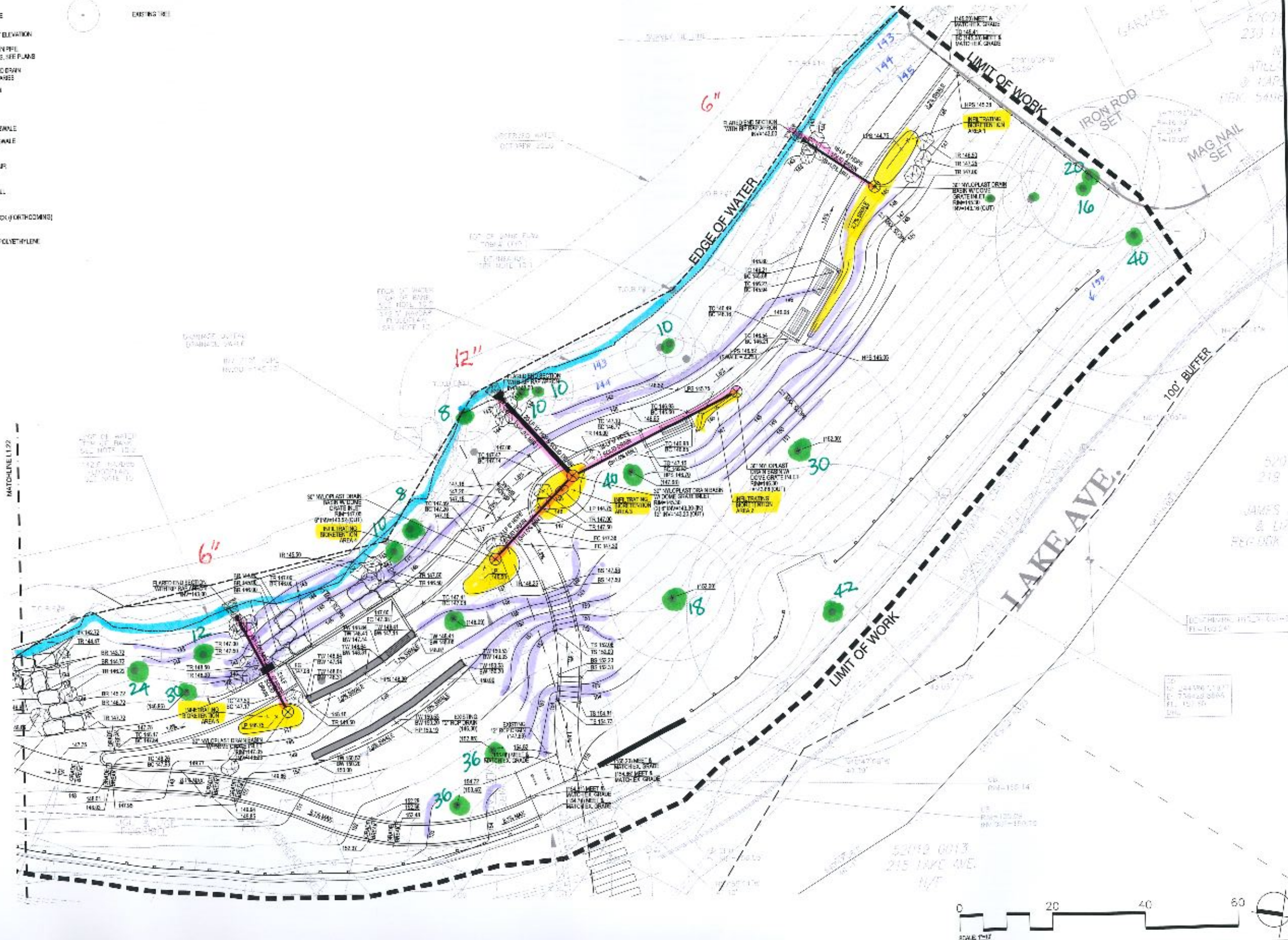
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**GRADING AND DRAINAGE PLAN ENLARGEMENT**

Sheet Number:  
**L1.40**



- LIMIT OF WORK
- TOP OF BANK
- EDGE OF WATER
- GRADE BREAK
- PROPOSED CONTOUR
- PROPOSED SLOPE
- PROPOSED SPOT ELEVATION
- NEW SOLID DRAIN PIPE (DIAMETER VARIES SEE PLANS)
- NEW PERFORATED DRAIN PIPE (DIAMETER VARIES SEE PLANS)
- OVER LOW DRAIN
- HIGH POINT
- LOW POINT
- HIGH POINT OF BANILE
- LOW POINT OF BANILE
- TOP OF STAIR
- BOTTOM OF STAIR
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF ROOF
- BOTTOM OF ROOF (OR THICKNESS)
- EXISTING
- HIGH DENSITY POLYETHYLENE
- INVERT
- DIAMETER

- EXISTING DRAINAGE STRUCTURE. SEE UTILITIES PLAN
- EXISTING CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING TREE



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Date: 09/10/2021

Drawn By: SG

Reviewed By: CS

Approved By: CR

W&S Project No: 217089

W&S File No: 217089

Creating Title:

**GRADING AND DRAINAGE PLAN ENLARGEMENT**

Sheet Number:  
**L1.41**

LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- TOP OF BANK
- EDGE OF WATER
- POTENTIAL POLLUTANT SPREAD BY OTHERS
- LOW AND SLOPE
- AQUATIC PLANTING
- SLOPE STABILIZATION SEED MIX
- BANK STABILIZATION PLANTING
- BANK STABILIZATION
- PERENNIAL
- GRASSES, RUSHES AND SEDGES
- EXISTING CANOPY
- SINGLE STEV TREE
- MULTI-STEM TREE
- SHRUBS

SLOPE STABILIZATION SEEDING NOTES

- RESTORATION AREAS SHALL BE CHECKED WEEKLY AND AFTER EACH MAJOR EVENT PROLONGING AT LEAST ONE INCH OF PRECIPITATION TO INSURE PLANTINGS ARE INTACT AND EROSION AND SEDIMENT STRUCTURES ARE STRUCTURALLY SOUND.
- RATES AND DEPTHS OF SLICE SEEDINGS SHALL BE CONSISTENT WITH SEED SUPPLIERS RECOMMENDATIONS.
- NEWLY SEEDING MEADOWS SHALL BE WATERED DAILY FOR A MINIMUM OF THREE WEEKS WHEN RAINFALL DOES NOT OCCUR UNLESS OTHERWISE SPECIFIED BY SUPPLIER.
- SEED MIX SHALL BE CUSTOM SEMI-SHADE GRASS AND FORBS MIX AS PROVIDED BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL - SEEDING AT SUPPLIER'S SUGGESTED RATES OF THE FOLLOWING SPECIES:

SCIENTIFIC NAME	COMMON NAME
<i>Chenopodium fasciculata</i>	Partridge pea
<i>Distachlya spicata</i> **	WAVY HAIRGRASS**
<i>Elymus virginicus</i>	VIRGINIA WILDFIRE
<i>Eupatorium perforatum</i>	BONESET
<i>Erigeron strigosus</i> **	WHITE WOOD ASTER**
<i>Festuca subverticillata</i> **	WOODING FESCUE**
<i>Geranium maculatum</i> **	WILD GERANIUM**
<i>Juncus tenuis</i>	SLENDER RUSH
<i>Oenothera biennis</i>	SENSITIVE FERN

SUBSTITUTED PLANTS ARE SHOWN ENDED WITH A DOUBLE ASTERISK (\*\*). CONTRACTOR TO COORDINATE CUSTOM SEED MIX WITH SUPPLIER TO INSURE PRODUCT IS DELIVERED IN A TIBLY MANNER.

GENERAL NOTES:

TREES TO BE REMOVED	TOTAL NUMBER	CALIPER INCHES
	1	10"
PROPOSED NEW TREES	3	16"

- PLANTING NOTES:
- THE DEPTH OF TOP SOIL LOAM FOR ALL PROPOSED LAWN AREAS SHALL BE MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
  - ALL REFERENCES TO LOAM AND SEED REFER TO HYDROVULCH SEEDED LAWN.

PLANT SCHEDULE

TREES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
AWA	2	AMELANCHIER CANADENSIS	SERVICE BERRY	10-12' HEIGHT	B&B	MULTI-TRUNK
CO	2	CARPINUS CAROLINIANA	IRONWOOD	2'-2.5' CAL.	B&B	
BR	1	BETULA NIGRA	RIVER BIRCH	10-14' HEIGHT	B&B	MULTI-TRUNK
OR	1	QUERCUS RUBRA	RED OAK	2'-2.5' CAL.	B&B	FALL DRO HAZARD
TOTAL	7					

SHRUBS

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
AM	18	ARONIA MELANOCARPA LOW SCAPE MOUND	BLACK CHERRYBERRY	40	CONTAINER	
CA	41	CLETHRA ALNIFOLIA HUMMINGBERT	SWEET PEPPERBUSH	40	CONTAINER	
CR	35	CORNUS RACEMOSA 'SLAVINE'	DWARF GRAY DOGWOOD	40	CONTAINER	
WB	17	ILEX VERICILLATA 'NANA RED SPRIE'	WINTERBERRY HOLLY	40	CONTAINER	FEMALE CULTIVAR
WM	7	ILEX VERICILLATA 'MR. POPPINS'	WINTERBERRY HOLLY	40	CONTAINER	MALE CULTIVAR
MP	6	NYRICA PENNSYLVANICA	BAYBERRY	40	CONTAINER	
RA	13	RHUS AROMATICA 'GRO-L-LOW'	AROMATIC SUMAC	40	CONTAINER	
VA	14	VACCINIUM ANGSTUFOLIUM	LOWBUSH BLUEBERRY	40	CONTAINER	
VD	5	VIBURNUM CENEAURIA BLUE MUFFIN'	ARBORESCO VIBURNUM	40	CONTAINER	
TOTAL	158					

PERENNIALS

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
AC	145	AQUILEGIA CANADENSIS	COL. UMBRE	2"	PLUG	SPACE 12" O.C.
AD	89	ASTER DIVERICATUS	WHITE WOOD ASTER	2"	PLUG	SPACE 18" O.C.
QV	138	GERANIUM MACULATUM	WILD GERANIUM	2"	PLUG	SPACE 12" O.C.

