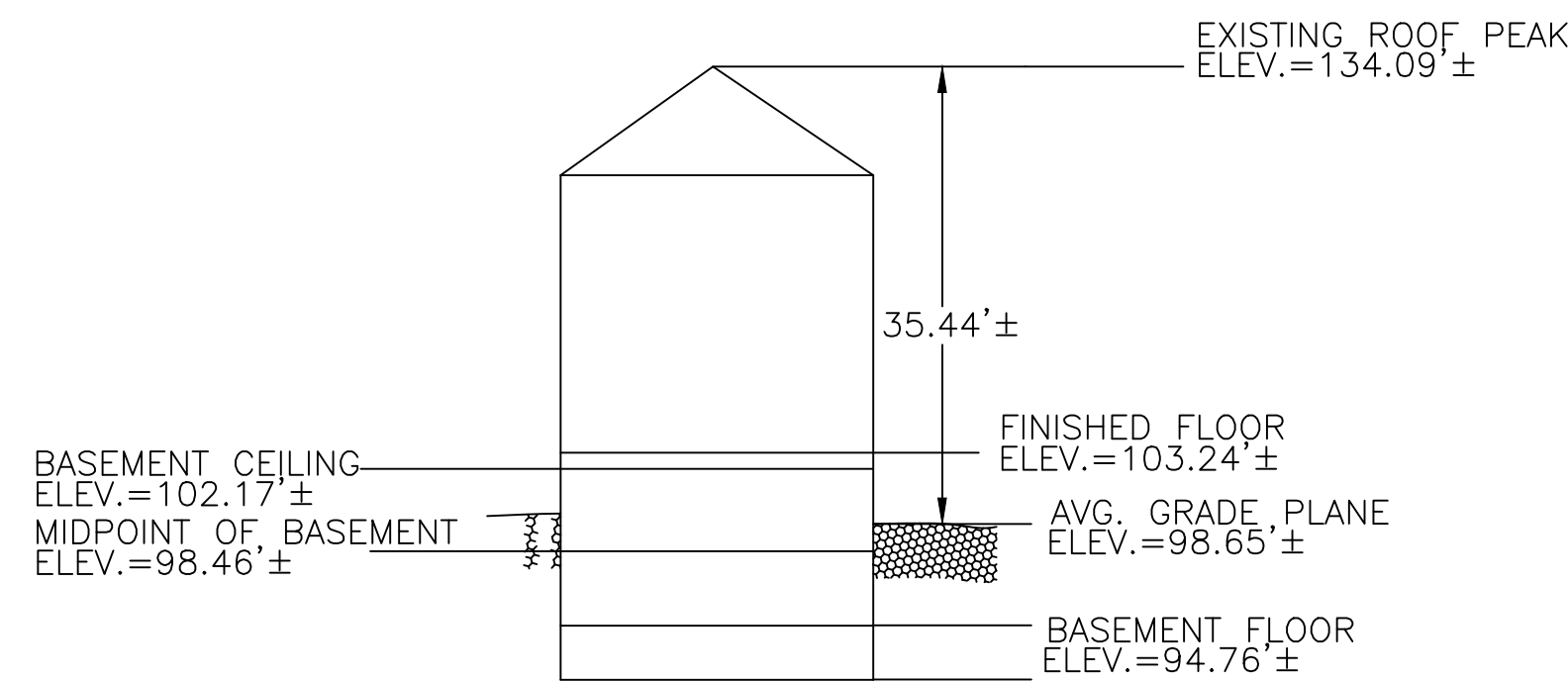


SUDBURY AQUEDUCT

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 06/07/2021.
2. DEED REFERENCE: BOOK 34385, PAGE 396
PLAN REFERENCE 1: PLAN BOOK 22752, PLAN 193
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0554E, IN COMMUNITY NUMBER: 250208, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

ZONING LEGEND		
ZONING DISTRICT: SINGLE-RESIDENCE 2 (LOT CREATED BEFORE 12/07/1953)		
	REQUIRED	PROPOSED
MIN. AREA	10,000 S.F.	4,633 S.F.± (MEASURED)
MIN. FRONTAGE	80'	66.00'
MIN. YARD FRONT	25'	33.8'
SIDE	7.5'	17.4'
REAR	15'	19.6'
MAX. LOT COV.	30%	29%
MIN. OPEN SPACE	50%	55%
MAX. STORIES	2.5	2.5

