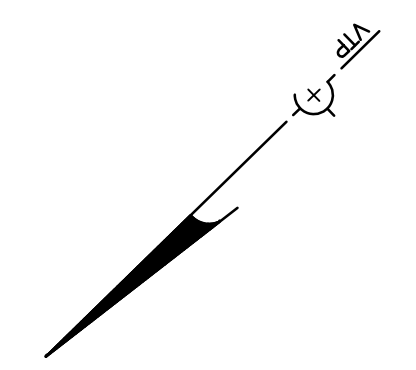


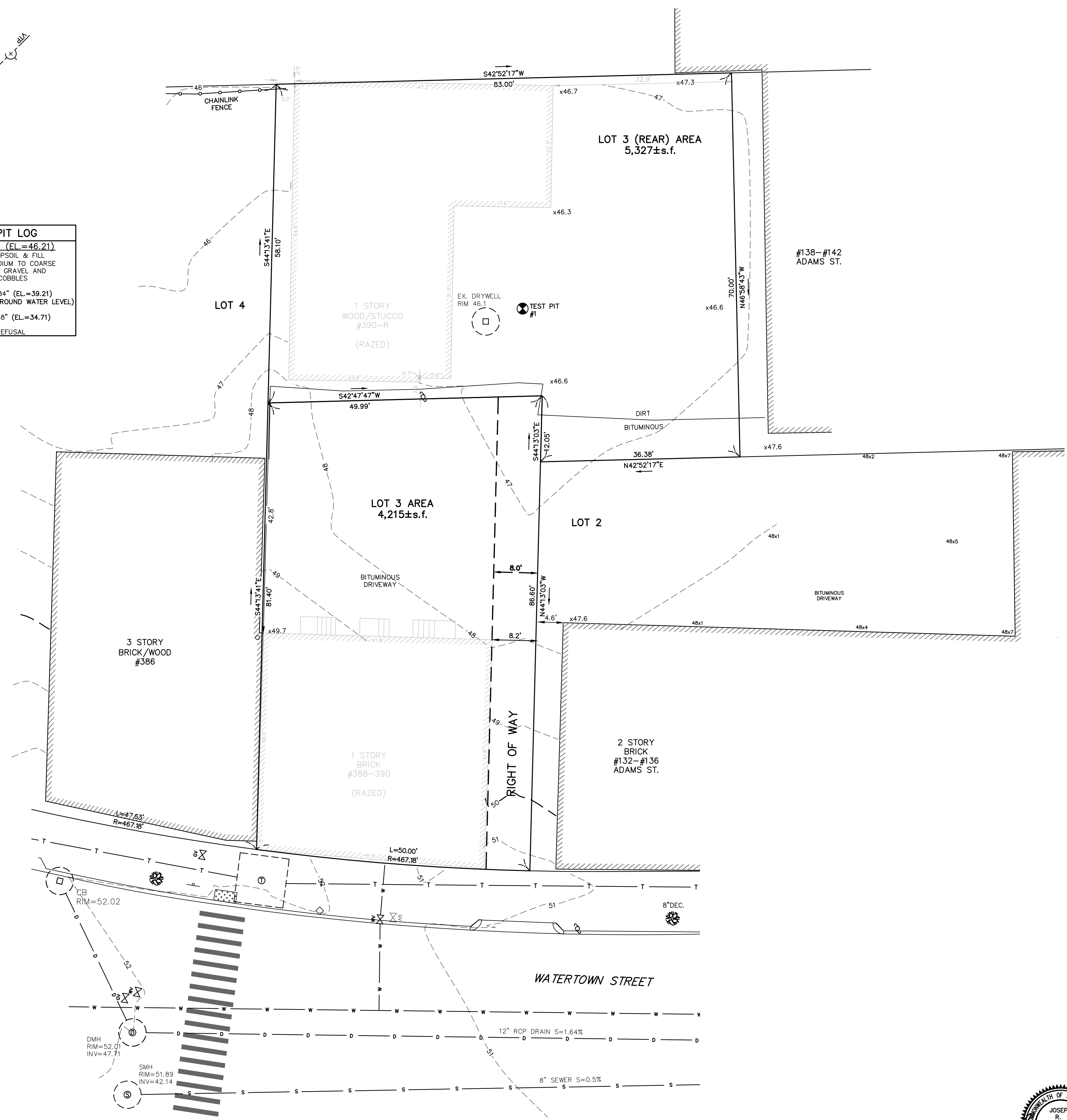
216101\_003.dwg (2-2016)

**LEGEND**

- BUILDING
- PROPERTY LINE W/ BEARING DISTANCE
- CONTOUR
- STOCKADE FENCE
- CHAINLINK FENCE
- PICKET FENCE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- GAS VALVE
- WATER VALVE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- LIGHT POLE
- DECIDUOUS TREE DEC. 22'
- CONIFEROUS TREE CON. 12'
- FIRE HYDRANT



**TESTPIT LOG**  
**TEST PIT #1 (EL.=46.21)**  
 0'-48" TOPSOIL & FILL  
 48"-144" MEDIUM TO COARSE SAND WITH GRAVEL AND FEW COBBLES  
 WEEPING @ 84" (EL.=39.21) (SEASONAL HIGH GROUND WATER LEVEL)  
 WATER @ 138" (EL.=34.71)  
 NO REFUSAL

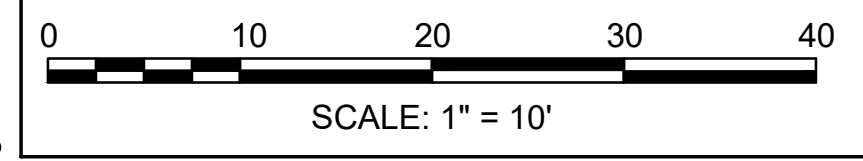
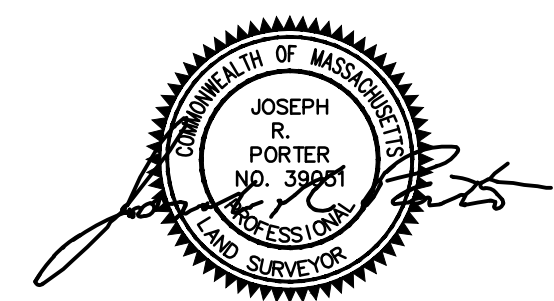


ZONING CHART		
NEWTON, MASSACHUSETTS		
REGULATION	REQUIRED	EXISTING
LOT AREA (MIN.)	10,000s.f.	9,542s.f.
LOT AREA PER UNIT (MIN.)	1,200s.f.	N/A
FRONT SETBACK	AVERAGE (0')	0'
SIDE SETBACK (LEFT)	1/2 BLDG. HT. OR EQUAL TO ABUTTING SIDE YARD SETBACK	0'
SIDE SETBACK (RIGHT)	1/2 BLDG. HT. OR EQUAL TO ABUTTING SIDE YARD SETBACK	8.2'
REAR SETBACK	0'	0.3'
BUILDING HEIGHT (MAX.)	36'	-
AVERAGE GRADE	-	-
LOT COVERAGE	NONE	N/A
OPEN SPACE	NONE	N/A

\* DOES NOT MEET THE REQUIREMENTS

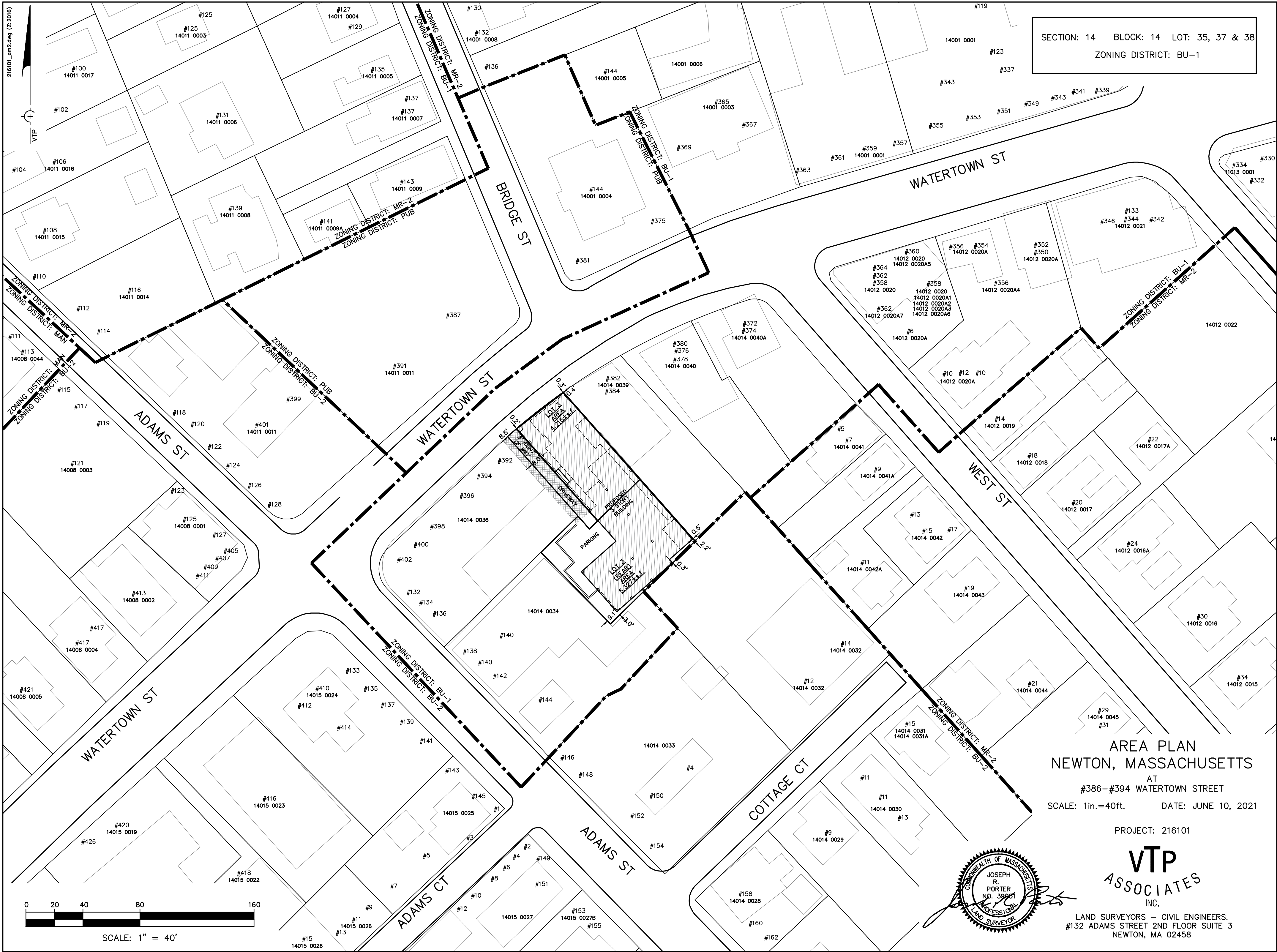
**TOPOGRAPHIC SITE PLAN**  
**NEWTON, MASSACHUSETTS**  
 SHOWING EXISTING CONDITIONS AT  
 #386-#394 WATERTOWN STREET  
 SCALE: 1in.=10ft. DATE: FEBRUARY 22, 2016  
 REVISED: FEBRUARY 1, 2021