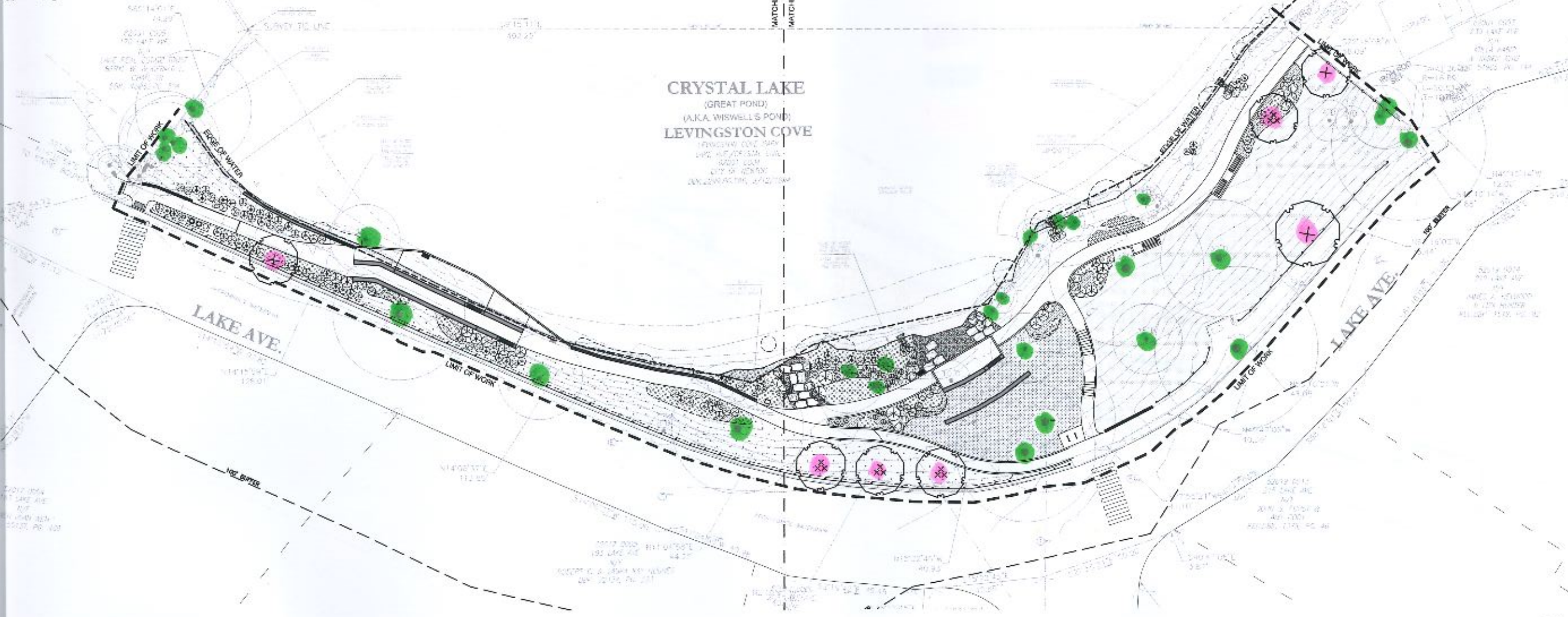
IV	17	IRIS VERSICOLOR	BLUE FLAG IRIS	2"	PLUG	SPACE 18" O.C.
LC	72	LOBELIA CARDINALIS	CARDINAL FLOWER	2"	PLUG	SPACE 12" O.C.
DE	41	ONOXIS A SENSIBUS	SENSITIVE FERN	2"	PLUG	SPACE 18" O.C.
OC	50	OENUNDA CINNAMONIA	CINNAMON FERN	2"	PLUG	SPACE 12" O.C.
TOTAL	650					

GRASSES, RUSHES AND SEDGES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
CAC	55	CAREX CRINITA	FRINGED SEDGE	2"	PLUG	SPACE 12" O.C.
CL	165	CAREX LURIDA	SALLOW SEDGE	2"	PLUG	SPACE 12" O.C.
CP	450	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	2"	PLUG	SPACE 10" O.C.
CS	254	CAREX STRICTA	TUSsock SEDGE	2"	PLUG	SPACE 12" O.C.
DC	288	DESCHAMPSIA CESPYTOBA	TUFTED HAIR GRASS	2"	PLUG	SPACE 12" O.C.
PV	63	PANICUM VIRGATUM	SWITCHGRASS	2"	PLUG	SPACE 18" O.C.
SA	100	SEYRINCHIUM ANGUSTIFOLIUM	B. BLUE-EYED GRASS	2"	PLUG	SPACE 12" O.C.
TOTAL	1,442					

AQUATICS

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
COO	91	CAREX COMOSA	BEARDED SEDGE	2"	PLUG	SPACE 18" O.C.
CS	126	CAREX STRICTA	TUSsock SEDGE	2"	PLUG	SPACE 12" O.C.
PV	126	PELTANDRA VIRGINICA	ARROW ARUM	2"	PLUG	SPACE 12" O.C.
PC	111	PONTEDEIRA COORDATA	FICKERLE WEED	2"	PLUG	SPACE 12" O.C.
SP	51	SCHIZOPLECTUS PLUMBIENS	THREE-SQUARE BULLRUSH	2"	PLUG	SPACE 24" O.C.
SPA	51	SPARGANUM AMERICANUM	AMERICAN BURMEED	2"	PLUG	SPACE 18" O.C.
TOTAL	516					



Project:  
**IMPROVEMENTS TO LOUISE LEVINGSTON COVE**

**NEWTON**  
 Parks & Recreation  
 INTERSECTION OF LAKEVIEW AND LAKE AVENUE, NEWTON CENTRE, MA 02459

**Weston & Sampson**

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Consultants:

No.	Date	Description

Revisions:

No.	Date	Description

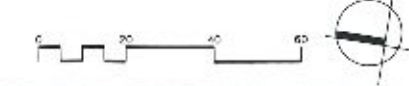
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Scale:  
 Date: 08/10/2021  
 Drawn By: SC  
 Reviewed By: DE  
 Approved By: DE  
 W&S Project No: 2170990  
 W&S File No: 2170990

Drawing Title:  
**PLANTING PLAN**

Sheet Number:  
**L1.50**



## SLOPE STABILIZATION SEEDING NOTES

- RESTORATION AREAS SHALL BE CHECKED WEEKLY AND AFTER EACH RAINFALL EVENT PRODUCING AT LEAST ONE INCH OF PRECIPITATION TO ENSURE PLANTINGS ARE INTACT AND EROSION AND SEDIMENT STRUCTURES ARE STRUCTURALLY SOUND.
- RATES AND DEPTHS OF SLICE SEEDING SHALL BE CONSISTENT WITH SEED SUPPLIER'S RECOMMENDATIONS.
- NEWLY SEEDED MEADOWS SHALL BE WATERED DAILY FOR A MINIMUM OF THREE WEEKS WHEN RAINFALL DOES NOT OCCUR UNLESS OTHERWISE SPECIFIED BY SUPPLIER.
- SEED MIX SHALL BE CUSTOM SEMI-SHADE GRASS AND FORBS MIX, AS PROVIDED BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL - SEEDED AT SUPPLIER'S SUGGESTED RATES OF THE FOLLOWING SPECIES:

SCIENTIFIC NAME	COMMON NAME
<i>Chamaecrista fasciculata</i>	Partridge pea
<i>Deschampsia flexuosa</i> **	WAVY HAIRGRASS**
<i>Elymus virginicus</i>	VIRGINIA WILDRYE
<i>Eupatorium perforatum</i>	BONESET
<i>Eurybia divaricata</i> **	WHITE WOOD ASTER**
<i>Festuca subverticillata</i> **	NODDING FESCUE**
<i>Geranium maculatum</i> **	WILD GERANIUM**
<i>Juncus tenuis</i>	SLENDER RUSH
<i>Onoclea sensibilis</i>	SENSITIVE FERN

SUBSTITUTED PLANTS ARE SHOWN ENDING WITH A DOUBLE ASTERISK (XXXX\*\*). CONTRACTOR TO COORDINATE CUSTOM SEED MIX WITH SUPPLIER TO ENSURE PRODUCT IS DELIVERED IN A TIMELY MANNER.

### GENERAL NOTES:

	TOTAL NUMBER	CALIPER INCHES
TREES TO BE REMOVED	1	10"
PROPOSED NEW TREES	10 <del>7</del>	16"

### PLANTING NOTES:

- THE DEPTH OF TOPSOIL LOAM FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED
- ALL REFERENCES TO LOAM AND SEED REFER TO HYDROMULCH SEEDED LAWN.

## PLANT SCHEDULE

TREES						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
AMA	3	AMELANCHER CANADENSIS	SERVICEBERRY	10-12' HEIGHT	B&B	MULTI-TRUNK
CC	2	CARPINUS CAROLINIANA	IRONWOOD	2"-2.5" CAL.	B&B	
BN	1	BETULA NIGRA	RIVER BIRCH	12-14' HEIGHT	B&B	MULTI-TRUNK
QR	1	QUERCUS RUBRA	RED OAK	2"-2.5" CAL.	B&B	FALL DIG HAZARD
TOTAL	7					
SHRUBS						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
AM	18	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	BLACK CHOKEBERRY	#3	CONTAINER	
CA	41	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SWEET PEPPERBUSH	#3	CONTAINER	
CR	38	CORNUS RACEMOSA 'SLAVINII'	DWARF GRAY DOGWOOD	#3	CONTAINER	
IVB	17	ILEX VERTICILLATA 'NANA' RED SPRITE	WINTERBERRY HOLLY	#3	CONTAINER	FEMALE CULTIVAR
IVM	7	ILEX VERTICILLATA 'MR. POPPINS'	WINTERBERRY HOLLY	#3	CONTAINER	MALE CULTIVAR
MP	6	MYRICA PENNSYLVANICA	BAYBERRY	#5	CONTAINER	
RA	13	RHUS AROMATICA 'GRO-LOW'	AROMATIC SUMAC	#3	CONTAINER	
VA	14	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	#2	CONTAINER	
VD	5	VIBURNUM DENTATUM 'BLUE MUFFIN'	ARROWWOOD VIBURNUM	#5	CONTAINER	
TOTAL	159					
PERENNIALS						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	NOTES
AC	145	AQUILEGIA CANADENSIS	COLUMBINE	2"	PLUG	SPACE 12" O.C.
AD	89	ASTER DIVERICATUS	WHITE WOOD ASTER	2"	PLUG	SPACE 18" O.C.
GM	133	GERANIUM MACULATUM	WILD GERANIUM	2"	PLUG	SPACE 12" O.C.

