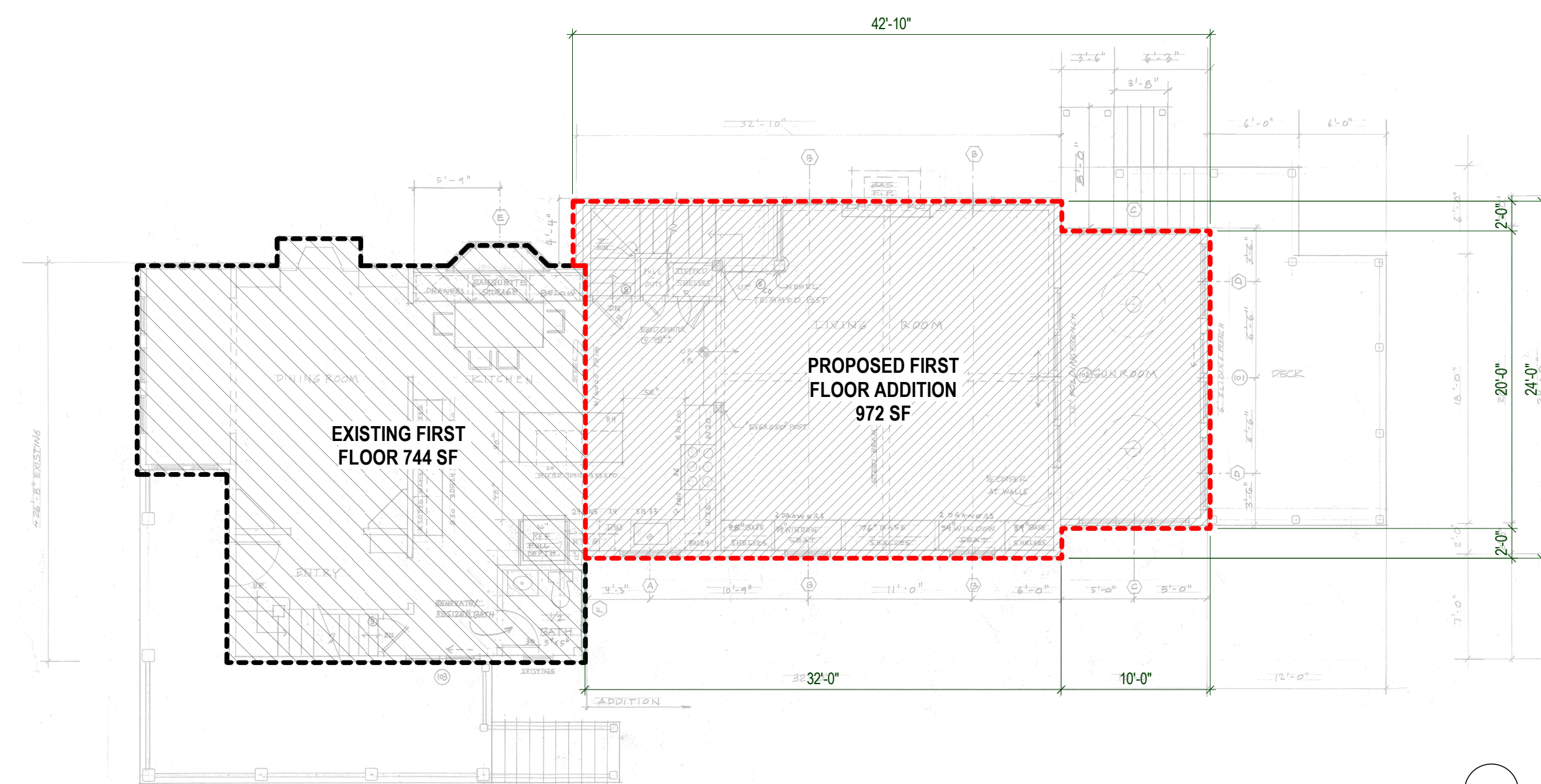


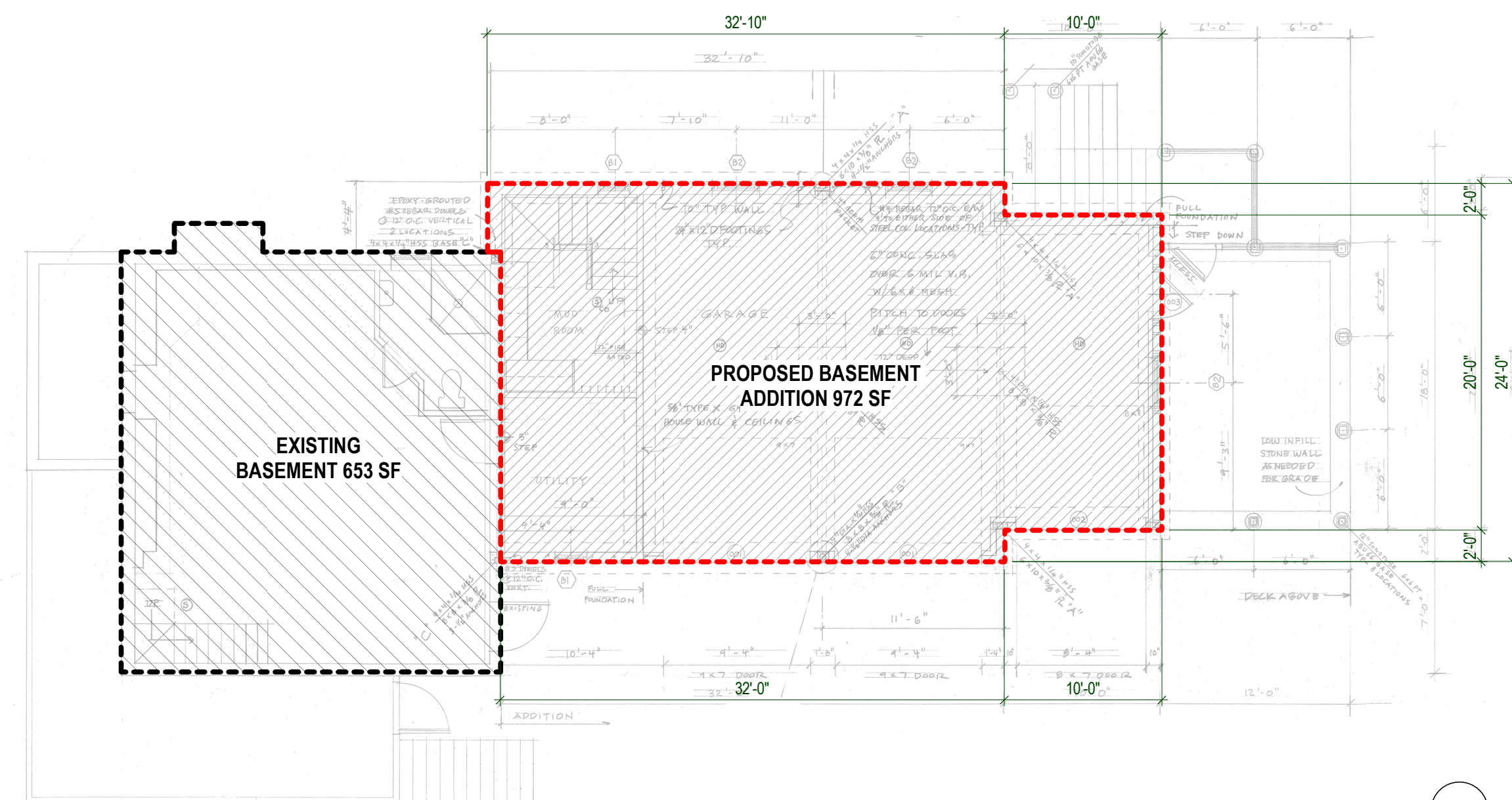
SECOND FLOOR AREA PLAN  