PROJECT: 216101  
**VTP**  
**ASSOCIATES**  
 INC.  
 LAND SURVEYORS - CIVIL ENGINEERS.  
 132 ADAMS STREET 2ND FLOOR SUITE 3  
 NEWTON, MA 02458  
 (617) 332-8271  
 SHEET 1 OF 1

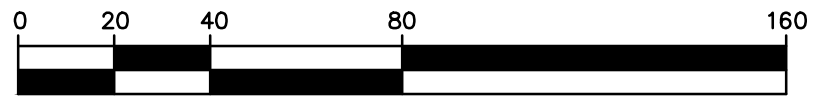


© 2020 VTP ASSOCIATES, INC.

SECTION: 14 BLOCK: 14 LOT: 35, 37 & 38  
ZONING DISTRICT: BU-1



© 2020 VTP ASSOCIATES, INC.



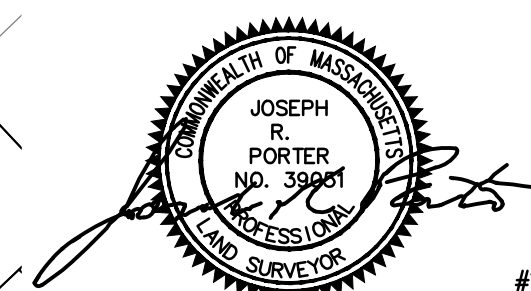
SCALE: 1" = 40'

AREA PLAN  
NEWTON, MASSACHUSETTS  
AT  
#386-#394 WATERTOWN STREET  
SCALE: 1in.=40ft. DATE: JUNE 10, 2021

PROJECT: 216101

**VTP**  
ASSOCIATES  
INC.

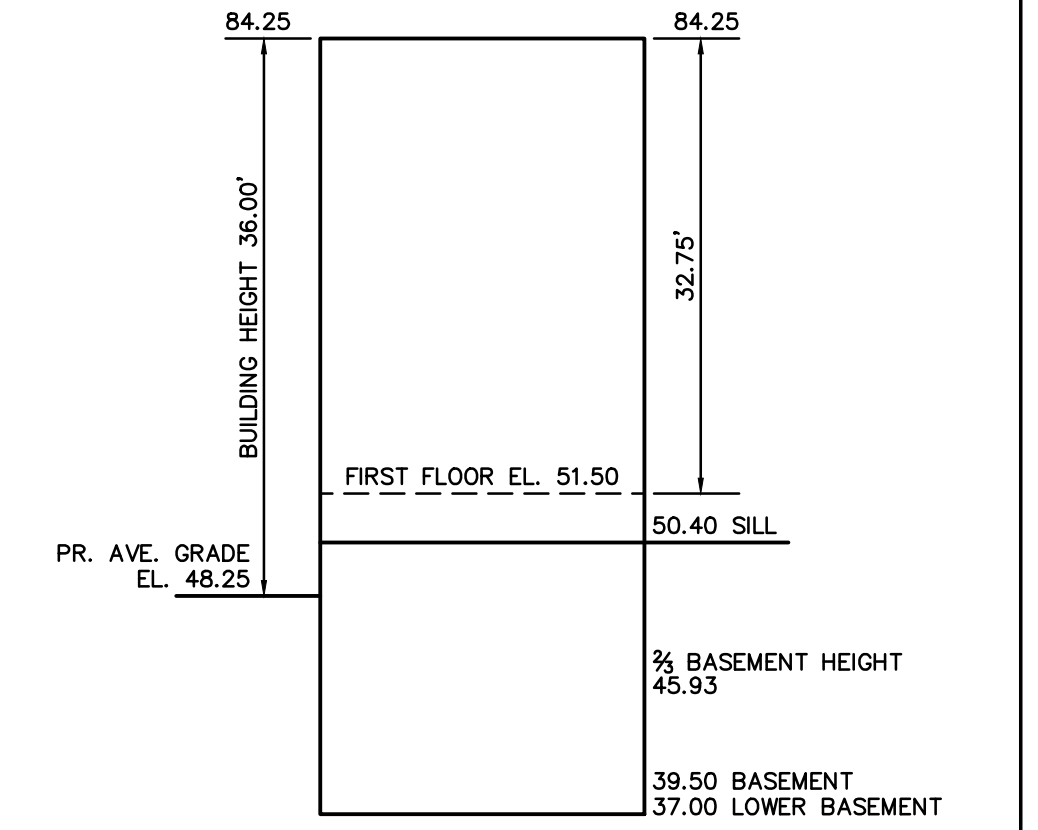
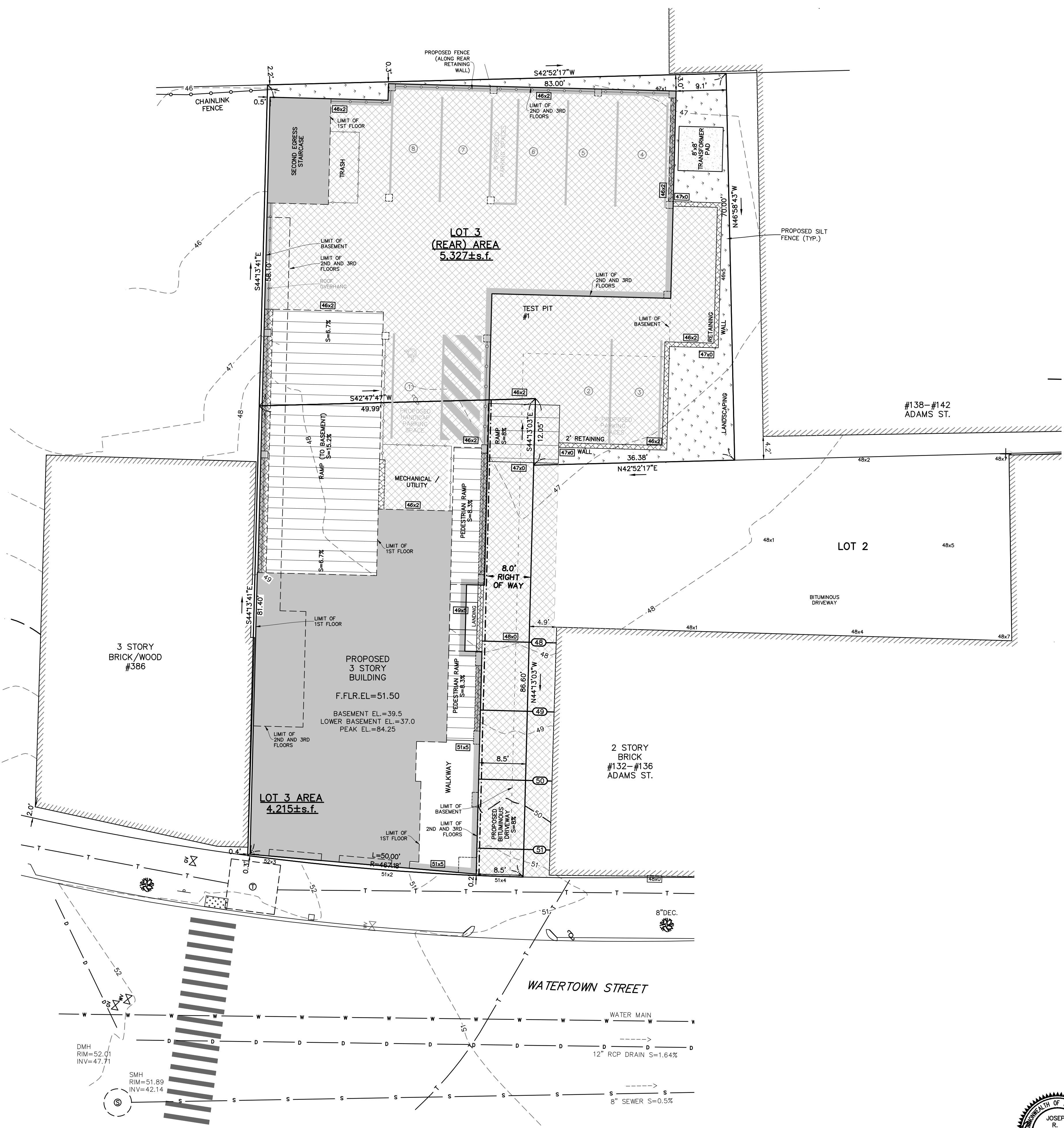
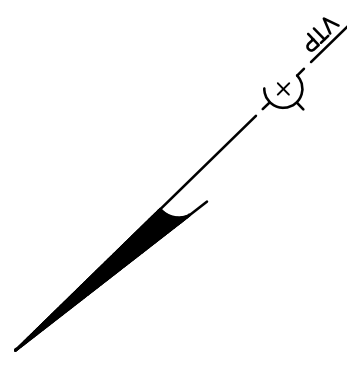
LAND SURVEYORS - CIVIL ENGINEERS.  
#132 ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458



216101\_3p3.dwg (2-2016)