IE L1.51  
IE L1.52

IV	17	IRIS VERSICOLOR	BLUE FLAG IRIS	2"
LC	72	LOBELIA CARDINALIS	CARDINAL FLOWER	2"
OS	44	ONOCLEA SENSIBILIS	SENSITIVE FERN	2"
OC	59	OSMUNDA CINNAMONEA	CINNAMON FERN	2"
TOTAL	569			

### GRASSES, RUSHES AND SEDGES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CAC	55	CAREX CRINATA	FRINGED SEDGE	2"
CL	165	CAREX LURIDA	SALLOW SEDGE	2"
CP	459	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	2"
CS	254	CAREX STRICTA	TUSSOCK SEDGE	2"
DC	286	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	2"
PV	63	PANICUM VIRGATUM	SWITCHGRASS	2"
SA	160	SISYRINCHIUM ANGUSTIFOLIUM	BLUE-EYED GRASS	2"
TOTAL	1,442			

### AQUATICS

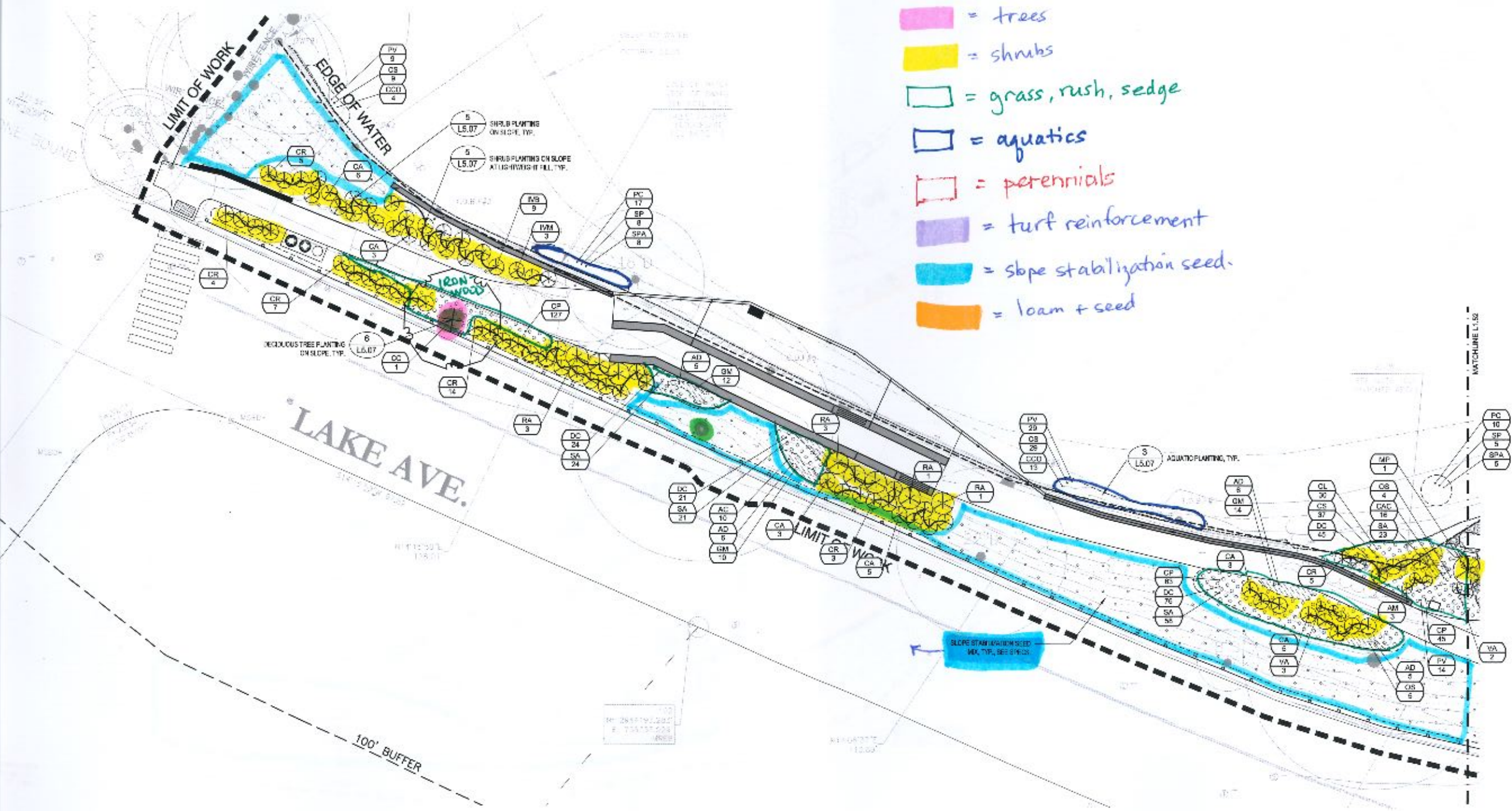
CCO	56	CAREX COMOSA	BEARDED SEDGE	2"
CS	126	CAREX STRICTA	TUSSOCK SEDGE	2"
PV	126	PELTANDRA VIRGINICA	ARROW ARUM	2"
PC	111	PONTERDERIA CORDATA	PICKERELWEED	2"
SP	50	SCHOENOPECTUS PUNGENS	THREE-SQUARE BULLRUSH	2"
SPA	50	SPARGANIUM AMERICANUM	AMERICAN BUR-REED	2"
TOTAL	519			

**LEGEND**

	PROPERTY LINE		BANK STABILIZATION
	LIMIT OF WORK		PERENNIAL
	TOP OF BANK		GRASSES, RUSHES AND SEDGES
	EDGE OF WATER		EXISTING CANOPY
	POTENTIAL POLLINATOR GARDEN BY OTHERS		SINGLE STEM TREE
	LOAM AND SEED		MULTI-STEM TREE
	AQUATIC PLANTING		SHRUBS
	SLOPE STABILIZATION SEED MIX		
	BANK STABILIZATION PLANTING		

**Handwritten Legend:**

- = trees
- = shrubs
- = grass, rush, sedge
- = aquatics
- = perennials
- = turf reinforcement
- = slope stabilization seed
- = loam + seed



Project:  
**IMPROVEMENTS TO LOUISE LEVINGSTON COVE**

**NEWTON**  
 Parks & Recreation

INTERSECTION OF LAKEVIEW  
 AND LAKE AVENUE, NEWTON  
 CENTRE, MA, 02459

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Revisions:

No.	Date	Description

Seal:

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Scale:

Date: 08/10/2021

Drawn By: ALM

Reviewed By: CE

Approved By: CE

W&S Project No: 2170889

W&S File No: 2170889

Drawing Title:

**PLANTING PLAN ENLARGEMENT**

Sheet Number:  
**L1.51**



**LEGEND**

- PROPERTY LINE
- LIMIT OF WORK
- TOP OF BANK
- EDGE OF WATER
- POTENTIAL POLLUTION GARDEN BY OTHERS
- LOAM AND SEED
- AQUATIC PLANTING
- SLOPE STABILIZATION SEED MIX
- BANK STABILIZATION PLANTING
- TURF REINFORCEMENT AREA
- BANK STABILIZATION
- PERENNIAL
- GRASSES, RUSHES AND SEDGES
- EXISTING CANOPY
- SINGLE STEM TREE
- MULTI-STEM TREE
- SHRUBS

Project:  
**IMPROVEMENTS TO LOUISE LEVINGSTON COVE**



**NEWTON**  
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No.	Date	Description

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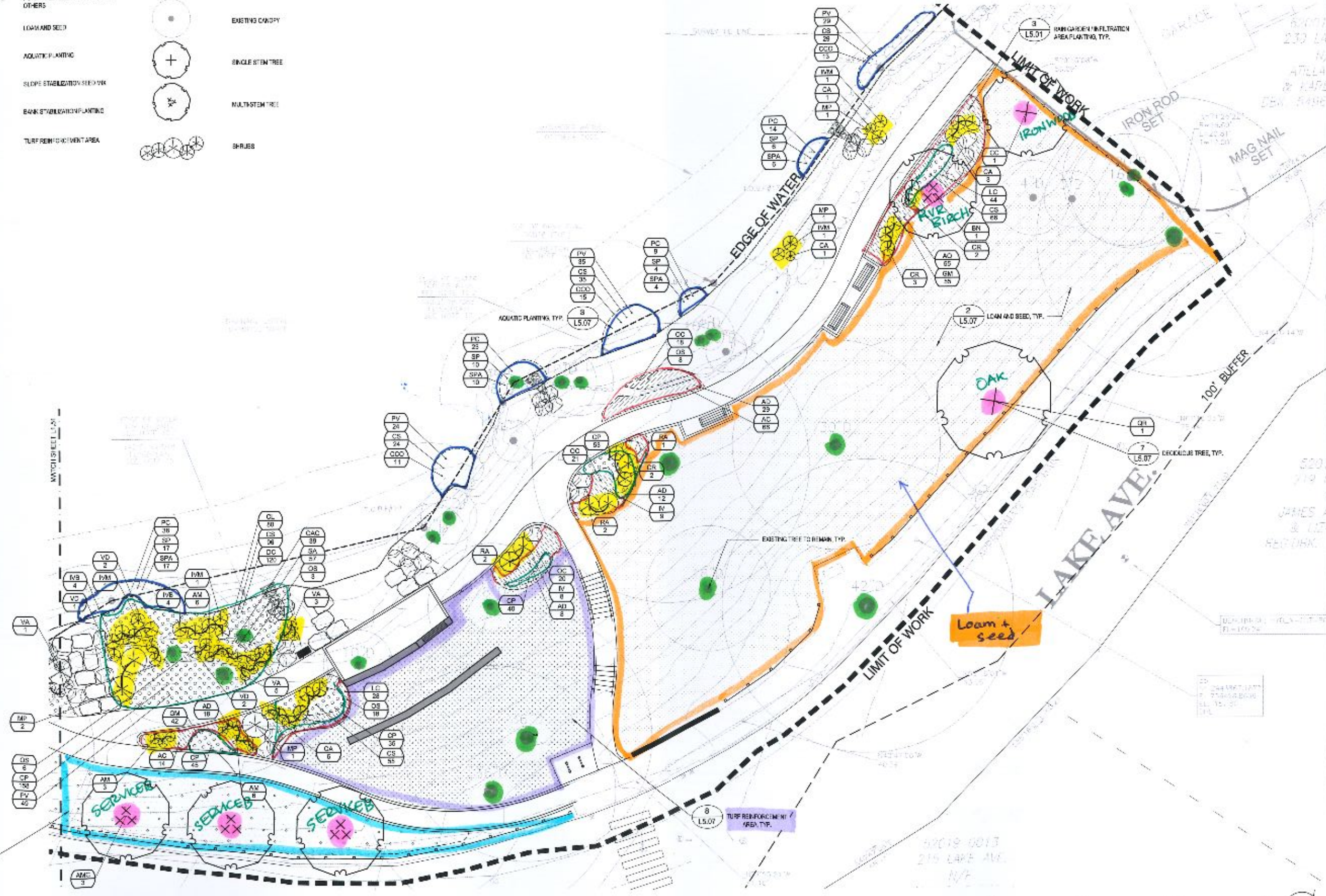