1/8" - 1'-0"



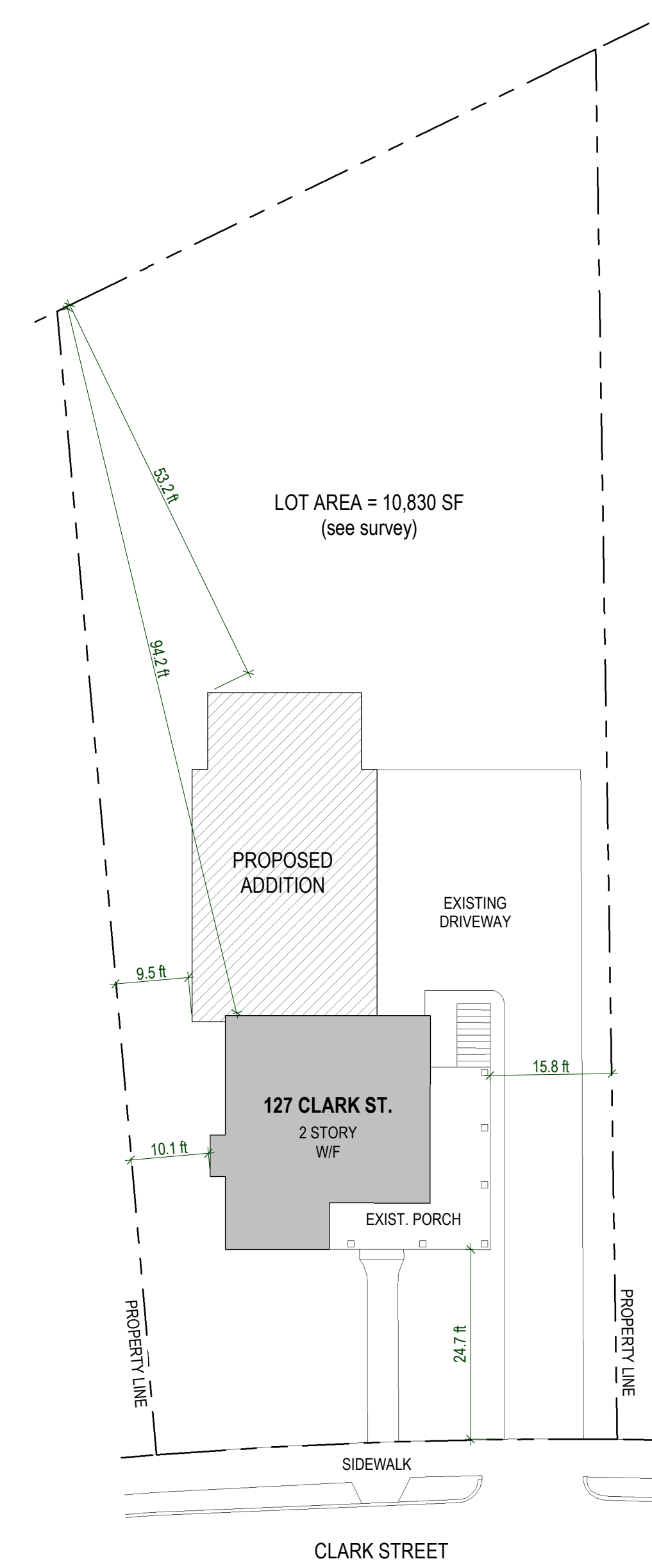
NORTH ELEVATION / MAX BUILDING HEIGHT  
1/8" - 1'-0"