**LEGEND**

EXISTING BUILDING	
PROPOSED BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	
CONTOUR	
EXISTING SPOT GRADE	
PROPOSED SPOT GRADE	
RETAINING WALL	
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	
DRAIN LINE	
WATER LINE	
GAS LINE	
WATER/GAS VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY/LIGHT POLE	
DECIDUOUS TREE	
CONIFEROUS TREE	
FIRE HYDRANT	



**Length Weighted Mean Proposed Conditions Average Grade Calculation**

A Segment	B Length Of Segment in Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	41.10	52.11	51.36	51.74	2126.31 Sq. Ft.
	42.17	51.40	48.00	49.70	2095.85 Sq. Ft.
2	32.50	48.00	48.00	48.00	1560.00 Sq. Ft.
	22.67	48.00	46.17	47.09	1067.42 Sq. Ft.
9	7.65	46.16	46.16	46.16	353.12 Sq. Ft.
	32.20	46.16	46.16	46.16	1486.35 Sq. Ft.
7	17.32	46.16	46.16	46.16	799.49 Sq. Ft.
	19.87	47.00	47.00	47.00	933.89 Sq. Ft.
10	52.30	47.00	46.00	46.50	2431.95 Sq. Ft.
	20.50	46.00	45.70	45.85	939.93 Sq. Ft.
12	137.05	52.31	45.89	49.10	6729.16 Sq. Ft.
	<b>Total</b>	<b>425.33</b>			<b>20523.46 Sq. Ft.</b>

Total Column F / Total Column B = Average Grade  
**Average Grade: 48.25'**

**ZONING CHART**  
NEWTON, MASSACHUSETTS

ZONE: BU-1 SUBMISSION: SPECIAL PERMIT

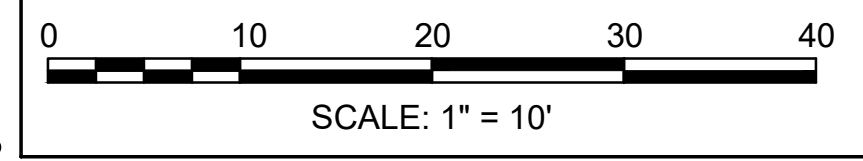
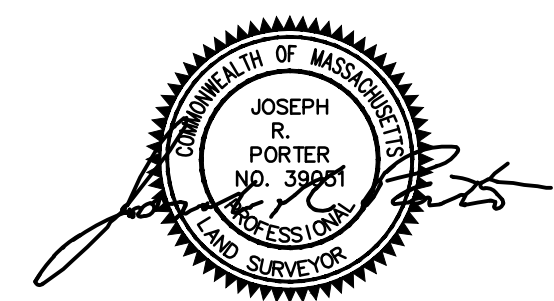
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	10,000s.f.	9,542s.f.	9,542s.f.
LOT AREA PER UNIT (MIN.)	1,200s.f.	N/A	954.2s.f. *
FRONT SETBACK	AVERAGE (0')	0'	0.2'
SIDE SETBACK (LEFT)	1/2 BLDG. HT. OR EQUAL TO ABUTTING SIDE YARD SETBACK	0'	0.4'
SIDE SETBACK (RIGHT)	1/2 BLDG. HT. OR EQUAL TO ABUTTING SIDE YARD SETBACK	8.2'	8.5'
REAR SETBACK	0'	0.3'	0.3'
BUILDING HEIGHT (MAX.) 3 STORIES	36'	-	36.0'
AVERAGE GRADE	-	-	48.25
LOT COVERAGE	NONE	N/A	N/A
OPEN SPACE	NONE	N/A	N/A

\* DOES NOT MEET THE REQUIREMENTS

**ZONING PLAN**  
NEWTON, MASSACHUSETTS  
SHOWING PROPOSED CONDITIONS AT  
#386-#394 WATERTOWN STREET  
SCALE: 1in.=10ft. DATE: JUNE 10, 2021

PROJECT: 216101  
**VTP ASSOCIATES INC.**

LAND SURVEYORS - CIVIL ENGINEERS.  
132 ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
(617) 332-8271

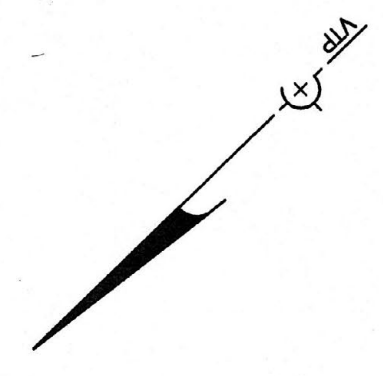


© 2020 VTP ASSOCIATES, INC.

216101\_03.dwg (2:2016)

**LEGEND**

- EXISTING BUILDING
- PROPOSED BUILDING
- PROPERTY LINE W/ BEARING DISTANCE
- CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- RETAINING WALL
- STOCKADE FENCE
- CHAINLINK FENCE
- PICKET FENCE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- WATER/GAS VALVE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- UTILITY/LIGHT POLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- FIRE HYDRANT



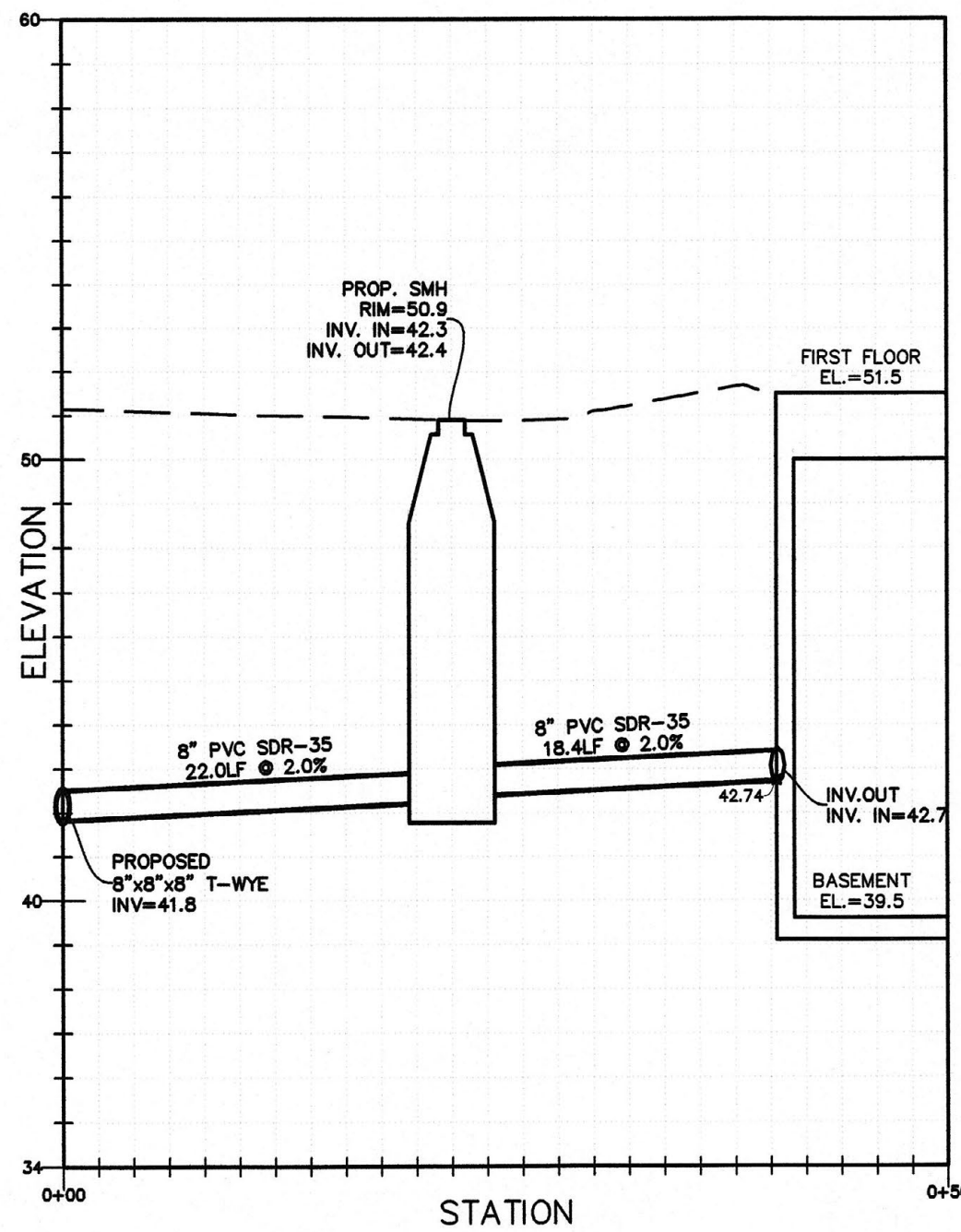
**TESTPIT LOG**

TEST PIT 1 (EL.=46.21)  
 0'-48" TOPSOIL & FILL  
 48"-144" MEDIUM TO COARSE SAND WITH GRAVEL AND FEW COBBLES

WEEPING @ 64" (EL.=39.21)  
 (SEASONAL HIGH GROUND WATER LEVEL)