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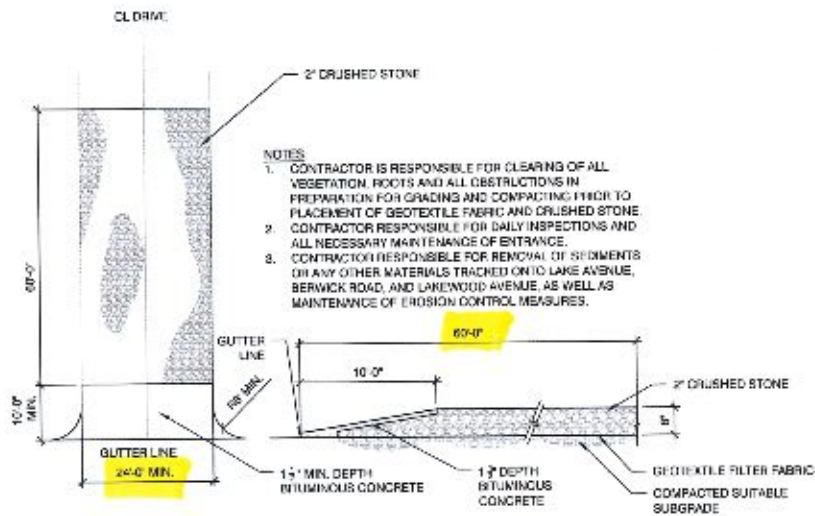
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 Drawn By: ALV  
 Reviewed By: CB  
 Approved By: CB  
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 W&S File No: 2170059

Drawing Title:  
**PLANTING PLAN ENLARGEMENT**

Sheet Number:  
**L1.52**

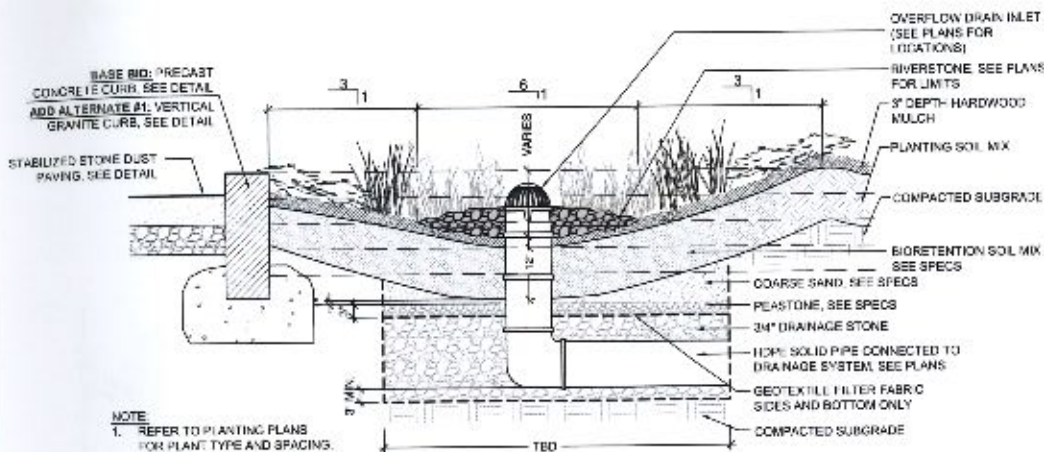






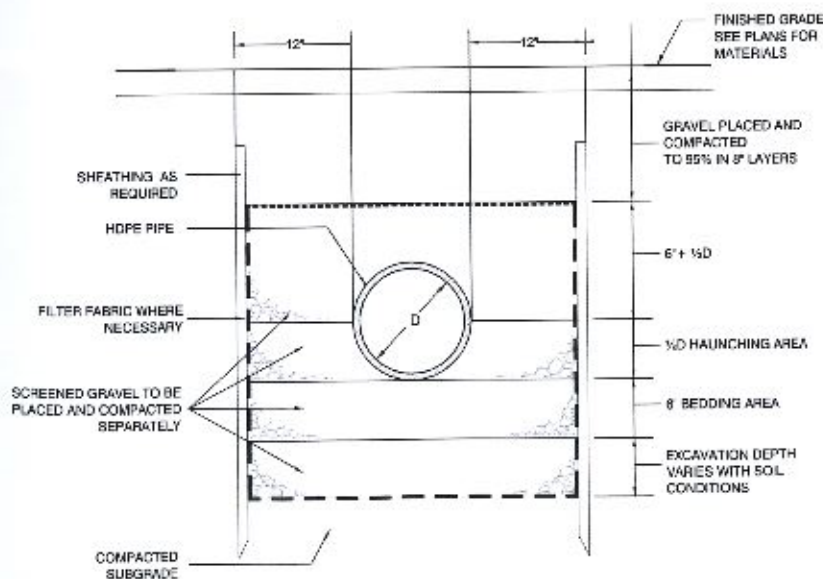
**1** TEMPORARY CONSTRUCTION ENTRANCE

SCALE: N.T.S.



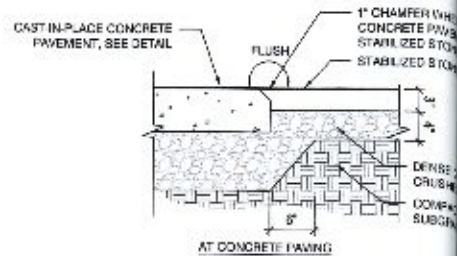
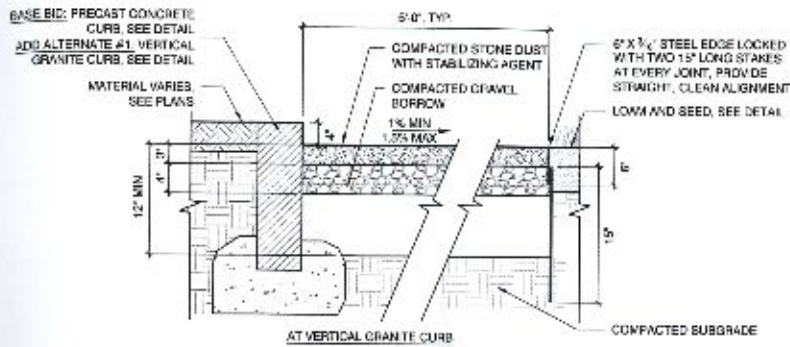
**3** RAIN GARDEN / INFILTRATION PLANTING AREA

SCALE: N.T.S.

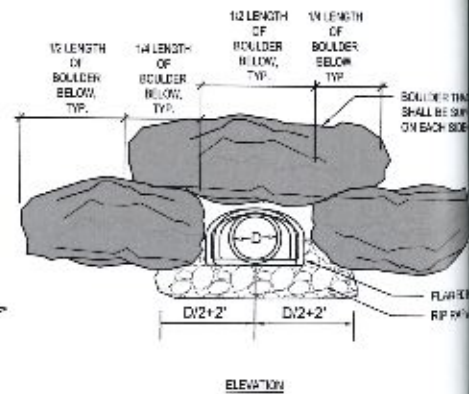
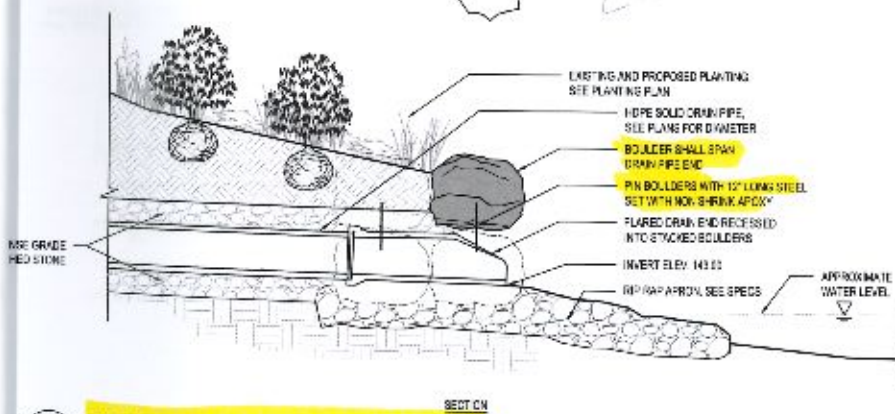
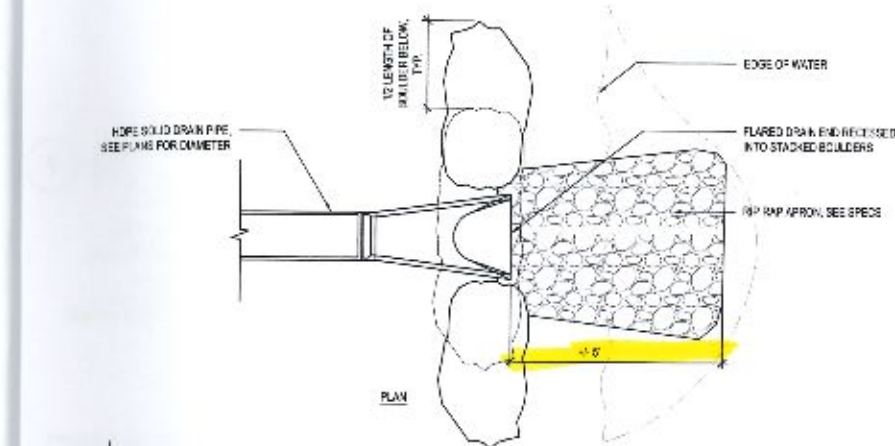


**4** TRENCH DRAIN

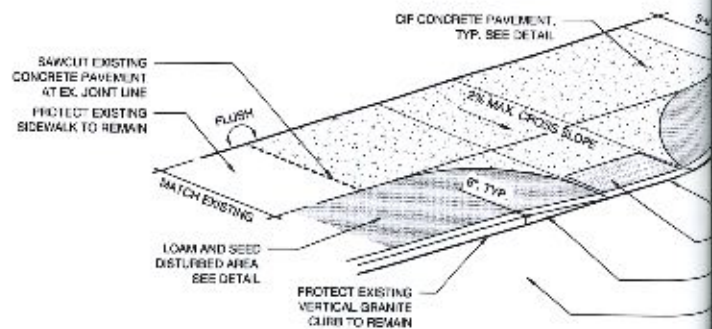
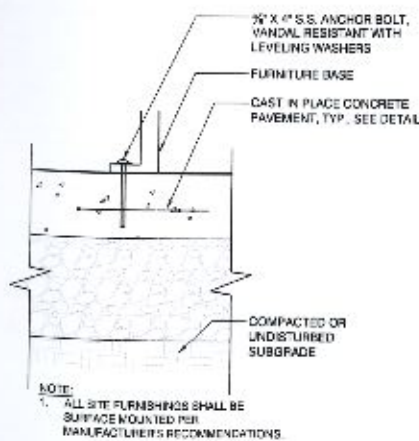
SCALE: N.T.S.



1 STABILIZED STONE DUST PAVEMENT  
 SCALE: N.T.S.



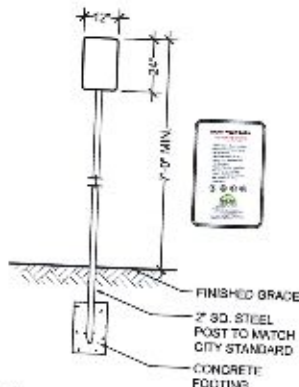
3 RIP RAP APRON AT OVERFLOW DRAIN PIPE  
 SCALE: N.T.S.