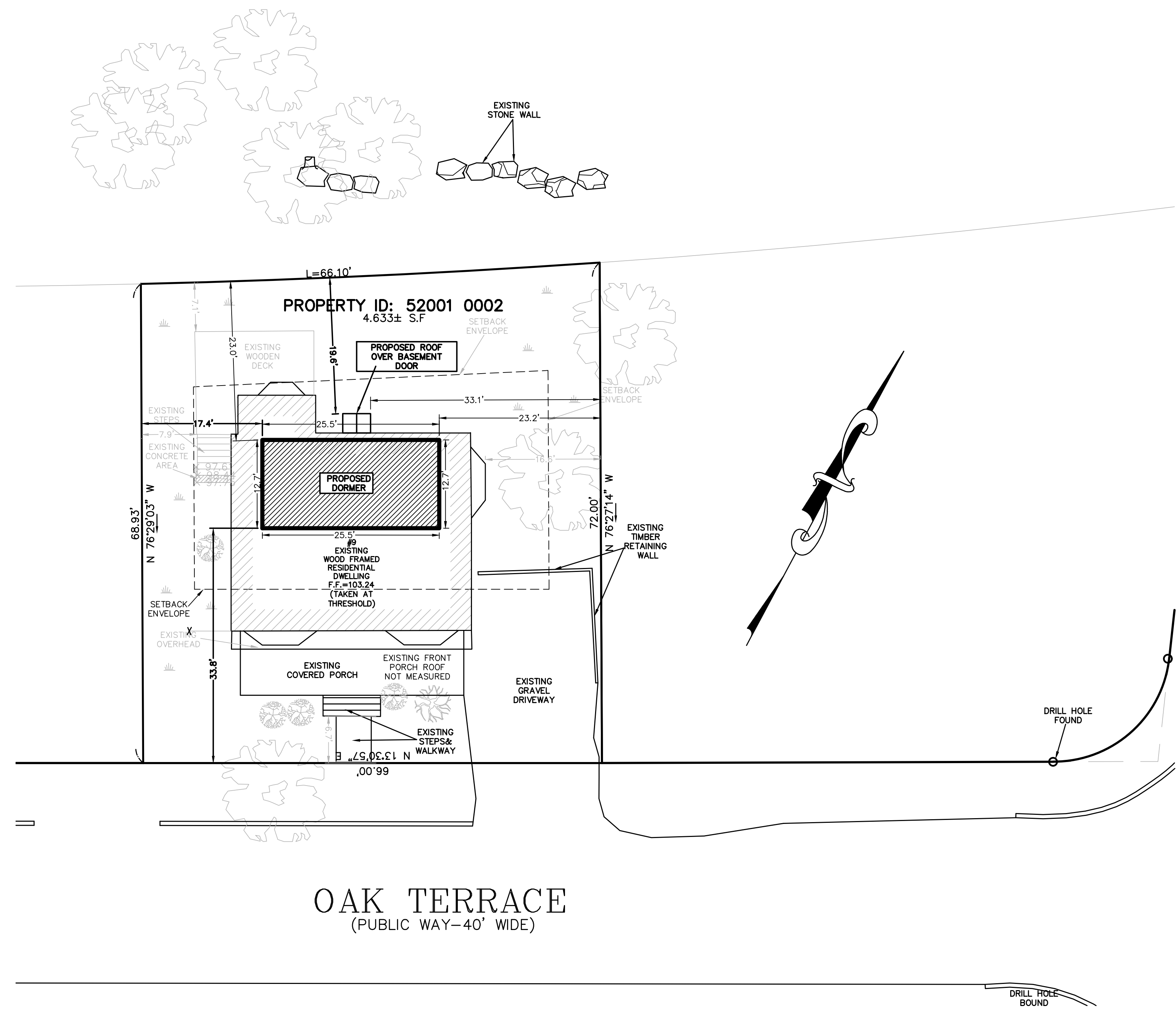
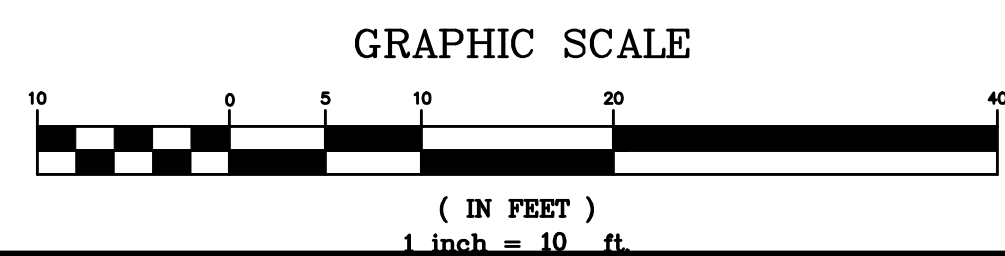