WATER @ 138" (EL.=34.71)  
 NO REFUSAL

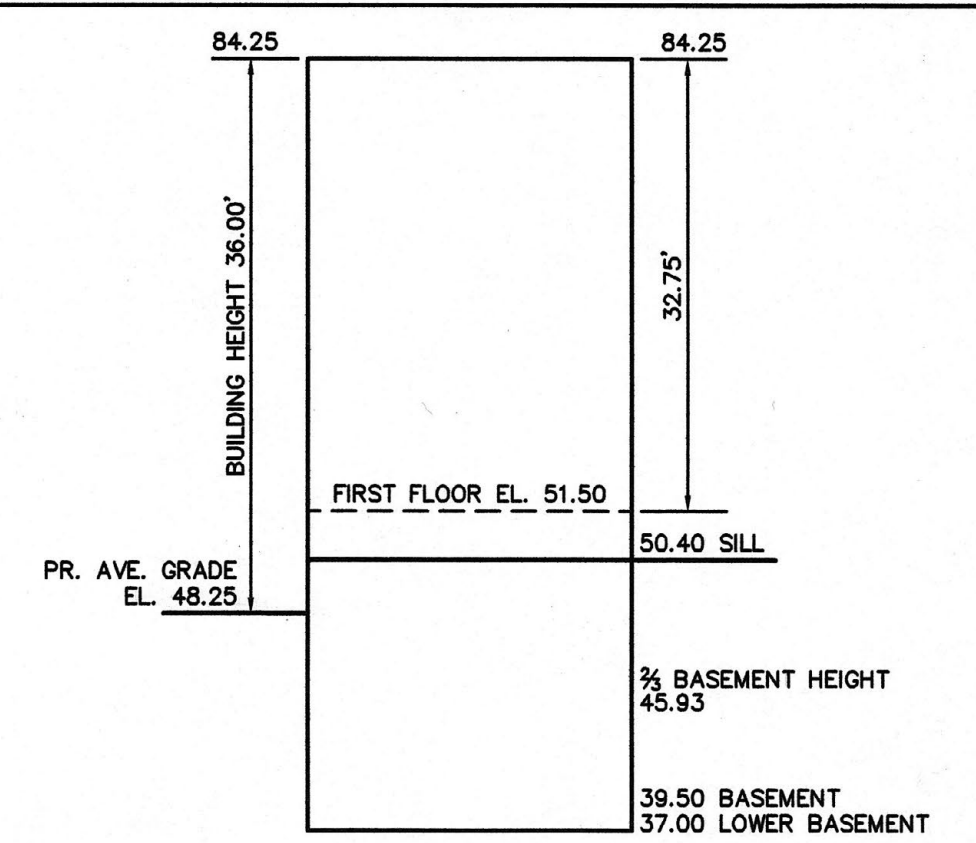
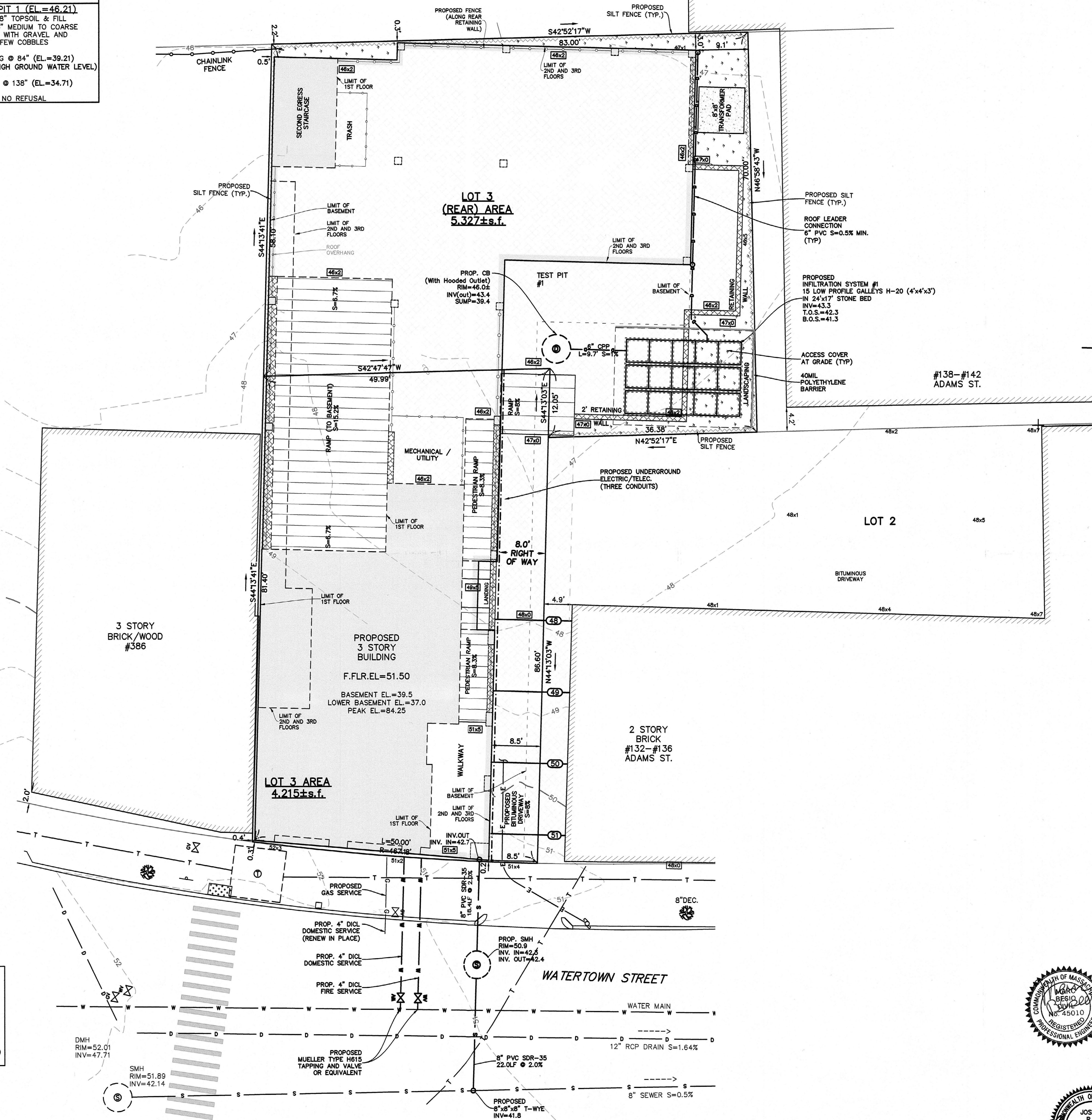
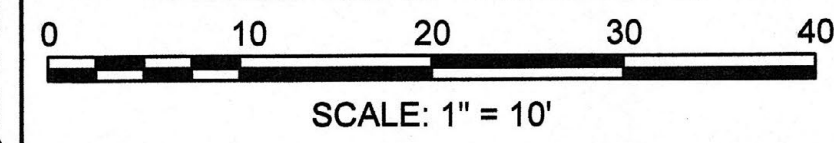
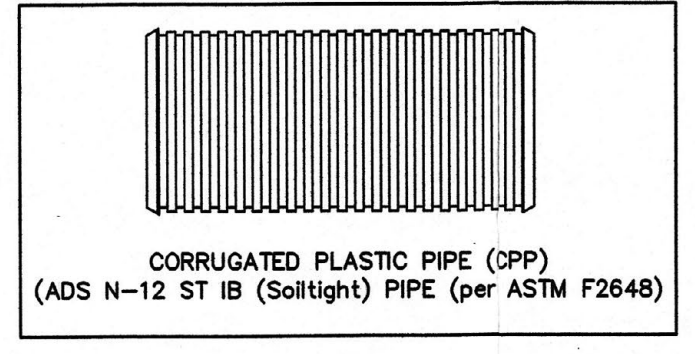
- NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN. PRIOR TO ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.
  2. THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND GOVERNMENT AGENCIES.
  3. ALL THE PROPOSED DOWNSPOUT TO CONNECT INTO INSIDE INFILTRATION SYSTEMS.



**PROPOSED SEWER PROFILE**  
 SCALE: 1" = 10' (HORIZONTAL)  
 SCALE: 1" = 4' (VERTICAL)

**DIG SAFE**

EXCAVATORS  
 BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-344-7233. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY.



**Length Weighted Mean Proposed Conditions Average Grade Calculation**

A Segment	B Length Of Segment In Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E E=(C+D)/2 Average Segment Height	F F=BxE
1	41.10	52.11	51.36	51.74	2126.31 Sq. Ft.
2	42.17	51.40	48.00	49.70	2095.85 Sq. Ft.
	32.50	48.00	48.00	48.00	1560.00 Sq. Ft.
9	22.67	48.00	46.17	47.09	1067.42 Sq. Ft.
	7.65	46.16	46.16	46.16	353.12 Sq. Ft.
7	32.20	46.16	46.16	46.16	1486.35 Sq. Ft.
	17.32	46.16	46.16	46.16	799.49 Sq. Ft.
8	19.87	47.00	47.00	47.00	933.99 Sq. Ft.
	52.30	47.00	46.00	46.50	2431.95 Sq. Ft.
11	20.50	46.00	45.70	45.85	939.63 Sq. Ft.
	137.05	52.31	45.88	49.10	6729.16 Sq. Ft.
<b>Total</b>	<b>425.33</b>				<b>20523.46 Sq. Ft.</b>

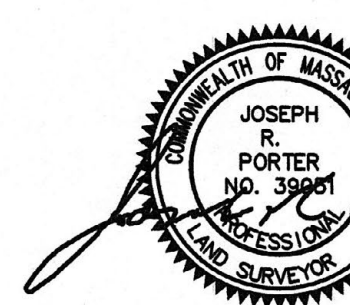
Total Column F / Total Column B = Average Grade  
**Average Grade: 48.25'**

**ZONING CHART**  
 NEWTON, MASSACHUSETTS

ZONE: BU-1 SUBMISSION: SPECIAL PERMIT			
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	10,000s.f.	9,542s.f.	9,542s.f.
LOT AREA PER UNIT (MIN.)	1,200s.f.	N/A	954.2s.f. *
FRONT SETBACK	AVERAGE (0')	0'	0.2'
SIDE SETBACK (LEFT)	1/2 BLDG. HT. OR EQUAL TO ABUTTING SIDE YARD SETBACK	0'	0.4'
SIDE SETBACK (RIGHT)	1/2 BLDG. HT. OR EQUAL TO ABUTTING SIDE YARD SETBACK	8.2'	8.5'
REAR SETBACK	0'	0.3'	0.3'
BUILDING HEIGHT (MAX.)	36'	-	36.0'
AVERAGE GRADE	-	-	48.25
LOT COVERAGE	NONE	N/A	N/A
OPEN SPACE	NONE	N/A	N/A