- NOTES:
- CONTRACTOR SHALL PROVIDE CLEAN AND STRAIGHT SAWCUT LINES AT LIMITS OF EXISTING CONCRETE PAVEMENT TO REMAIN. CONTRACTOR SHALL VERIFY U/V CONCRETE PAVEMENT REMOVAL PRIOR TO COMMENCING DEMOLITION.
  - CONTRACTOR SHALL REMOVE AND REPLACE CONCRETE PAVEMENT, GRAVEL, AND SUBGRADE NECESSARY TO CONSTRUCT A CLEAN, SMOOTH TRANSITION AT JOINT.

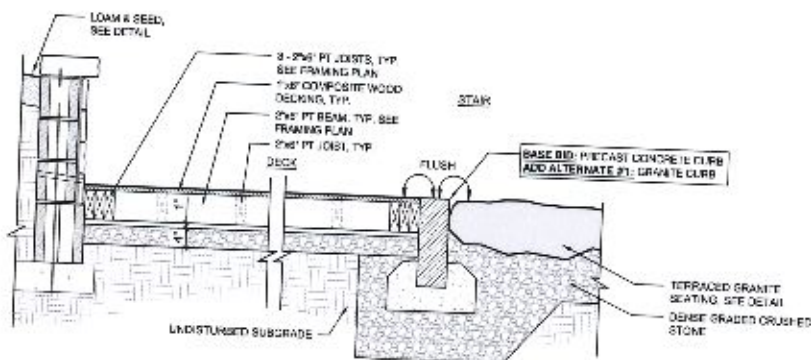
5 SITE FURNISHING SURFACE MOUNT  
 SCALE: N.T.S.

6 A.D.A. CURB CUT WITH DETECTABLE WARNING MAT  
 SCALE: N.T.S.



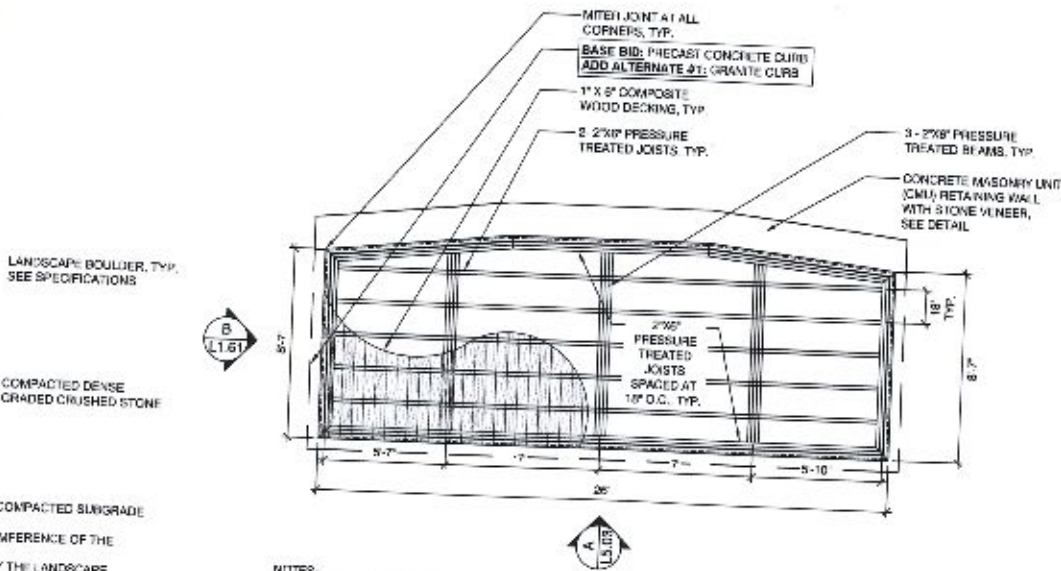
- NOTE:**
1. ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
  2. IF A LARGE ROCK LEDGE IS ENCOUNTERED, SIGN POST IS TO BE EMBEDDED 6" MIN. FULLY GROUTED.
  3. ARTWORK IS PROVIDED BY THE CITY AND INCLUDED IN THE SPECS.

**2** PARK REGULATION SIGN  
SCALE: N.T.S.



- NOTES:**
1. MAXIMUM JOIST BEAM SPACING IS 7'-0". SEE FRAMING PLAN.
  2. CONTRACTOR SHALL ASSUME 6'-0" HELICAL PIER PER NCHRP TRM 109M EDITION OF TYPICAL DETAIL TO THE BOTTOM OF PIERS FOR COMPLEMENTARY BUILDING PURPOSES ONLY. FINAL DEPTHS SHALL MEET THE PERFORMANCE REQUIREMENTS AS DESCRIBED IN THE SPECIFICATIONS. ANCHORS PROVIDED TO MEET THE SPECIFIED INSTALLATION REQUIREMENTS ARE SUITABLE TO PROVIDE AN ALLOWABLE CAPACITY OF 4,000 LBS @ 5 KIPS. THE OWNER'S REPRESENTATIVE SHALL OBSERVE INSTALLATION OF HELICAL PIERS TO VERIFY THE PIERS ARE INSTALLED TO REQUIRED EMBEDMENT DEPTHS AND CAPACITIES.
  3. ALL FIRM AND DECKING TO BE FASTENED TO JOISTS WITH U.S. TAMPER RESISTANT SCREWS.

SECTION A



- NOTES:**
1. ALL DECKING TO BE FASTENED TO JOISTS WITH U.S. TAMPER RESISTANT SCREWS.
  2. ALL EDGES AND SURFACES SHALL BE SANDED SMOOTH AND FREE OF ROUGH SPOTS AND SPLINTERED EDGES.

**5** COMPOSITE WOOD ON-GRADE DECK FRAMING PLAN  
SCALE: N.T.S.

Project  
**IMPROVEMENTS TO LOUISE LEVINGSTON COVE**



INTERSECTION OF LAKEVIEW AND LAKE AVENUE, NEWTON CENTRE, MA, 02459

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Reviewed By: CE

Approved By: CB

W&S Project No: 217022

W&S File No: 217022

Drawing Title:

**CONSTRUCTION  
DETAILS**

Sheet Number:

**L5.05**







Data Source: Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Environmental Affairs

### Legend

- Asiatic Bittersweet Individual
- Glossy Buckthorn Individual
- Multiflora Rose Individual
- Purple Loosestrife Individual

**FIGURE 1**  
Livingston Cove  
Newton MA  
Invasive Species Locations



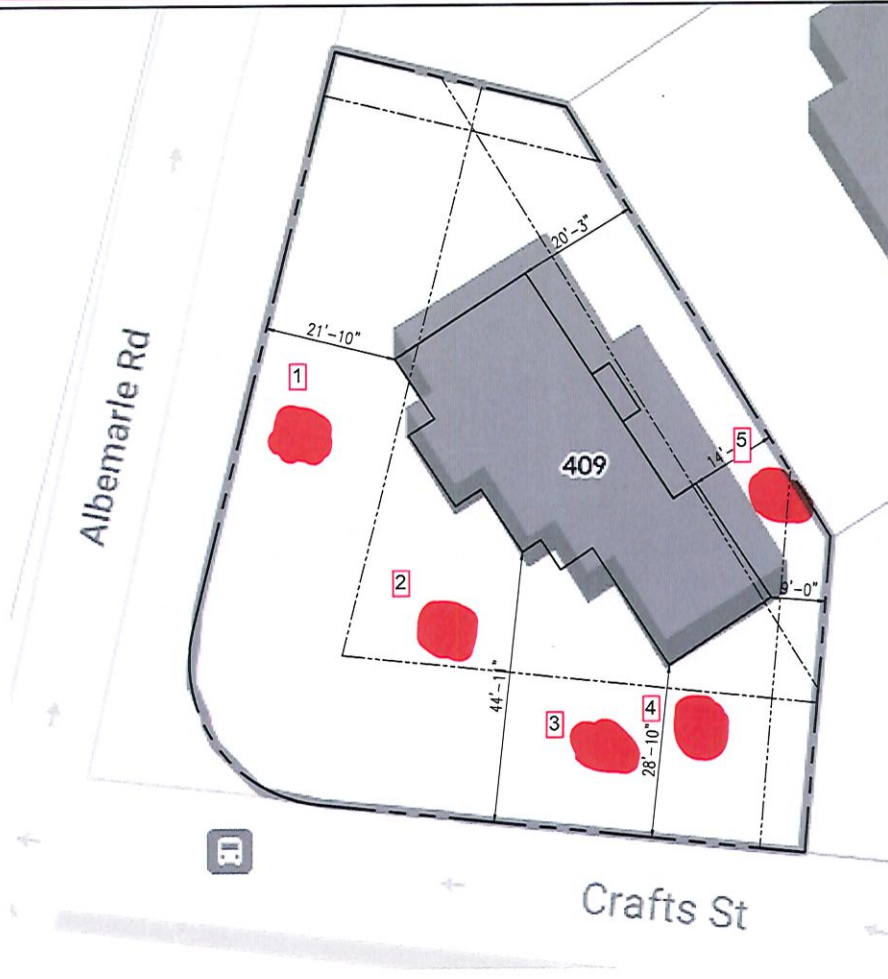
The screenshot displays the Newton GIS Browser interface. At the top, a blue navigation bar contains the title "Newton GIS Browser" and several menu items: "Click a property below for more information", "About", "Instructions", "Data Sources", and "Map Legend". Below the navigation bar, a search bar on the left contains the text "409 crafts" and "409 CRAFTS ST, NEWTONVILLE". To the right of the search bar is a "Layers" panel with an eye icon and the text "Layers". Further right is a "Print" panel with a minus sign icon, a print icon, and a blue "Print" button. The main area of the browser is an aerial photograph of a residential neighborhood. A yellow star is placed on a property located at the intersection of Crafts Street and another street. The map shows various houses, green spaces, and a road with a yellow center line. The property number "30" is visible on the house marked with the star.