PROPOSED PROFILE
NOT TO SCALE

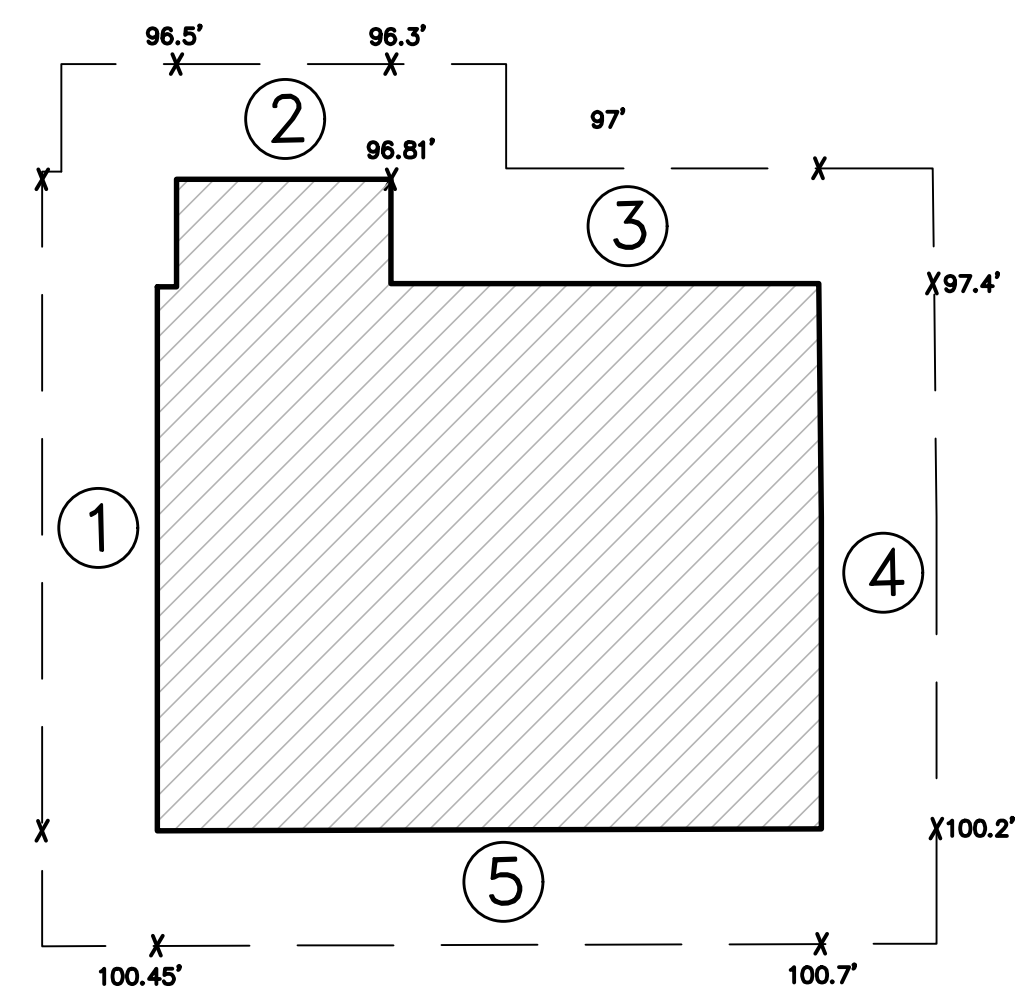
MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION
THEREFORE EXISTING BASEMENT MEETS DEFINITION OF BASEMENT

AVERAGE GRADE CALCULATION

AVERAGE GRADE PLANE (ALL UNITS IN FEET)					
SEGMENT	LEGNTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	33.93	100.30	96.60	98.45	3,340.41
2	11.20	96.50	96.30	96.40	1,079.68
3	22.30	96.81	97.00	96.91	2,160.98
4	28.40	97.40	100.20	98.80	2,805.92
5	34.60	100.45	100.70	100.58	3,479.90
SUM =	130.43				12,866.89
SUM OF MEAN x LENGTH/ SUM OF LENGTHS = AVERAGE GRADE PLANE =					98.65



OAK TERRACE
(PUBLIC WAY-40' WIDE)



AVERAGE GRADE PLANE

SCALE	1"=10'		
DATE	09/15/2021	REV	DATE
SHEET	1	REVISION	BY
PLAN NO.	1 OF 1	9 OAK TERRACE NEWTON MASSACHUSETTS	
CLIENT:			
DRAWN BY	II	PROPOSED PLOT PLAN	
CHKD BY	PJN		
APPD BY	PJN	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2, NEWTON MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com	

SHEET NO. **1**