\* DOES NOT MEET THE REQUIREMENTS

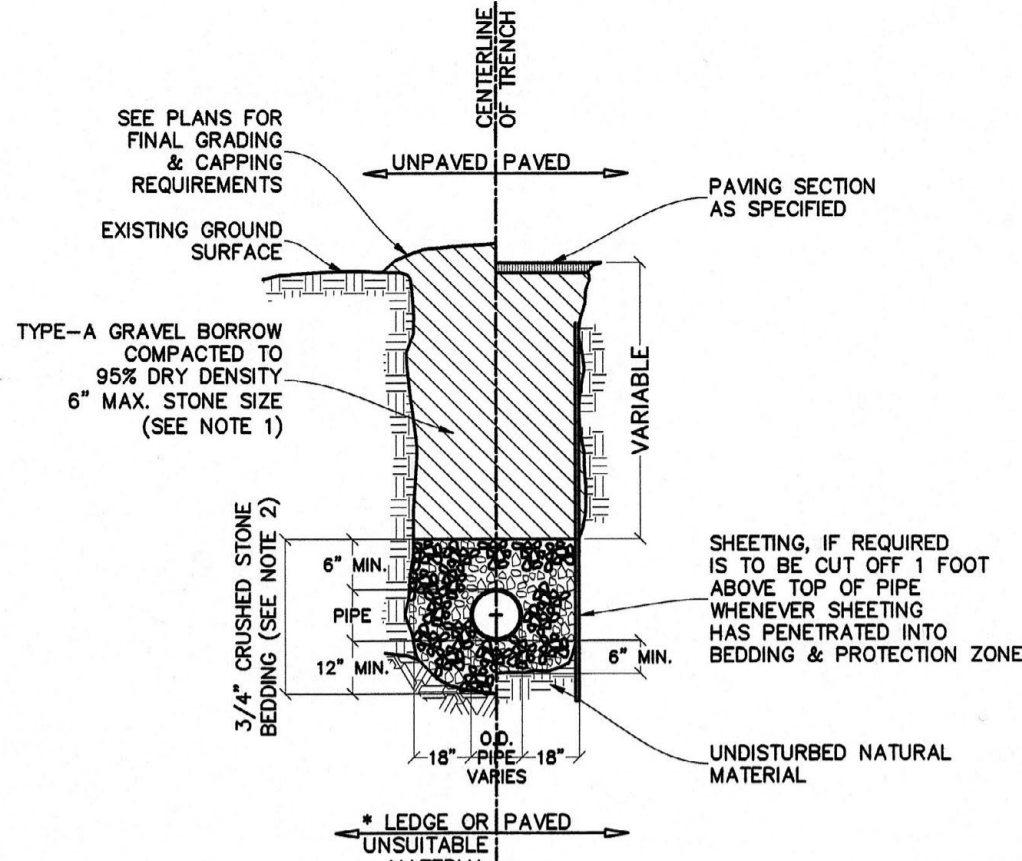
**TOPOGRAPHIC SITE PLAN**  
 NEWTON, MASSACHUSETTS  
 SHOWING PROPOSED CONDITIONS AT  
 #386-#394 WATERTOWN STREET  
 SCALE: 1/4"=10ft. DATE: JUNE 9, 2021



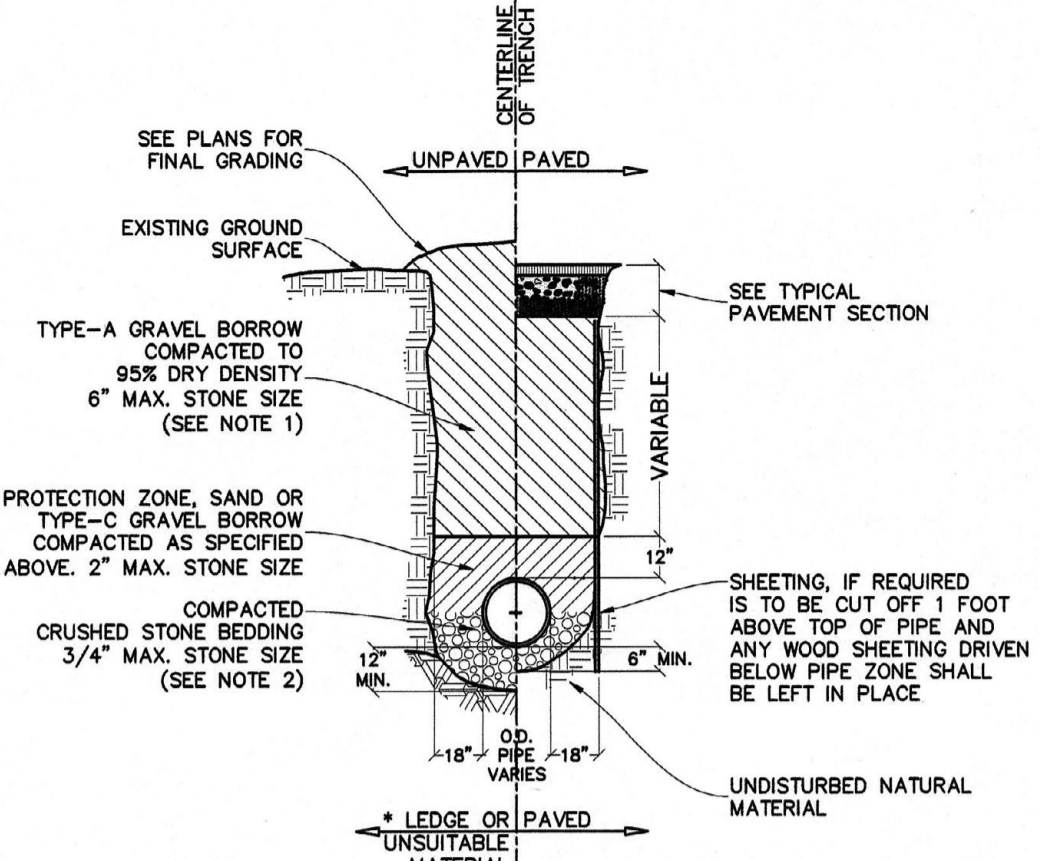
PROJECT: 216101  
**VTP ASSOCIATES INC.**  
 LAND SURVEYORS - CIVIL ENGINEERS.  
 132 ADAMS STREET 2ND FLOOR SUITE 3  
 NEWTON, MA 02458  
 (617) 332-8271  
 SHEET 1 OF 2

GENERAL & UTILITIES NOTES:

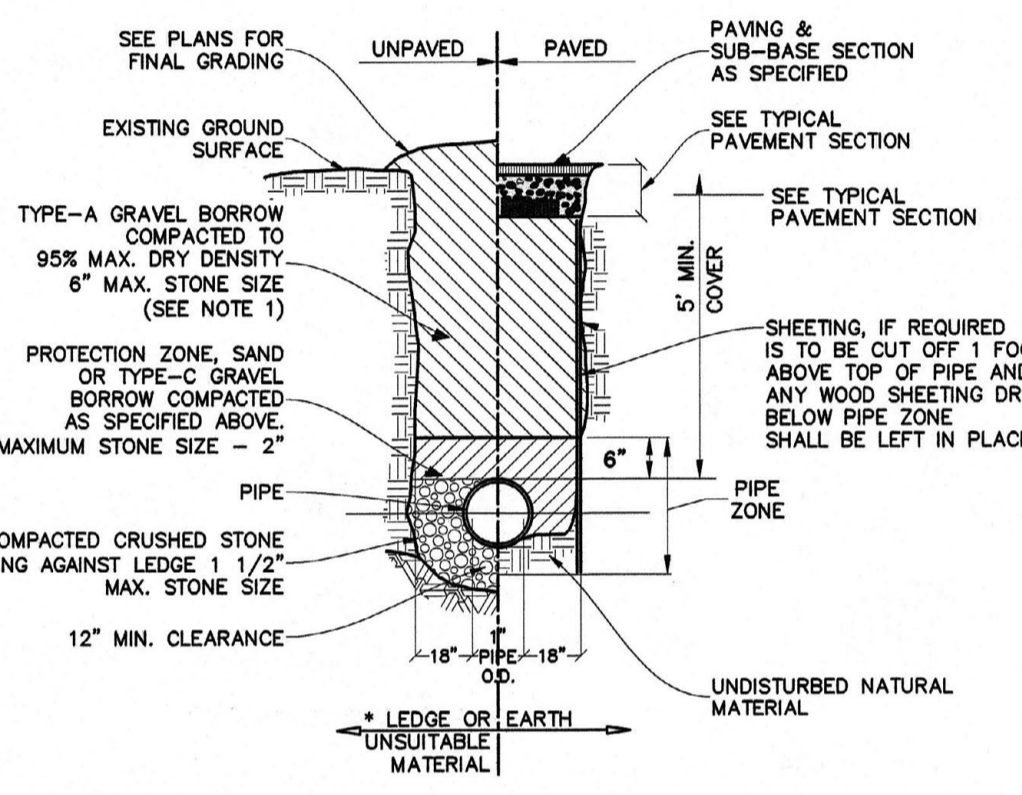
1. ALL NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEO TAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS RECEIVED BY THE CITY ENGINEER.
2. THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. FAILING TO HAVE THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.
3. AS OF MARCH 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 23A, TRENCH EXCAVATION SAFETY REQUIREMENTS. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES, AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IS QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACKFILLING SHALL ONLY TAKE PLACE WHEN THE CITY'S INSPECTOR HAS GIVEN THEIR APPROVAL.
5. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING, AND UTILITIES CONNECTING PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
6. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES ANY EASEMENTS AND FINAL GRADING, IMPROVEMENTS AND LIMITS OF RESTORATION WORK. THE PLAN SHALL ALSO INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES, INDICATING RIM & INVERT ELEVATIONS, SLOPES OF PIPES, PIPE MATERIAL, AND SWING TIES FROM PERMANENT BUILDING CORNERS.
7. NO EXCAVATION IS ALLOWED WITHIN ANY CITY RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY DPW COMMISSIONER VIA THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. APPLICANT OR APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
8. ALL SITE WORK INCLUDING TRENCH RESTORATION MUST BE COMPLETED BEFORE A CERTIFICATION OF OCCUPANCY IS ISSUED.
9. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, UTILITY CONNECTION AND TRENCH PERMITS AS WELL AS AN INSTALL CURB & SIDEWALK PERMIT WITH THE DPW PRIOR TO START OF WORK.
10. WITH THE EXCEPTION OF GAS SERVICES, ALL UTILITY TRENCHES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
11. APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONABILITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
12. ALL SILTATION CONTROL SYSTEMS SHALL BE INSTALLED AND INSPECTED BY THE CONSERVATION COMMISSION AGENT(S) PRIOR TO ANY CONSTRUCTION.
13. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO DRAINAGE, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES, ETC. ENGINEER OF RECORD MUST ALSO CONDUCT BOTTOM OF HOLE INSPECTION(S) PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED.
14. PRIOR TO THE ENGINEERING DIVISION RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED, AN AS-BUILT PLAN MUST BE SUBMITTED. THE AS-BUILT PLAN MUST SHOW DIMENSIONAL TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED, AND DATED BY THE ENGINEER OF RECORD.
15. FIVE YEAR MORATORIUM - IF AT TIME OF CONSTRUCTION THE ROADWAY IS UNDER A 5-YEAR MORATORIUM, THE ROADWAY MUST BE MILLED AND PAVED GUTTER-TO-GUTTER FOR A DISTANCE OF 25 FEET IN EACH DIRECTION FROM THE OUTERMOST TRENCHES
16. ALL WORK MUST BE DONE IN ACCORDANCE WITH CITY OF NEWTON STANDARD SPECIFICATIONS AND CITY OF NEWTON CONSTRUCTION DETAILS, COPIES OF WHICH MAY BE OBTAINED AT THE ENGINEERING OFFICE. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF NEWTON ENGINEERING DEPARTMENT.
17. PER CITY OF NEWTON ORDINANCE NO. 8-42, COUNCIL ITEM #201-19, BUILDING SEWER, WATER SERVICE PIPE AND SIDEWALK/CURB REPLACEMENT ORDINANCE, THE APPLICANT IS REQUIRED TO INSTALL/REPLACE SIDEWALK AND CURB ALONG THE ENTIRE FRONTAGE. THIS SHALL INCLUDE APPROPRIATE TRANSITION TO ADJOINING CURBS AND WALKWAYS, INCLUDING ACCESSIBLE CURB CUTS AND OTHER ACCESS AS REQUIRED. THE ENGINEERING CONSTRUCTION INSPECTOR MAKES A DETERMINATION, BASED ON THE MATERIAL AND MANNER OF CONSTRUCTION OF THE EXISTING SIDEWALK AND CURB, THAT THE EXISTING SIDEWALK AND CURB HAS THE ABILITY TO BE RE-SET OR REUSED WITHOUT REPLACEMENT.