Tree Removal Plan

ZONING DATA PER SEC. 3.1.3 - DIMENSIONAL STANDARDS (SINGLE-FAMILY DETACHED)					
	ZONING DISTRICT - SR3 RESIDENTIAL SINGLE-FAMILY DETACHED (Before 12/7/1953)	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A	LOT AREA (MIN.)	7,000	10,215	NO CHANGE	CONFORMS
B	LOT COVERAGE (MAX.) % (1,078 / 6,325)	30	--	NO CHANGE	--
C	USEABLE OPEN SPACE (MIN.) %	50	--	NO CHANGE	CONFORMS
D	LOT FRONTAGE (MIN.) FT	70	100	NO CHANGE	CONFORMS
	BUILD FACTOR (MAX.)	20	10.5	NO CHANGE	CONFORMS
E	FRONT SETBACK (MIN.) FT	25	21.8	ADDITION (-)	EXISTING NON-CONFORMING (ADDITION CONFORMS)
F	SIDE SETBACK (MIN.) FT - RIGHT	7.5	9	NO CHANGE	CONFORMS
F	SIDE SETBACK (MIN.) FT - LEFT	7.5	NA	NO CHANGE	CONFORMS
G	REAR SETBACK (MIN.) FT	15	14.3	ADDITION (-)	EXISTING NON-CONFORMING (ADDITION CONFORMS)
	BUILDING HEIGHT - SLOPED ROOF (MAX.) FT	36	--	--	CONFORMS
H	STORIES (MAX.)	2.5	1.5	2.5	CONFORMS

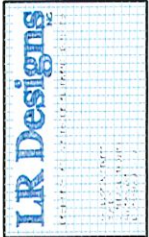
Trees To Be Removed:

1. Crimson Maple (Damaged) 20" Diameter
2. Locust Tree (Dead) 20" Diameter
3. Locust Tree (Leaning Towards House) 10" Diameter
4. Locust Tree (Roots Destroying Driveway) 14" Diameter
5. Maple Tree (Potential Hazard Overhanging House) 23" Diameter



SITE DIAGRAM  
1 = 20'

BASED ON CITY OF NEWTON GIS BROWSER



Project Title:  
409 Crafts Street  
Newton, MA

Drawing Title:  
ZONING INFORMATION

Revisions:	#	Description	date

Project # 21049  
Scale: AS NOTED  
Date: 08/09/2021  
Drawing # Z0.1

**14 Walnut Hill Rd  
Pond and Bridge (orange)  
Stream Corridor and  
Easement (yellow)**

**Newton, Mass.**

Map Date: 08-19-2021



20 10 0 20 Feet



The information on this map is from the Newton Geographic Information System (GIS). The City of Newton cannot guarantee the accuracy of this information. Each user of this map is responsible for determining its suitability for his or her intended purpose. City departments will not necessarily approve applications based solely on GIS data.



CITY OF NEWTON, MASSACHUSETTS  
Mayor - Ruthanne Fuller  
GIS Administrator - Douglas Greenfield

# Newton Conservation Commission Policy

## Apiaries on Newton Conservation Land

Approved March 11, 2021 (jms suggested edits 7-16-21) jay werb suggested edits 8-17-21

### Background and Purpose

The Newton Conservation Commission must balance the sometimes-competing interests of passive activities, educational efforts, and healthy native ecosystems in its open spaces. One such balance is between maintaining healthy populations of native pollinators while allowing beekeepers to maintain a reasonable number of hives on Conservation parcels. A few honeybee hives on public land may provide ecological and educational benefits; however, a high intensity of beekeeping may crowd out native pollinators in a dense suburban context such as we have in Newton. Carefully balancing these considerations, the Conservation Commission may grant licenses to Newton residents who wish to establish honeybee hives on Conservation land. This policy provides a framework by which the Conservation Commission may evaluate such applications.

### Licensing

A license for a small apiary on conservation land may be granted to a hobbyist beekeeper. A license for a larger apiary may be granted if there is a public purpose that is ecological, scientific, or educational. To facilitate planning and oversight, the Commission requires all licensed beekeepers to come before the Commission annually (usually in the summer) to give status updates and discuss their interests in for applying for license renewals.

### Applicability

This policy applies to land managed by the Conservation Commission under the Conservation Commission Act (MGL Ch. 40 §8C), not to other public land or to private property.

### Definitions

**Apiary** – a location with one or more colonies of honeybees in proximity

**Beekeeper** – a person who owns or has charge of one or more colonies of honeybees.

**Beekeeping** – the establishment and maintenance by a person or group of an apiary

**Colony** – an aggregate of honeybees consisting principally of workers, but having, when perfect, one queen and, seasonally, drones, brood (eggs, larva, pupae), combs, honey, and the receptacle inhabited by the honeybees

**Dead out** – a hive in which the entire bee colony has died

**Flyway** – flight path of honeybees when they leave and return to the entrance of their hive.

**Hive or Beehive** – the man-made structure which contains one (1) colony of honeybees

**Honeybee** – all life stages of the domestic honeybee, *Apis mellifera*

**Licensed Beekeeper** – A Beekeeper with a license to establish an apiary on conservation land.

**Nuc** – abbreviation of **nucleus colony**; a partial hive used as a temporary holding area, such as when splitting a colony to prevent swarming.

**Requeening** – to replace the queen of a colony.

**Robbing** – the pilfering of honey from a weak colony by other honeybees or insects.

**Super** – an individual component of hive; generally, a box made of wood or plastic in which honeybees build out honeycomb frames for brood or honey storage

**Swarming** – natural proliferation of honeybees by the division of one colony into two or more colonies and the search of the new colony for shelter

**Temporary** – 90 days or less

## Hobbyist Apiary

A Newton resident may wish to establish a small apiary on conservation land because their home is not a suitable venue for beekeeping. In that case, the Conservation Commission may license a hobbyist apiary on conservation land if all of the following conditions are met.

1. **Eligibility.** (1) The beekeeper is a Newton resident; (2) with at least three years of recent beekeeping experience or the beekeeper will be actively assisted by a mentor with such experience; and (3) the beekeeper does not have any other beehives in the city.
2. **Application.** The beekeeper must submit to the Conservation Commission a complete application form indicating name, address, phone number, email, sketch plan locating the desired hive(s), and beekeeping experience, with similar information for a mentor if applicable.
3. **Non-Transferrable License.** Permission shall be granted in the form of a license to a specific beekeeper who is responsible for the apiary, in a specific location. Neither permission nor the license are transferrable to another beekeeper or to another location. The license may be granted for three years and may be renewed at the end of the term. The Commission may revoke permission and remove an apiary from Conservation Land at any time and for any reason.
4. **Registration and Inspection.** All Licensed Beekeepers must register their beehives with the Massachusetts Department of Agriculture and have their beehives inspected annually by submitting a request to the Massachusetts MDAR Apiary Program.
5. **Apiary Location.**
  - a. With the application, the beekeeper shall submit a sketch plan showing the approximate location of the hive(s).
  - b. The apiary location shall not be placed within 20 feet of an established trail or other public gathering spot or amenity, shall not interfere with public enjoyment of the conservation land, and shall not be placed within 300 feet of another known beehive.
  - c. All hives will be located at least five feet (5') from the property line of the conservation land.

- d. If a hive is less than 20 feet (20') from developed land adjacent to the conservation parcel:
  - i. The main hive entrance must face away from the property line; and
  - ii. The beekeeper shall establish and maintain an approved flyway barrier parallel to the property line and extending ten feet (10') beyond the colony in each direction so that bees are diverted to fly at an elevation of at least six feet (6') above ground level over the property lines in the vicinity of the apiary.

#### **6. Apiary Design.**

- a. All bee colonies shall be kept in hives with removable combs.
- b. A hive, including the attached honey supers, shall not exceed twelve (12) cubic feet.
- c. Size and stability of hives shall not pose a hazard to the beekeeper or the public.
- d. Hives must be installed on sturdy stands so that the bottom board is at least 18 inches above grade.

#### **7. Apiary Installation.**

- a. The beekeeper shall meet on site with conservation staff prior to installation
- b. The apiary must be clearly and visibly labeled throughout the year stating the name of the beekeeper(s) and the best contact information. Such signage may include but is not limited to:
  - i. Information painted on the side of the hive and/or
  - ii. A small weatherproof sign atop a short post.
- c. No native vegetation or soil will be disturbed in the establishment or operation of the apiary. No permanent structure or fencing is allowed without permission.

**8. Colony Density.** ~~The apiary shall comprise no more than two colonies at the start and end of each season. On a temporary basis, these colonies may be split in order to prevent swarming and then re-combined later in the same year. A Nuc used for splitting is considered a temporary colony. If a split results in an independently viable hive, the new hive shall count toward the total number of hives allowed on the site.~~ The licensed apiary shall comprise no more than two hives year-round. One additional nucleus colony, not to exceed 4 cubic feet, is permitted for a period not to exceed 90 days.

**9. Water.** When the outdoor temperature is above 50 degrees, the beekeeper shall ensure that a convenient source of water is available to the honeybees so that the honeybees will not congregate at swimming pools, bibcocks, pet water bowls, birdbaths or other water sources where they may cause human, bird or domestic pet contact. The water shall be maintained so as not to become stagnant.

## 10. Maintenance and Best Practice Requirements.

- a. All Licensed Beekeepers must follow the must the Massachusetts Beekeepers Association Best Management Practices. The Best Management Practices can be found at: <http://www.mass.gov/eea/docs/agr/programs/bmp/bee-bmps.pdf>.
- b. All bee colonies shall be kept in sound and usable condition.
- c. The apiary must be maintained in a clean and sanitary way that does not attract wildlife or pests.
- d. Hives shall be maintained so as to discourage robbing and swarming behaviors. The beekeeper shall ensure that no bee comb or other materials that might encourage robbing are left on the apiary site. Upon their removal from the hive, all such materials shall be promptly removed from the site and disposed of in a sealed container or placed within a building or other bee-proof enclosure.
- e. Where any colony exhibits unusually aggressive characteristics by stinging or attempting to sting without due provocation or exhibits other undesirable "colony temperament", the beekeeper shall immediately seek technical assistance in writing from the MA Dept. of Agricultural Resources Apiary Specialist and will abide by the recommendations of the Specialist, including requeening if necessary.
- f. Dead outs shall be removed expeditiously.
- g. All supers on conservation land must be actively in use in direct support of a living colony. Storage of empty supers and other equipment on conservation land is prohibited.

## 11. Education and Community Awareness. Much of the information on the internet about beekeeping is inconsistent with best practices, incorrect, or not applicable in New England. Be part of the solution!

- a. All beekeepers, especially new hobbyists, are encouraged to contact the Middlesex County Beekeepers Association for guidance and partnership with a local mentor. <http://middlesexbeekeepers.org/>
- a. Take advantage of educational opportunities in beekeeping. The Middlesex County Beekeepers Association and Newton Community Education offer classes periodically.
- b. Inform others about the rewards of beekeeping and the behavior of domesticated honeybees. Promote awareness of all pollinators by engaging with such organizations as the Newton Conservators.

## 12. Prohibitions: The keeping by any person(s) of bee colonies on conservation land in the city, not in strict compliance with these guidelines is prohibited. Any bee colony not residing in a hive structure intended for beekeeping, or any swarm of bees, or any colony residing in a standard or homemade hive which, by virtue of its condition, has obviously been abandoned by the beekeeper, may be summarily destroyed or removed by the Conservation Commission or designee.

### **Apiary with a Public Purpose**

A small apiary on public conservation land may provide ecological and educational benefits to the community without unduly competing with native pollinators; therefore, a two-hive hobbyist apiary on Conservation Land may be allowed as described above.