FIRST FLOOR AREA PLAN  
1/8" - 1'-0"



BASEMENT AREA PLAN  
1/8" - 1'-0"



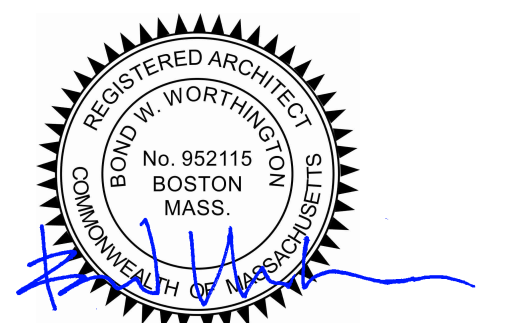
ARCH SITE DRAWING  
1/16" = 1'-0"

ZONING DIMENSIONAL ANALYSIS				
Zoning District : MR1	Map ID: 1195E	Parcel ID: #52029 0029		
	Chapt. 30 Sect. 3.2.2	Actual		
Min. Lot Size (before 12-07-53)	7,000 sf	10,830 sf		
Min. Lot Frontage (before 12-07-53)	70 ft	59.97 ft		
	Existing	Allowable	Proposed	Ordinance Reference
FAR	.24	.50 (.48 + .02)	.47	3.2.11 (before 12-07-53)
GFA	2,625 sf	5,415 sf	4,841 sf	3.2.11 (before 12-07-53)
Lot Area per Unit (min)	10,830 sf	3,500 sf	No Change	3.2.3 (before 12-07-53)
Lot Coverage (max)	9.3%	30 %	18.3%	3.2.3 (before 12-07-53)
Open Space (min)	78%	50 %	69%	3.2.3 (before 12-07-53)
Build Factor (max)	13.1	20	No Change	1.5.6
Front Yard Setback	25 ft	24.9 ft	No Change	3.2.3 (before 12-07-53)
Side Yard Setback-North	15.8 ft	7.5 ft	No Change	3.2.3 (before 12-07-53)
Side Yard Setback-South	10.1 ft	7.5 ft	9.5 ft	3.2.3 (before 12-07-53)
Rear Yard Setback	94.2 ft	15 ft	53.2 ft	3.2.3 (before 12-07-53)
Maximum Hght / Stories (Sloped Roof)	29.4 ft / 2 ST	36 ft / 2.5 ST	32.5 ft / 3 ST	3.2.3 (before 12-07-53)
<b>PROJECT AREAS</b>				
<b>EXISTING</b>	<b>PROPOSED</b>			
BASEMENT GFA=	653 sf	BASEMENT GFA=	1,625 sf	
FIRST FLOOR GFA=	744 sf	FIRST FLOOR GFA=	1,716 sf	
SECOND FLR GFA=	728 sf	SECOND FLR GFA=	1,500 sf	
SHED (TO BE REMOVED)=	125 sf			
TOTAL GFA=	2,625 sf	TOTAL GFA=	4,841 sf	

PAUL WORTHINGTON ♦ DESIGN & RESTORATION INC.  
88 BOYLSTON ST. BROOKLINE, MASSACHUSETTS 02445  
☎ 617 713 0663 fax 617 713 0465 e-mail pwor53@verizon.net

127 CLARK STREET NEWTON, MA  
ADDITION AND RENOVATIONS

TIM & LAUREN FAGERBERG  
127 CLARK STREET  
NEWTON, MA 02459



SHEET 00  
ZONING SUMMARY

SCALE AS NOTED

5/4/21