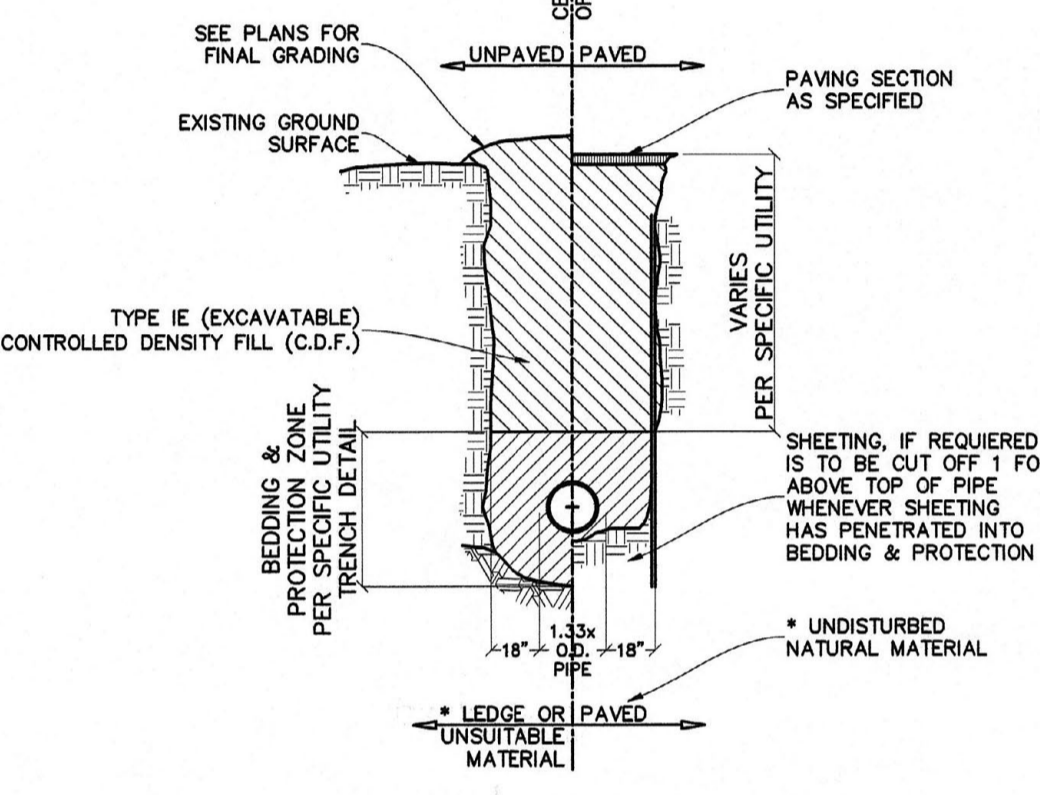
**GRAVITY SEWER TRENCH DETAIL**  
NOT TO SCALE



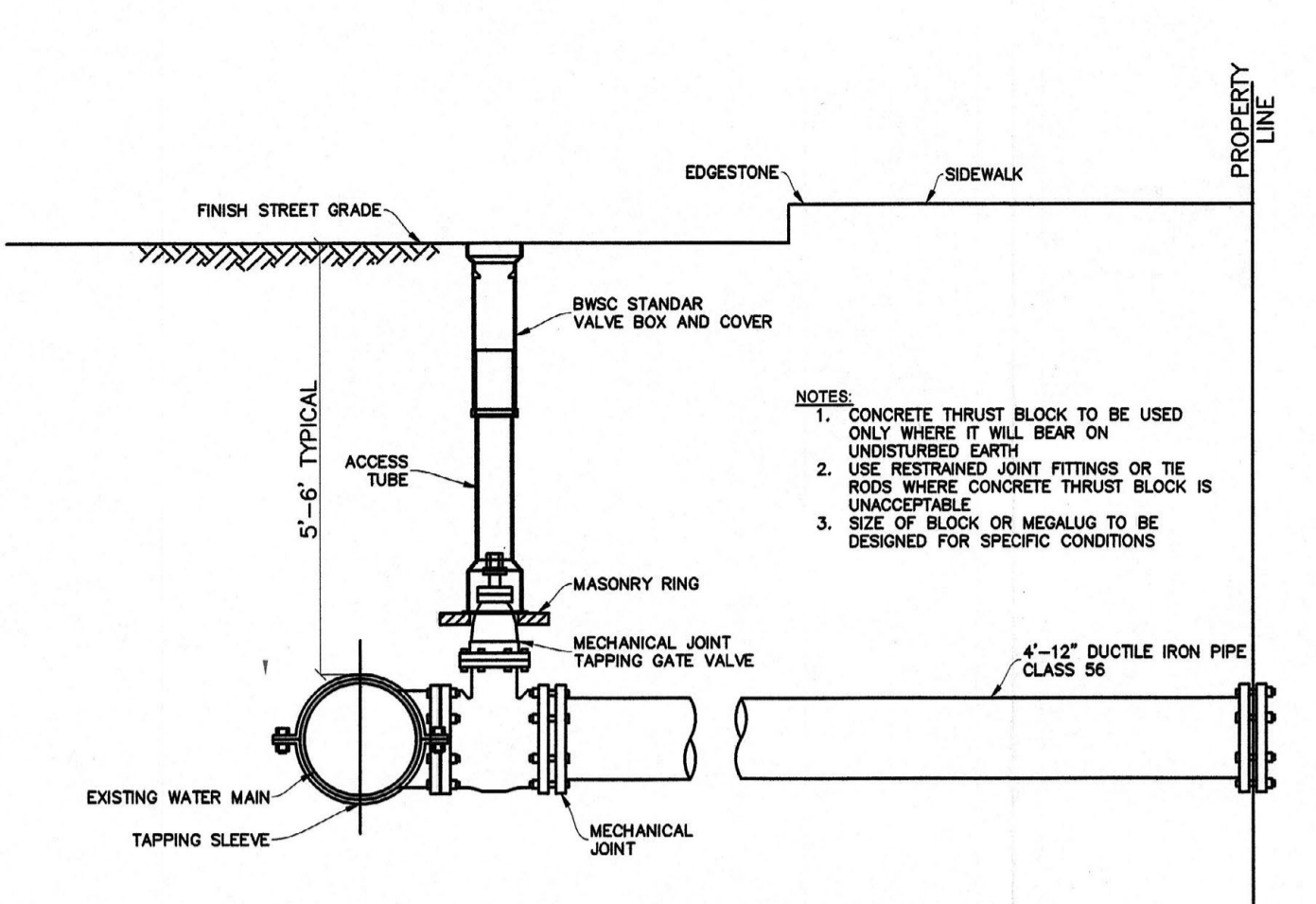
**P.V.C. DRAIN TRENCH DETAIL**  
NOT TO SCALE