A Newton resident or group of Newton residents may wish to establish an apiary on Newton conservation land with a public purpose that is ecological, scientific, or educational. The density of such an apiary may be higher than is allowed for a hobbyist apiary, if persuasively justified by the beekeeper and licensed as such by the Commission. Location and density of the apiary will be clearly circumscribed. Such requests will be evaluated by the Conservation Commission on a case-by-case basis, and if approved, will be reviewed annually.



# CONSERVATION COMMISSION MINUTES

Date: August 5, 2021

Time: 7:00pm – 9:00pm

Place: This meeting was held as a virtual meeting via Zoom.

<https://us02web.zoom.us/j/86302451177>

**With a quorum present**, the meeting opened at 7:00pm with Susan Lunin presiding as Chair.

**Members Present:** Leigh Gilligan, Judy Hepburn, Ellen Katz, Kathy Cade, and Jeff Zabel.

**Members Absent:** Dan Green

**Staff Present:** Claire Rundelli

**Members of the Public:** not recorded due to remote nature of the meeting

## DECISIONS

### I. CONSERVATION AREA DECISIONS

#### 1. (7:00) Beekeeping Update and License Approval for Old Deer Park

- Documents Presented: Licenses for Old Deer Park and Norumbega, photos
- Presentation (Mark Lewis) and Discussion:
  - Mark provided an update on his current hive count – maintain 4 full size hives and 1 smaller hive.
  - Classroom hives to be restocked in the next few weeks include those at Emmanuel College, Boston ..., and Mission Hill Elementary School.
  - Mark has reached out to Newton Adult Education about developing curriculum for their students that involves his hives at the Old Deer Park. He and the president of Classroom Hives are also communicating with Newton South HS about getting some hives at that location, along with the students doing some research on competition between native honeybees versus European honeybees.
  - Mark has also been reaching out to experts in the field, including Dr. Geagar, regarding the issue of competition.
  - One Commissioner suggested moving the hives at the Old Deer Park to the Newton Community Farm, where there may be less of an issue with competition. Another Commissioner countered that they believe there are already established hives at the Community Farm. The current Commission liaison with the Farm Commission could not confirm.
  - Concerns were raised about bees at the Old Deer Park proving to be a safety issue once the park opens. Staff stated that they have had no issues with the bees in their numerous visits to this parcel.
  - Commissioners asked if Mark had plans to do any pollen collection or DNA analysis to provide further detail about where his bees are collecting from. Mark confirmed that he is doing honey analysis to provide further detail.
  - It was requested that Mark ensure all hives are appropriately raised 18" off the ground to ensure no issues with local wildlife. Mark confirmed that he would ensure this is the case with his hives.
  - Mark noted that he had forwarded sign language to staff for approval prior to installing. Staff had not received (issues between google docs and Outlook), but upon reviewing the language during the meeting both Commissioners and staff felt the language was appropriate.
  - Staff noted one requested edit to the license language regarding the timeline for removal of infrastructure upon termination of the license from 7 days to 21 days. Mark stated he has no issue with this change.
  - Staff informed the Commission that the Ohorilkos could not attend tonight due to some health issues, but that it is the understanding of staff that the hives at Norumbega will be removed prior to the expiration of the license currently before the Commission and will not be coming back for a renewal.



**Mayor**

Ruthanne Fuller

**Director**

**Planning &  
Development**  
Barney Heath

**Chief**

**Environmental  
Planner**  
Jennifer Steel

**Assistant**

**Environmental  
Planner**  
Claire Rundelli

**Conservation  
Commission  
Members**

Kathy Cade  
Dan Green  
Judy Hepburn  
Ellen Katz  
Susan Lunin  
Jeff Zabel  
Leigh Gilligan

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- Votes: To sign the 1-year licenses for the Old Deer Park, as edited, and Norumbega. [Motion (Deer Park): Leigh Gilligan; Second: Kathy Cade; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0] [Motion (Norumbega): Kathy Cade; Second: Jeff Zabel; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (abstain), Zabel (aye), Lunin (aye); Vote 5:0:1]

## II. WETLANDS DECISIONS

### 2. (7:15) 160 Pine Street – cont’d NOI – retaining wall replacement – DEP File #239-898

- Owner/Applicant: David Altman, Advantage Property Management Representative: Eric DeNardo, Environmental Strategies and Management, Inc.
- Request: Issue an OOC.
- Documents Presented: Colored plans, seed mix detail, site photos, draft OOC
- Jurisdiction: Buffer Zone, City Floodplain
- Project Summary
  - Replace an existing, failing wooden retaining wall with a Redi-Rock retaining wall (roughly 41 inches thick). The wall will be 4’ high for roughly 24’ feet and 7’ high for roughly 57’.
  - Erosion controls are proposed between the wall and the stream, along with additional tree protection for the twin black locust.
- Presentation (Eric Denardo) and Discussion
  - Provided a summary of the revisions done to the plans in response to staff comments including:
    - provided topography, details regarding the wall removal process, erosion controls, and stockpiling locations;
    - provided seed mix specifications (New England Wetland Plants Wetland Seed Mix); and
    - removed the note about catch-basin protection since there are no catch-basins in the vicinity.
  - The applicant’s representative stated that they did update the topography pulled from the Newton GIS to match with spot grades taken on site.
  - Commissioners asked if staff proposed any alternatives to the seed mix to restore areas between the stream and the wall, but because of the heavy canopy and root mass, staff feel that the seed mix is the appropriate choice and though the survival of it shouldn’t be conditioned.
- Vote: To close the hearing and issue an Order of Conditions with the following special conditions. [Motion: Leigh Gilligan; Second: Susan Lunin; Roll-call vote: Green (aye), Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]
  - Once a contractor is selected, a construction management plan designed to limit and control any adverse on the wetlands resource area(s) must be presented to the Conservation Commission for review and approval. At a minimum, it must address the following: staging for construction materials and equipment, site stability/erosion and siltation control, parking for construction workers’ vehicles, phasing of the project with anticipated completion dates and milestones, emergency contact personnel of the general contractor.
  - The applicant must schedule and attend a pre-construction site visit with the applicant, construction supervisor and Conservation agent.
  - Prohibitions include:
    - a. Damage to mature vegetation along the stream (as documented in pre-construction photos).
    - b. Litter left in the buffer zone or wetland.
  - If any trees within the wetland or buffer within the project area die within 2 years of the start of construction or have been demonstrably harmed by construction activities, they shall be replaced at a ratio of 2:1 with native canopy saplings (of roughly 2 caliper inches). Location of replacement saplings must be reviewed and approved by staff prior to planting.

### 3. (7:35) Charles River Lower Basin – NOI (cont’d) – vegetation management – DEP File #239-900

- Owner/Applicant: Mass. Department of Conservation and Recreation Representative: Keith Gazaille, SOLitude
- Request: Issue an OOC.
- Documents Presented: Plans, site photos, draft OOC
- Jurisdiction: BVW, Bank, LUWW
- Project Summary

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- Management of invasive species within the Charles River through herbicide (Sonar/fluridone and ProcellaCOR EC herbicide (florpyrauxifen-benzyl) along with hand-pulling of water chestnuts
- Conditional use of algaecides for the management of cyanobacteria, if necessary, in the event of a health hazard, if/as necessary following Commission review and approval.
- Conditional use of other herbicides if/as necessary following Commission review and approval.
- Presentation (Keith Gazaille and Anne Carroll (DCR)) and Discussion
  - A DEP file number has been received.
  - After a call with staff to discuss the “New Staff Comments,” the applicant did submit a revised narrative addressing all staff concerns.
  - The applicant’s representative ran through the additional edits that were submitted on 8/4/21.
    - The Commission must determine whether it should permit this as a Limited Project (does it qualify as “ecological restoration” and does it need to have performance standards “waived”) or can it be permitted under Land Under Wetlands and Waterbodies (since it seems to meet the performance standards).
      - DCR and SOLitude believe that this project does qualify as an ecological limited project and have filed under and received Ecological Restoration Orders for all other similar filings. DEP actually uphold that a similar project under appeal did qualify as ecological restoration.
    - Will there be hand-pulling of water chestnuts in Phase I? Water chestnuts are not shown on the Newton map or calendar.
      - Hand removal of water chestnut is to occur as plants are spotted. Based on 2019 surveys and reports from other parties, DCR/SOLitude does not expect more than a few hundred plants to be removed each season.
    - No water quality monitoring information was given in the new narrative, so the Commission may be left to condition this.
      - DMF requires monitoring for the project should work occur outside of the time of year restrictions, that will require data on dissolved oxygen levels, pH, temperature, and turbidity. DCR/SOLitude has no issues with these requirements.
    - No information on project monitoring or verification was provided in the revised narrative, so the Commission may be left to condition this.
      - SOLitude stated that DCR is committed to spot checking any pre-treatment and post-treatment survey. DCR will also conduct site inspections periodically, along with checking in with other stakeholders who perform regular visits to the River (e.g., CRWA).
    - No information on a pre-treatment survey report (to be provided to the Commission) was given in the new narrative, so the Commission may be left to condition this.
      - The project team apologized for not being clear enough on their commitment to provide the pre-treatment survey. DCR/SOLitude is committed to submitting this information prior to the end of June each year.
    - No information on how ProcellaCOR will be applied was given in the new narrative, so the Commission may be left to condition this.
      - SOLitude clarified that ProcellaCOR will be applied through subsurface injection, with treatment area, which are determined by the pre-treatment survey, polygons being loaded into a GPS unit which will communicate with the injection technology to dose the prescribed polygon.
    - Since a land-based long-term remote set-up for Sonar application has not been discussed with the Commission and is not detailed in the revised narrative, it should not be permitted under this Order.
      - SOLitude agrees that this is not planned, and this potential treatment method is retracted.
    - Water chestnuts were shown in the potential treatment area map of Newton and off-loading sites weren’t identified, so off-loading and dewatering should not be permitted in Newton.
      - As stated above, no dewatering or disposal is planned in Newton. All plants pulled will be pulled onto the boat being used and immediately trucked to an upload disposal site.
    - No details of a year-end report were provided in the revised narrative, so the Commission may be left to condition this.
      - The project team clarified that they will be doing a post-treatment survey and developing a year end report which will be submitted to the Commission prior to Dec. 31<sup>st</sup> of each year.

