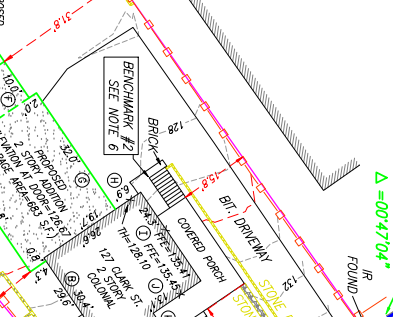
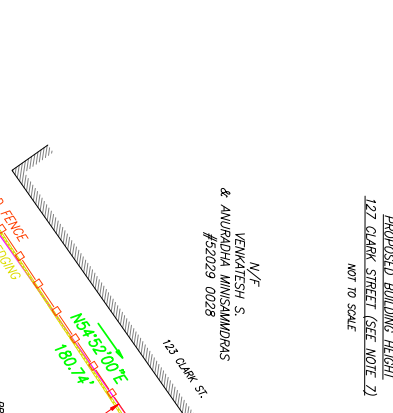


- NOTES**
- SUBJECT TO ANY STATEMENT OF FACT AND UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
  - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
  - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-344-7233 SEVEN-TWO HOURS PRIOR TO ANY EXCAVATION.
  - ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFER TO THE CITY OF NEWTON DATUM.
  - LOCATIONS OF ZONE BOUNDARY LINES HAVE BEEN TAKEN FROM THE CITY OF NEWTON GIS (MARGED).
  - BENCHMARK #2 INTERMEDIATION: ON BRICK AT CORNER OF BOTTOM STEP ELEVATION=128.46
  - AVERAGE GRADE PLANE CALCULATIONS AND PROPOSED BUILDING HEIGHT/ELEVATIONS HAVE BEEN PROVIDED BY CLIENT/OWNER.

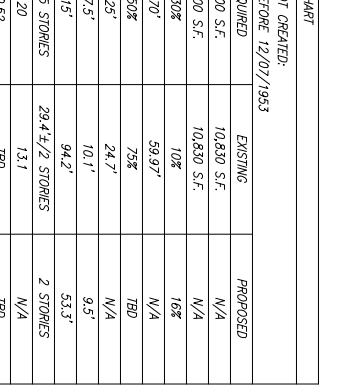
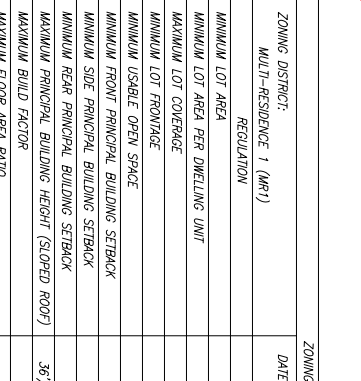
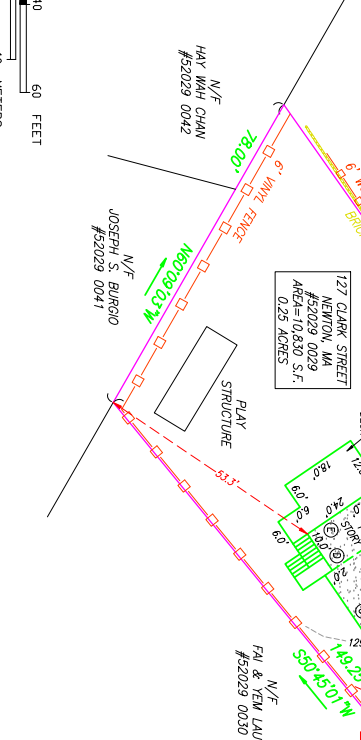
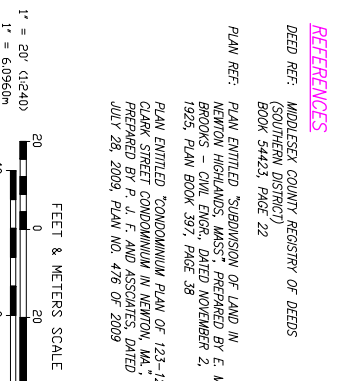


**ZONING CHART**

ZONING DISTRICT:	DATE LOT CREATED:
MULTI-RESIDENCE 1 (MR1)	BEFORE 12/07/1953
MINIMUM LOT AREA	7,000 S.F.
MINIMUM LOT AREA PER DWELLING UNIT	10,830 S.F.
MINIMUM LOT COVERAGE	3,500 S.F.
MINIMUM LOT FRONTAGE	30%
MINIMUM USABLE OPEN SPACE	70'
MINIMUM FRONT PRINCIPAL BUILDING SETBACK	50%
MINIMUM SIDE PRINCIPAL BUILDING SETBACK	25'
MINIMUM REAR PRINCIPAL BUILDING SETBACK	15'
MINIMUM PRINCIPAL BUILDING HEIGHT (SLOPED ROOF)	36'/2.5 STOREYS
MAXIMUM BUILD FACTOR	20
MAXIMUM FLOOR AREA RATIO	0.52

**AVERAGE GRADE PLANE CALCULATIONS**  
127 CLARK STREET (SEE NOTE 2)

SEGMENT	ELEVATION	LENGTH	AVERAGE GRADE PLANE
A	133.79	13.5'	9.11
B	131.84	29.6'	19.69
C	129.56	32.6'	21.44
D	128.47	20.0'	12.78
E	126.67	10.0'	6.39
F	126.67	32.0'	20.45
G	128.08	6.9'	4.46
H	131.01	24.3'	16.06
I	133.80	13.1'	8.84
J	133.86	6.0'	4.05
K	130.01	198.2'	129.73



**REFERENCES**

DEED REF: MIDDLESEX COUNTY REGISTRY OF DEEDS (SOUTHERN DISTRICT) BOOK 54423, PAGE 22

PLAN REF: PLAN ENTITLED "SUBDIVISION OF LAND IN NEWTON HIGHLANDS, MASS., PREPARED BY E. M. BRONSON, CIVIL ENGINEER, 1270 OVERBUSH ST., 1923, PLAN BOOK 3971, PAGE 38

PLAN ENTITLED "CONDOMINIUM PLAN OF 123-125 CLARK STREET CONDOMINIUM IN NEWTON, MA," PREPARED BY P. J. E. AND ASSOCIATES, DATED JULY 28, 2008, PLAN NO. 476 OF 2009

**ZONING DESIGNATION:**  
CITY OF NEWTON ZONING DISTRICT  
MULTI-RESIDENCE 1 (MR1)

**ASSESSOR'S REFERENCE:**  
#52029 0029

**REVISIONS**

DATE	DESCRIPTION	FIELD MR/BLND
05/19/21	UPDATE PROPOSED CALC.	EJP/SMI
06/22/21	ADJ. DETAILS	EJP/SMI
06/29/21	UPDATE GRADE CALCULATIONS	SMI
07/06/21	UPDATE ANNOTATIONS	N/A
07/13/21	UPDATE CALCULATIONS	APPROVED.

**A.S. Elliott & Associates**  
Professional Land Surveyors  
P.O. BOX 65 ~ HOPEDALE, MASSACHUSETTS  
(508) 634-0296  
www.aseilott.com

**Existing Conditions**  
Plan of Land Showing  
Proposed Improvements  
127 CLARK STREET  
NEWTON, MASSACHUSETTS  
PREPARED FOR: TIMOTHY FAGERBERG  
SCALE: 1" = 20'  
DATE: MAY 14, 2021