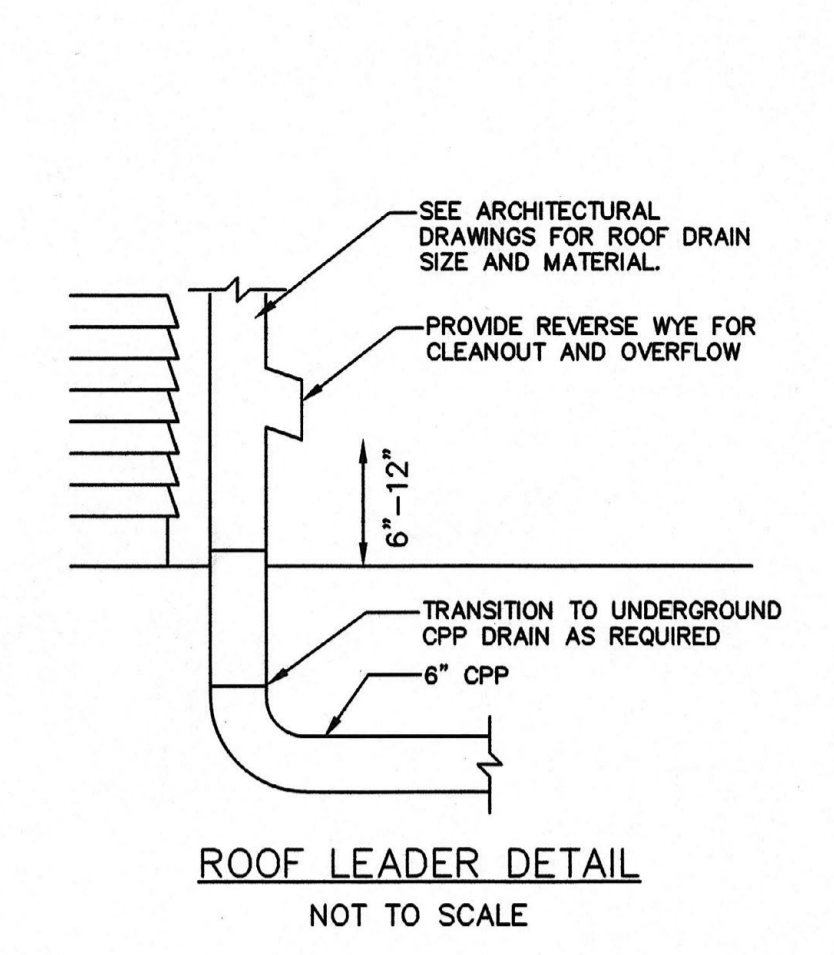
**WATER SERVICE TRENCH DETAIL**  
NOT TO SCALE



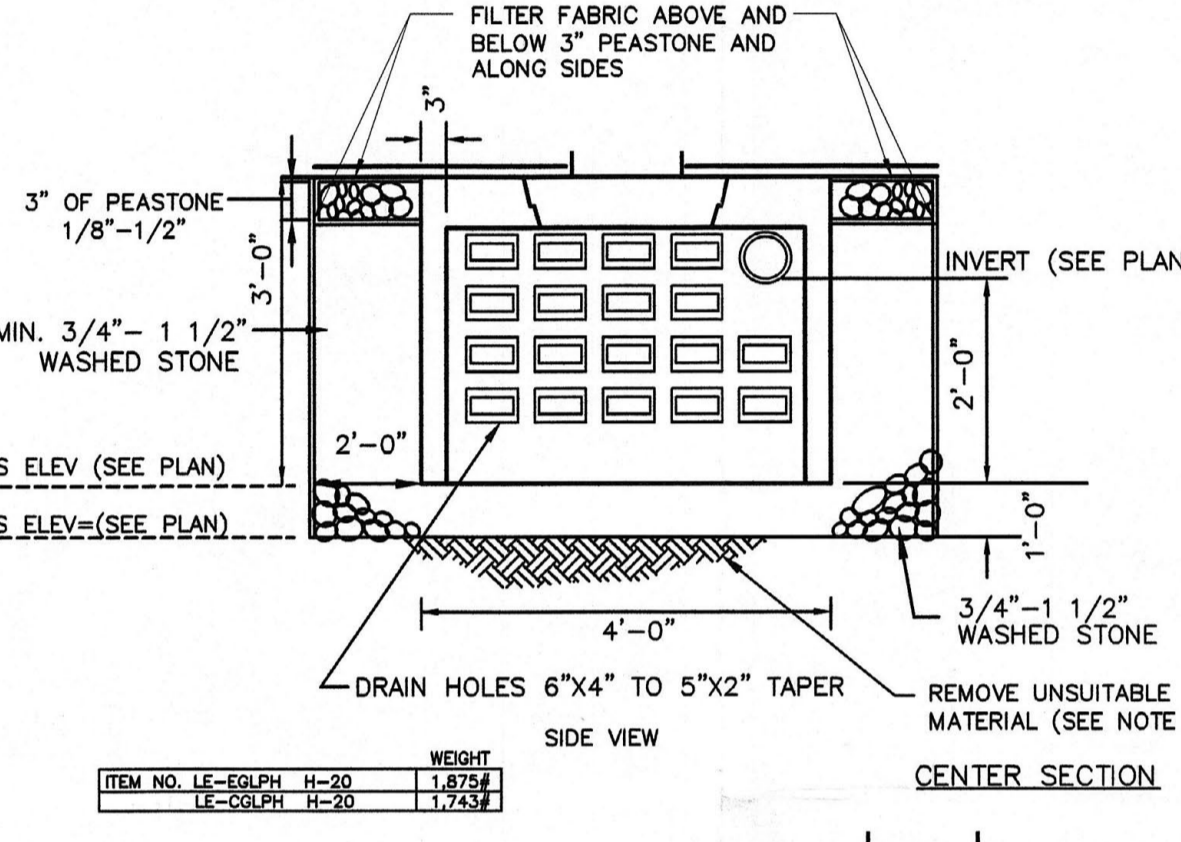
**C.D.F. TRENCH DETAIL**  
NOT TO SCALE



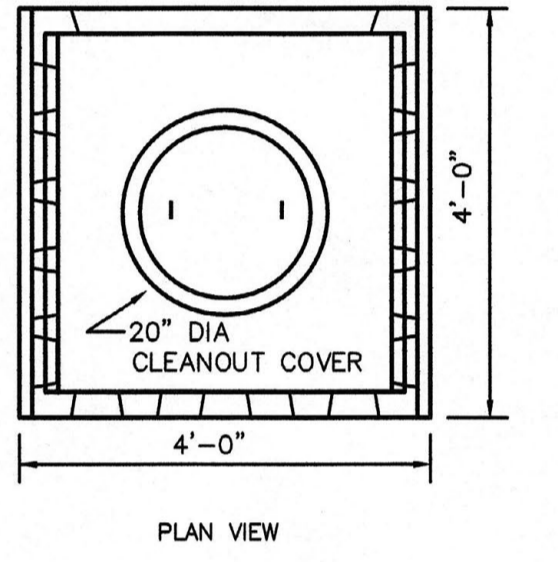
**TYPICAL WATER PIPE CONNECTION WITH TAPPING SLLEEVE AND GATE VALVE**  
SCALE: NOT TO SCALE



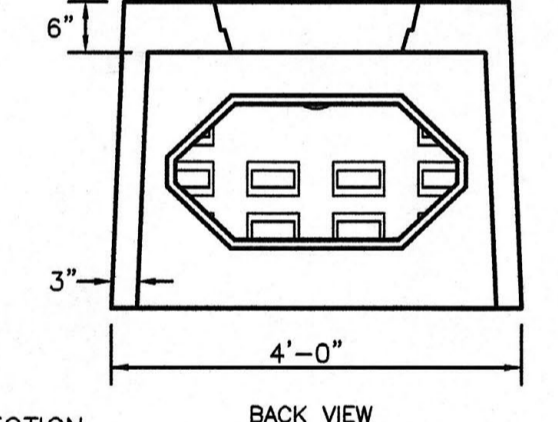
**ROOF LEADER DETAIL**  
NOT TO SCALE



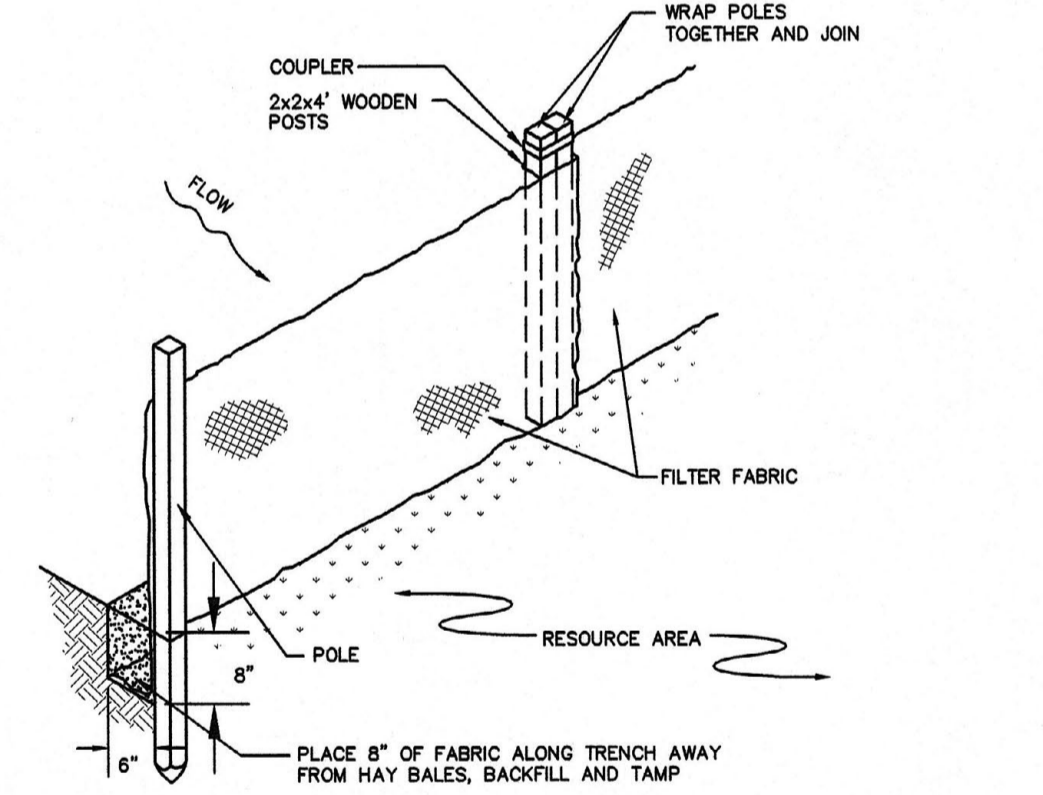
**LOW PROFILE GALLEYS DETAIL**  
NOT TO SCALE