- Commissioner's asked what the stance of other communities involved in the project is on the issue of DCR standing in as project monitor. Staff clarified that Watertown staff have stated that their Commission is not overly concerned, but that Boston staff do have some potential concerns about DCR serving as the project monitor. Cambridge staff could not attend the call, so it is unclear what their stance on this issue is. Newton staff stated that the size of the area being treated is within reason for DCR staff to inspect, but that they understand the concerns about potential conflict of interest.
- Staff stated that should the Commission vote to close the hearing tonight,
- Commissioners asked what the Charles River Watershed Association thought about the issue of monitoring. Lisa Krumpf (CRWA) was on the call and stated that she agreed that monitoring in the Watertown and Newton portions is much less of a burden and that DCR would have the expertise to monitor these sections. Her only concern would be about the time and resources needed to inspect/monitor the Cambridge and Boston sections. DCR staff stated that their staff are incredibly well trained in identifying these species and that it is their mission to prevent the spread of aquatic invasives. DCR has never been asked to hire a 3<sup>rd</sup> party monitor on similar past projects, but it is their strong preference to not set the precedence to hire a 3<sup>rd</sup> party, which would add time and cost burden to the project.
- One Commissioner stated that while they understand the potential for a conflict of interest, they do feel that DCR serving as the monitor rolls into the agency's mission statement of protecting the recreational resources of the state. They are accountable to citizens of the commonwealth and to our Commission to be doing this kind of thing right. Another Commissioner stated that we should simply fall in line with Boston's preference for the project.
- DCR staff asked for clarification on what the concern is regarding DCR serving as monitor. Is it that DCR will miss a section of invasives, or that DCR will label an area incorrectly as invasive? Staff stated that their understanding of the concern is that there may be "overtreatment" of the area.
- Commissioners asked if any of the work done by SOLitude subcontracts any of this work? SOLitude stated that they do occasionally subcontract work. Commissioners stated that would be their concern, a miscommunication between parties that resulted in an inaccurate dose of herbicides. SOLitude clarified that while they sub out some portions of work, they do not ever sub out the application portion of the contract. DCR and SOLitude clarified that the budget for herbicide is set by the areas determined to need treatment in the pre-treatment survey, so SOLitude would be paying out of pocket for increased use of herbicides beyond that.
- Commissioners asked what intervals inspections would be occurring. DCR staff stated that they go out and do regular spot checks after vegetation surveys.
- Commissioners stated that while there is an opportunity for maleficence with any contract scenario, but they are confident in DCR monitoring the project, especially a project that is so needed. They stated that it must be clear what the Commission's concerns are regarding the monitoring, to ensure that it is outlined in the conditions why we are requiring whatever is determined to be the best solution.
- Staff clarified for the Commissioners the area that is being treated in Newton, and confirmed that no treatment is proposed west of the Watertown Dam.
- Staff ran through the proposed conditions with the Commission and the project team stated their acceptance of all listed special conditions. Staff did note that this language would be forwarded to the staff for the other Commissions involved in this project, to ensure there was similar language in their OOCs.
- Vote: To close the hearing and issue an Order of Conditions with the following special conditions. Final special condition language will be reviewed by the other communities affected by this project (Boston, Cambridge, and Watertown), and may be edited prior to the final issuance of the Order of Conditions. [Motion: Leigh Gilligan; Second: Susan Lunin; Roll-call vote: Green (aye), Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]
  - XX

**4. (8:15) 32 Placid Road – NOI – single-family home addition and new deck – DEP File #239-899**

- Owner/Applicant: Norma Garcia Representative: Timothy McGuire, Goddard Consulting, LLC
- Request: Issue an OOC.
- Documents Presented: Colored plans, site photos, draft OOC
- Jurisdiction: BLSF, City Floodplain
- Project Summary
  - Demolish existing porch on the side of the house.

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- Construct a single-story addition and new deck in the location of the porch to be removed.
  - No tree removal is proposed.
  - The project would result in 27.71 cubic feet of fill being brought on site and proposes to create 67.58 cubic feet of compensatory flood storage by providing a cut at the 118' elevation.
  - Presentation (Tim McGuire) and Discussion:
    - The applicant's representative provided a summary of the proposed work and the additional clarifications provided to staff after receiving the staff comments. They are amenable to additional plantings and the proposed lattice (photo provided) does meet the enclosure guidelines.
    - The project is creating a generous excess of compensatory storage.
    - Commissioners asked for clarification on the increase in impervious area. Staff clarified that there is an increase in impervious area proposed, but because the only jurisdiction is BLSF, there are no requirements for mitigation for impervious area increase and that the 10 shrubs proposed by staff should be appropriate mitigation for the wildlife habitat performance standard.
  - Vote: To close the hearing and issue an Order of Conditions with the following special conditions.[Motion: Leigh Gilligan; Second: Susan Lunin; Roll-call vote: Green (aye), Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]
    - The applicant must schedule and attend a pre-construction site visit with the applicant, construction supervisor and Conservation agent
    - Additional required plantings within Commission jurisdiction must:
      - a. Stabilize all disturbed areas.
      - b. Be installed in an area equal to the "exist plants" shown on the plans or ~288 s.f. and consist roughly 10 shrubs. Should any species differ from those listed below, they must be reviewed and approved by the Conservation office prior to installation.
      - c. Be comprised of a mix Dwarf Bush Honeysuckle (Diervilla lonicera), Sweet Pepperbush (Clethra alnifolia), and American holly (Ilex opaca).
      - d. Have a survival rate of 100% of total number of shrubs (after 2 growing seasons).
      - e. Mulch applications shall diminish over time and eventually cease as shrubs spread.
    - Compensatory flood storage must be provided in its entirety as per the plans, through grading cuts at the 118' counter line, under the proposed addition and deck. Any soil removed from the site must be disposed of properly off-site.
    - The required planting shall be maintained in perpetuity in their predominantly natural condition.
    - To maintain the flood storage capacity of the site, and to uphold DEP requirements for "unrestricted hydraulic connection", there shall be no enclosure of the structure other than the minimal skirting allowed under the Conservation Commission's guidelines for Construction in Flood Zone (approved 10/8/20).
- 5. (8:35) 96 Lake Avenue – teardown/rebuild single-family home – DEP File #239-XXX**
- Owner/Applicant: Tamar and Philip Warburg Representative: Dana Altobello, Merrill Engineers and Land Surveyors
  - Request: Issue an OOC.
  - Documents Presented: Colored plans, site photos, draft OOC
  - Jurisdiction: Buffer Zone, City Floodplain
  - Project Summary
    - Note: much of the site work is outside Commission jurisdiction.
    - Demolish existing single-family home, including driveway and rear patio.
    - Construct new single-family home with permeable paver driveway, concrete patio, paver patio, and stormwater systems. A very small increase in impervious area within the 100-foot buffer is proposed.
    - Replace back yard stone stair edging to provide safety.
    - Undertake repairs to stabilize the retaining wall that defines the bank of Crystal Lake
    - Removal of invasive shrubs is proposed. No trees are proposed to be removed within Commission jurisdiction.
    - Mitigation plantings are proposed close to the Lake and include 57 native shrubs and herbaceous plants.
  - Presentation (Dana Altobello) and Discussion
    - At the time of this meeting a DEP File number has not been issued and the hearing cannot be closed.

- The owner (Tamar Warburg) and project representative provided a summary of the proposed work and their intention to keep the site as natural as possible.
  - Tamar clarified that there are existing plastic pavers below the moss in the rear yard in a number of locations, which they plan to excavate. This is why the proposed patio near the pond edge was marked as “restore.”
  - The applicant did provide stabilization specifications for the proposed swale, including a seed mix detail and erosion control blanket specs, should the seed have trouble.
  - Commissioners asked for clarification on the proposed versus existing impervious area on the site within jurisdiction. Staff and the project team clarified that there is very little proposed new impervious area within jurisdiction. The pink area colored on the plan is meant to show the proposed transition between open area with walkway to house.
  - The project is within a historic jurisdiction and is going back before the Historic Commission later in August to get approval for the proposed design.
- Vote: Vote to continue the hearing to 8/26/21 to allow for the issuance of a DEP File number. [Motion: Ellen Katz; Second: Jeff Zabel; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]

**6. (9:00) 64 Selwyn Road – COC Request – addition to SFH – DEP #239-792**

- Owner: Shachar Rabbe Representative: none
- Request: Issue COC.
- Documents Presented: none
- Discussion: All required COC materials have been received and a site visit on 7/19/21 confirmed the site is in substantial compliance.
- Vote: To issue a Certificate of Compliance. [Motion: Kathy Cade; Second: Judy Hepburn; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]

**7. (9:05) 144 Upland Avenue – COC Request – new deck – DEP #239-480**

- Owner: Marc Abend Representative: none
- Request: Issue COC.
- Documents Presented: none
- Discussion: All required COC materials have been received and a site visit on 7/21/21 confirmed the site is in substantial compliance.
- Vote: To issue a Certificate of Compliance. [Motion: Leigh Gilligan; Second: Jeff Zabel; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]

**8. (9:10) 20 Rogers Street (Crystal Lake) – COC Request – Left Beach restoration work – DEP #239-897**

- Owner: City of Newton Representative: Luis Perez Demorizi, Parks, Recreation and Culture
- Request: Issue COC.
- Documents Presented: none
- Presentation: All required COC materials have been received and a site visit on 7/28/21 confirmed the site is in substantial compliance. [Motion: Leigh Gilligan; Second: Judy Hepburn; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]
- Staff Recommendations: Vote to issue a Certificate of Compliance.

**II. CONSERVATION AREA DECISIONS – None at this time.**

**III. ADMINISTRATIVE DECISIONS**

**9. (9:20) Minutes of 7/15/21 to be approved**

- Documents Presented: Draft 7/15/21 minutes
- Vote: To accept the 7/15/21 minutes as edited. [Motion: Ellen Katz; Second: Jeff Zabel; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]

**IV. ISSUES AROUND TOWN DECISIONS – None at this time.**

**UPDATES**

**V. WETLANDS UPDATES**

- 10 Gambier: Knotweed management is going well!

The location of this meeting/event is wheelchair accessible and Reasonable Accommodations will be provided to persons with disabilities who require assistance. If you need a Reasonable Accommodation, please contact the city of Newton’s ADA/Section 504 Coordinator, Jini Fairley, at least two business days in advance (2 weeks for ASL or CART) of the meeting/event: [jfairley@newtonma.gov](mailto:jfairley@newtonma.gov) or (617) 796-1253. The city’s TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

**VI. CONSERVATION AREA UPDATES**

- Riverwalk bike rack: No word from the Eagle Scout who had been interested in installing a bike rack.
- 628 Boylston St: A historic encroachment was discovered onto Oakdale Woods Conservation Area. Staff are working with the homeowner to restore the encroachment area and roughly mark the property line. Commissioners suggested Comptonia if additional plantings are needed.

**VII. ISSUES AROUND TOWN UPDATES**

**VIII. ADMINISTRATIVE UPDATES**

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***OTHER TOPICS NOT REASONABLY ANTICIPATED BY THE CHAIR 48 HOURS BEFORE THE MEETING***

**ADJOURN** at 9:00pm [Motion: Ellen Katz; Second: Kathy Cade; Roll-call vote: Hepburn (aye), Cade (aye), Gilligan (aye), Katz (aye), Zabel (aye), Lunin (aye); Vote 6:0:0]