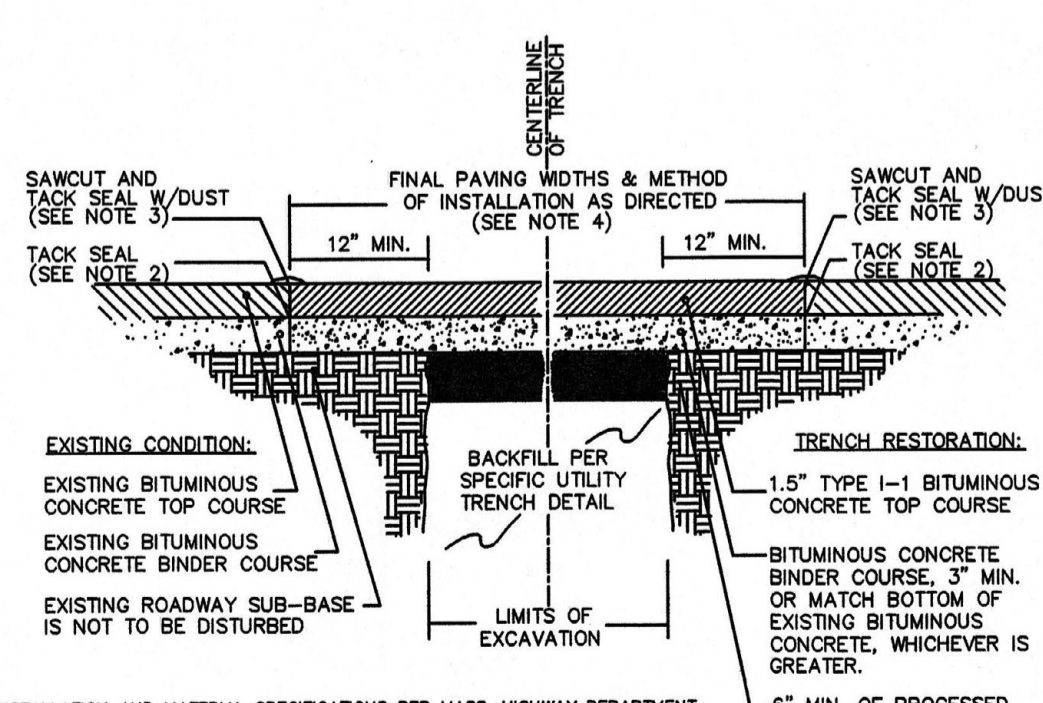
**PLAN VIEW**



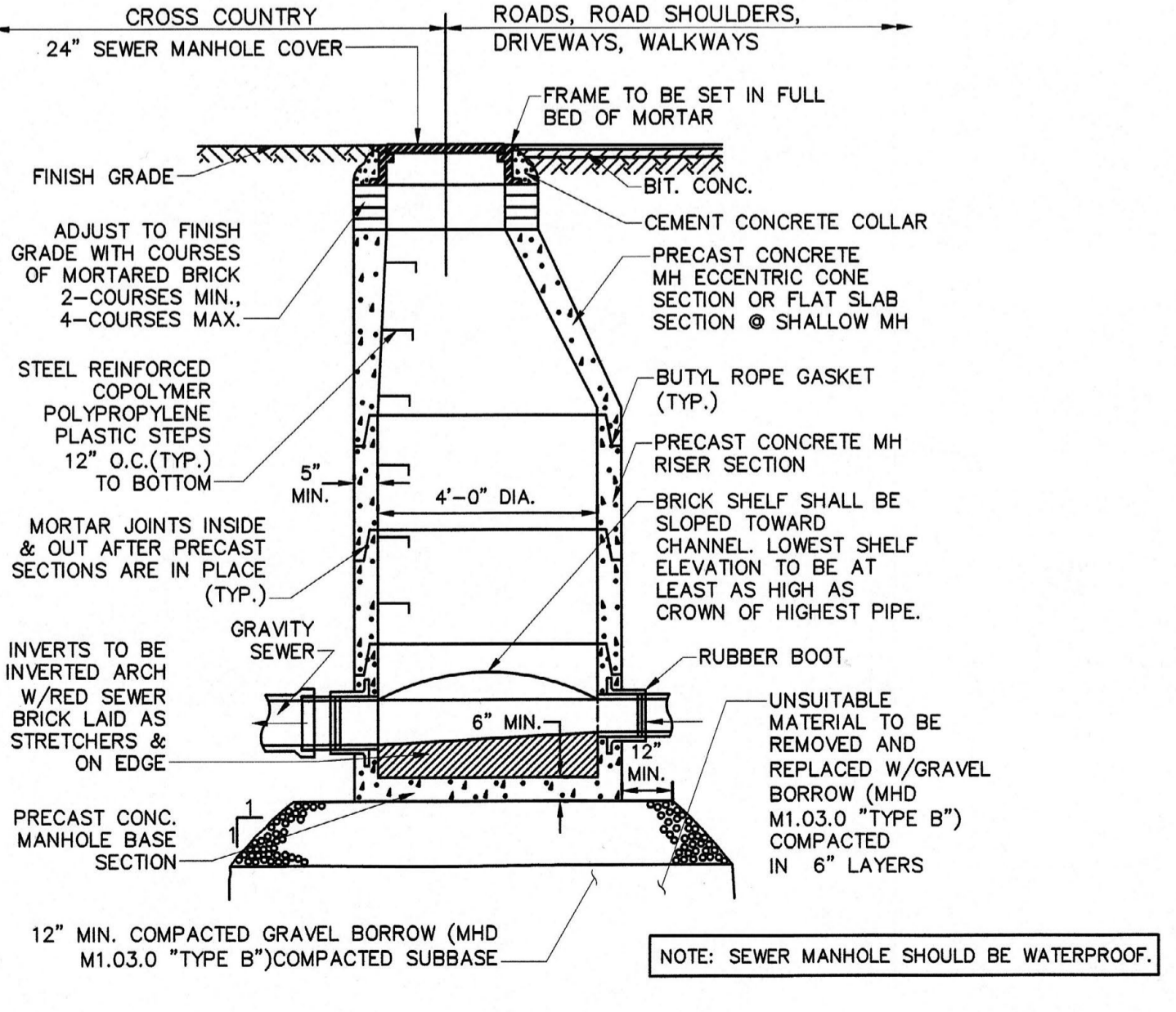
**FRONT VIEW**  
**BACK VIEW**



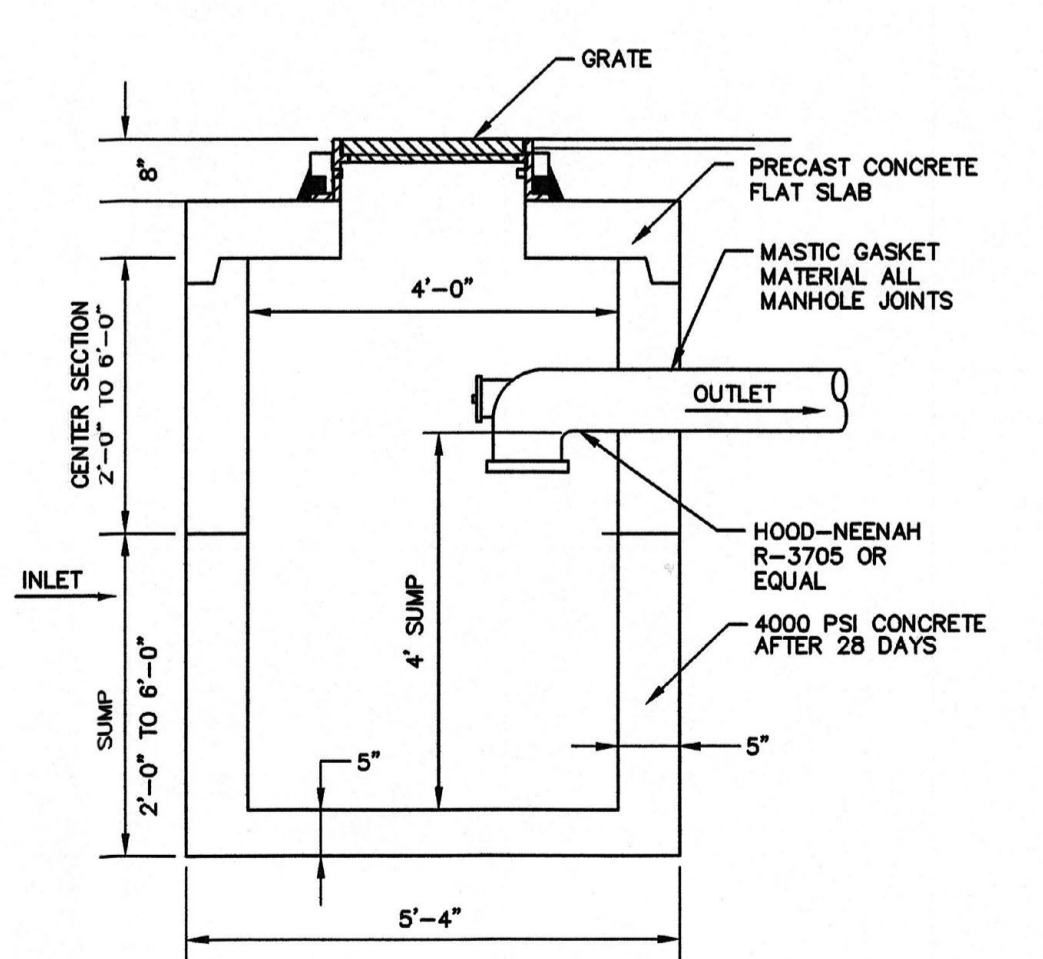
**SILT FENCE**  
NOT TO SCALE



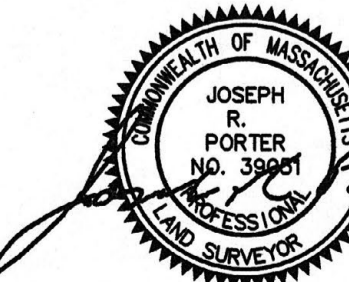
**TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL**  
NOT TO SCALE



**TYPICAL SEWER MANHOLE DETAIL**  
NOT TO SCALE



**PRECAST CONCRETE CATCH BASIN W/ HOOD**  
NOT TO SCALE



DETAILS  
NEWTON, MASSACHUSETTS  
SHOWING PROPOSED CONDITIONS AT  
#386-#394 WATERTOWN STREET  
SCALE: AS-SHOWN DATE: JUNE 9, 2011

PROJECT: 216101  
**VTP ASSOCIATES** INC.  
LAND SURVEYORS - CIVIL ENGINEERS.  
132 ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
(617) 332-8271  
SHEET 2 OF 2